

**COUNTY OF LOS ANGELES
DEPARTMENT OF REGIONAL PLANNING**

PROJECT SUMMARY

PROJECT DESCRIPTION:	An ordinance to establish the Chapman Woods Community Standards District (CSD).
REQUEST:	Approval and adoption of the ordinance
LOCATION:	The community of Chapman Woods
STAFF CONTACT:	Kristina Kulczycki, 213-974-6476, kkulczycki@planning.lacounty.gov
RPC HEARING DATE(S):	November 9, 2022
RPC RECOMMENDATION:	Approval and recommendation to the Board to consider approval of the ordinance.
MEMBERS VOTING AYE:	Commissioners Louie, O'Connor, Moon, Hastings, and Duarte-White
MEMBERS VOTING NAY:	None
MEMBERS ABSENT:	None
MEMBERS ABSTAINING:	None
KEY ISSUES:	The ordinance will include development standards that are intended to preserve the existing residential neighborhood character and prevent mansionization such as setbacks, gross floor area, and building height.
MAJOR POINTS FOR:	The adoption of the ordinance would implement the June 8, 2021 Board motion to

update the standards for the Chapman Woods area. Goals of the ordinance include preventing mansionization, and preserving the existing neighborhood character the area through the application of residential development standards related to the maximum floor area, building height, and setbacks, as well as incentives for projects that elect to apply community identified architectural elements.

MAJOR POINTS AGAINST:

While unlikely, development standards could create unintentional nonconforming uses or structures within the boundaries of the CSD.

ORDINANCE NO. _____

An ordinance amending the Los Angeles County Code, Title 22 – Planning and Zoning, to revise the East Pasadena-East San Gabriel Community Standards District boundary and establish the Chapman Woods Community Standards District (“CSD”), which defines and establishes residential design and development standards for the unincorporated area of Chapman Woods.

The design of the Chapman Woods community is predominately twentieth-century single-family residential architectural styles and scales including, but not limited to: Ranch, French Country, Colonial, Craftsman, Tudor Revival, Spanish Revival, and Minimal Traditional styles. The goal of the Chapman Woods CSD is to promote the preservation, maintenance, and construction of residential developments that support the established architectural styles, scales, and forms that define the Chapman Woods community character, and prevent the demolition and large-scale replacement (commonly referred to as mansionization) of established residential structures and architectural forms.

The Board of Supervisors of the County of Los Angeles ordains as follows:

SECTION 1. Chapter 22.14 is hereby amended to read as follows:

22.14.010 – A.

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Area of special flood hazard. The land within a flood plain, as identified by the Flood Insurance Rate Map (FIRM) of Los Angeles County, subject to a one percent or greater chance of flooding in any given year.

Architectural Element. Architectural design features that embody a style, design, and arrangement of general components on the exterior of any building or structure, including but not limited to building materials, textures, colors, and the style and type of all windows, doors, lights, signs, and porches.

Architectural Material. Any building material which is used for construction purposes.

Assessor. References to Assessor shall mean the County Office of the Assessor, unless otherwise specified.

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22.14.020 – B.

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Borrow pit. Any place on a lot where dirt, soil, clay, decomposed granite, or other similar material is removed by excavation or otherwise for any purpose other than surface mining operations, or a grading project with off-site transport.

Breezeway. A Breezeway is a vehicle pass-through connected to a residential structure, often connecting two sections of livable space

Building. A structure that has a roof supported by columns or by walls and intended for the shelter, housing or enclosure of persons, animals, belongings, or property.

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22.14.130 – M.

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Massage establishment. Means any premises where massage, massage services, or massage therapy are given.

Massing. The perception of the general shape, size, and form of a building, which in turn, defines both the interior space and the exterior shape of the building.

MAUCRSA. The Medical and Adult-Use Cannabis Regulation and Safety Act of 2017 (SB 94), as it may be amended from time to time.

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22.14.160 – P.

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Person. An individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, business trust, receiver, or syndicate. This term includes the County, any other county, city and county, municipality, district, or other political subdivision, or any other group or combination acting as a unit.

Plinth. An architectural support or base that is the lowest part or base of podium, column, pedestal, or post supporting a structure, porch, or roof overhang.

Porch (Type).

Projecting Porch. A Projecting Porch is designed to fully or partially extend beyond the predominant façade or wall plane of a residential building.

Engaged Porch. An Engaged Porch is designed to align with the predominant façade or exterior wall plane of a residential building.

Forecourt. A residential Forecourt is ground level open space and located adjacent to the Primary Façade in front of the primary entrance, often framed by the residential building walls, freestanding walls, fences, and planting areas.

Portico Porch. A Portico Porch is a subset of a Projecting Porch that features a covered and fully-enclosed porch entrance supported by columns or piers that creates a predominant massing or building form along a façade.

Stoop. A Stoop is a small staircase leading to an entrance of a residential building.

Wrap-Around Porch. A Wrap-Around Porch is a covered engaged or projecting porch connected along at least two sides of residential building.

Porte-Cochere. A porte-cochere is a covered vehicular entrance attached to a primary residence, often creating a primary entrance.

Principal use. A primary or dominant use established, or proposed to be established, on a lot.

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22.14.190 – S.

Safety. This term means and includes a water supply for fire protection which complies with the requirements of the County Water Ordinance set out at Division 1 of [Title 20](#) (Utilities) of the County Code.

Scale. The physical and visual appearance and ratio of the built forms and size of a single structure, multiple structures, or a neighborhood in relation with other buildings and their surroundings.

Scenic highway. A highway within the California Scenic Highway System, a State-designated County scenic highway, or any scenic drive adopted as a part of the Conservation and Natural Resources Element of the County General Plan.

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Street or highway frontage. The portion of a lot which borders a public street, highway, or parkway, measured along the common lot line separating the lot from the public street, highway, or parkway.

Stoop. See Porch.

Structure. Anything constructed or erected which requires a fixed location on the ground, or is attached to something having a fixed location on the ground.

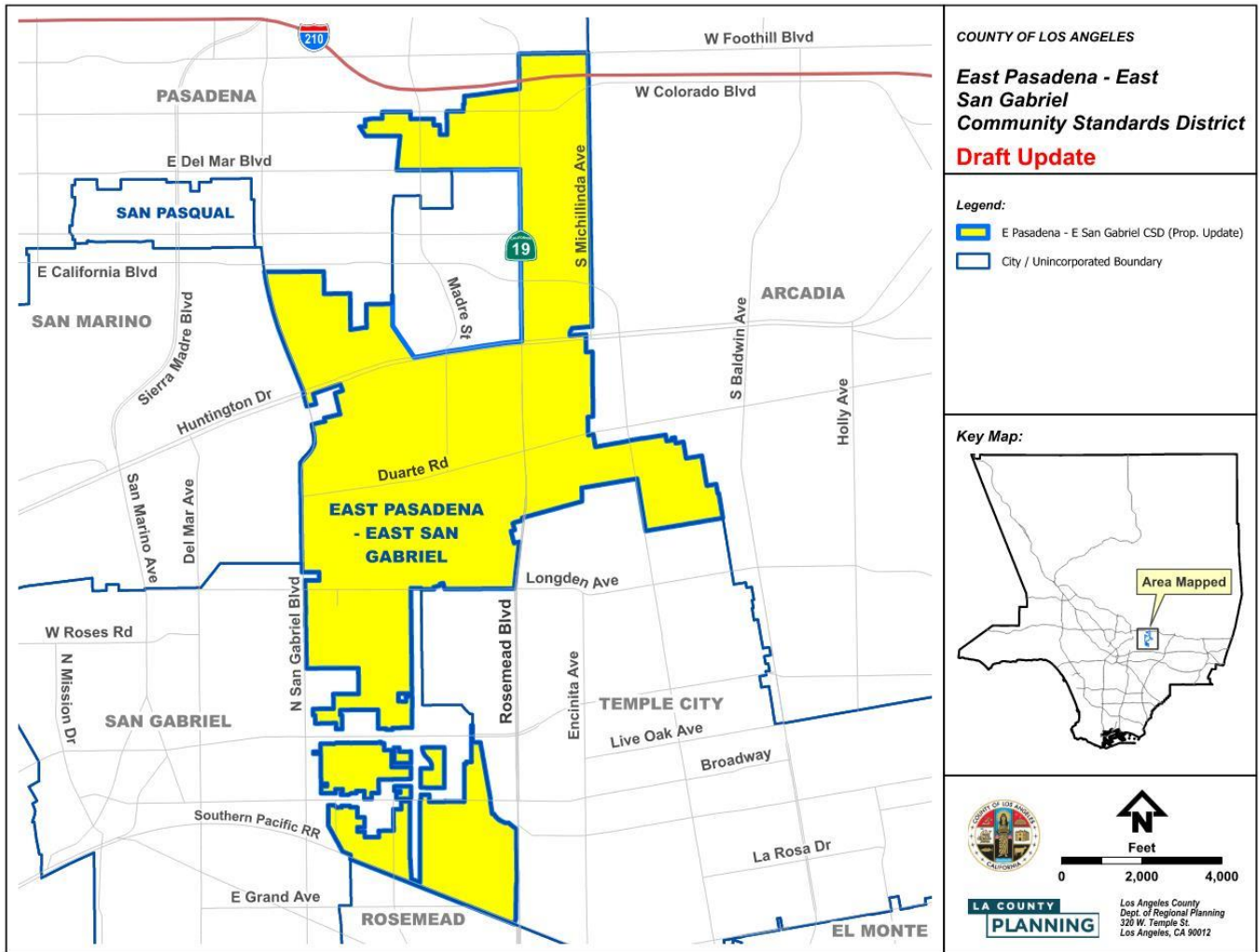
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SECTION 2. Chapter 22.318 is hereby amended to read as follows:

Chapter 22.318 East Pasadena-East San Gabriel Community Standards

District

**FIGURE 22.318-A: EAST PASADENA – EAST SAN GABRIEL
CSD BOUNDARY**



SECTION. 3. Chapter 22.362 is hereby added to read as follows:

Chapter 22.362 Chapman Woods Community Standards District (CSD)

22.362.010 Purpose.

22.362.020 Definitions.

22.362.030 District Map.

22.362.040 Applicability.

22.362.050 Application and Review Procedures.

22.362.055 Implementation of the CSD Standards.

22.362.060 Community-Wide Development Standards.

22.362.070 Zone-Specific Development Standards.

22.362.080 Area-Specific Development Standards.

22.362.090 Modification of Development Standards.

22.362.010 Purpose. The Chapman Woods Community Standards District ("CSD") is established to:

A. Provide community-wide development and design standards, and guidelines that promote the preservation, maintenance, and new construction of development that is compatible with the established residential scales and architectural styles;

B. Prevent the loss of established residential structures and architectural forms that define Chapman Woods with the replacement of large-scale and out-of-context building forms (commonly referred to as mansionization); and,

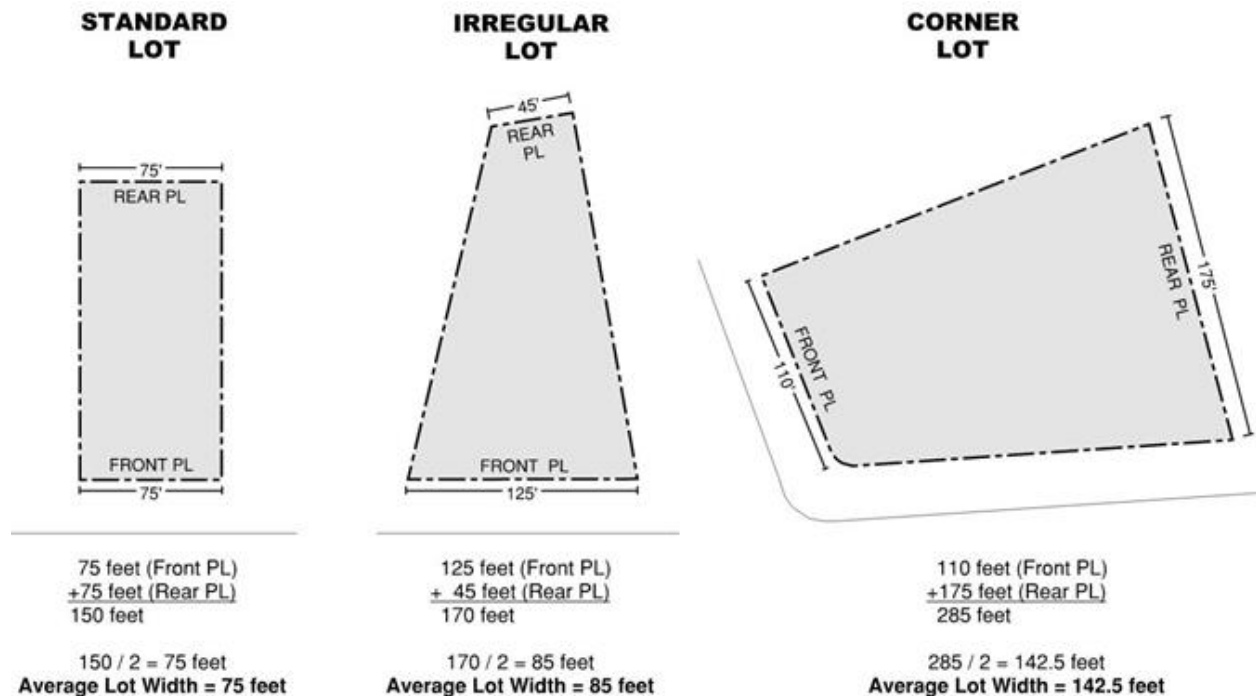
C. Regulate the placement of buildings on residential properties to support transitions and buffers between properties and the public right-of-way that protect the light, air, and privacy of existing residences.

22.362.020 Definitions.

A.

Average Lot Width. Unless otherwise described in a Community Standards District or other overlay zone, the average lot width shall be calculated by dividing the combined sum of the Front and Rear Property Line (PL) by 2. The Director shall have the authority to determine Average Lot Width if unclear from Figure 22.362.020-A, below.

FIGURE 22.362.020-A: AVERAGE LOT WIDTH CALCULATIONS



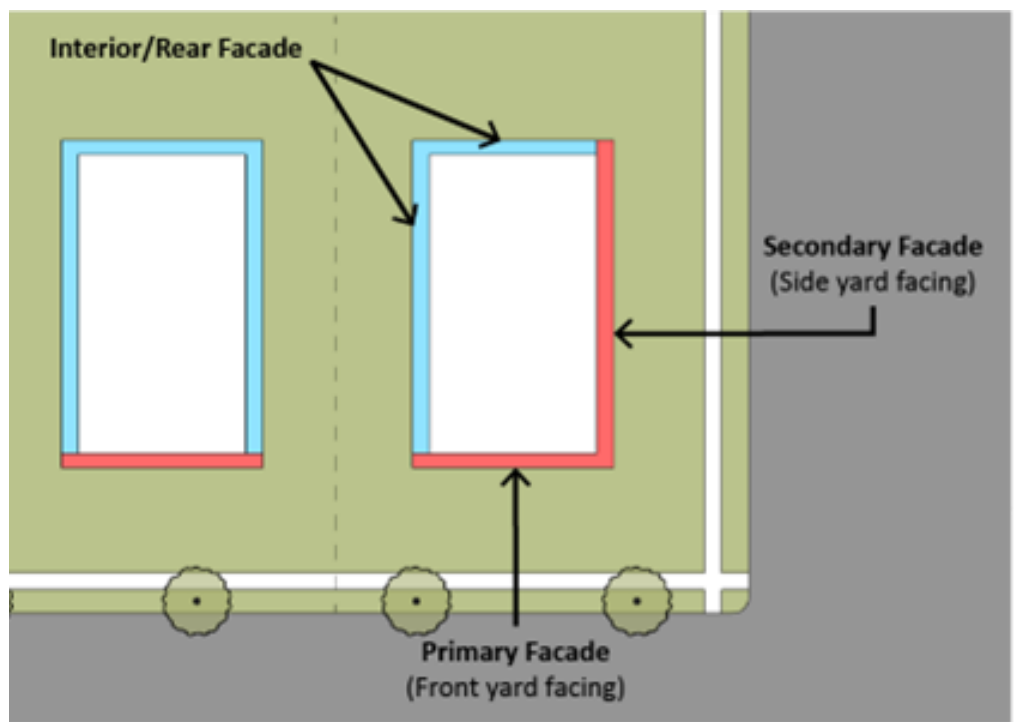
F.

Façade, Primary. The Primary Building Facade is the dominant exterior wall plane that directly faces a property's front yard and/or public right-of-way and establishes a structure's massing and scale.

Façade, Secondary. The Secondary Building Facade is the dominant exterior wall plane that directly faces a property's side yard and/or right-of-way.

Façade, Interior or Rear. Facades of a building that are not directly facing a public right-of-way, and are often facing an abutting private property's side or rear property line.

FIGURE 22.362.020-B: BUILDING FACADES



Fully-Shielded Light Fixture. A light fixture that emits no light in the area above a horizontal plane passing through the lowest point of the light fixture and no more than 10 percent of its light in the area between zero and 10 degrees below the horizontal plane. A fully-shielded light fixture has a solid barrier shielding the area where the lamp

(bulb) is located. The fixture is angled so the lamp is not visible with no direct line of site below the barrier.

M.

Maximum Grade. The average grade of the adjoining lots on either side of a given property. Maximum grade may be determined by the Director or Director of Public Works where it is impractical due to topographic conditions.

P.

Primary Residential Structure or Unit. The building having the largest habitable floor area located on any one lot within a residentially-zoned property supporting one or more dwelling units (includes duplexes).

Primary Street Frontage. The portion of a property that abuts the public right-of-way or street, and provides the property with a primary entrance, addressing, and pedestrian access.

S.

Secondary Street Frontage. The portion of a property that abuts a second public right-of-way or street, not including alleyways, in addition to the Primary Street Frontage (i.e., corner lot). Secondary Street Frontages may, but are not required to, provide entrance and access.

22.362.030 District Map.

The boundaries of this CSD are shown on Figure 22.362.030-A: Chapman Woods CSD Boundary, at the end of this Chapter.

22.362.040 Applicability.

A. General Applicability. The regulations, requirements, and provisions of the Chapman Woods CSD shall apply to all development and construction projects for which a building permit or an application with the Department is required and filed on or after [the effective date of the ordinance containing these new or revised regulations].

B. Exemptions. The following projects and types of development are exempt from the CSD as of [the effective date of said ordinance].

1. Normal Maintenance, Repair, and Replacement. Projects involving the normal maintenance or repair to an existing building or structure that is necessary to ensure its safe and habitable condition for ordinary and intended use, and do not result in any of the following:

- a. Increase or decrease of gross floor area;
- b. Changes to existing roofs or roof structures beyond normal maintenance, repair, and replacement that result in changes to the existing rooflines, roof pitches, or underlying roof structure (e.g., converting a gabled roof to a flat roof);
- c. Remodels that exceed or change more than 50 square feet of surface area on primary or secondary facades; and,
- d. The Director has the authority to review any proposed maintenance or repair exemption deemed necessary.

2. Non-Conforming Buildings or Structures. The provisions of Chapter 22.172 (Nonconforming Uses, Buildings and Structures) shall apply to all uses and structures in this CSD that were legally entitled, approved, or permitted prior to [the effective date of the ordinance containing the new or revised CSD regulations].

3. Repair of Nonconforming Structures. Any structure nonconforming due to standards which is damaged or partially destroyed may be restored to the condition of the structure as it existed immediately prior to the occurrence of such damage or destruction, provided that the cost of reconstruction does not exceed 100 percent of the total market value of the structure as determined by the methods set forth in Sections 22.172.020.G.1.a and G.1.b and provided the reconstruction complies with the provisions of Section 22.172.020.G.2.

4. Existing fences, walls, outdoor lighting, landscape and planted areas as of [the effective date of the ordinance].

22.362.050 Application and Review Procedures.

A. All applications as of [the effective date of said ordinance] shall be subject to the review procedures provided in Chapter 22.222 and 22.224. In addition to the checklist for the applicable Review or Permit, the following types of plans are required for all proposed construction and development applications pursuant to Section 22.362.040. Plans must be submitted and completely illustrate the intent and scope of the project. The Department has the authority to request alternative plans or clarifications, based on the proposed application.

1. Site Plan. A Site Plan shall include easements and public rights-of-way, on-site parking locations, all structures including residential and accessory buildings with use and square footages labeled, proposed grading and drainage, exterior light fixtures, trash area, fences, and walls.

2. Window Alignment and Privacy Study. When two properties have a shared property line, and the space between residential structures on each property is less than 15 feet, a Window Alignment and Privacy Study shall be required pursuant to

Section 22.362.060.G.5, below. The window alignments and screening shall be depicted on a site plan.

3. Landscape Plan. Where new planting areas, trees, ground cover and landscape areas are proposed, depict the locations and species on the site plan or a separate sheet.

4. Floor Plans. All proposed projects (e.g., new construction, additions, expansions, and renovations) shall provide a floor plan showing the arrangement of rooms, room uses, and the internal connectivity of the project.

5. Elevation Plans.

a. Color elevation plans shall be submitted for sides of the building where construction is proposed.

b. Elevation plans shall identify building materials, prominent horizontal and vertical elements, window dimensions, and color palette.

c. Elevation plans shall also identify the percentage of the façade covered by windows and stucco siding, where applicable.

6. Roof Plan. All applications proposing a new roof or changes to an existing roof shall provide a Roof Plan showing all existing or proposed areas to remain, be demolished, or be newly constructed. Applicants shall label and dimension all roof styles, pitches, eaves and overhangs, material finish, roof color, and all rooftop equipment present or proposed, with a written explanation of how the Roof Plan is consistent with the development standards in Section 22.362.060.F.

22.362.055 Implementation of the CSD Standards. The Chapman Woods CSD is organized into standards and guidelines, as described below. For all projects

subject to the CSD, review the following CSD regulations and guidelines in the order listed in Subsections A to C below.

A. Review Development Standards Tables. First, applicants shall review and comply with the Development Standards Tables in Section 22.362.070. Based on a property's land use, zoning designation, and lot size, the Development Standards Tables identify the placement and orientation of buildings with specific site calculations (e.g., lot coverage, setbacks, building height, etc.).¹

B. Review the Community-Wide Development Standards. Secondly, applicants shall review and comply with the Community-Wide Development Standards in Section 22.362.060. This Section regulates general building forms, scale, massing, façade treatments, landscape and planting areas, and lighting elements that promote compatibility with the existing residential properties and built forms of the Chapman Woods community.

C. Optional Architectural Standards for Additional Incentives. Lastly, if an applicant elects to follow one of the "Community Identified Architectural Styles" listed in Section 22.362.060.L, then the incentives specified in Section 22.362.070 shall be granted if all of the objective standards listed for that architectural style are met.

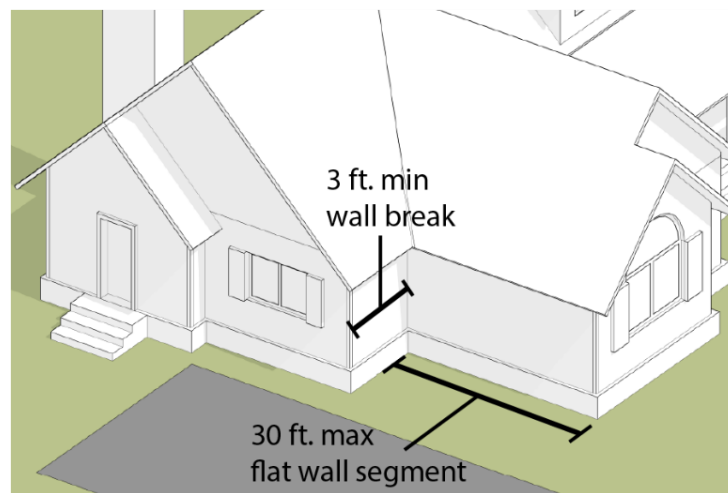
22.362.060 Community-Wide Development Standards.

A. Limit Flat and Blank Facades. All stories of Primary or Secondary Façades shall be articulated and designed to limit flat and blank walls.

¹ State laws may supersede the regulations set forth in this chapter, such as but not limited to: floor area, setbacks, building height, or number of building stories.

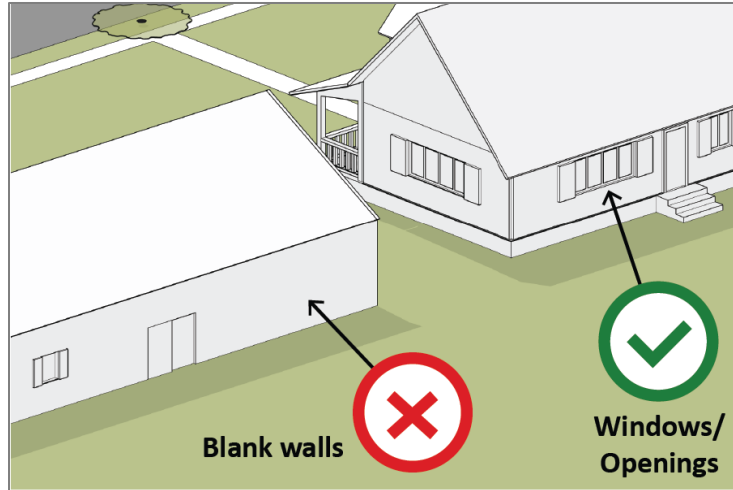
1. Wall Breaks on Primary and Secondary Façades. Unless otherwise specified in Section 22.362.060.L for a particular architectural style, walls that exceed 30 feet in length along Primary or Secondary Façades shall be articulated by use of a wall break, including architectural recesses or protrusions such as patios, balconies, or other form of articulation. Wall breaks shall extend or be recessed at least three feet from the Primary or Secondary Façade.

FIGURE 22.362.060-A: WALL BREAKS DIAGRAM



2. Limit Blank Walls on Interior and Rear Facades. Internal and rear facades are not required to provide wall breaks; however, windows and openings shall be located to allow daylight into all sides of a building.

FIGURE 22.362.060-B: LIMIT BLANK WALLS



B. Prohibited Materials. The following materials are prohibited in the Chapman Woods CSD area, to encourage compatibility with existing residential structures and forms that define Chapman Woods:

1. The use of highly reflective materials, with the exception of solar panels;
2. Rust-finished metal siding (e.g., “Corten steel”);
3. Corrugated metal on exterior facades and roofs;
4. Exposed or protruding steel beams;
5. Exposed, unpainted, untreated “cinder block” or Concrete Masonry Units (CMUs);
6. Board-formed concrete on building facades, not including foundations;
7. Heavy or glossy stone slabs or corner caps used on wall facades, except on foundations (e.g. marble, travertine, limestone or similar);
8. Cargo shipping containers or portions thereof;
9. Glass walls and railing (e.g., glass balcony railing);

10. Asphalt paving;
11. Vinyl siding;
12. Reflective, glossy, or polished metallic roofing shall be prohibited, except for solar energy devices and skylights; and
13. Tar and gravel roofs.

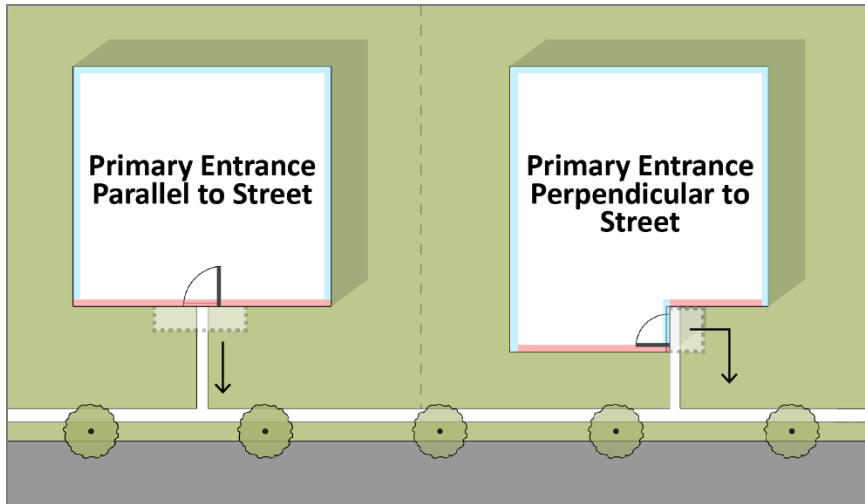
C. Alternative Materials and Construction Techniques. The Director has the authority to consider and determine alternative or sustainable materials and construction techniques, developed or introduced after [the effective date of this ordinance], to be consistent with the existing character of the Chapman Woods community.

D. Entrances – General Regulations

1. Primary Entrances. A primary entrance or porch shall be located on the Primary Façade of the Primary Residential Structure providing pedestrian access from the public right-of-way.

2. Front Doors. Front doors located on a primary entrance or porch shall be oriented parallel to the right-of-way, or be turned up to 90-degrees perpendicular to the public right-of-way.

FIGURE 22.362.060-C: PERMITTED FRONT DOOR ORIENTATION (TYPICAL)



3. Secondary Entrances. A residential building may have a secondary entrance or porch facing the side yard or rear property lines, as long as all development standards and setbacks are satisfied.

4. Entrance Height. Entrances and porches shall have an exterior maximum height of 15 feet, as measured to the highest point or roof ridge on that comprises the porch roof, in order to frame a human-scaled front entrance.

5. Permitted Entrance Projections into Setbacks.

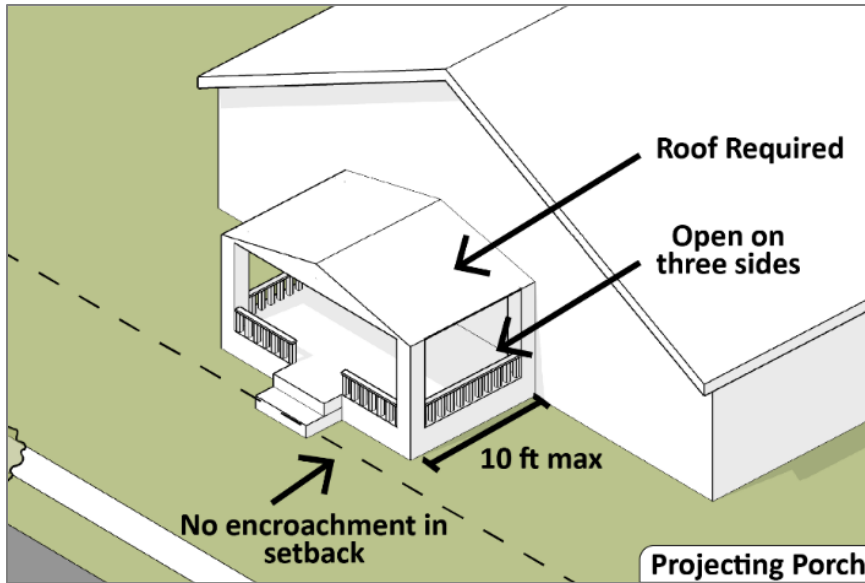
a. Stairs and ramps (including Stoops) may encroach up to three feet into a required setback area where no sidewalk is present, provided a minimum three-by-three (3'x3') foot at-grade landing can be provided at the base of the stairs or ramp.

b. If there is a sidewalk present, stairs and ramps may project up to the sidewalk provided they are necessary due to changes in grade between sidewalks and the first floor levels, but may not encroach upon the sidewalk.

E. Permitted Porch Types. The following provisions are provided for all projects providing a porch.

1. Projecting Porch
 - a. Projecting porches shall be open on at least three sides and have a roof;
 - b. A projecting porch shall not encroach into required setback areas; however, stairs or ramps are permitted to encroach in accordance with Section 22.362.060.D.5, above;
 - c. The depth of the porch shall be a minimum of five feet and a maximum of 10 feet;
 - d. The minimum open area on the porch shall provide a minimum size of 48 square feet;
 - e. The minimum width of a projecting porch shall be eight feet;
 - f. The maximum width of a projecting porch shall not exceed the width of the Primary Façade or half the width on other facades; and,
 - g. The minimum clear height of the interior porch ceiling shall be eight feet.

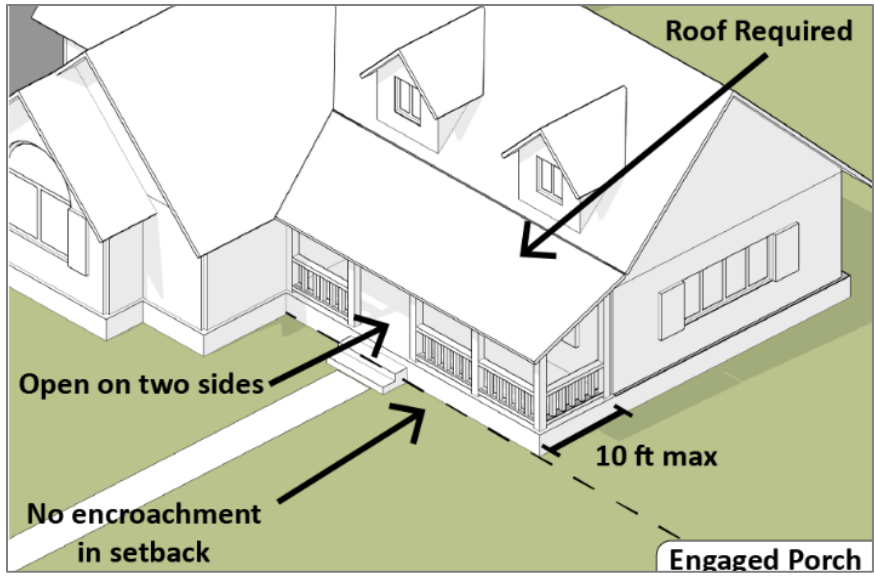
FIGURE 22.362.060-D: PROJECTING PORCH (TYPICAL)



2. Engaged Porch.

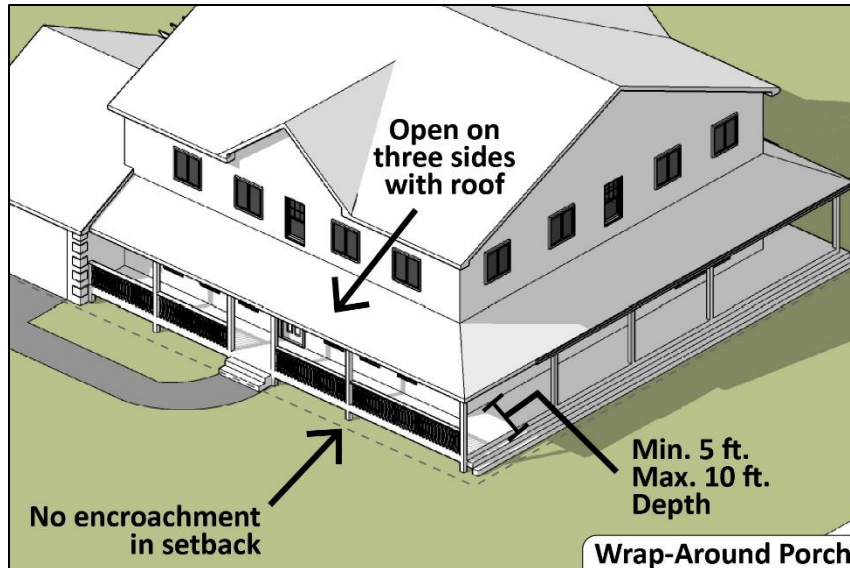
- a. Engaged porches shall be open on at least two sides and have a roof;
 - b. The depth of the porch shall be a minimum of five feet and a maximum of 10 feet;
 - c. The minimum open area on the porch shall provide a minimum size of 48 square feet;
 - d. The minimum width of an engaged porch shall be eight feet;
- and,
- e. The minimum clear height of the interior porch ceiling shall be eight feet.

FIGURE 22.362.060-E: ENGAGED PORCH (TYPICAL)



- 3. Wrap-Around Porch.
 - a. Wrap-around porches shall be open on three sides and have a roof;
 - b. Wrap-around porches shall not encroach into the required setback areas;
 - c. The depth of the porch shall be a minimum of five feet and a maximum of 10 feet; and,
 - d. The clear height of the interior porch ceiling shall be between eight and ten feet.

FIGURE 22.362.060-F: WRAP-AROUND PORCH (TYPICAL)



4. Forecourt.

a. A Forecourt shall be framed on at least two sides, including one framed by the Primary Residential Structure;

b. All Forecourts shall incorporate a minimum of one opening to allow for a pedestrian entrance;

c. The pedestrian entrance may include a door, not to exceed 42 inches in height in the front yard setback area, and up to six feet outside of the front yard setback area;

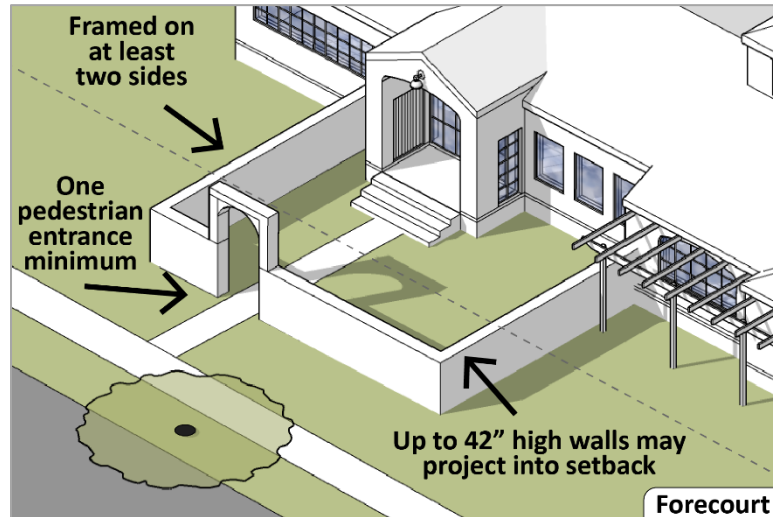
d. Forecourt walls up to 42 inches in height may project into the required front setback area;

e. Forecourt walls outside of the front setback area may be up to six feet in height;

f. Forecourt walls above 42 inches in height shall incorporate architectural breaks such as pillars, pilasters, wrought-iron openings in consistent intervals of eight to 15 feet along the façade of the wall; and,

g. All forecourt wall materials shall incorporate architectural material and colors existing in the Primary Residential Structure.

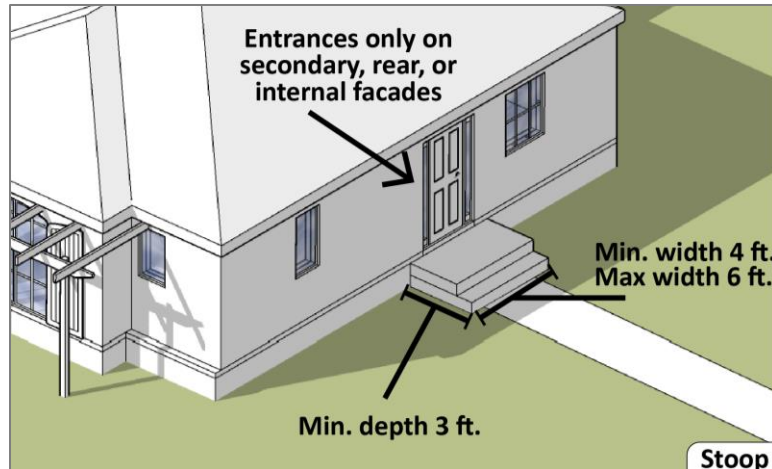
FIGURE 22.362.060-G: FORECOURT (TYPICAL)



5. Stoop.

- a. Stoop entrances shall be permitted on all facades;
- b. Stoops may encroach into a required yard setback area, but are required to have an at-grade or bottom landing that is at least three feet by three feet;
- c. The minimum width of a stoop shall be four feet; the maximum shall be six feet;
- d. The minimum depth of the stoop shall be three feet; and,
- e. The stoop's at-grade or bottom landing is permitted to overlap with an existing driveway.

FIGURE 22.362.060-H: STOOP (TYPICAL)



6. Breezeways and Porte-Cocheres.

a. Construction of new breezeways or porte-cocheres in the CSD is not permitted;

b. Existing breezeways and porte-cocheres on residential structures are allowed to remain and be maintained in their existing form; and,

c. Existing breezeways and porte-cocheres are not permitted to be expanded in floor area or exterior size or massing, but facade materials and finishes may be improved or updated with permitted materials.

7. Portico Porch.

a. Construction of new Portico Porches in the CSD is not permitted;

b. Existing Portico Porches on residential structures are allowed to remain and be maintained in their existing form; and,

c. Existing Portico Porches are not permitted to be expanded in floor area or exterior size or massing, but facade materials and finishes may be improved or updated with permitted materials.

F. Roofs. All new roofing shall comply with the following roofing standards. Refer to the Chapman Woods Architectural Guidelines for additional guidance on roof types, elements, and pitches.

1. Roof Pitch.

a. Roofs on Primary Residential Structures shall be pitched between 2:12 and 18:12;

b. Shed roofs, attached to the Primary Residential Structures, shall be pitched between 2:12 and 8:12;

c. Accessory Structure roofs may be pitched between 1:12 and 18:12, but shall not have steeper pitch than the Primary Residential Structure; and,

d. No portion of a roof or a low guarding wall or parapet shall have a minimum slope of less than two percent, to allow for water runoff.

2. Eaves and Overhangs. Roof eaves and overhangs, such as gabled or hipped roofs, are permitted to project into the required yard setbacks up to 36 inches from the edge of a façade, provided they are consistent with the required Distance Between Buildings in Chapter 22.110.050.

3. Additions, Expansions, Renovations, and Accessory Structures. Additions, Expansions, Renovations and Accessory Structures that result in new or

expanded roof areas or planes shall demonstrate consistency with the standards below through a roof plan and elevation plan.

- a. Roofs visible from a Primary or Secondary Façade shall match the roof style and pitch on the existing structure;
- b. Ridge heights shall be equal to, or less than the existing roof structure where the roof is proposed;
- c. Pitches shall be equal to, or less than the existing roof structure where the roof is proposed; and,
- d. Additions, expansions, renovations, and accessory structures not visible from a Primary or Secondary Façade may deviate from the existing roof style and propose a Hip roof, Gable roof, Shed roof, Flat roof, or Skillion-Lean-To roofs.

4. Roof-Mounted Equipment. Skylights, roof vents, and other roof-mounted features and equipment should be located on the rear or interior-facing portion of the roof to be obstructed from public view, whenever possible. This provision does not apply to solar equipment.

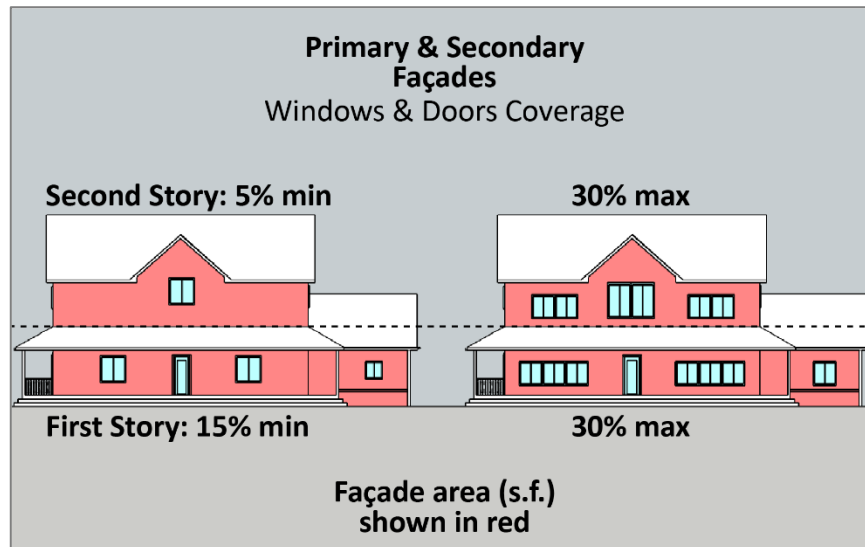
G. Windows and Doors

1. Proportion of Façade Coverage. Windows and doors located on Primary and Secondary Facades shall cover the façade area within the ranges listed below, as measured to outside edge of the window or door frame as shown in Figure 22.362.060-I: Windows and Doors Proportion.

Primary and Secondary Facades	Required Coverage
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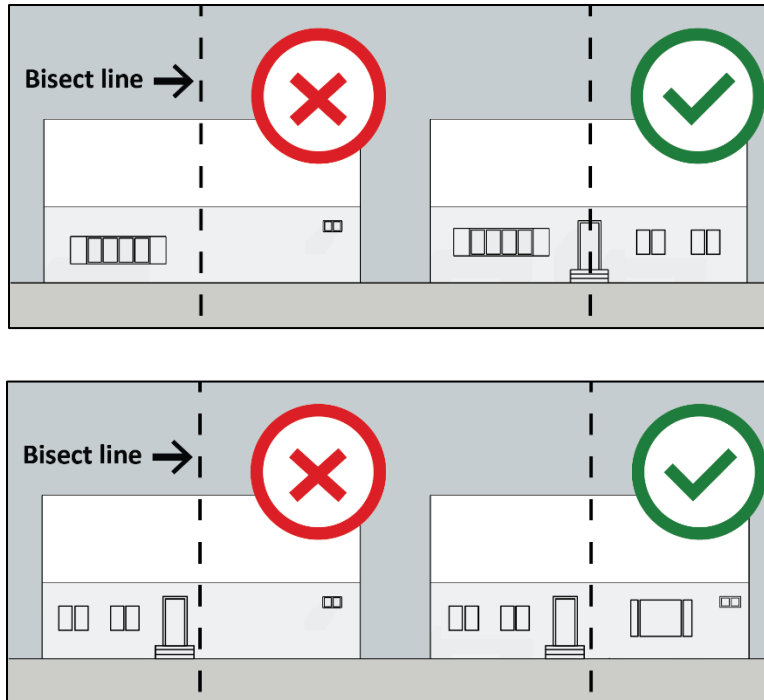
<i>First Story</i>	<i>15% to 30%</i>
<i>Second Story</i>	<i>5% to 30%</i>

FIGURE 22.362.060-I: WINDOWS AND DOORS PROPORTION



2. Fenestration. Windows and doors shall be proportionately located on Primary and Secondary Façades to provide a balanced rhythm and spacing along a given façade. Generally, if a façade is bisected, 50 percent of the window and door area should be on either side of the bisecting line.

FIGURE 22.362.060-J: FENESTRATION AND BALANCE (SAMPLE DIAGRAMS)



3. Permitted Window and Door Materials

a. All windows shall be comprised of non-glare/non-reflective glass or utilize methods to achieve non-reflectivity;

b. All doors located on a Primary Facade shall be stained or painted wood or faux-wood in appearance with decorative paneling, carving, or inset windows; and,

c. Frosted or translucent windows are permitted only for bathroom windows to increase privacy.

4. Prohibited window and door materials

a. Dark tinted and mirrored glass, except for stained-glass windows;

b. Glass block, except for stained-glass windows;

c. Plane and flat doors without decorative paneling, carving or inset glass shall not be located on a Primary Façade; and,

d. Industrial steel or metal doors.

5. Window Alignment and Privacy Study. When two properties have a shared property line, and there is less than 15 feet between residential structures, a site plan with a Window Alignment and Privacy Study, shown in Figure 22.362.060-K: Window Alignment and Privacy Study Diagram, shall be required to demonstrate privacy screening and buffering between the properties. The site plan shall identify and address all windows, balconies, terraces, or other openings that may reduce privacy for the adjacent property. Privacy screening strategies shall include any one or a combination of the following strategies:

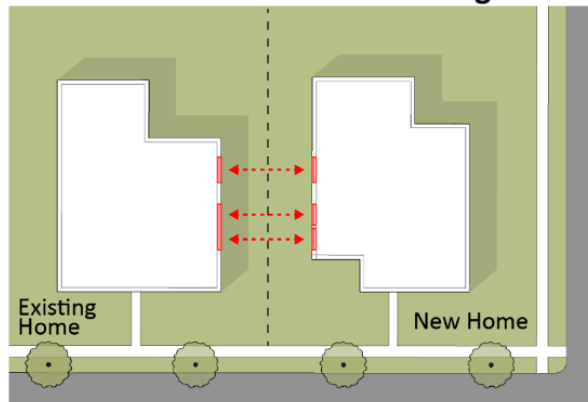
a. Distance: Locating proposed windows, balconies, terraces, and other forms that align with existing windows on an adjacent residential structure more than 15 feet from the existing windows on an adjacent residential structure;

b. Indirect Alignment: Locating proposed windows, balconies, terraces or other forms in indirect (or obscured) alignment with existing windows on an adjacent residential structure; and,

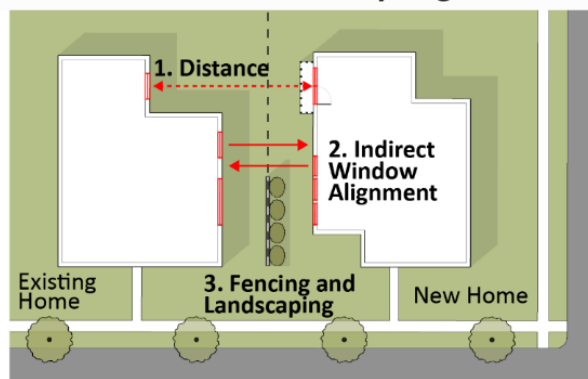
c. Fencing and Planted Areas: Utilizing fencing, walls, or planting areas and landscape features to create privacy screening between adjacent properties.

FIGURE 22.362.060-K: WINDOW ALIGNMENT AND PRIVACY STUDY DIAGRAM

AVOID: Windows with Direct Alignment



OK: Windows with Privacy Alignment



H. Fences and Walls. All fences and walls shall be consistent with Section 22.110.070 (Fences and Walls), with the exception of Subsections H.1 and H.2, below.

1. Quality Materials and Finishes. Fence and wall materials may include brick, wrought iron, picket wood, stucco or similar material.

2. Prohibited Fence and Wall Materials.

a. Chain-link fence located in the front yard setback area and the side setback area when abutting public right-of-way;

b. Exposed, unpainted, untreated board-formed concrete on building Concrete Masonry Units (CMUs) or “cinder block” located in a front yard setback, or located in a side yard setback when abutting a public right-of-way;

c. Fences and walls constructed of or topped with spikes, wire, barbs, razors, or any other similar material;

d. Fences or walls constructed of glass, including glass balconies;

e. Tubular metal railings;

f. Opaque driveways and pedestrian gates over 42 inches tall; and,

g. Fencing shall be designed with materials not harmful to wildlife. All hollow fence and sign posts, or posts with top holes, such as metal pipes or sign posts with open bolt holes, shall be capped and the bolt holes filled to prevent the entrapment of bird species.

I. Vegetation and Planted Areas. The requirements in this Subsection only apply to discretionary land use permits, subject to Type II (Chapter 22.228), Type III (Chapter 22.230), or Type IV (Chapter 22.232). Reviews that include ground disturbance of over 400 square feet:

1. In addition to the required application materials specified in Section 22.222.070 (Application Filing and Withdrawal), each application shall include:

a. A detailed project description outlining the reason for the proposed vegetation removal and the planned use of the property; and

b. A Landscape Plan, identifying all proposed vegetation, landscape features, and planting areas on the property including, and separately specifying, all oak trees protected by Chapter 22.174 (Oak Tree Permits). The Landscape Plan shall indicate the vegetation and planting areas to be removed as part of the project and how those removals shall be replaced with replanting, to the satisfaction of the Department.

2. In addition to the application filing fees listed in Chapter 22.250 (Applications, Petitions, and Fees), the applicant shall submit a fee for review by the County Biologist.

J. Outdoor Lighting on Private Property.

1. All outdoor light fixtures shall be Fully-Shielded Light Fixtures or frosted.

2. No glare shall be visible when viewed from adjoining lots and public rights-of-way.

3. All exterior lights on private property shall be directed downward to prevent spillover lighting into adjacent properties.

4. Lighting Height.

a. The maximum height for light fixtures attached to the exterior façade of a residential structure (e.g., wall sconces, downlights), shall be 24 feet;

b. The maximum height for a freestanding or pole-mounted light fixture or lamp post shall be nine (9) feet in all yards;

c. The maximum height for lighting of walkways used for entry and exit to permitted structures, including parking areas, is two feet; and,

d. Security Lighting attached to the Primary Residential Structure and other permitted structures shall be controlled by motion detectors and shall have a manufacturer's maximum output rating of no greater than 60 watts (600 lumens), or the equivalent.

5. Prohibited Lighting. Industrial lighting and electrical features with exposed conduit, and those with galvanized steel or unfinished metals.

K. Signs. In addition to the development standards in Chapter 22.114 (Signs), the following signs are prohibited in the C-2 and MXD zones of the CSD:

1. Outdoor advertising signs (Billboards);

2. Freestanding signs that exceed 30 feet in height, or extend into the public right-of-way, or are located within 100 feet of a residential zone, measured from the closest edge of the sign to residential zone property line; and,

3. Roof signs.

L. Optional Community Identified Architectural Styles. If an applicant elects to incorporate all of the objective standards of one of the following prominent existing architectural styles in Chapman Woods listed below, then the project may also apply the incentives listed in Tables 22.362.070-A and B:

1. Ranch

a. Required Elements.

i. Building Massing. The Primary Residential Structure shall be one-story in height. Incentives for this architectural style will be limited to

setbacks and increased Gross Floor Area. No incentives shall be granted to add additional height or a second story to the residence for this architectural style.

ii. Front Porch. The Primary Façade of the Primary Residential Structure must have an engaged or wrap-around porch.

iii. Roofing. Roofing shall be made of traditional or composite shingles or material made to look like shingles. Required roof pitch must be between 2:12 and 6:12.

b. Optional Elements. The Primary Residential Structure may have any of the following architectural elements:

i. A wide front door of at least 42 inches.

ii. Wood clapboard or ship-lap siding.

iii. Brick or river rock wrapping the corners of joining façades.

2. French Country

a. Required Elements.

i. Façade Materials and Colors. Facades shall be rough hand-troweled stucco, concrete, brick, stone, or materials made to look like one of these options and where painted, shall use light, neutral colors such as tans, grays, or cream.

ii. Front Porch. Porches and entrances shall be symmetrically-located. No porch is required for this architectural style. A recessed entry is permitted.

iii. Roofing. Roofs shall have a shingle or slate finish with a minimum pitch of at least 6:12. When included, chimneys shall extend above the roofline.

iv. Windows. Windows shall be symmetrically spaced on Primary and Secondary Facades.

b. Optional Elements. Incorporate at least one of the following architectural elements into the design of the Primary Residential Structure:

i. A prominent wood front door with iron hardware.

ii. A recessed primary entrance with an archway.

iii. Window shutters on the windows of the Primary Façade.

iv. A decorative cap or pot on the chimney.

3. Colonial

a. Required Elements.

i. Building Massing. When the building is two stories, the first and second story of the Primary Façade shall be flush with one another and shall not feature any architectural breaks.

ii. Façade Materials and Colors. Facades shall be made of one of the following materials, or materials made to look like one of them: natural red or brown brick or clapboard siding painted white, light yellow, light blue, or gray.

iii. Front Porch. The building entrance shall be centralized and framed by a dormer, pediment, or second story balcony.

iv. Roofing. Roofs shall be hipped or gabled, and may feature dormers on the second story.

b. Optional Elements. Incorporate at least two of the following architectural elements into the design of the Primary Residential Structure:

i. Columns along the Primary Façade.

ii. Second story dormers.

iii. A projecting porch.

iv. Dark colored window shutters on the windows of the Primary Façade.

4. Craftsman.

a. Required Elements.

i. Façade Materials. Exterior walls on all facades shall utilize lap or batt and board siding with at least 20 percent of the façade covered by stone or brick near the bottom half of the façade. Stucco may be used in place of the lap or batt and board siding, but it cannot exceed 20 percent of the façade area.

ii. Exterior Colors. The buildings shall be painted in dark, neutral, or earth-toned colors such as shades of taupe, beige, olive, or burgundy. Three or four paint colors may be applied to the exterior of the building for the purposes of cladding, trim, and window or door. Trim and accents may be painted in a lighter paint palette such as a light gray, blue, or green.

iii. Front Porch. The Primary Facade must have a covered projecting porch with the minimum dimensions of 10 feet in width and five feet

in depth. The porch shall include square columns that are either straight or tapered, with plinths measuring eight to 14 inches in width and depth.

iv. Roofing. Roofing shall be made of shingles or material made to look like shingles. Required roof pitch must be between 6:12 and 8:12. Roof eaves and overhangs shall project between 18 and 36 inches.

v. Windows. Apply decorative trim of five to six inches in width around the windows with emphasis on the top and bottom.

b. Optional Elements. Incorporate at least two of the following architectural elements into the design of the Primary Residential Structure:

i. Decorative lighting fixtures featuring an opalescent stained glass or mica covering.

ii. A wide front door of at least 42 inches.

iii. Second story dormers.

iv. A decorative beam under the gable of the primary façade.

v. Decorative garage doors with window panes.

vi. River rock wrapping along the base of the residence extending up to 36 inches above the plinth base.

5. Tudor Revival

a. Required Elements.

i. Building Massing. The building elevations for the Primary Façade shall depict an asymmetrical building including varying forms and heights such as towers, archways, and wings.

ii. Façade Materials and Colors. Façades shall be unpainted stone, red brick, tan stucco, or dark natural brown wood shingle siding with decorative, dark brown half-timbering.

iii. Doors. Wood-paneled or battened front doors with exposed iron hardware.

iv. Roofing. Roofing shall have a minimum pitch of 6:12 and chimneys shall extend above the roofline on the Primary or Secondary Façade.

v. Windows. Windows shall be divided by rectangular or diagonal muntin patterns.

b. Optional Elements. Incorporate at least three of the following architectural elements into the design of the Primary Residential Structure:

i. A decorative cap or pot on the chimney.

ii. Heavy wood garage doors.

iii. Decorative exterior accents, such as railings, made from exposed wrought iron, cast or hammered iron.

iv. Application of decorative accents using brick, such as clinker woven brick, or carved stone.

v. Flower boxes.

vi. Lantern-design lighting fixtures with hammered or cast iron hardware and dark painted metal finishes.

6. Spanish Revival

a. Required Elements.

i. Building Massing. The building elevations for the Primary Façade shall depict an asymmetrical building including varying forms and heights such as towers, archways, and wings.

ii. Façade Materials. Exterior building walls shall be white or tan in color and made of stucco with smooth or lightly textured finishes (i.e., hand troweled or smaller particles).

iii. Roofing. Roofs shall have a low pitch of between 2:12 and 6:12 and shall be made of red clay tiles or materials made to look like them, with either the Spanish S-shape or Barrel Type Mission design.

iv. Windows. Windows shall have wide trim (i.e., surrounds).

b. Optional Elements. Incorporate at least one of the following architectural elements:

i. A forecourt or courtyard.

ii. Recessed cutouts (niches) paired with arched openings and iron grilles.

iii. Mosaic tiles and ceramic accents to highlight edges (e.g., stairs), or architectural features (e.g., arches).

iv. Canvas awnings with spearhead poles or ornate metal awning may be used for shade and accents.

v. Clay tile vents.

vi. Wrought iron shall be used for accents on window grilles, balconies, railings, door hardware, and light fixtures.

7. Minimal Traditional

a. Required Elements.

i. Building Massing. The Primary Residential Structure shall be one-story in height. Incentives for this architectural style will be limited to setbacks and increased Gross Floor Area. No incentives shall be granted to add additional height or a second story to the residence for this architectural style.

ii. Façade Materials. Facades shall have stucco or clapboard siding painted with lighter neutral colors with contrasting colors applied to trim, shutters, and doors. Brick may also be used as a building façade material.

iii. Front Porch. Primary entrances shall be flush with the Primary Façade and shall be integrated with a small projecting or engaged porch.

iv. Roofing. Roofing shall be made of traditional or composite shingles or material made to look like shingles. Required roof pitch must be between 2:12 and 6:12.

b. Optional Elements. The Primary Residential Structure may have any of the following architectural elements:

i. Windows. Primary facades may have a large picture or bay window facing the street.

ii. Contrasting colors may be applied to trim, shutters, and doors.

22.362.070

Zone-Specific Development Standards.

A. Zones R-1, R-2, R-A, A-1 (Single-Family Residential).

TABLE 22.362.070-A: ZONE R-1, R-2, R-A, A-1 DEVELOPMENT STANDARDS

Development Standard	Lot Size (sf): Less than 13,000	Lot Size (sf): 13,000—19,999	Lot Size (sf): 20,000—39,999	Lot size (sf): 40,000+
LOT & BUILDING CONFIGURATION				
Lot Width (minimum)* <i>*Measured along curb at Primary Street Frontage</i>	50 feet	60 feet	80 feet	100 feet
Gross Floor Area (base)	40% of lot area, not to exceed 3,500 sf	35% of lot area, not to exceed, 5,000 sf	25% of lot area, not to exceed 6,500 sf	20% of lot area, not to exceed 8,000 sf
Gross Floor Area (maximum)* <i>*Incentive for Community Identified Architectural Style (see Section 22.362.060.L)</i>	4,500 sf	6,000 sf	7,500 sf	9,000 sf
HEIGHT* <i>*Measured from "Maximum Grade" – The average grade of adjoining lots on either side of a given property. Maximum grade may be determined by the Director or Director of Public Works where it is impractical due to topographic conditions.</i>				
Maximum Stories	The maximum number of stories above grade shall be two, as defined in Division 2, Chapter 22.14 (Definitions).			
Base Maximum Height – Principal Building	25 feet	25 feet	30 feet	30 feet
Maximum Height – Principal Building (for Community Identified Architectural Styles listed in Section 22.362.060.L)	30 feet	30 feet	35 feet	35 feet
Maximum Height –	20 feet	20 feet	25 feet	25 feet

Development Standard	Lot Size (sf): Less than 13,000	Lot Size (sf): 13,000—19,999	Lot Size (sf): 20,000—39,999	Lot size (sf): 40,000+
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Accessory Structures				
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Second Story Stepbacks on Side and Rear Yard	<p>Any portion of a Primary or Accessory structure above 14 feet in height shall be set back an additional 4 feet minimum from the Side Yard Setback lines.</p> <p>Balconies and rooftop decks are eligible to extend into the 4-foot Second Story Stepback area as long as there is compliance with the Window Alignment and Privacy Study requirements in Section 22.362.060.G.5.</p> <p align="center">FIGURE 22.362.070-A: SECOND STORY STEPBACK BY HEIGHT</p> <p align="center">Stepback Standards by Height</p>			
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Distance Between Buildings on Same Lot	See Chapter 22.110.050 - Distance Between Buildings.			
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SETBACKS & YARD AREAS – PRIMARY RESIDENTIAL STRUCTURE

Front Yard Setback (Minimum / Maximum)	30 feet / 35 feet	35 / 50 feet	40 / 60 feet	45 / 100 feet
Interior Side Yard Setback	10% of the Average Lot Width, but no less than 5 feet.		10% of the Average Lot Width, but no less than 10 feet.	
Corner and Reverse Corner Side Yard Setback	<p align="center">10 feet when the average lot width is less than or equal to 100 feet</p> <p align="center">15 feet when the average lot width is more than 100 feet</p>			
Rear Yard Setback	25 feet	30 feet	35 feet	40 feet

LANDSCAPE AND PLANTED AREAS

Development Standard	Lot Size (sf): Less than 13,000	Lot Size (sf): 13,000—19,999	Lot Size (sf): 20,000—39,999	Lot size (sf): 40,000+
Front Yard Setback Landscape and Planted Area	A minimum of 50% of the required front yard setback area shall be landscaped with trees, plant material, natural groundcover, or drought-tolerant xeriscaping.			
Tree Planting	When the requirements of Chapter 22.126 (Tree Planting Requirements) are applicable to a project, a third tree meeting the standards in that Chapter shall be required.			
SETBACKS – ACCESSORY STRUCTURES				
Front Yard Setback	20 feet min. in addition to the principal residential building setback.			
Side and Rear Yard Setbacks	5 feet, except for corner and reverse corner side yards where the setback is 10 feet.			
PERMITTED PROJECTIONS INTO SETBACK AREAS				
Permitted Projections Into Setback Areas	<p>Notwithstanding Section 22.110.090, the only projections permitted include:</p> <ul style="list-style-type: none"> • Trellises are permitted to extend over the 2nd Floor Stepback area, but shall not extend into the side or rear setback on ground level. • Bay windows on the first floor are permitted to encroach up to 2 feet into required yards, provided that they are not wider than 8 feet wide along the general direction of the wall of which it is a part; • Fireplace structures are permitted to encroach up to 2 feet into required yards, provided that they are not wider than 8 feet wide along the general direction of the wall of which it is a part; • Stoops may encroach into a required yard setback area, but are required to have an at-grade or bottom landing that is at least 3-feet by 3-feet in area; • Planting boxes or masonry planters not exceeding 42 inches in height and 12 inches in depth. 			
PARKING AND ACCESS				
Parking	Number of Bedrooms	Required Enclosed Parking Spaces		
	1 to 4	2		
	5 to 6	3		
	7 or more	4		
Maximum Permitted Number of Driveway Curb Cuts per Lot	1 Driveway Curb Cut for lots (except corner lots) with less than 100 feet of lot frontage; and,			

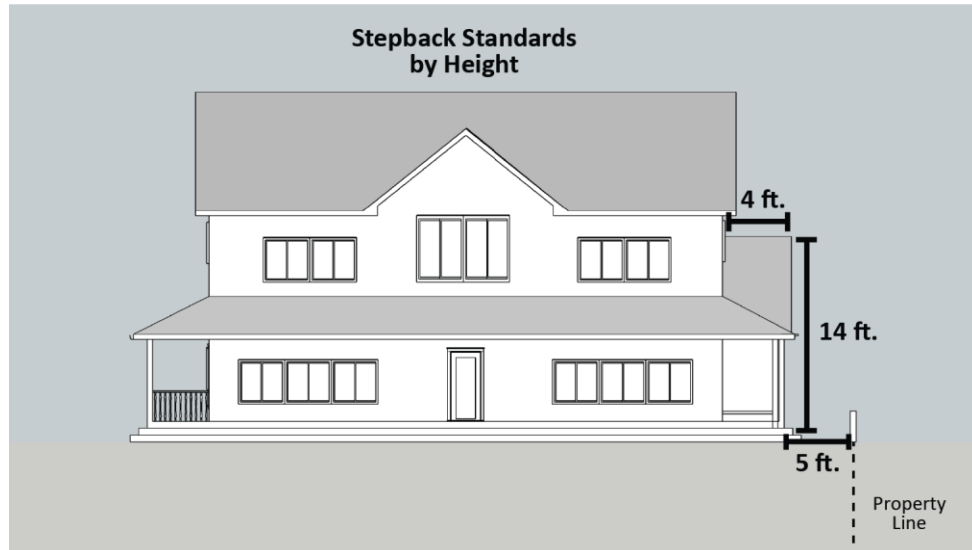
Development Standard	Lot Size (sf): Less than 13,000	Lot Size (sf): 13,000—19,999	Lot Size (sf): 20,000—39,999	Lot size (sf): 40,000+
	<p>2 Driveway Curb Cuts for corner lots and for lots with 100 feet or more of street frontage.</p> <p>For all properties, at least one driveway must lead to a garage.</p>			
Distance Between Driveways on Abutting Lots	<p>Driveways located on separate lots must have a minimum of 5 feet between the driveways, as measured to outside edge of the driveway apron.</p>			
Driveways Widths	<p>Minimum 10 feet Maximum 20 feet Circular driveways may range in width from 12 to 20 feet wide</p>			
Garage Door Locations	<p>The face of a garage door shall be located a minimum of 3 feet behind the Primary Façade of a residential building.</p> <p>Parking shall not be located below grade.</p>			
Maximum Garage Door Widths	<p>16 feet – for lots with less than 60 feet of street frontage.</p> <p>24 feet – for lots with 60 feet or more of street frontage.</p>			

B. Zone R-3

TABLE 22.362.070-B: ZONE R-3 DEVELOPMENT STANDARDS

LOT & BUILDING CONFIGURATION	
Maximum Floor Area*	The maximum floor area shall be 100% of the net lot area. Floor area shall include all enclosed buildings except cellars or garages.
*Incentive Floor Area Maximum <i>*Incentive for Community Identified Architectural Style (see Section 22.362.060.L)</i>	If a multifamily residential building is designed in accordance with one of the prominent Optional Community Identified Architectural Styles listed in Section 22.362.060.L, the Maximum Floor Area may be increased by 1,200 sf per lot.
Maximum Lot Coverage	The maximum lot coverage shall be 75% of the net lot area. Lot coverage shall include all enclosed buildings.
Residential Density	Maximum Residential Density shall be subject to California State Law, General Plan, and Chapter 22.18 (Residential Zones) of the Los Angeles County Code.
SETBACKS & YARD AREAS	
Front Yard Depth	15 feet (min.) / 20 feet (max.)
Front Yard Planting Area	A minimum of 20% of the required front yard shall contain pervious or softscape landscaping.
Minimum Side Yard Width	5 feet
Minimum Reverse Corner Side Yard Width	10 feet
Minimum Rear Yard Depth	15 feet
2 nd Story Stepbacks on Side and Rear Yard	Any portion of a Primary or Accessory structure above 14 feet in height shall be set back an additional 4 feet minimum from the Side Yard Setback lines. Balconies and rooftop decks are eligible to extend into the 4-foot second setback area as long as there is compliance with the Window Alignment and Privacy Study requirements in Section 22.362.060.G.5.

FIGURE 22.362.070-B: SECOND STEPBACK BY HEIGHT



HEIGHT*

**Measured from "Maximum Grade" – The average grade of adjoining lots on either side of a given property. Maximum grade may be determined by the Director or Director of Public Works where it is impractical due to topographic conditions.*

Maximum Height

35 feet

The maximum height applies to all structures except chimneys and rooftop antennas.

PERMITTED PROJECTIONS INTO SETBACK AREAS

Permitted Projections Into Setback Areas

- Trellises are permitted to extend over the 2nd Floor Stepback area, but shall not extend into the side or rear setback on ground level.
- Bay windows on the first floor are permitted to encroach up to 2 feet into required yards, provided that they are not wider than 8 feet wide along the general direction of the wall of which it is a part;
- Fireplace structures are permitted to encroach up to 2 feet into required yards, provided that they are not wider than 8 feet wide along the general direction of the wall of which it is a part;
- Stoops may encroach into a required yard setback area, but are required to have an at-grade or bottom landing that is at least 3-feet by 3-feet in area;
- Planting boxes or masonry planters not exceeding 42 inches in height and 12 inches in depth.

PARKING AND ACCESS

Parking

As required by Chapter 22.112 (Parking).

C. Zone C-2 and MXD.

1. Maximum Height. The maximum height of all structures, except chimneys and rooftop antennas, shall be 35 feet.

2. Maximum Floor Area. The maximum floor area shall be 100 percent of the net lot area. Floor area shall include all enclosed buildings.

3. Maximum Lot Coverage. The maximum lot coverage shall be 75 percent of the net lot area. Lot coverage shall include all enclosed buildings.

4. Setback. For structures that exceed 17 feet in height and are located on a lot adjacent to a Residential Zone, the maximum height of the structure at five feet from the property line adjacent to the Residential Zone shall be 10 feet and any portion of the structure that exceeds 10 feet in height shall be set back an additional foot for every additional foot in height.

5. Lighting. Exterior lighting shall be of top-shielded or hooded design intended to direct light away from adjacent lots and prevent off-site illumination. Street lighting shall be consistent with the neighborhood pattern except where Public Works determines that a different street lighting configuration is required for the protection of public health and safety.

22.318.080 Area-Specific Development Standards.

(Reserved).

22.362.090 Modification of Development Standards.

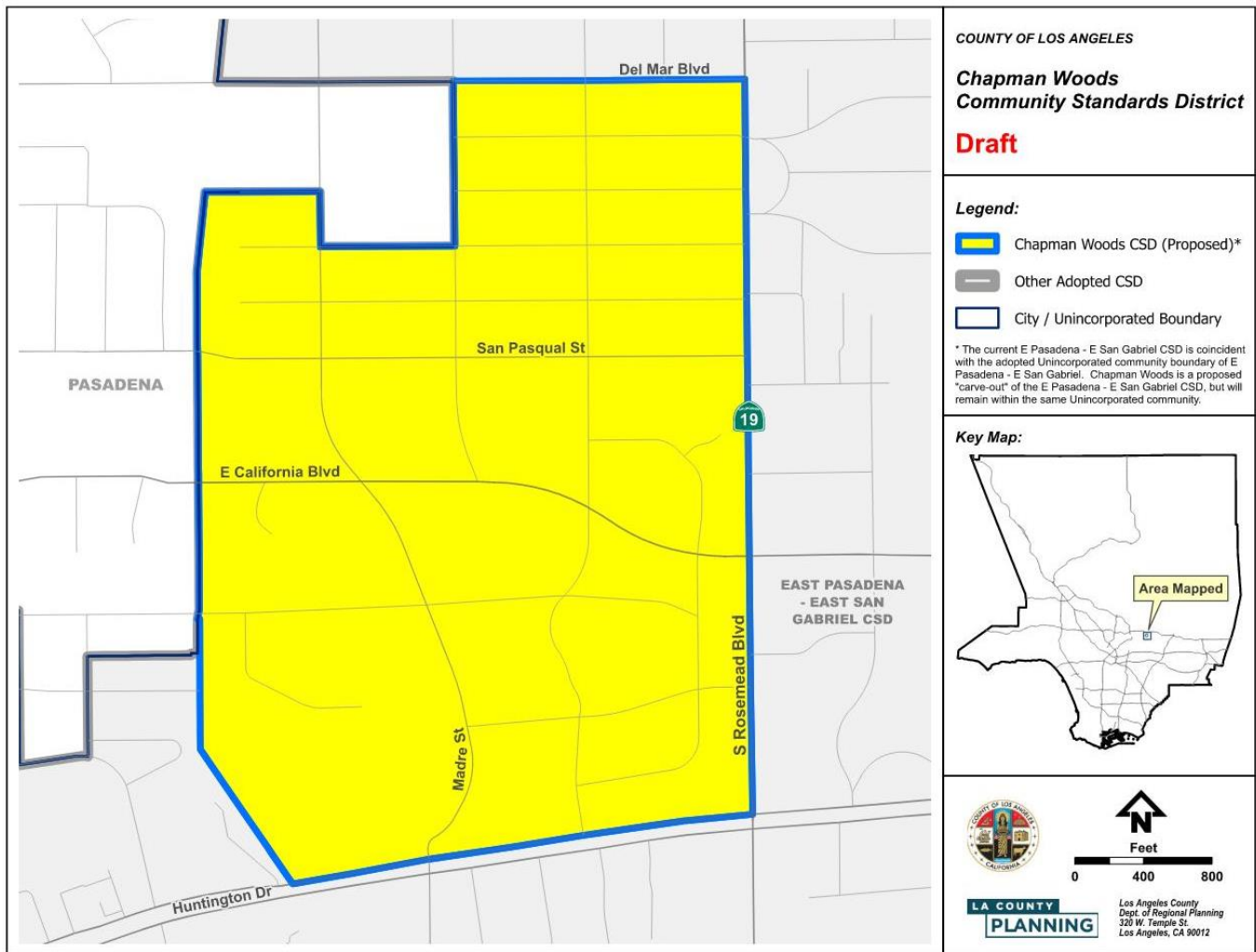
A. Modifications to any standards in this Chapter are subject to a Minor Conditional Use Permit (Chapter 22.160) application, and shall be subject to the additional findings below:

1. The application of these standards would result in practical difficulties or unnecessary hardships inconsistent with the purpose of this CSD;

or,

2. There are exceptional circumstances or conditions that are uniquely applicable to the subject property or to the intended development of the subject property that do not apply to other properties within the area governed by this CSD.

FIGURE 22.362-A: CHAPMAN WOODS CSD BOUNDARY



PROPOSED ENVIRONMENTAL DETERMINATION

DETERMINATION DATE: September 21, 2022
PROJECT NUMBER: PRJ2021-003368
PERMIT NUMBER(S): ADVANCE PLANNING CASE NO. RPPL2021009333
SUPERVISORIAL DISTRICT: 5
PROJECT LOCATION: The community of Chapman Woods in East Pasadena
CASE PLANNER: Kristina Kulczycki, Principal Regional Planner
kkulczycki@planning.lacounty.gov

The County of Los Angeles ("County") completed an initial review for the above-mentioned project. Based on examination of the project proposal and the supporting information included in the application, the County proposes that an Exemption is the appropriate environmental documentation under the California Environmental Quality Act ("CEQA"). The project qualifies as Class 1, 3, and 4 Categorical Exemption under State CEQA Guidelines Sections 15301, 15303, and 15304 as classes of projects which do not have a significant effect on the environment because the project will update the residential design standards for an area currently covered by the adopted East Pasadena - East San Gabriel Community Standards District ("CSD"). This project will create a new CSD for the community of Chapman Woods and will revise the residential development standards to ensure that new development will be consistent with the existing community character of the neighborhood. None of the standards will introduce new land uses within the existing zones. All development standards are consistent with the baseline condition of the area. See attachments for a more detailed analysis of the project and applicable exemptions.

Attached: Notice of Exemption and Attachment

Notice of Exemption

To:

Office of Planning and Research
P.O. Box 3044
Sacramento, CA 95812-3044

County Clerk
County of: Los Angeles, Business Filings
12400 E. Imperial Hwy., #1201
Norwalk, CA 90650

From:

Public Agency: LA County Planning
320 W. Temple Street, 13th Floor
Los Angeles, CA 90012

Project Title: _____

Project Applicant: _____

Project Location - Specific: _____

Project Location - City: _____ Project Location - County: _____

Description of Nature, Purpose and Beneficiaries of Project: _____

Name of Public Agency Approving Project: Los Angeles County

Name of Person or Agency Carrying Out Project: _____

Exempt Status: **(check one):**

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- Categorical Exemption. State type and section number: _____
- Statutory Exemption. State code number: _____
- Exemptions for Agricultural Housing, Affordable Housing, and Residential Infill Projects. State type and section number: _____

Reasons why project is exempt: _____

Lead Agency
Contact Person: _____ Area Code/Telephone/Extension: _____

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project? Yes No

Signature: _____ Date: _____ Title: _____

Signed by Lead Agency

Signed by Applicant

Date Received for filing at OPR: _____

ATTACHMENT TO NOTICE OF EXEMPTION
COUNTY OF LOS ANGELES
CHAPMAN WOODS COMMUNITY STANDARDS DISTRICT

1. Project Description

LA County Planning is undertaking the process of revising the existing East Pasadena – East San Gabriel Community Standards District (“CSD”) to create a separate district for the community of Chapman Woods. In response to a motion by the Board of Supervisors, LA County Planning is creating the Chapman Woods CSD with the intention of preserving the existing residential neighborhood character through development standards for building height, size, massing, and location as they relate to the lot size. Standards will incentivize the incorporation of community identified architectural styles found within the neighborhood through increase of building floor area and height and decrease of setbacks if a set of objective building design standards are incorporated into new development projects. As all standards relate to refining the residential building design of a project, none of the standards introduce new primary uses in the zone or deviate from the existing baseline conditions of the area. These regulations are not intended to create a change in land use or density for any of the properties located within the CSD boundaries. Additionally, no construction activities or specific developments are proposed as part of this project.

2. Description of Project Site

Chapman Woods is an established residential community located west of the City of Arcadia and east of the City of San Marino generally bounded by Del Mar Boulevard to the north, a utility right-of-way to the west, Huntington Drive to the south, and Rosemead Boulevard to the east. There are approximately 518 parcels within the neighborhood, and they are predominately developed with single-family homes. There is a wide range of architectural styles found within the community including Ranch, French Country, Colonial, Craftsman, Tudor Revival, Spanish Revival, and Minimal Traditional.

3. Reasons Why This Project is Exempt

The project qualifies for Class 1, Existing Facilities; Class 3 New Construction or Conversion of Small Structures; and Class 4, Minor Alterations to Land under the California Environmental Quality Act (“CEQA”) Guidelines Sections 15301, 15302, 15303, and 15304 as classes of projects which do not have a significant effect on the environment.

Class 1: Section 15301, Existing Facilities

Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use...Examples include, but are not limited to:

a) Interior or exterior alterations involving such things as interior partitions, plumbing, and electrical conveyances;

(e) Additions to existing structures provided that the addition will not result in an increase of more than:

(1) 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less;

(2) 10,000 square feet if:

(A) The project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and

(B) The area in which the project is located is not environmentally sensitive

(h) Maintenance of existing landscaping, native growth, and water supply reservoirs...

(l) Demolition and removal of individual small structures listed in this subdivision:

(1) One single-family residence. In urbanized areas, up to three single-family residences may be demolished under this exemption.

(4) Accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences.

The community of Chapman Woods is an existing single-family residential. Future construction projects in the community will mainly consist of remodels or complete demolition and rebuild of residences. The standards proposed in the CSD will dictate the size and placement of residential development including accessory structures. Therefore, this project will qualify for the Class 1 exemption. Furthermore, no construction activities or direct alteration of land is proposed as part of this project.

Class 3: Section 15303, New Construction or Conversion of Small Structures

Class 3 consists of construction and location of limited numbers of new, small facilities and structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure...Examples of this exemption include, but are not limited to:

(a) One single-family residence, or a second dwelling unit in a residential zone. In urbanized areas, up to three single-family residences may be constructed or converted under this exemption.

(b) A duplex or similar multi-family residential structure, totaling no more than four dwelling units. In urbanized areas, this exemption applies to apartments, duplexes and similar structures designed for not more than six dwelling units.

(e) Accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences.

This project qualifies for the Class 3 exemption because the project is intended to apply new development standards to residential projects, as listed above. The Chapman Woods CSD will include residential building size, height, and locational standards for remodels and new construction. The standards will also apply to residential accessory structures and uses. They are intended to guide future development within the community and ensure that it is consistent with the existing residential neighborhood character.

Class 4: Section 15304, Minor Alterations to Land

Class 4 consists of minor public or private alterations in the condition of land, water, and/or vegetation which do not involve removal of healthy, mature, scenic trees except for forestry or agricultural purposes. Examples include, but are not limited to:

(b) New gardening or landscaping, including the replacement of existing conventional landscaping with water efficient or fire resistance landscaping.

The current baseline condition of the community includes existing residential design standards and minimum landscaping requirements. The new Chapman Woods CSD will preserve the requirement for at least 50 percent of the front yard to be landscaped and will add additional tree planting/preservation requirements as well. Therefore, the proposed standards qualify for the Class 4 exemption.

4. Review of Possible Exceptions to the Categorical Exemptions

Section 15300.2 of the CEQA Guidelines identifies circumstances when a categorical exemption cannot be used. This project has been reviewed to determine if any of the conditions listed in this section might invalidate findings that the project is exempt under CEQA. None of these exceptions to the categorical exemptions are applicable:

(a) Location: This project qualifies for Categorical Exemptions Classes 3 and 4 which each require analysis by location in order ensure that a project is not located in a particularly sensitive environment where its impacts would ordinarily be insignificant, but circumstantially would be significant. The Chapman Woods community is not located within a Significant Ecological Area¹ and all future development projects proposed within the area of the Chapman Woods Community Standards District will continue to be

¹ LA County Planning, "Significant Ecological Areas and Coastal Resource Areas Policy Map." In: LA County General Plan 2035.

reviewed by LA County departments such as Fire, Public Health, Public Works, and Parks and Recreation to ensure compliance with LA County Code requirements. No construction activities are proposed as part of this project.

- (b) Cumulative Impact:** The project will not have any adverse impact on the environment either individually or cumulatively since this project is limited to an update to existing residential development standards. The baseline condition of the area is a developed, single-family neighborhood. The proposed standards will not create new land uses, rezone any of the properties, or increase the density. Therefore, no significant impacts are anticipated as a result of the standards proposed as part of this project.
- (c) Significant Effect:** No unusual circumstances will cause this project to have a significant effect on the environment because the development standards will be limited to refining the size and massing of buildings for land uses that are currently permitted in the zone. This community is developed with single-family residences and none of the standards will impact the existing land uses. The standards are guide future development for continuity and compatibility with the existing character of the neighborhood.
- (d) Scenic Highways:** There are no scenic highways in Chapman Woods.²
- (e) Hazardous Waste Sites:** The project is not located on a site included on any list compiled pursuant to Section 65962.5 of the Government Code. There is one voluntary cleanup site located north of the project area at 175 S. Kinneloa Avenue, Pasadena³ and one cleanup program site east of the project area located at 3703 Huntington Drive, Pasadena.⁴ However, neither of these sites are within the project area. Cleanup efforts and/or land use restrictions are only applicable to the subject properties and will not impact development within the project area of Chapman Woods.
- (f) Historical Resources:** No officially designated or mapped historic resources are located within the project area. Furthermore, any future construction projects that may be of historic significance will be evaluated when a development application is submitted and none of the standards would prevent the preservation of a historic resource.⁵

² Caltrans list of Officially Designated County Scenic Highways (from Caltrans website: <https://dot.ca.gov/programs/design/lap-landscape-architecture-and-community-livability/lap-liv-i-scenic-highways>, accessed July 21, 2022).

³ EnviroStor Database <https://www.envirostor.dtsc.ca.gov/public/>, accessed July 21, 2022.

⁴ GeoTracker Database <https://geotracker.waterboards.ca.gov/>, accessed July 21, 2022.

⁵ Los Angeles County Historical Landmark Database: <http://hlrc.lacounty.gov/HLRC/pdf/Registry%202020.pdf?ver=2020-06-24-172750-153>; California Historical Landmarks Database: http://ohp.parks.ca.gov/?page_id=21427; and the National Register of Historic Places: <https://www.nps.gov/subjects/nationalregister/database-research.htm>, all accessed July 21, 2022).

**SUMMARY OF PROCEEDINGS
REGIONAL PLANNING COMMISSION
CHAPMAN WOODS COMMUNITY STANDARDS DISTRICT ORDINANCE
PROJECT NO. PRJ2021-003368-(5)
ADVANCE PLANNING CASE NO. RPPL2021009333**

On November 9, 2022, the Regional Planning Commission (RPC) conducted a duly-noticed public hearing to consider the establishment of the Chapman Woods Community Standards District (Ordinance), which is an amendment to Title 22 that applies development standards specific to the community of Chapman Woods in order to preserve its existing residential neighborhood character. During the public hearing, staff provided an overview of the Ordinance. The Commission discussed the importance of noting in the Ordinance that state law supersedes the limits set forth in the Ordinance.

One member of the public spoke with overall support for the Ordinance, but also remarked that existing homes are potentially vulnerable to being torn down and replaced with larger structures, especially on smaller lots. They expressed concern that on smaller lots, the allowance of additional gross floor area along with accessory dwelling units may decrease the open space and amplify the density. They also mentioned a concern that the diagrams related to door and window placement may be misconstrued by developers to require their placement to precisely mirror the examples contained in the CSD. The consultant for LA County Planning responded with a reminder that this is not a plan for historic preservation and that the Ordinance must have objective standards; and that the Ordinance cannot override state laws, but that the Implementation Guide and standards developed in the Ordinance will be a guide for developers. The consultant also clarified that exempt projects are not mandated to comply with the Ordinance. The consultant clarified for the Commission that five of the six community meetings were virtual, and one was hosted at the Eaton Blanche Park, adjacent to the community.

The RPC closed the public hearing and voted unanimously to recommend approval of the Ordinance to the Board of Supervisors.

VOTE:

Concurring: Commissioners Louie, Moon, O'Connor, Hastings, and Duarte-White

Dissenting: None

Abstaining: None

Absent: None

Action Date: November 9, 2022

**RESOLUTION
COUNTY OF LOS ANGELES
REGIONAL PLANNING COMMISSION
CHAPMAN WOODS COMMUNITY STANDARDS DISTRICT
PROJECT NO. PRJ2021-003368-(5)
ADVANCE PLANNING CASE NO. RPPL2021009333**

WHEREAS, the Regional Planning Commission (hereinafter, the “Commission”) of the County of Los Angeles (“County”) has conducted a duly noticed public hearing on November 9, 2022 to consider an ordinance, (hereinafter, the “Chapman Woods Community Standards District Ordinance” or the “Ordinance”) that amends Title 22 (Planning and Zoning) of the Los Angeles County Code (hereinafter, the “County Code”) to revise the boundary of the East Pasadena – East San Gabriel Community Standards District (“CSD”), and create the Chapman Woods CSD with associated development standards; and

WHEREAS, the Commission finds as follows:

1. The East Pasadena – East San Gabriel CSD, adopted in 2002, combined the Chapman Woods CSD and Northeast San Gabriel CSD. The purpose of the CSD is to preserve the existing community character and restricting “mansionization” in the area.
2. On June 8, 2021, the County Board of Supervisors (“Board”) made a motion to amend the East Pasadena – East San Gabriel CSD, and potentially create a separate CSD for the Chapman Woods community, to address the issue of out-of-character new construction within the neighborhood.
3. The proposed Ordinance will address the issues raised by the community through floor area restrictions, building setbacks, landscaping requirements, building height standards, and the identification of existing architectural styles present in the community.
4. Chapman Woods is an established residential community located west of the City of Arcadia and east of the City of San Marino. It is generally bounded by Del Mar Boulevard to the north, a utility right-of-way to the west, Huntington Drive to the south, and Rosemead Boulevard to the east. It predominately comprises single-family homes with a wide range of architectural styles including Ranch, French Country, Colonial, Craftsman, Tudor Revival, Spanish Revival, and Minimal Traditional.
5. The Ordinance contains standards to address the unique character of the area. Proposed development standards are related to residential development including building size, massing, and architectural design. None

of the standards will increase the density or allow new land uses in the existing designated zones. The standards are only intended to guide future development for continuity and compatibility with the existing residential character of the neighborhood. Therefore, with the addition of the proposed standards, the amendment will create consistency with the surrounding area.

6. The proposed Ordinance is consistent with and supportive of the goals and policies of the General Plan to retain compatible design. Standards allow for and encourage sustainable design and energy conservation. When a discretionary review is required, additional review of landscaping and vegetation plans will be required. With objective design standards in the proposed Ordinance, applications can continue to be reviewed ministerially and therefore, continue to align with policies to promote streamlined review processes.
7. The CSD update is intended to address the requests from the community and authorize, or clarify, development standards that are consistent with the existing neighborhood design. Therefore, approval of the amendment will be in the interest of public health, safety, and general welfare and in conformity with good zoning practice.
8. The proposed Ordinance will not increase the density or expand the list of permitted land uses within the zones. Proposed standards will adjust the height, setback, floor area ratio, and massing that were previously adopted with the East Pasadena – East San Gabriel CSD to be more tailored to the specific lot sizes of Chapman Woods. Additional objective standards will incentivize development to be consistent with existing architectural styles found in the community. Therefore, the amendment is consistent with other applicable provisions of this Title 22.
9. Department of Regional Planning staff conducted outreach for the proposed Ordinance with stakeholders, community members, and an advisory committee. In addition to attending local community meetings to provide updates, the Department hosted two community workshops in October 2022 and created surveys to gather additional feedback on topics to be included in the proposed Ordinance. After releasing the public draft of the CSD, another online community meeting was held on October 6, 2022 to receive feedback.
10. The proposed Ordinance qualifies for a Categorical Exemption (Sections 15301, 15303, and 15304, Classes 1, 3, and 4) under the California Environmental Quality Act (“CEQA”) and the County environmental guidelines.
11. Pursuant to Section 22.222.180 of Title 22, the public hearing was published in the San Gabriel Valley Tribune on September 19, 2022. Notices were sent

to all property owners within the Chapman Woods community and those on the Department courtesy notification list. Additionally, the hearing notice and materials were posted on the Department's website and promoted through social media.

12. On November 9, 2022, the Commission conducted a duly-noticed public hearing to consider the establishment of the Chapman Woods CSD. One member of the public spoke with overall support of the proposed Ordinance, but also had concerns over its impact on smaller lots, such as the replacement of existing residences, and how developers will interpret the application of windows and doors on the facades based on the diagrams provided in the proposed Ordinance. The Commission discussed the importance of noting in the proposed Ordinance that state housing laws may supersede local regulations.

THEREFORE, BE IT RESOLVED THAT the Regional Planning Commission recommends to the Board of Supervisors of the County of Los Angeles as follows:

1. That the Board hold a public hearing to consider adopting the Ordinance that amends Title 22 of the Los Angeles County Code to create the Chapman Woods CSD and associated standards and revise the boundaries of the East Pasadena – East San Gabriel Valley CSD; and
2. That the Board adopt the Ordinance and determine that the standards proposed in the Ordinance are consistent with the community character and surrounding area, compatible with and supportive of the goals and policies of the Los Angeles County General Plan in the interest of public health, safety, and general welfare and in conformity with good zoning practice, and consistent with other applicable provisions of this Title 22; and
3. That the Board find that this project is not subject to the California Environmental Quality Act, in that it can be seen with certainty that there is no possibility that the attached proposed ordinance may have a significant effect on the environment.

I hereby certify that the foregoing resolution was adopted by a majority of the voting members of the Regional Planning Commission on the County of Los Angeles on November 9, 2022.

Elida Luna

Elida Luna, Secretary
County of Los Angeles
Regional Planning Commission

APPROVED AS TO FORM: OFFICE OF THE COUNTY COUNSEL

By *Lisa Jacobs*
Lisa Jacobs, Deputy County Counsel
Property Division