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Slauson Station TOC Specific Plan, aka Florence-Firestone TOD Specific Plan

County of Los Angeles Department of Regional Planning



Public Review DRAFT
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Chapter 1



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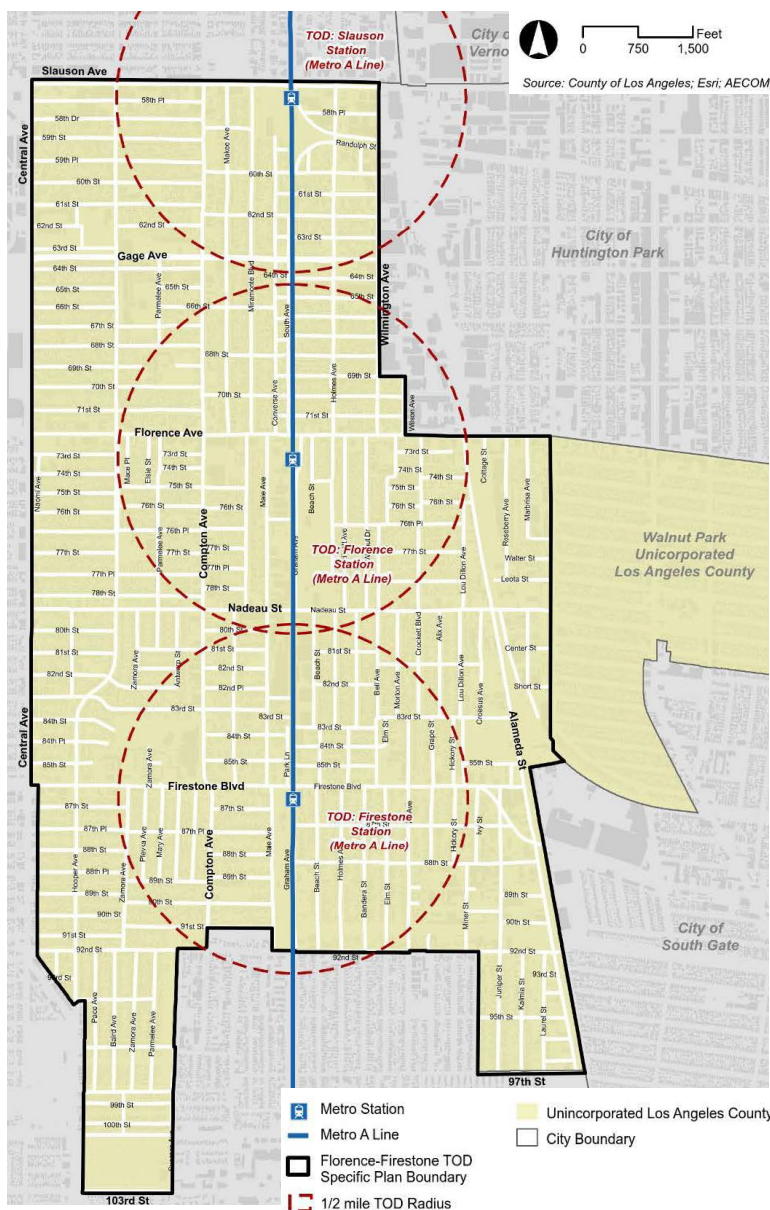
Introduction

1 Introduction

1.1 OVERVIEW

The Florence-Firestone Transit Oriented District (TOD) Specific Plan (FFTOD Specific Plan) establishes transit-oriented development policy direction, design standards, and implementation programs for the community of Florence-Firestone. The intent of this Specific Plan is to increase living and working opportunities near the three Metro transit stations within the community and provide safer ways of moving around the community by walking, bicycling, rolling, and/or using transit.

Figure 1-1: FFTOD Specific Plan Area & TODs



The FFTOD Specific Plan implements the General Plan TOD Program, which established TODs in the unincorporated County as a 1/2 mile radius around Metro rail stations. These TOD areas indicate where the County wants to encourage new housing, employment, community services, and active transportation opportunities. See Figure 1-1 for the Specific Plan Area and established TODs.

The Specific Plan mirrors and builds upon the policies of the General Plan and the Florence-Firestone Community Plan (FFCP). The Specific Plan seeks to stimulate economic development, support greater access to transit and services through walking and rolling trips, and increase housing and employment opportunities in a contextually sensitive manner within walking distance to transit stations. The Specific Plan is also taking advantage of the upcoming West Santa Ana Branch light rail project under development by Metro. This project has the potential to improve transit connection

between Florence-Firestone and the rest of southeast Los Angeles County and increase economic opportunities.

Projects that are consistent with the Specific Plan policies and development standards will in turn be consistent with the General Plan and FFCP policies.

The Specific Plan also implements the 2019 Florence-Firestone Community Plan (FFCP) by creating actions to achieve the FFCP policies and implement the broader TOD goals of the County. Throughout this document, sidebars are provided with text that describes how the Specific Plan will implement the policies of the FFCP, is related to community feedback, or supports other County planning efforts.

Specific Plan Organization

The Specific Plan includes the following chapters:

- **Chapter 1 – Introduction.** Defines the Specific Plan context, relationship to other relevant plans and programs, and a summary of the public outreach that informed the planning process.
- **Chapter 2 – Approach and Guiding Principles.** Describes the purpose and concepts of the Specific Plan, including guiding principles that build from the community vision statement of the 2019 FFCP.
- **Chapter 3 – Land Use and Urban Design Framework.** Introduces the framework, concept, and objectives used to inform the zones and development standards for each station TOD area and Florence-Firestone as a whole.
- **Chapter 4 – Title 22 Chapter 22.418 Florence-Firestone Zones & Development Standards.** While broad land use categories are assigned in the General Plan and FFCP, the Specific Plan establishes new zones to implement the TOD concepts, establishes a detailed list of allowed land uses and permit requirements for each zoning district and objective development standards such as density, intensity, building height, and setbacks. Standards include pedestrian design, building design, open space and landscaping, and parking.
- **Chapter 5 – Mobility.** Provides a discussion of the community mobility network and identifies multi-modal improvements to support walking, biking, rolling, and transit use.
- **Chapter 6 – Infrastructure.** Addresses the infrastructure requirements associated with future development in the Specific Plan Area.
- **Chapter 7 – Implementation.** Provides financing strategies, and actions to implement the vision and guiding principles of the Specific Plan.

1.2 HOW TO USE THE SPECIFIC PLAN

Under State law, cities and counties may adopt specific plans to implement the general plan. The specific plan, therefore, serves as a bridge between the general plan and individual development projects, guiding the way future projects in a community will contribute to the overall community.

Specific plans are similar to development-oriented zoning ordinances. However, unlike the County Code, the FFTOD Specific Plan is targeted to the unincorporated area community of Florence-Firestone to allow for greater flexibility and focus in addressing local community interests.

This Specific Plan is intended to be used by the Florence-Firestone community residents, business and property owners, developers, designers, County staff, and decision-makers in the review of proposed development projects in Florence-Firestone as well as initiation of other projects that will truly help Florence-Firestone become a transit-oriented community. The standards established by this Specific Plan are designed to increase the clarity of applicable regulations, support the goals and policies of the General Plan and FFCP, and support transit-oriented development investments within the community.

Figure 1-2: What is a Specific Plan?

In the State of California, a Specific Plan is one of many tools for implementing the goals and policies of a General Plan. Specific plans implement a city or county's General Plan through the development of policies, programs, and regulations for a localized area. Specific plans are put in place to regulate areas with distinct character or objectives that cannot be regulated through general ordinance or city-wide zoning. A Specific Plan establishes a link between implementing policies of the General Plan and the individual development proposals in a defined area within the city. The illustration below includes the type of elements addressed by this Specific Plan.

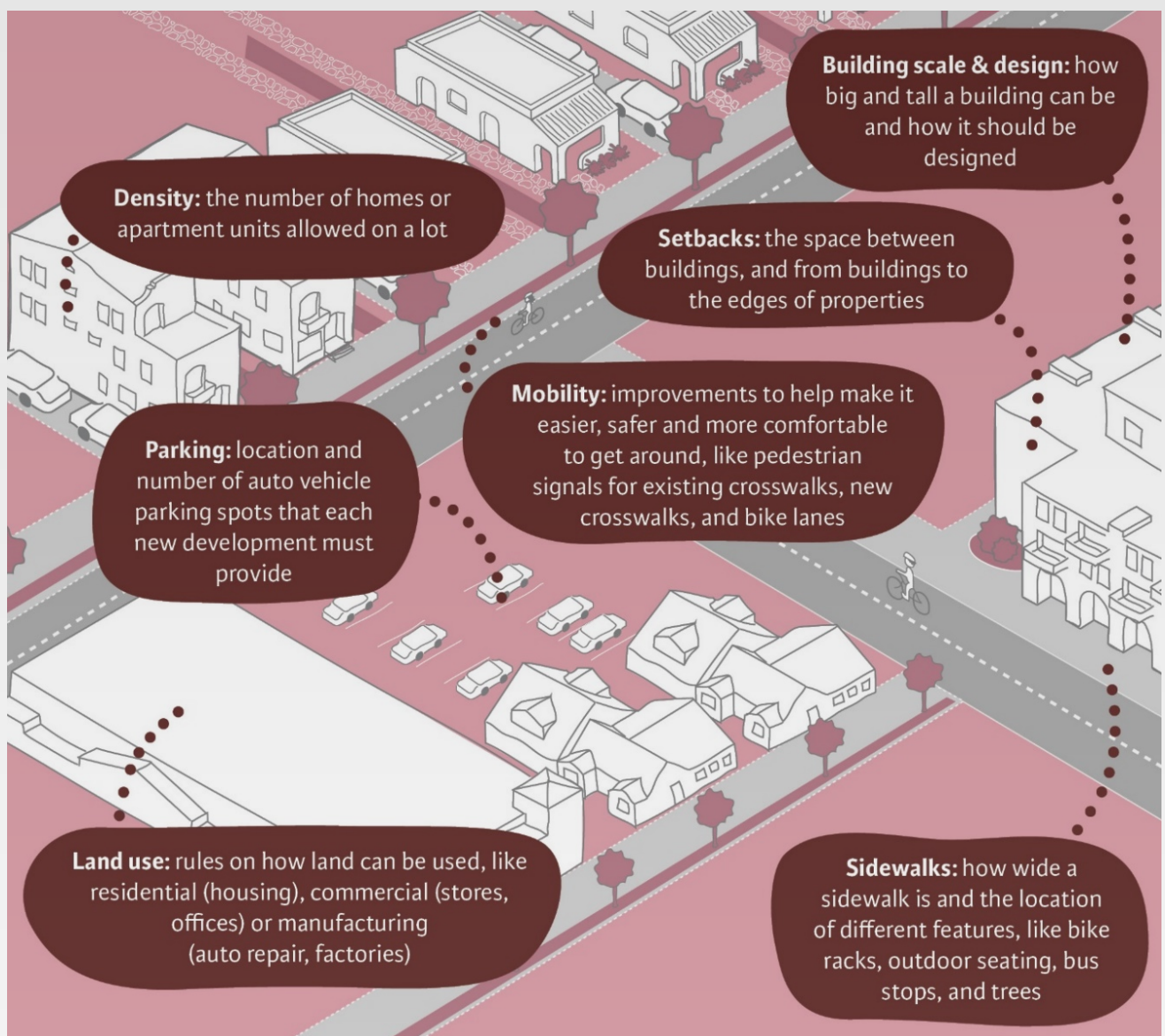
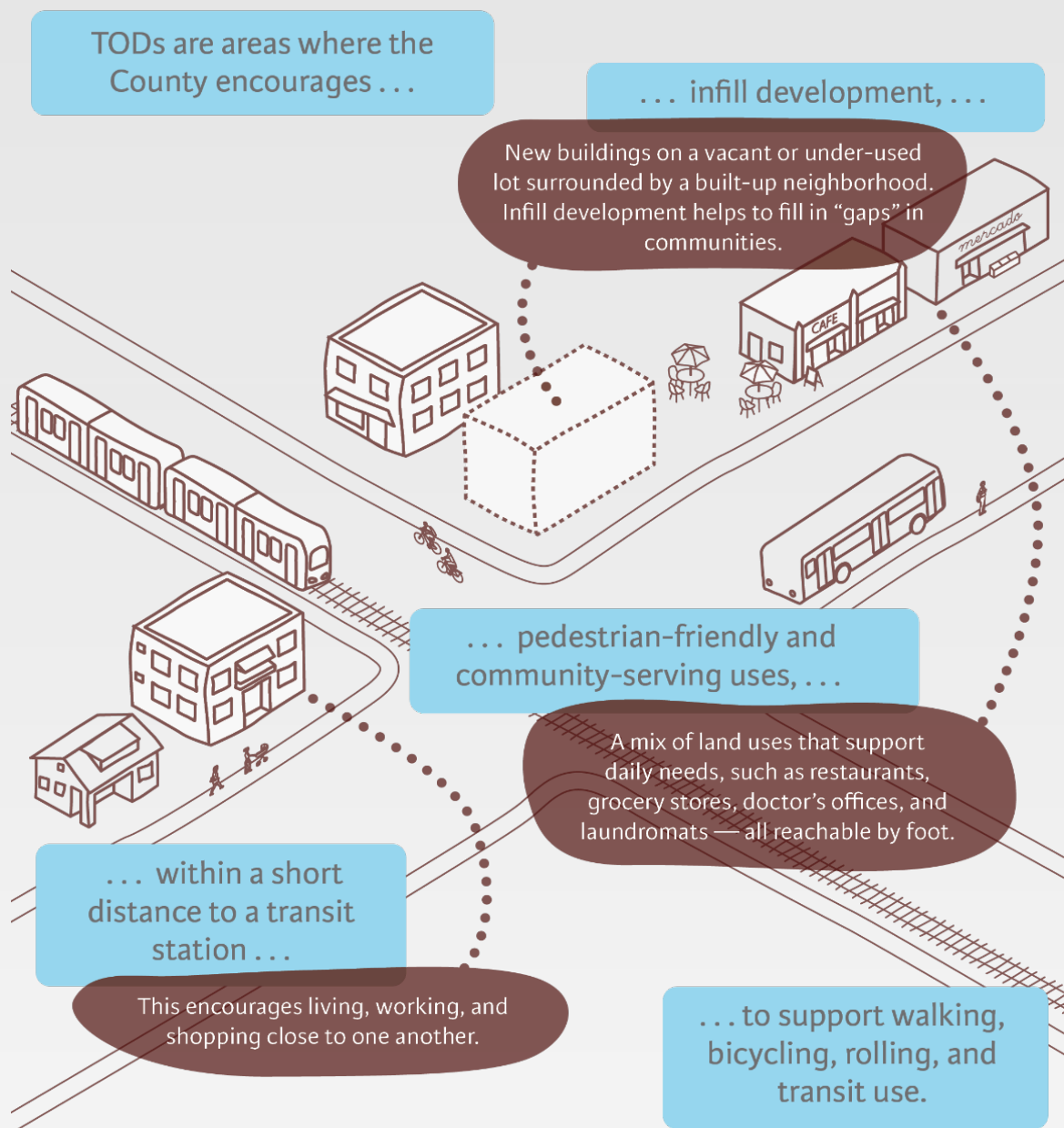


Figure 1-3: What is a Transit Oriented District (TOD)?

A TOD is a ½-mile radius around transit, such as a bus stop or train station, with planning and street improvements, intended to make it easier to live, work, shop, and play in the neighborhood. Three TODs in the Florence-Firestone community were identified by the General Plan: The Slauson Station TOD, the Florence Station TOD, and the Firestone Station TOD.

These areas were established to promote transit- and pedestrian-friendly development and community-serving uses near transit stations, increase transit use, manage congestion, and improve air quality.



1.2.1 Relationship to Other Planning Documents

This Specific Plan was developed in compliance with requirements of California Government Code Sections 65450-65457 and outlines the regulatory, design, implementation, financing, and infrastructure framework to leverage transit investments in the Florence-Firestone Community. Per State law, specific plans must be internally consistent with the general plan. The Specific Plan is consistent with, and provides a framework for, implementing the goals, land uses, and policies of the General Plan, broader TOD goals of the County, and the FFCP.

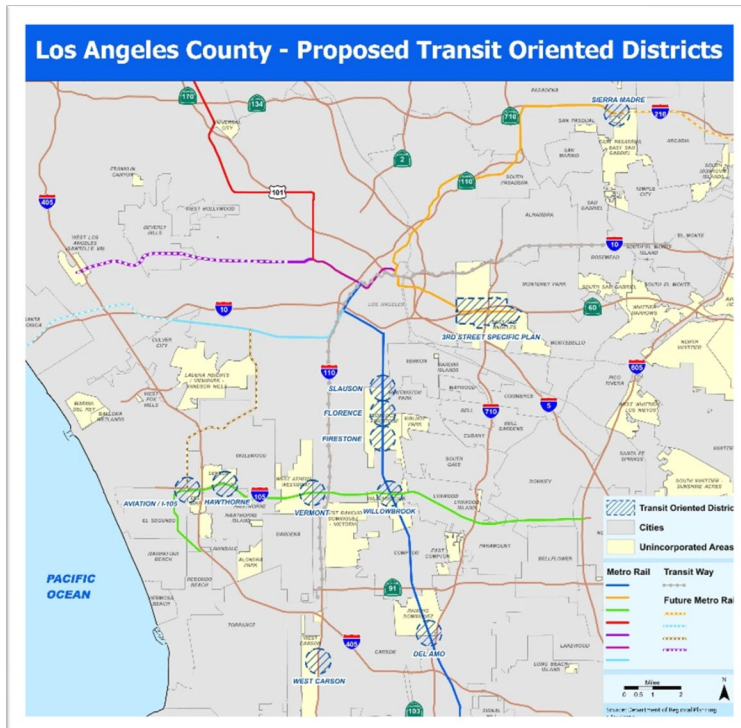
Florence-Firestone contains three of the eleven areas in the County where Specific Plans have already been adopted or are being considered to implement the County’s TOD program, which is included as part of the General Plan 2035.

Foundational & Related Documents

- » [County of Los Angeles General Plan](#)
- » [County of Los Angeles Transit Oriented District \(“TOD”\) Program](#)
- » [County of Los Angeles TOD Toolkit](#)
- » [County of Los Angeles Vision Zero Plan](#)
- » [County of Los Angeles 2012 Bicycle Master Plan](#)
- » [Step-By-Step Community Pedestrian Plans](#)
- » [Florence-Firestone Community Plan \(FFCP\)](#)
- » [Florence-Firestone Community Standards District \(CSD\)](#)
- » [2016 SCAG RTP/SCS](#)
- » [California Transportation Plan 2040](#)
- » [Our County Sustainability Plan](#)

LA Metro Documents:

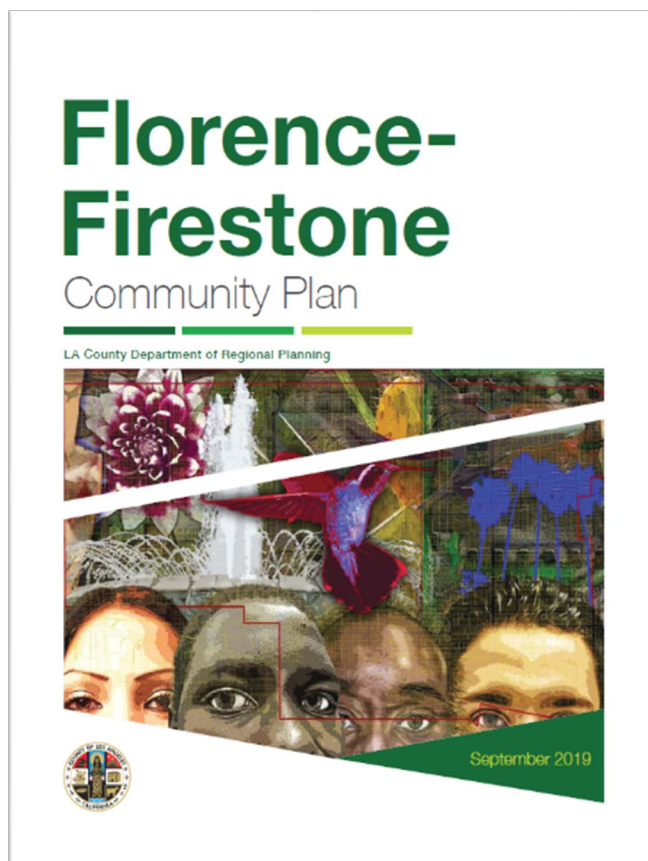
- » [West Santa Ana Branch \(WSAB\) TOD Strategic Implementation Plan](#)
- » [Slauson Blue Line Station Transit Oriented Development Technical Assistance Panel Program \(ULI\)](#)
- » [Transit Oriented Communities \(TOC\) Toolkit](#)
- » [First/Last Mile Strategic Plan & Toolkit](#)
- » [Rail-to-Rail and Rail-to-River Projects](#)
- » [Green Places Toolkit](#)



Implementation of local and regional vision requires collaboration across jurisdictions and documents. The foundational and related documents outlined in the sidebar also establish goals, policies, and plans applicable to transit-oriented development in the Specific Plan Area.

1.2.2 Supplementing the Florence-Firestone Community Plan

The FFCP was adopted in September 2019 through a County-led effort supported by community outreach. The FFCP includes goals and policies related to TODs. The FFTOD Specific Plan is designed to implement the TOD themes of the FFCP by providing new design standards and implementation actions to support TOD development.



Link to the Florence-Firestone Community Plan

This Specific Plan implements the FFCP Goal TD-1: Residents can live, work, learn, and recreate in a transit-oriented community.

The land use, zoning, design, and mobility standards of this Specific Plan also implement a variety of FFCP policies including, but not limited to:

- ✓ **Policy TD-1.1: Housing and Mixed-Use Development**
- ✓ **Policy TD-1.2: Urban Design**
- ✓ **Policy TD-1.3: Public Facilities and Transit**
- ✓ **Policy TD-1.4: Incentives Specific Uses**
- ✓ **Policy TD-1.5: Active Ground Floor**
- ✓ **Policy TD-1.6: Infrastructure Improvements**

Throughout the document you will see this symbol to help identify how the FFCP is being implemented by this Specific Plan.



1.3 SETTING & BACKGROUND

1.3.1 Location

Florence-Firestone is an unincorporated community approximately six miles south of Downtown Los Angeles and has an area of 3.48 square miles. The community is surrounded to the north, south, and west by the City of Los Angeles, and to the east by the City of Huntington Park, City of South Gate, and the unincorporated community of Walnut Park. The community is located between Downtown Los Angeles and Downtown Long Beach in proximity to major employment centers, including Downtown Los Angeles, the Ports of Long Beach and Los Angeles, and the industrial sector in southeast Los Angeles County. See Figure 1-4: Regional Location for the regional location of the Specific Plan Area.

1.3.2 Specific Plan Area

The Specific Plan Area covers the entirety of the Florence-Firestone community. Generally, the Specific Plan Area is bounded to the north by Slauson Avenue; to the west by S Central Avenue from Slauson Avenue to E 103rd Street; to the east by Wilmington Avenue, Santa Fe Avenue, and S Alameda Street; and to the south by E 103rd Street and E 92nd Street. See Figure 1-5: Specific Plan Area.

There are three Metro A Line (Blue) Stations in Florence-Firestone: the Slauson, Florence, and Firestone Stations. The ½ mile radius around each of these stations is considered the TOD for that station. The Slauson and Firestone Stations are aerial stations with elevated platforms, accessible by stairs or elevator from the street.



Slauson Station aerial platform (top left), Firestone Station entry (top right), Florence Station at-grade platform (bottom)

The Specific Plan Area has a rich history. The broader region, including the Florence-Firestone community, was originally a roaming area for the Gabrielino/Tongva indigenous tribe. The area then went through an agricultural period, eventually transitioning into a manufacturing hub along the Southern Pacific Railroad line. The ethnic and cultural identity of the community has also evolved through various periods, with a notable history of disenfranchisement of the local residents. For more information on the community history of Florence-Firestone, see Chapter 2 of the FFCP.

Figure 1-4: Regional Location

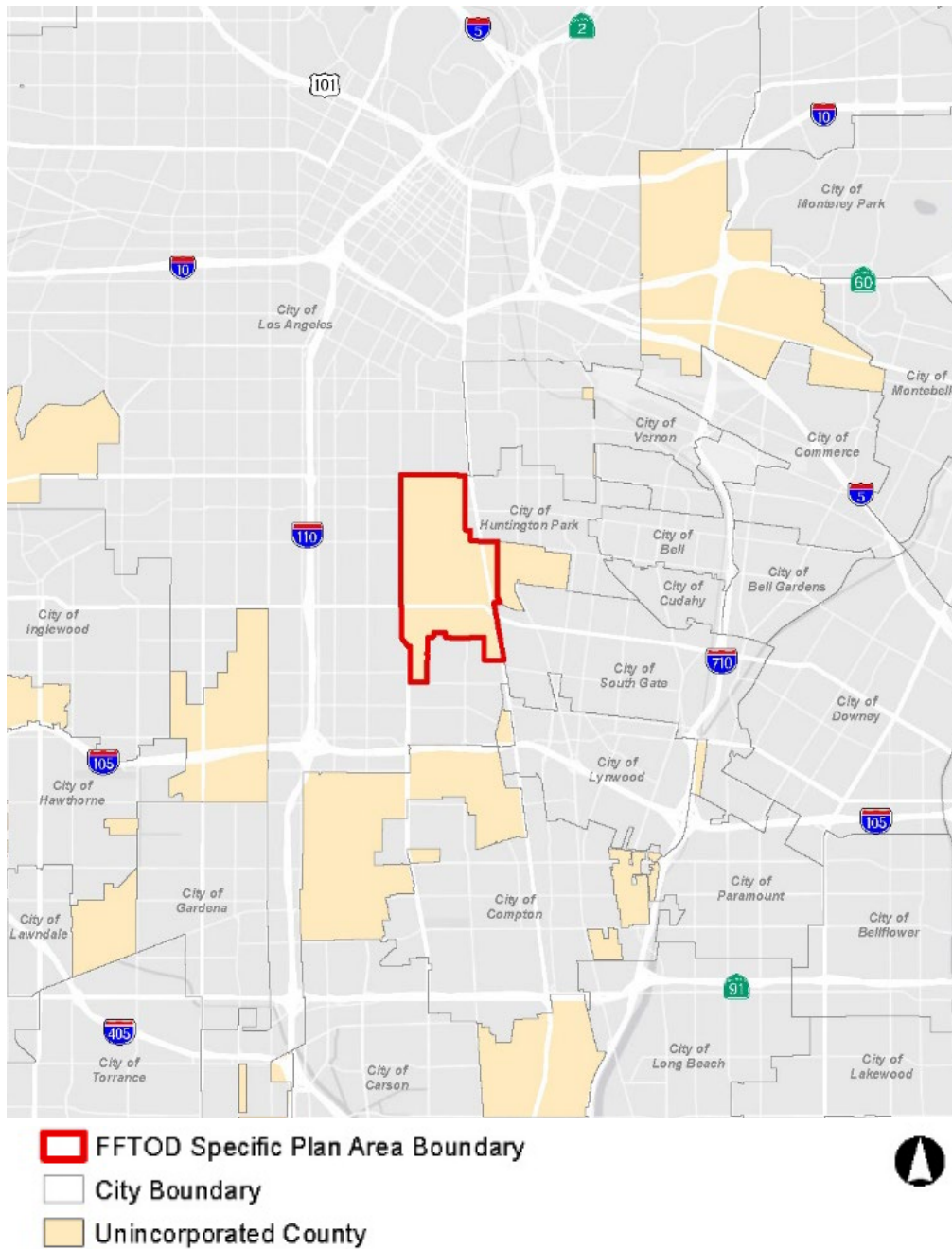
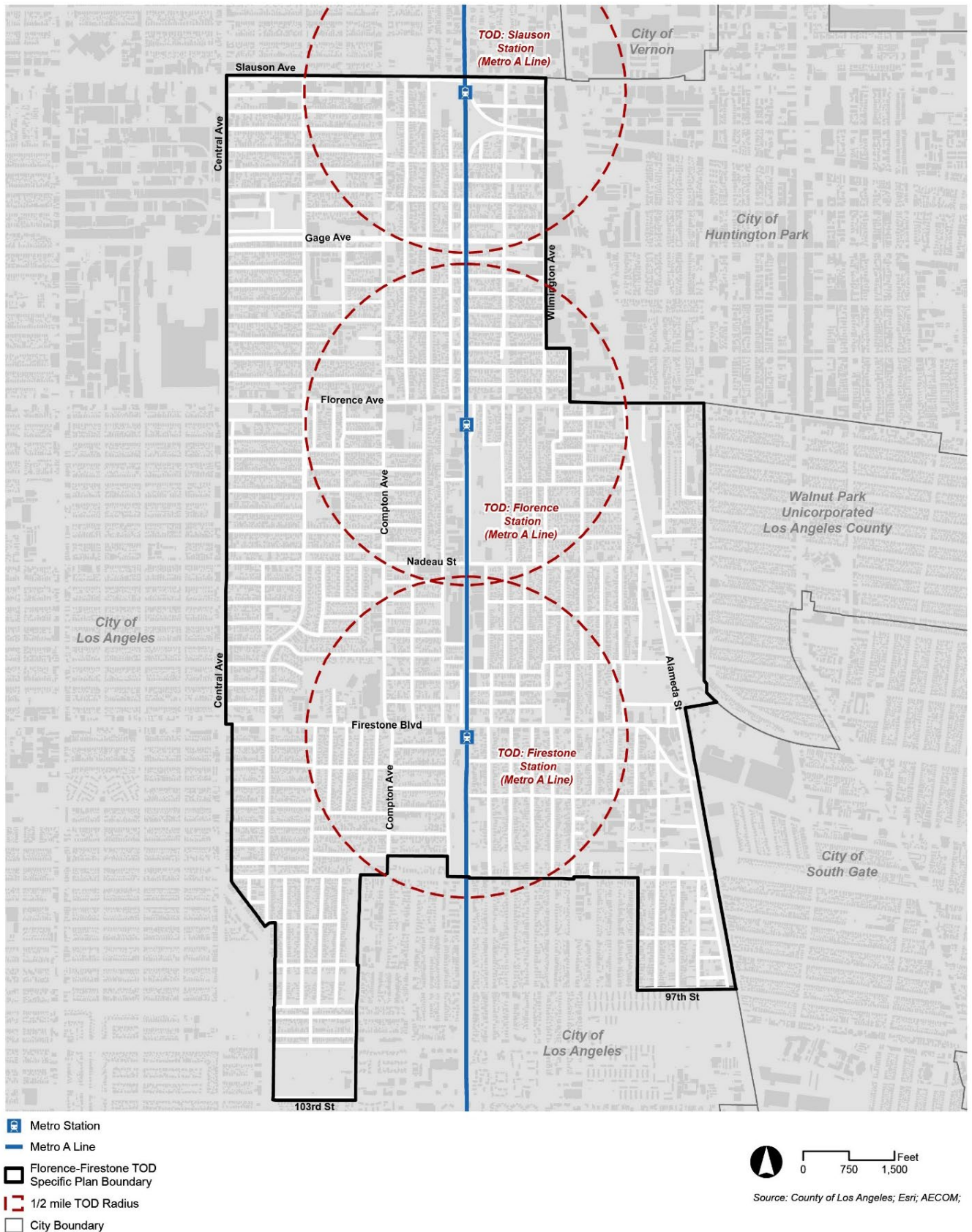


Figure 1-5: Specific Plan Area

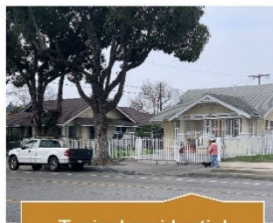


1.3.3 Existing Conditions

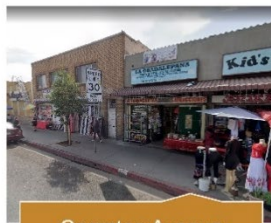
During the preparation of this Specific Plan, a “Community Atlas” and “Equity and Mobility Study” were created to document existing conditions specific to the TOD areas in Florence-Firestone. These reports can be found at: <https://planning.lacounty.gov/fftod/Documents>.

The Community Atlas notes that the existing uses in the TOD areas are not conducive to promoting transit-oriented development and provides a number of specific recommendations that form the foundation of the design standards and implementing actions for the Specific Plan. See the Community Atlas Summary to the right for an overview of the study’s findings and recommendations, and the examples of existing land uses within the TODs below.

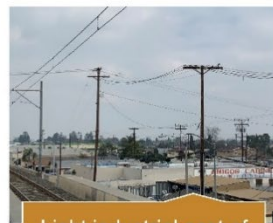
Community Atlas Snapshot: Station Area Typical Existing Uses



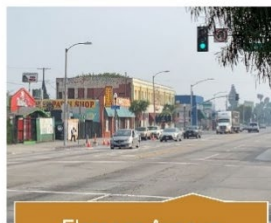
Typical residential neighborhood



Compton Avenue commercial businesses



Light industrial east of Washington Avenue



Florence Avenue commercial businesses



Colonel Leo H. Washington Park



Firestone Avenue commercial businesses

Community Atlas Summary

Land Use & Urban Design Findings

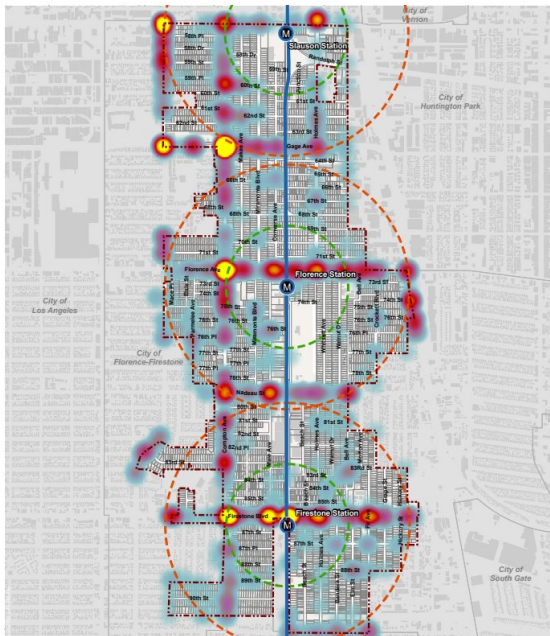
- Existing uses along major corridors are predominantly low-scale, one-story, light industrial buildings with interspersed residential homes.
- Industrial or utility uses create challenges for pedestrians accessing jobs and the Metro stations.
- Densities in excess of 18 and 30 homes per acre are necessary to support new transit oriented development.
- Existing residential zoning does not enable the densities identified by the Florence-Firestone Community Plan (FFCP).
- Residential properties are small with evidence of overcrowding due in part to conversion of garages into living quarters and high number of persons per household.

Land Use & Urban Design Recommendations

- Combine mobility improvements with focused updates to land use categories to enable more people to access Metro stations, and to live and work in proximity to the stations.
- Supplement existing uses to foster a complete community that supports living, working, learning, and playing in the Florence-Firestone community.
- Establish development zoning standards around TOD types that provide appropriate protections and transitions for this community.
- Explore creative parking strategies that balance transit-focused typologies with existing residential parking challenges.
- Evaluate industrial land use policy and zoning intent and potential for adaptation to support TOD development
- Review residential zone standards to introduce and enable a wider range of housing types and

The Mobility & Equity Study combined conventional assessment of transportation conditions with an evaluation of equity conditions related to demographics, land use characteristics, and socioeconomic conditions¹, because the level of investment in transportation infrastructure and services is often a direct reflection of a community's socio-economic and demographic status. The study established equity goals and identified existing county-wide policies to support these goals, identified best practices for advancing equity in TOD planning, assessed displacement risk within the FFTOD Specific Plan Area, assessed conditions and trends for all travel modes, and provided a series of recommendations based on these findings, summarized to the right.

Mobility & Equity Study Snapshot: Total Collisions - 2014-2018



In addition to conditions assessed in the Community Atlas and Equity and Mobility Study, the FFCP describes the physical, social, and economic conditions for Florence-Firestone; see Chapter 3 of the FFCP for more information.

Equity & Mobility Study Summary

Demographic, socioeconomic, and TOD-specific equity metrics provided baseline insight into levels of displacement risk and patterns of neighborhood change. Transportation system metrics provided insight into infrastructure conditions and travel behavior, access to transit and jobs, and equity considerations for transportation-related land use and development standards such as balancing parking requirements with multi-modal transportation investments. Both elements of this study helped to frame and refine the community outreach approach and Specific Plan standards.

Equity Recommendations

- Ensure that current tenant, homeowner, and workforce protections are being used to their full potential and pursue additional policies to expand access to critical resources and infrastructure.
- Establish and reinforce long-term planning partnerships with community organizations.
- Align TOD land uses and densities with tailored needs for residents and businesses who may be most vulnerable to displacement.
- Due to the area's high overall housing cost burden, identify robust affordability policies and funding mechanisms that allow new development to successfully serve existing residents and businesses.

Mobility Recommendations

- Identify and prioritize improvements to well-documented infrastructure issues and dangerous conditions for people who travel on foot and by bike.
- Seek community input on preferences for travel modes in order to prioritize projects, policies, and programs that will enhance transportation and mobility within the FFTOD Specific Plan Area.
- Determine appropriate levels of parking that are necessary to support the existing community, new development, and complement future investments

¹ See Equity and Mobility Study Summary for full list of data analyzed: <https://planning.lacounty.gov/assets/upl/project/fftod-mobility-equity-study-oct2020.pdf>

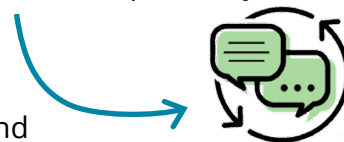
1.4 COMMUNITY ENGAGEMENT

Public outreach for the Specific Plan was facilitated through engagement with local community groups, residents, property and business owners, Metro, and the cities surrounding Florence-Firestone.

Development of the Specific Plan and associated community engagement occurred during the COVID-19 pandemic. This created conditions that prevented the County from conducting in-person meetings. As a result, various digital tools were used in combination with the distribution of printed materials to reach as many community members as possible in a range of formats.

Feedback collected from participants helped shape the guiding principles and standards of the Specific Plan. Throughout the document, you will see this symbol to help identify how feedback was incorporated.

Each stage of community engagement is summarized here with information on the engagement process, activities, and/or events, and key themes identified in the feedback received.



Stakeholder Evaluation September 2020

As an initial exercise to guide the community engagement process, the County performed a stakeholder evaluation to identify various perspectives within the community.

The evaluation identified 32 Stakeholder Organizations – ranging from community-based organizations to business associations, service providers, elected bodies, and government agencies. These organizations were invited to provide feedback and assist with notifying and encouraging participation from community members throughout the planning process.



Online Town Hall October 2020

The County held an Online Town Hall meeting in October 2020 to share information and answer questions about four planning efforts that would affect the community, including the FFTOD Specific Plan. The FFTOD presentation provided a project overview and timeline, information on community engagement and feedback opportunities.



During the town hall, participants were asked to respond to a series of poll questions about their relationship to Florence-Firestone (50% work in the area; 46% live in the area), their #1 housing issue or problem (59% have a high rent/mortgage payment), and their preferred mode of transportation (86% prefer to drive).

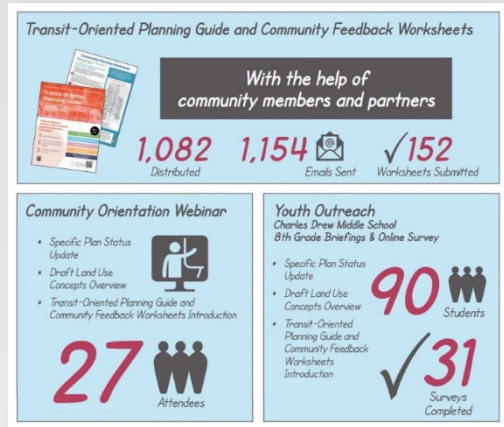
The presentations and polls were followed by a question and answer session, in which participants asked a variety of questions regarding the planning and outreach process. Recurring themes in the Q&A session included concerns around housing affordability, and questions around how the County plans to conduct sufficient community outreach and incorporate input into the plan.



Educational Packet & Worksheet February-April 2021

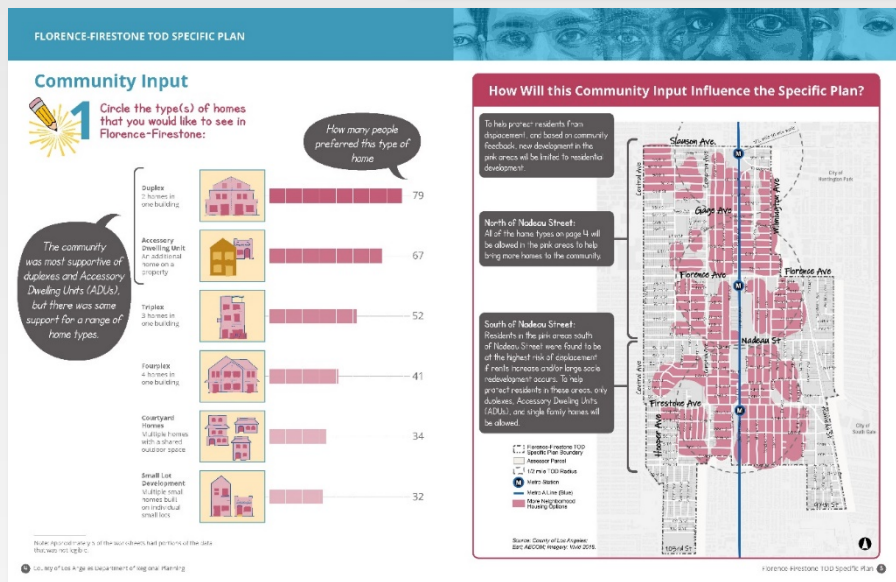
In response to feedback and concerns around preferred engagement methods and barriers to computer/internet access, the County distributed a printed and easy-to-understand Transit-Oriented Planning Guide with a companion Community Feedback Worksheet in February of 2021.

Community members returned 152 completed worksheets and provided feedback on the types of housing and mobility strategies desired by community members for Florence-Firestone.



Specific Plan standards, including setbacks and allowed heights, were adjusted in response to community input from the worksheets.

[View full summary of input received via Community Feedback Worksheets](#)



Public Review Draft Workshop Forthcoming - October 2021

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Chapter 2



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Purpose & Guiding Principles

2 Purpose & Guiding Principles

2.1 INTRODUCTION

This Chapter describes the FFTOD Specific Plan approach to land use, urban design building standards, and mobility improvements to enable a transit-oriented community while serving existing residents, workers, and small-business owners. Guiding principles to support this approach and reinforce the FFCP vision are also included in this Chapter.

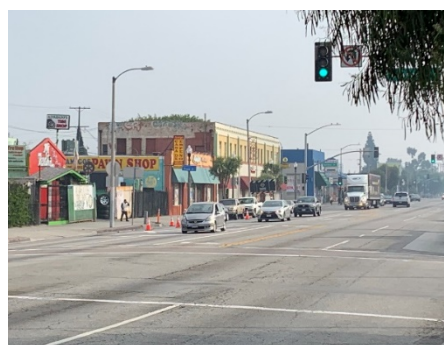
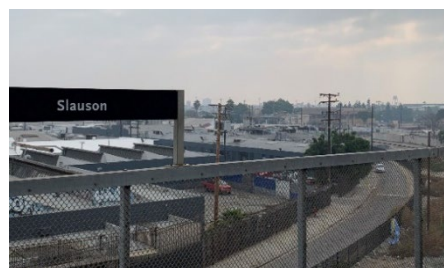
2.2 PURPOSE OF THE SPECIFIC PLAN

The Specific Plan creates a land use and zoning policy tool for the unincorporated Florence-Firestone community that aims to:

- ✓ Enable more opportunities for affordable housing;
- ✓ Encourage transit-oriented development and promote active transportation;
- ✓ Improve access to the three Metro A (Blue) Line Stations: Slauson, Florence, and Firestone;
- ✓ Reduce vehicles miles traveled by cars; and
- ✓ Streamline the environmental review of future development projects.

The Specific Plan development standards are designed to balance TOD development with community benefits that support local residents, workers, and small business owners. To achieve this balance, each of the three TOD station areas within the Specific Plan Area has been assigned a unique land use and design approach, which is introduced in Chapter 3.

Florence-Firestone will become an important transportation hub due to various actions occurring in the area. Through this Specific Plan, the land use and mobility concepts focus on improving the connection between the community and the three Metro transit stations, with an emphasis on increasing safety for those traveling to the stations using modes of transportation outside of the single occupancy vehicle. Aside from serving the A-line ridership, the Slauson Station is also the future home of a new West Santa Ana Branch (WSAB) light rail stop. The WSAB transit corridor is planned to connect southeast Los Angeles County to downtown Los Angeles, serving the cities and communities of Artesia, Cerritos, Bellflower, Paramount, Downey, South Gate, Cudahy, Bell, Huntington Park, Vernon, and Florence-Firestone. Metro is also planning the Rail to Rail/River Active Transportation Corridor project (Rail to River project) that will extend along Slauson Avenue within the TOD area, but outside the Specific Plan boundary.



The Specific Plan focuses on updates to land use, urban design, and mobility within the Slauson, Florence, and Firestone TOD station areas

The Rail to River project, which spans approximately 10 miles, will convert an existing, underutilized railroad right-of-way into a multi-purpose pedestrian and bicycle transportation corridor. Segment A of the project connects the future Metro Crenshaw/LAX Line Fairview Heights Station to the Metro J Line (Silver) I-110 freeway Slauson Station and Metro A Line (Blue)/future WSAB Slauson Station. Segment B of the project connects the Metro A Line (Blue) east to the Los Angeles River.

2.3 GUIDING PRINCIPLES

“Florence-Firestone is a resilient and healthy community with a strong identity, vibrant local economy, high quality, and affordable housing, ample greenery, safe and efficient transportation system, high-quality education, quality jobs, and inviting commercial corridors where people gather and socialize.”

- Florence-Firestone Community Plan Vision

The Specific Plan builds from the community-generated vision statement of the FFCP, provides a framework for projects proposed under the Specific Plan, and supports the overall transit-oriented goals of the TOD areas shown in Figure 1-1: FFTOD Specific Plan Area & TODs. The guiding principles reinforce the policies of the FFCP to guide TOD development.

These guiding principles were informed by community feedback from public outreach conducted during the Specific Plan process.

Guiding Principle 1: *Promote pedestrian-friendly, active transit-oriented districts and corridors that support land uses that provide a variety of local services, employment, and housing.*

This Specific Plan establishes zoning designations for Florence-Firestone to support TOD development strategies for the community. Four mixed-use zones are located near the transit stations and along major corridors like Compton Avenue, Holmes Avenue, and Nadeau Street. These zones establish setbacks that, through private development over time, can increase the width of the sidewalks while providing a range of formats for new employment and services. Mobility improvements, such as street crossings and bulb-outs, are also identified to make walking, biking, and rolling in the community easier.



Implementing the FFCP

The FFTOD Specific Plan guiding principles build off the transit-oriented development theme in the FFCP, which calls for the development of a Specific Plan for the community.

Transit Oriented Development (TOD) Theme

Transit-oriented development is a cross-cutting theme in the FFCP:

For areas around Metro Blue Line Stations, encourage the development of high-density affordable housing, promote the establishment of job-generating uses, support the development of community-serving retail uses, and adopt a TOD Specific Plan for Florence, Firestone, and Slauson Blue Line Stations.

This Specific Plan implements the TOD theme through Implementation Action 44: Transit-Oriented District Specific Plans, and Policies TD 1.1-1.6 and TD 2.1-2.5.

Guiding Principle 2: Increase housing supply near transit that includes a variety of options for residents and families at different income levels.

This Specific Plan creates four new residential zones that permit a variety of configurations, unit sizes, densities, and affordability. New housing options and more affordable units are expected to be built in the community in conjunction with the Density Bonus Ordinance and other County affordable housing programs.

Guiding Principle 3: Support a green community through enhanced streetscapes, a variety of publicly accessible open spaces, landscaping, and sustainability.

This Specific Plan will require new development along major corridors to increase the width of the sidewalks through setbacks, install street trees, provide publicly accessible open space, and contribute to more greenery in the community.

Guiding Principle 4: Encourage placemaking that embraces the vibrant culture of the community.

This Specific Plan incentivizes community-supportive uses, promotes public art and murals, and requires large developments to construct publicly accessible open spaces or other community amenities. Preservation of historically and/or culturally important properties in Florence-Firestone, including the potential identification of a historic district, is also encouraged.

Guiding Principle 5: Support local jobs and opportunities through a variety of employment-generating uses.

The Specific Plan introduces the Industrial Mix zone and four mixed use zones. These zones will allow for a broad range of production, services, and retail uses, expanding the types of businesses permitted, which can bolster the range of jobs in the community and allow for flexibility as markets shift. Locations within the community have been strategically identified, for example, along the Alameda Corridor, which will be preserved as light or general industrial properties. Other locations are transitioned to more appropriate employment uses that are compatible with adjacent residential uses.

**COMMUNITY
FEEDBACK:
Guiding Principles**



Community participation in FFTOD Specific Plan outreach activities helped shape the Guiding Principles. All feedback collected from the public and stakeholders across all outreach events were considered to form statements that set a clear course for TOD improvements in the community.

Guiding Principle 6: *Improve safety, connectivity, access, and ease of use for all modes of transportation.*

This Specific Plan identifies key street and sidewalk improvements to be implemented by the County. All public right-of-way improvements identified by this Specific Plan are intended to balance connectivity, access, and ease of use for people walking, biking, rolling, using transit, and driving in the community. Mobility strategies are focused on increasing access and connectivity to transit stations through new infrastructure and facilities that increase safety and support increased transit ridership over time.

Guiding Principle 7: *Promote equitable outcomes and inclusive economic development through tailored and carefully regulated approaches to growth.*

This Specific Plan balances potential change and growth with support for existing residents, businesses, and services, based on combination of displacement risk data and qualitative community insights. New zones in the Firestone TOD area address higher displacement risk by maintaining a similar density to the existing neighborhood, supporting owners and renters in place by allowing the incremental addition of units, and lowering the likelihood of developer-based consolidation. In areas with lower displacement risk like the Slauson TOD area, new zones introduce uses that allow more neighborhood services, jobs, and housing, with development standards that enable a broad range of housing types and densities.

Guiding Principle 8: *Collaborate with other local and regional entities to implement plan objectives efficiently and comprehensively.*

Ongoing collaboration with local organizations, other County departments and agencies, and regional entities is needed for the Specific Plan to promote long-term community stability, economic success for local residents and businesses, mobility enhancements, climate resilience, and achievement of environmental justice goals. Collaboration is also critical for planning processes, programs, and policies to be streamlined and effective within existing countywide and regional systems. Suggestions for collaborative action are identified in Chapter 7: Implementation.

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Chapter

3

Art Credit: "Short Stories" Mural by Willie Middlebrook

Land Use & Urban Design Framework

3 Land Use & Urban Design Framework

3.1 INTRODUCTION

This chapter describes the approach to land use and urban design that will allow transformation of the Specific Plan Area into a vibrant, transit-oriented community, while strengthening access to transit and neighborhood-services for existing residents. Planning for Transit Oriented Districts is traditionally focused on zoning that concentrates the highest allowed density within a quarter mile or half mile radius surrounding transit stations. This approach, often referred to as “upzoning”, seeks to benefit both the transit system and the transit-adjacent community by:

- Increasing the amount of housing within walking or biking distance of transit,
- Increasing workplaces, services, and other regional destinations that are accessible by transit,
- Enabling daily-needs to be met through walking or biking trips, and
- Reducing automobile emissions by providing transit, walking, and rolling options.

However, research and input from the Florence-Firestone community have shown that not every transit station area is an ideal candidate for significant upzoning, as a sudden influx of development and investment in lower-income communities can be destabilizing for existing residents, small businesses, and service providers. The approach for this Specific Plan carefully balances increasing opportunities for more housing, workplaces, and services with the need to provide stability and address existing challenges for renters, homeowners, and businesses in the area. Within the FFTOD Specific Plan Area, each of the three TOD areas has a distinct identity and potential for changes in land use and density; these conditions and objectives are discussed in detail in Sections 3.2 and **Error! Reference source not found.**


The Specific Plan concepts and standards were directly informed by analysis from the Equity & Mobility Study, and all stages of community input. For example, decisions around allocation of housing density were informed by census tract-level displacement risk metrics and community concerns around affordability, many of which cited examples of recent developments that invite higher-income residents into the neighborhood while remaining inaccessible to existing community members in need of affordable housing. The Specific Plan also recognizes a strong community-wide desire to preserve local landmarks, businesses, and local support systems that contribute to Florence-Firestone’s sense of place, history, and identity.


A major component of TOD planning is mobility – both ensuring that transit is safe and easy to access for all users and reducing the need for local automobile trips in the station area. While the community broadly supported safety and connectivity improvements for pedestrians and bicyclists throughout the plan area, other traditional TOD planning strategies such as reduced in parking requirements were met with equity concerns in the context of Florence-Firestone’s large average household size and high number of residents


who work in areas not served by transit, or need to drive between multiple jobs (often in addition to transporting children or other dependents). Both the Equity & Mobility Study and community feedback highlighted basic infrastructure and safety improvements as a priority for the Specific Plan Area.

3.2 CONCEPT FRAMEWORK & OBJECTIVES

As shown in **Figure 3-1: Specific Plan Concept**, the Specific Plan is generally focused on the three TOD areas surrounding the Metro Slauson Station, Florence Station, and Firestone Stations. Each TOD area supports a distinct range of land uses, building forms, and overall levels of change and development potential. The Specific Plan Concept map illustrates the three broad categories of land use and change envisioned for the Specific Plan Area: “Low Change Areas”, “More Housing Options”, and “TOD Mixed Use Areas”. In addition to the broader land use and change categories, the Specific Plan Concept identifies priority areas for various types of mobility improvements including Active Transit Corridors, Pedestrian Priority Streets, Bicycle Priority Streets, and specific locations for formalized pathways, pedestrian bridges, and improved transit access.

 **“Maintain”** areas are portions of the community outside of the TOD areas that will maintain existing countywide uses and standards.

 **“More Housing Options”** applies to the majority of the TOD areas, and some areas outside the ½ mile station area radii. These areas are generally comprised of established single- and multi-family residential neighborhoods directly surrounding major streets in the Specific Plan Area. While these areas are not designated for major changes in use or urban form, the Specific Plan standards will support a greater variety of housing types and sizes to expand affordable and transit-accessible housing options and increase economic activity for local businesses. Different housing types and densities are allowed in each of the TOD areas.

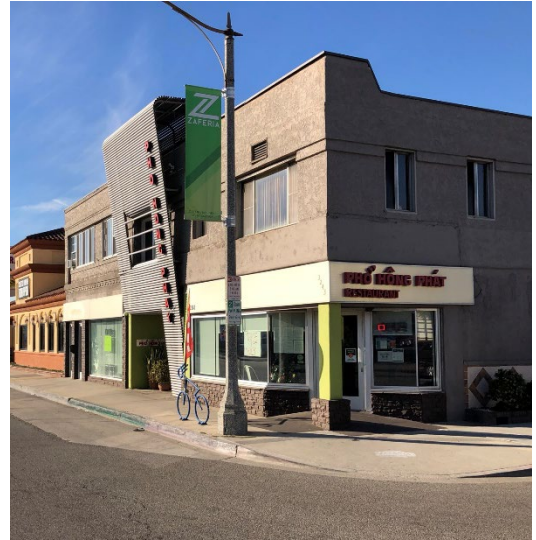
 **“TOD Mixed Use / Job Areas”** generally applies to major streets and activity areas that demonstrate potential for growth, jobs, and/or community-serving land use changes. For example, most parcels along major corridors that are currently zoned for industrial or light manufacturing uses will be re-zoned to support housing, retail storefronts, neighborhood services, offices or a mix of uses. While these areas are grouped into a single category in the Concept Map, land uses and development standards in the Specific Plan are tailored to the specific street or intersection based on existing conditions, community feedback, and displacement risk analysis.

3.2.1 Community-Wide Concept

The concepts for each the three Station TOD areas were developed with intention and sensitivity to place-based goals, challenges, and needs, rather than through a “one size fits all” TOD approach. However, the Specific Plan is also intended to enhance cohesion and connectivity between these distinct areas, and to reinforce Florence-Firestone’s strong community-wide identity.

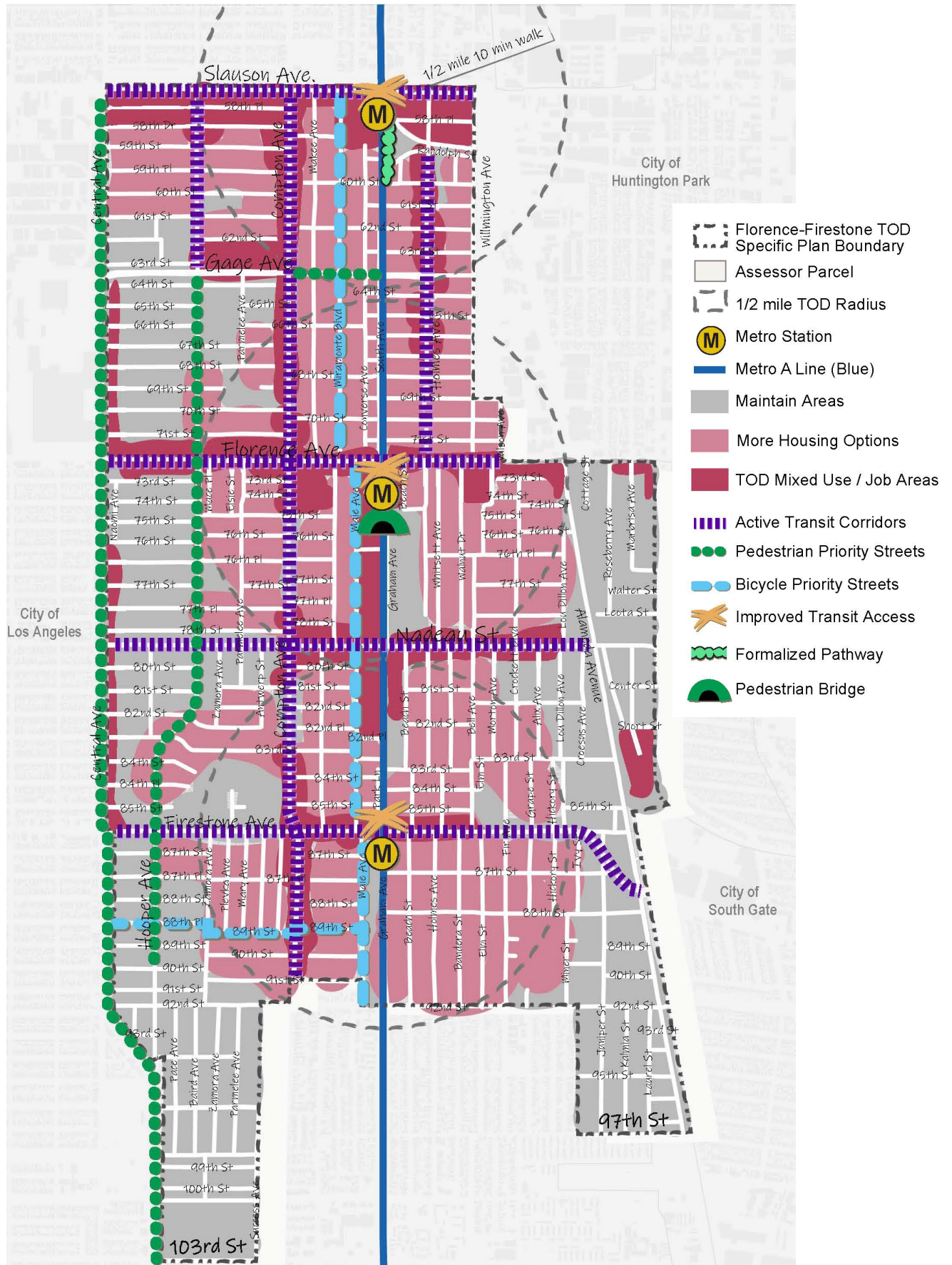
Figure 3-1: Specific Plan Concept Map reflects the following overarching objectives of the plan, which build upon the County’s TOD Program goals, the FFCP vision, and the guiding principles introduced in Section **Error! Reference source not found.** of this plan.

- Focus mixed use zoning (a mix of services and homes) around Metro rail stations to activate those areas.
- Support the Metro Rail-to-River corridor and future West Santa Ana Branch light rail extension through Slauson Station improvements.
- Enhance and expand the public realm through setbacks that expand the sidewalk, pedestrian crossing upgrades, and bicycle facility upgrades.
- Blend new development with existing neighborhoods through massing and setback requirements.
- Combine improvements in sidewalks, bicycle facilities, and setback conditions to create Active Transit Corridors that make accessing stations easier makes it possible to access stations through multiple modes of transportation.



Specific Plan standards are designed to support a range of business and mixed use types.

Figure 3-1: Specific Plan Concept Map



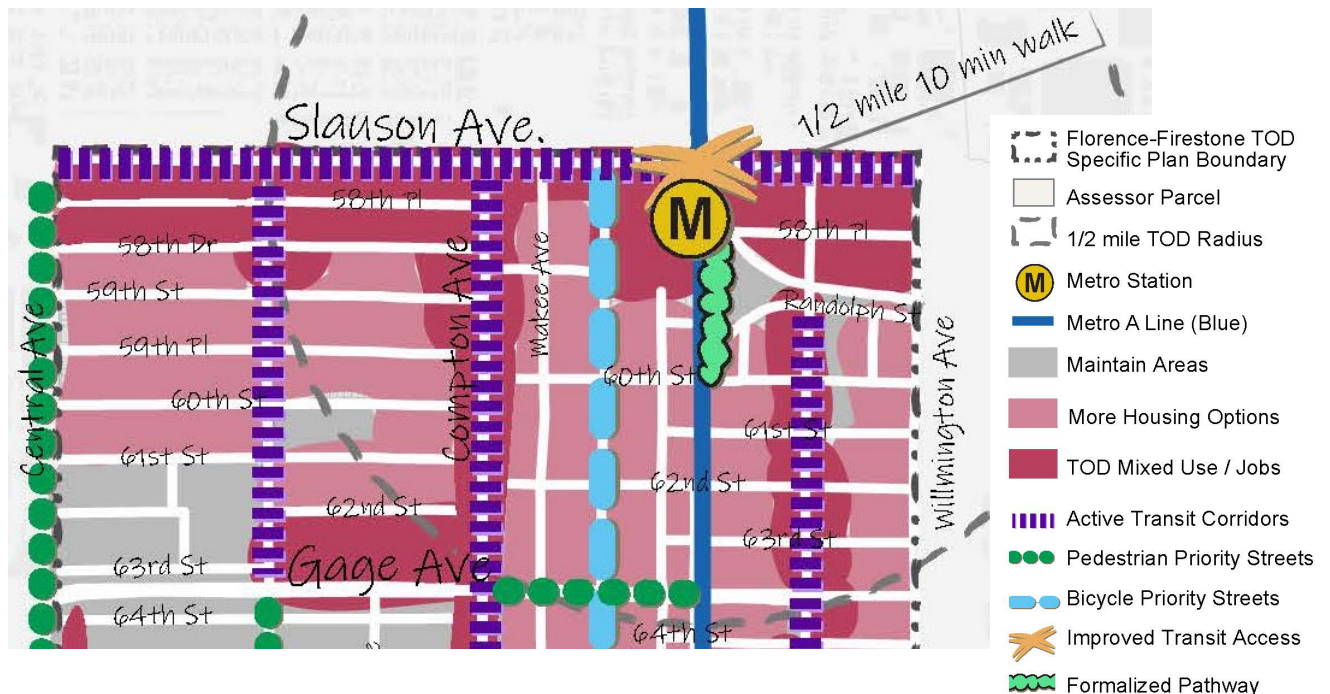
3.2.2 Slauson Station TOD Area Concept

The Slauson Station TOD area concept focuses on increasing mixed use opportunities that can combine employment, retail, and housing close to the station. Focusing new development potential in this area would take advantage of the public improvements in the area including the Rail to River corridor on the north side of Slauson Avenue and the future West Santa Ana Branch line that will also use the Slauson Station. For this reason, the Specific Plan envisions the highest intensity development occurring within the Slauson Station TOD area to support adjacent land use changes in the City of Los Angeles and to utilize the plan area’s largest infill development opportunity sites.

This concept would allow existing industrial and commercial properties near the station to be redeveloped as mixed use at a higher intensity, increase how many homes are allowed in walking distance to Slauson Station, and introducing newer forms of industrial and employment through ‘industrial flex’ uses in areas where traditional industrial uses currently operate. The Plan will allow a wide range of housing types including duplexes, Accessory Dwelling Units (ADUs), triplexes, fourplexes, courtyard homes, multi-family, and small lot developments in the “More Housing Options” areas. The “TOD Mixed Use / Jobs Area” will extend to Compton Avenue and Holmes Avenue to create a connected TOD area around the station, allowing for a range of service and entertainment uses, and incentivize uses such as childcare and grocery stores, which are prioritized based on community input.

To enhance multi-modal access within the Slauson Station TOD area, the concept envisions improved wayfinding signage and street crossings, bicycle-supportive infrastructure along Miramonte Blvd., and a formalized pathway from 60th Street to Slauson Station where pedestrians currently travel in uncomfortable and hazardous conditions.

Figure 3-2: Slauson Station TOD Area Concept



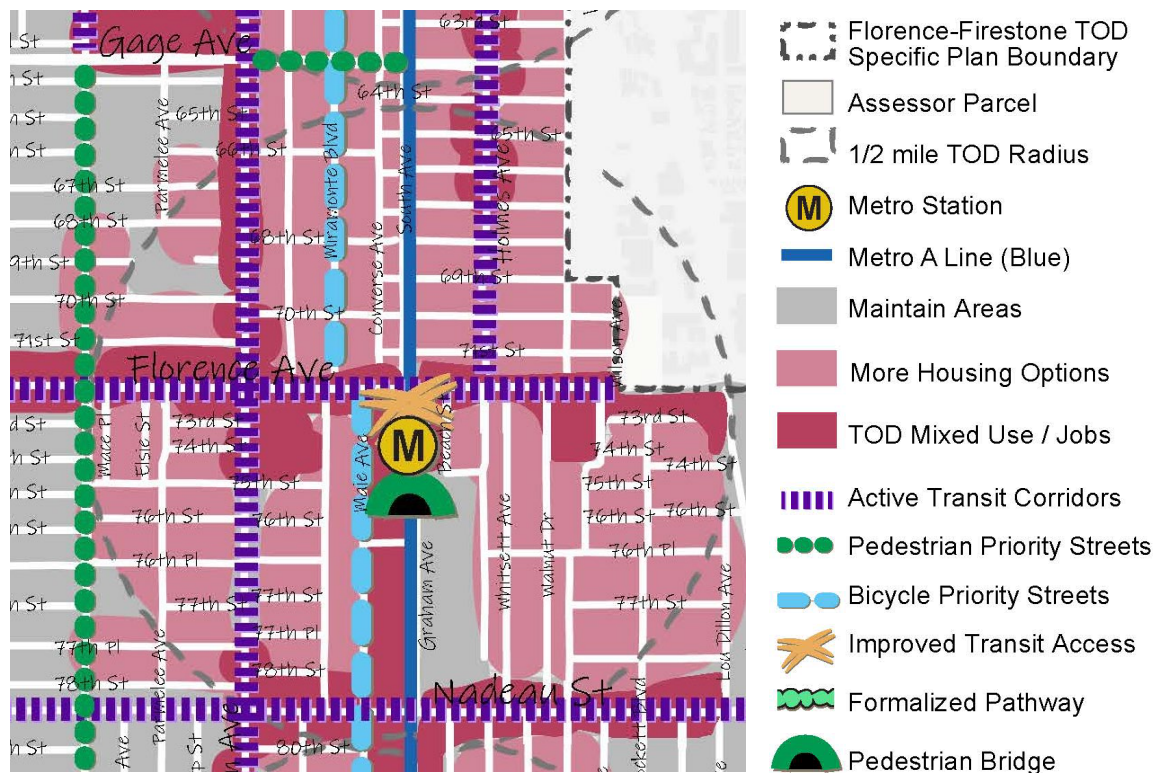
3.2.3 Florence Station TOD Area Concept

The Florence Station TOD area concept focuses on supporting and increasing neighborhood services, employment, and more homes near the Florence Station. The concept envisions a variety of uses and housing options similar to those around Slauson Station, however the allowed heights and the number of homes per acre are lower to harmonize the scale of infill development with existing neighborhoods surrounding Florence Station.

As a centrally located corridor with “main street”-style buildings and a vibrant variety of small businesses, cultural landmarks and public art, Florence Avenue serves as the heart of the Florence-Firestone community. The concept intends to reinforce and enhance the “Florence Mile” as an active mixed-use corridor and central destination with a wealth of small retail and dining businesses, neighborhood services, and housing options. The plan will allow a wide range of housing types including duplexes, ADUs, triplexes, fourplexes, courtyard homes, multi-family, and small lot developments in the “More Housing Options” areas. Medium-density mixed-use development opportunities - including the prioritized childcare and grocery stores uses - will be introduced near the transit station along Florence Avenue, Compton Avenue, Nadeau Street, and the Metro A Line (Blue) south of Florence Avenue in the “TOD Mixed Use / Jobs” areas.

To enhance multi-modal access within the Slauson Station TOD area, the concept envisions improved station access with a new pedestrian bridge and upgraded street crossing next to Slauson Station, and bicycle-supportive infrastructure along Maie Avenue.

Figure 3-3: Florence Station TOD Area Concept



3.2.4 Firestone Station TOD Area Concept

The Firestone Station TOD area concept focuses on creating stability and flexibility for existing residents and business owners and increasing neighborhood services and housing options along major corridors. In response to community concerns around displacement and loss of critical neighborhood resources, the concept reinforces the amount of homes already allowed in the area while creating flexibility for owners to improve their residential properties. This intentional calibration of density and mixed use intensity is expected to result in a lower level of overall change in the Firestone Station TOD area.

In the Equity & Mobility Study’s socioeconomic analysis, residents in the Firestone Station TOD area were found to be at the highest risk of displacement if rents increase and/or large-scale redevelopment occurs. To help preserve the stability of these residential neighborhoods while still adding much-needed housing options, the concept encourages conversion of existing homes to duplexes, and the addition of ADUs on existing single-family lots within the “More Housing Options” areas. In the “TOD Mixed Use / Jobs” areas along the Firestone and Compton corridors, neighborhood-scaled mixed use will be allowed to support additional housing near transit, services, and public amenities at Washington Park. These areas are also envisioned to include the community-prioritized grocery store and childcare uses.

To enhance multi-modal access within the Firestone Station TOD area, the concept envisions improved pedestrian conditions surrounding Firestone Station, and bicycle-supportive infrastructure along Maie Avenue and 89th Street.

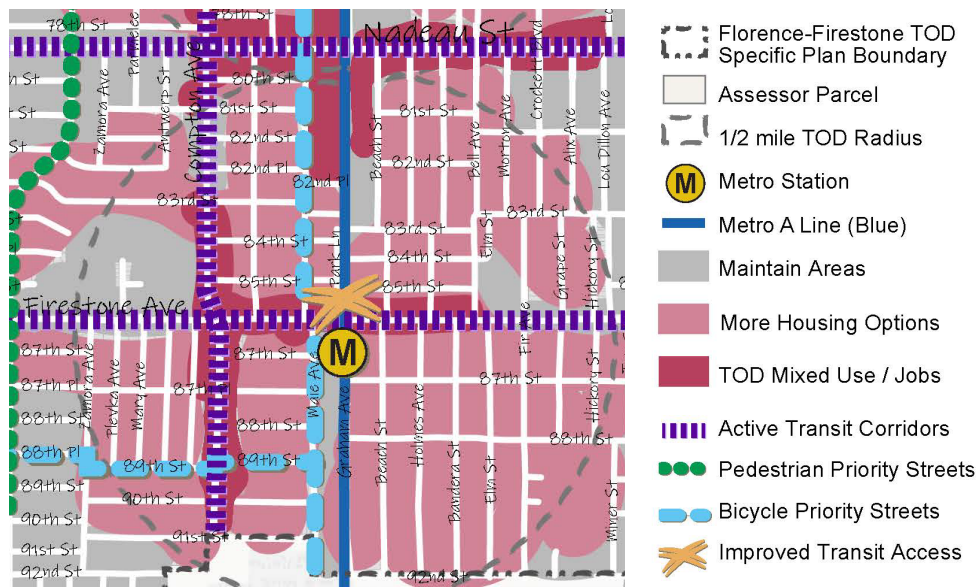
COMMUNITY FEEDBACK: Housing Types



Community feedback indicated a preference for duplexes (two homes in one building) and adding Accessory Dwelling Units (ADUs) to existing lots. In addition, the Equity & Mobility Study conducted for the project identified that residents in neighborhood south of Nadeau were at the highest risk of displacement if rents increase and/or large scale redevelopment occurs.

As a result of these findings and feedback, the ‘More Housing Option’ a new zone was developed for the areas in the Firestone Station TOD to enable existing owners to add or legalize ADUs, make expanding existing homes easier, and disincentivize lot consolidation or

Figure 3-4: Firestone Station TOD Area Concept



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Chapter 4



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Title 22 Chapter 22.418 Florence-Firestone Zones & Development Standards

Florence-Firestone Zones & Development Standards (Title 22 Chapter 22.418)

22.418.010 PURPOSE

The provisions of this Regulating Code include the zone regulations intended to guide development and decision-making to achieve the vision and guiding principles of the Florence-Firestone TOD (FFTOD) Specific Plan. All zones implement the General Plan Land Use designations consistent with the Florence-Firestone Community Plan (FFCP).

While the FFTOD Specific Plan uses the General Plan's land use legend categories, it also establishes new zones as outlined in Table 22.418.010-A in select areas of the Specific Plan Area identified in Figure 22.418.010-1. The new zones, referred to as Florence-Firestone TOD Zones, are designed to create a TOD Specific Plan for the Metro Slauson, Florence, and Firestone A Line (Blue) Transit Stations, an implementation action included in the General Plan and FFCP. Each TOD zone within the Specific Plan Area has an accompanying list of allowed land uses, permit requirements, and required objective development standards for new development. The remainder of the zones in the Specific Plan Area are existing Countywide Zones regulated by the Los Angeles County Code, Title 22 (Planning and Zoning).

This chapter is organized into the following sections:

- 22.418.010 Purpose
- 22.418.020 Administration, Review, and Approvals
- 22.418.030 Definitions
- 22.418.040 TOD Zone Land Use Regulations
- 22.418.050 TOD Mixed Use Zones



Implements FFCP Policies:

The FFCP calls for the adoption of a Transit Oriented District Specific Plan for the Metro Florence, Firestone, and Slauson L (Blue) Line Stations to encourage the development of high-density affordable housing, promote the establishment of job-generating uses, and support the development of community-serving retail uses. New zones created through this FFTOD Specific Plan are intended to supplement existing Countywide zones regulated by Title 22 (Planning and Zoning) to collectively implement FFCP policies and support the creation of a TOD Specific Plan:

- ✓ **Policy TD-1.1 Housing and Mixed-Use Development**
- ✓ **Policy C-3.3 Mixed-Use Development**
- ✓ **Policy C-3.4 Residential Development**
- ✓ **Policy I-1.1 Industrial Use Revitalization**
- ✓ **Policy R-2.3 Appropriate Higher-Density Housing**
- ✓ **Policy R-1.3 Housing for Large Households**

- 22.418.060 TOD Residential Zones
- 22.418.070 TOD Industrial Mix Zone
- 22.418.080 Community-Wide Development Standards
- 22.418.090 TOD Zone Additional Development Standards
- 22.418.100 Circulation and Parking Standards
- 22.418.110 Economic Development Incentives
- 22.418.120 Modifications to Countywide Zones

A. TOD ZONES

The standards of this Section shall apply to all new development in the Florence-Firestone TOD Zones identified in Table 22.418.010-A; the zone specific standards of this Section shall be used in combination with development standards in Section 22.418.080 (Community-Wide Development Standards) and Section 22.418.090 (TOD Zone Additional Development Standards).

B. COUNTYWIDE ZONES

All new development in existing Countywide Zones applied within the Florence-Firestone Community identified in Figure 22.418.010-1 and Table 22.418.010-A shall be regulated consistent with the applicable Title 22 Chapter unless modified by Section 22.418.120 (Modifications to Countywide Zones) herein.

Table 22.418.010-A: Overview of All Specific Plan Zones

Zone Abbreviation	Zone Name	Title 22 Reference
Florence-Firestone TOD Zones		
MU-1	Mixed-Use 1	-
MU-2	Mixed-Use 2	-
MU-3	Mixed-Use 3	-
MU-T	Mixed-Use Transit	-
RLM-1	Residential Low-Medium 1	-
RLM-2	Residential Low-Medium 2	-
RM	Residential Medium	-
RSS	Residential Slauson Station	-
IX	Industrial Mix	-
Countywide Zones, Subject to Title 22[^]		
A-1	Light Agricultural	Chapter 22.16
C-2	Neighborhood Commercial	Chapter 22.20
C-3	General Commercial	Chapter 22.20
C-M	Commercial Manufacturing	Chapter 22.20
IT	Institutional	Chapter 22.26
M-1	Light Manufacturing	Chapter 22.22
M-2	Heavy Manufacturing	Chapter 22.22
MXD*	Mixed-Use Development	Section 22.26.030
OS	Open Space	Chapter 22.44
R-1	Single-Family Residence	Chapter 22.18
R-2	Two-Family Residence	Chapter 22.18
R-3	Limited Density Multiple Residence	Chapter 22.18
R-4	Unlimited Density Multiple Residence	Chapter 22.18
*The MXD zone is regulated by Title 22 Section 22.26.030 and modified by the standards of Section 22.418.080 and 22.418.090 herein.		
[^] All countywide zones shall be regulated by the referenced Chapter in Title 22 and modified by the standards of Section 22.418.080 22.418.120 herein.		

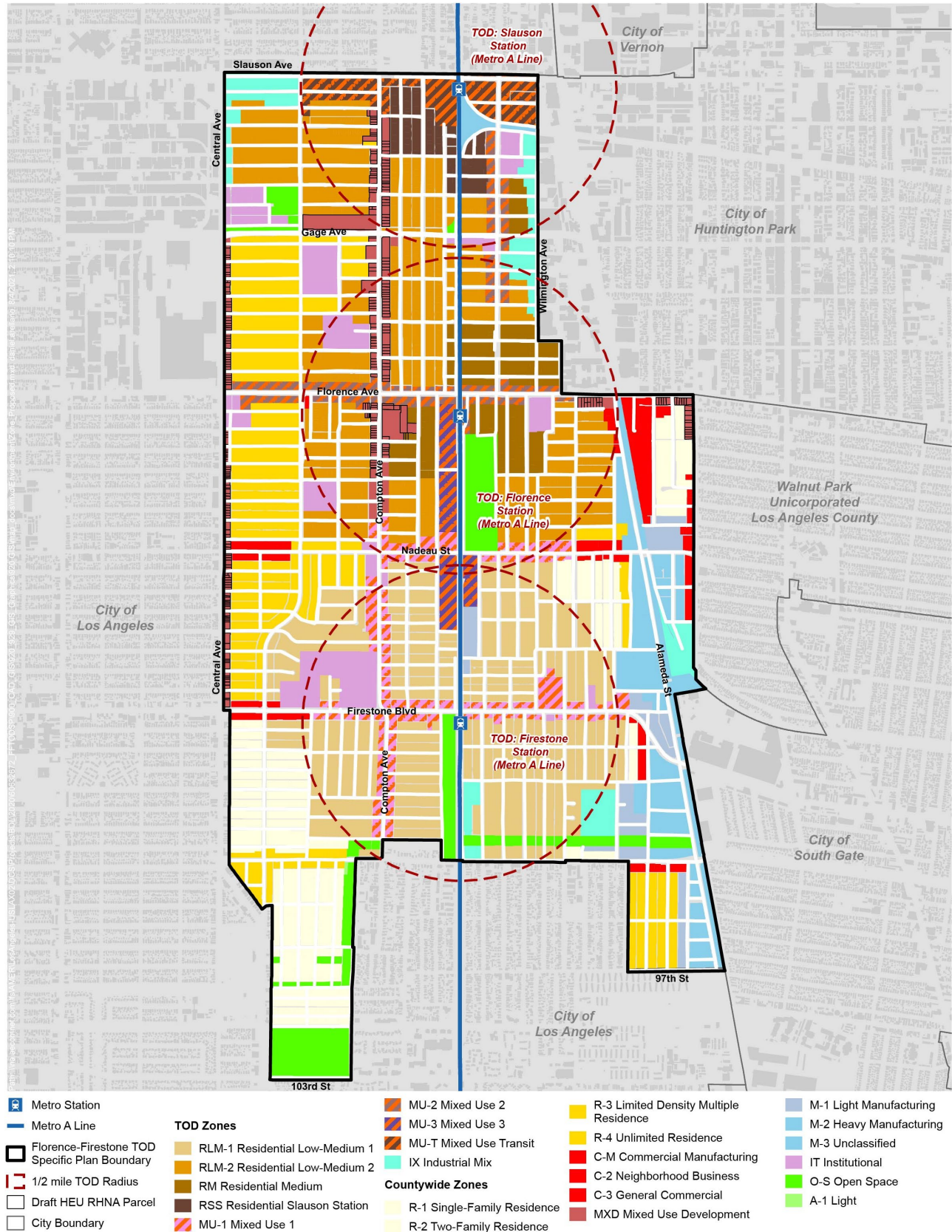
22.418.020 ADMINISTRATION, REVIEW, AND APPROVALS

A. APPLICABILITY

The Specific Plan shall apply to all new development projects for which a complete application has been filed on or after the effective date of the ordinance containing these new or revised regulations. Complete applications filed before the effective date of this Specific Plan shall comply with the regulations and applicable Title 22 provisions in effect at the time that the respective complete applications were filed.

1. Relationship to Title 22. The provisions contained in the Specific Plan shall be considered in combination with the other applicable provisions of Title 22. Where provisions of this Specific Plan conflict with any other provision of Title 22, the Specific Plan shall govern. Where provisions of the Specific Plan are silent, the other applicable provisions of Title 22 shall govern.
2. Interpretation. The Director of the Los Angeles County Department of Regional Planning (Director) or designee has the authority to internally interpret the intent of this Specific Plan if ambiguity arises concerning the meaning or appropriate application of the provisions of the Specific Plan. In so doing, the Director shall consider the following factors (as applicable):
 - a. The case is similar to previous interpretations of similar provisions.
 - b. The interpretation reflects satisfactorily the vision, intent, and purpose of the Specific Plan.
 - c. The resulting project is consistent with the General Plan.
 - d. The decision constitutes sound precedent for other similar situations.
3. Enforcement. The Director of the Department is responsible for the overall administration and enforcement of the provisions of this Specific Plan.

Figure 22.418.010-1: FFTOD Specific Plan Zoning Map



4. Severability. If any provision of this Specific Plan or the application thereof to any person or circumstance is held to be invalid by a court of competent jurisdiction, such invalidity shall not affect the other Specific Plan provisions, clauses, or applications thereof, which can be implemented without the invalid provision, clause, or application, and to this end, the provisions and clauses of this Specific Plan are declared to be severable.
5. Amendment to the Specific Plan. A Specific Plan Amendment may be initiated by the Board of Supervisors, the Regional Planning Commission, or upon application by a property owner or their designated representative. An amendment to the Specific Plan shall be processed in accordance with Title 22 Chapter 22.222 (Administrative Procedures).

B. REVIEW & APPROVALS

1. Applications. No new development or use shall be established under the Specific Plan, and no grading or building permits shall be issued for these uses, until an application has been approved for the required permit type listed in the Use Regulation tables in this Specific Plan, and pursuant to the applicable procedures set forth below.
2. Project Review. All zones established by this chapter shall be subject to the Project review and evaluation requirements of Title 22 Section 22.26.030.C.
3. Type I Review. All applications shall be filed and processed in compliance with Chapter 22.186 (Site Plan Review, Ministerial) and this section.
 - a. Review Authority. For uses that are permitted in the respective Use Regulation table, the Director shall have the authority to review projects subject to a Ministerial Site Plan Review for compliance with the Specific Plan and other provisions of Title 22.
 - b. Application Requirements. A Ministerial Site Plan Review application shall include all information required by the DRP and the payment of the required fee established in Title 22.
 - c. Determination. If the project complies with the provisions of the Specific Plan and other applicable provisions of Title 22, the Director shall grant the Ministerial Site Plan Review approval. Otherwise, the Director shall deny the application for a Ministerial Site Plan approval.
 - d. Conditional Use Permit. When a conditional use permit is required under this Specific Plan or otherwise required under Title 22, the review procedures for a conditional use permit shall be the same as those prescribed in Title 22 Chapter 22.158 (Conditional Use Permits).

C. APPLICATION REQUIREMENTS

1. Application Materials. In addition to the materials listed under Title 22 Chapter 22.186 (Site Plan Review, Ministerial), the applicant shall submit:
 - a. A site plan of the proposed privately owned public space design, detailing the required elements of this subsection, including the proposed location, design of the required public space identification signage, and design of the required signage, as required by Subsection B.1.b (Required Signage);
 - b. A lighting plan, showing the location and orientation of lights for the illumination of the privately maintained open space;
 - c. A landscaping plan, showing the location and plant palette for the privately maintained open space as may be required;
 - d. A maintenance plan, showing trash receptacles and cleaning schedules for elements of the privately maintained open space; and
 - e. An applicant's statement describing the proposed design and how the proposed privately owned public space would comply with the standards of Section 22.418.121.E. (Open Space and Parking Modifications).
2. Application Checklist Requirements. In addition to all of the materials required by this chapter, the application submittal shall contain all of the following additional materials:
 - a. A site plan of the proposed privately owned public space design, detailing the required elements of this Subsection, including the proposed location, design of the required public space identification signage, and design of the required signage, as required by Section 22.418.080.E (Required Signage).
 - b. A lighting plan, showing the location and orientation of lights for the illumination of the privately maintained open space;
 - c. A landscaping plan, showing the location and plant palette for the privately maintained open space as may be required;
 - d. A maintenance plan, showing trash receptacles and cleaning schedules for elements of the privately maintained open space; and
 - e. An applicant's statement describing the proposed design and how the proposed privately owned public space would benefit or enhance the pedestrian character or use of the site by pedestrians.
3. Denial of Inactive Application by Hearing Officer. Notwithstanding the provisions of Title 22 Section 22.222.100 (Denial of Inactive Application), the Hearing Officer shall deny, without a public hearing, any discretionary application, if such application has been deemed inactive by the Director for three months per Section 22.222.100.A (Inactive Application). Denial of an inactive application shall be issued in accordance with Section 22.222.220 (Notice of Action).

D. MINOR MODIFICATIONS TO DEVELOPMENT STANDARDS (TYPE II REVIEW)

1. Minor modifications to the standards of this Chapter shall be subject to the provisions below. Minor modifications, as defined herein, shall not require a Specific Plan Amendment, but will be subject to the outlined findings. See Table 22.418.020-A (Minor Modifications) for allowances.
 - a. Review Authority. The Hearing Officer shall have the authority to review projects requesting a modification to the development standards identified in subsection d. (Determination), below, for substantial compliance with the applicable requirements of the Specific Plan and other provisions of Title 22.
 - b. Application Requirements. A modification application shall include all information required by the DRP, and the payment of the required fee.
 - c. Procedures. A modification request shall be subject to the public hearing procedures and requirements set forth in Title 22.
 - d. Determination. If the Hearing Officer determines that the request for a modification is consistent with the principles and standards of Section 22.228.050 and the Findings per subsection 2 below, the Hearing Officer may approve the modification. Notwithstanding the foregoing, only the following development standards may be modified:

Table 22.418.020-A: Minor Modifications Allowed

Requirement	Maximum Variation
Setback	10%
Building Height	10%
Building Size / Massing	15%
Open Space Area / Landscaping	15%
Loading Areas	May be modified or waived

2. Findings. Findings and decision for minor modifications shall be made in compliance with Title Section 22.228.050 (Findings and Decision) and include the findings in this section.
 - a. The use, development of land, and application of development standards comply with all applicable provisions of Title 22.
 - b. The use, development of land, and application of development standards, when considered on the basis of the suitability of the site for the particular use or development intended, are arranged to avoid traffic congestion; to provide for the safety and convenience of bicyclists and pedestrians, including children, senior citizens, and persons with disabilities; to protect public health, safety, and general

- welfare; to prevent adverse effects on neighboring property; and to conform with good zoning practice.
- c. The use, development of land, and application of development standards are suitable from the standpoint of functional developmental design.
 - d. The application of these standards would alleviate practical difficulties or unnecessary hardships inconsistent with the goals of this Specific Plan.
 - e. There are exceptional circumstances or conditions applicable to the subject property or to the intended development of the property that do not apply to other properties within the Florence-Firestone area.
 - f. Granting the requested minor modification will not be materially detrimental to properties or improvements in the area or contrary to the goals of this Specific Plan.
3. Appeals. The decision of the Hearing Officer may be appealed or called up for review pursuant to the procedures and requirements of Title 22 Chapter 22.240 (Appeals).
 4. Revisions to Modifications. Revisions to a variation grant may be approved by the Director if the revisions do not affect the intent of the original approval. Revisions that would deviate from the intent of the original approval shall require approval of a new modification.

E. SPECIFIC PLAN MODIFICATION REVIEW (TYPE II REVIEW)

1. Review Authority. The Hearing Officer shall have the authority to review projects subject to a Specific Plan Modification Review for substantial compliance with the applicable standards and implementing options of this Specific Plan and other applicable provisions of Title 22.
2. Application Requirements. A Specific Plan Modification Review application shall include all information required by the DRP, and the payment of required fees established in Title 22.
3. Procedures. A Specific Plan Modification Review shall be subject to the public hearing procedures and requirements set forth in Title 22 Section 22.222.120 (Public Hearing Procedure).
4. Burden of Proof. The applicant shall substantiate to the satisfaction of the Hearing Officer that:
 - a. Approval of the project conforms with the applicable provisions of this Specific Plan and other applicable provisions of Title 22.
 - b. Approval of the project is in the interest of the public health, safety, and general welfare.
 - c. Site layout, open space, orientation and location of buildings, vehicular access, circulation and parking, setbacks, heights, and walls and fences encourage increased pedestrian activity compatible with neighboring land uses.

- d. Architectural character, scale, quality of design, building materials, colors, screening of exterior appurtenances, and signs are compatible with the Specific Plan and neighborhood character.
 - e. Project landscaping, including its location, type, size, color, texture, and coverage of plant materials at the time of planting, are designed and developed to provide visual interest, complement buildings and structures, and provide an attractive environment through maturity. The project landscaping shall also include measures to provide for irrigation, maintenance, and protection of the landscaped areas.
 - f. Parking areas are designed and developed to buffer surrounding land uses, complement pedestrian-oriented development, enhance the environmental quality of the site such as to minimize stormwater run-off and the urban heat-island effect, and ensure safety.
 - g. Exterior lighting and lighting fixtures are designed to complement buildings, are of appropriate scale, avoid creating glare, and provide adequate light over walkways and parking areas to foster pedestrian safety.
5. Appeals. The decision of the Hearing Officer for the Specific Plan Modification Review may be appealed or called up for review pursuant to the procedures and requirements of Title 22 Chapter 22.240 (Appeals).
 6. Revisions to Specific Plan Modification Review. Revisions to the Specific Plan Modification Review may be approved by the Director if the revisions do not affect the intent of the original approval. Revisions that would deviate from the intent of the original approval shall require the approval of a new Specific Plan Modification Review.

F. ENVIRONMENTAL CLEARANCE

An Environmental Impact Report (EIR) consistent with the California Environmental Quality Act (CEQA) is primarily a source of environmental information and disclosure for Los Angeles County, the lead agency for the project. The EIR describes the potential impacts from a project, in this case the adoption of FFTOD Specific Plan. Subsequent development projects in the Specific Plan are anticipated as the Specific Plan builds out. The EIR for this Specific Plan has been prepared as a Program EIR (PEIR), as defined by Section 15168 of the CEQA Guidelines, and subsequent projects that are within the scope of this EIR may be subject to a more limited environmental review process, as guided by the provisions of CEQA.

Use of a PEIR provides Los Angeles County with the opportunity to consider broad policy alternatives and program-wide mitigation measures. It also affords greater flexibility to address project-specific and cumulative environmental impacts comprehensively. Agencies generally prepare PEIRs for programs or a series of related actions that are linked geographically; are logical parts of a chain of contemplated events, rules, regulations, or plans that govern the conduct of a continuing program; or

are individual activities carried out under the same authority and having generally similar environmental effects that can be mitigated in similar ways.

This approach is consistent with the tiering provisions in California Public Resources Code Section 21083.3 and CEQA Guidelines Section 15183 for "Projects Consistent with a Community Plan, General Plan or Zoning." This tiering opportunity is only available for plans (e.g., specific plan) for which a PEIR has been prepared.

G. SPECIFIC PLAN EIR MITIGATION MONITORING

Pursuant to California Public Resources Code Section 21091.6, a summary of conditions of a project approval shall be prepared to mitigate or avoid significant effects on the environment. The EIR for the Specific Plan includes a Mitigation Monitoring Reporting Program (MMRP).

H. TIERING FOR CONSISTENT PROJECTS

2021 CEQA Guidelines section 15183 (excerpt):

“CEQA mandates that projects which are consistent with the development density established by existing zoning, community plan, or general plan policies for which an EIR was certified shall not require additional environmental review, except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the project or its site. This streamlines the review of such projects and reduces the need to prepare repetitive environmental studies. In approving a project meeting the requirements of this section, a public agency shall limit its examination of environmental effects to those which the agency determines, in an initial study or other analysis:

1. Are peculiar to the project or the parcel on which the project would be located, were not analyzed as significant effects in a prior EIR on the zoning action, general plan, or community plan, with which the project is consistent,
2. Are potentially significant off-site impacts and cumulative impacts which were not discussed in the prior EIR prepared for the general plan, community plan or zoning action, or
3. Are previously identified significant effects which, as a result of substantial new information which was not known at the time the EIR was certified, are determined to have a more severe adverse impact than discussed in the prior EIR.

If an impact is not peculiar to the parcel or to the project, has been addressed as a significant effect in the prior EIR, or can be substantially mitigated by the imposition of uniformly applied development policies or standards, then an additional EIR need not be prepared for the project solely on the basis of that impact.”

22.418.030 DEFINITIONS

For the purposes of regulating this Specific Plan and development within Florence-Firestone, the following definitions are used:

1. **Artisan Production / Custom Manufacturing.** Manufacture of small-scale, or artisanal products of finished parts or products primarily from previously prepared materials. Allowed as a primary or accessory use; limited to a maximum gross floor area of 5,000 square feet. Typical of independent jewelry manufacturing, custom products. It excludes basic industrial processing from raw materials, food processing, and vehicle/equipment services and commercial bakeries.
2. **Directly Accessible to Pedestrians.** Located within 10 feet of the public sidewalk abutting the property and where not more than 20 feet of path of travel is required from said public sidewalk.
3. **Driveway Zone.** The triangular areas created on both sides of a driveway delineated by the following three points, including the portion of the driveway located between the aforementioned triangular areas.
4. **Frontage Zone.** The area on private property which abuts the public sidewalk.
5. **Furniture Zone.** The portion of the sidewalk which contains street lighting, utilities such as fire hydrants, traffic control equipment, and street trees, and may contain other landscaping or street furniture such as benches and waste receptacles. The furniture zone is sometimes referred to as a parkway when landscaped.
6. **Micro-unit Size.** A micro-unit consists of one-room living space designed to include seating, a bed, a bathroom, storage, and a kitchenette.
7. **Pedestrian Zone.** The portion of the sidewalk, which is used for pedestrian passage, and should be kept clear of obstructions.
8. **Primary Corridors.** All streets identified in Figure 22.418.030-1 shall be considered Primary Corridors. Certain pedestrian and design standards apply to Primary Corridors to improve the walkability of the community and access to the TOD stations.
9. **Public Realm.** The publicly-accessible space between the street curb face and the building. This area includes the sidewalk zones and the required street setback, if applicable.
10. **Sidewalk Zones.** The public sidewalk inclusive of the Frontage Zone, Pedestrian Zone, and Furniture Zone, collectively referred to as 'Sidewalk Zones.'
11. **Stepback.** Measurement of the required upper-story horizontal distance by which a development feature must be separated from the minimum required setback. Regulated as a horizontal distance above a defined vertical distance.

22.418.040 TOD ZONE LAND USE REGULATIONS

A. APPLICABILITY.

The provisions in this Section are applicable to all parcels in the TOD Zones and shall supersede the provisions in Title 22. Where the development standards differ from provisions in Title 22, the provisions herein shall prevail. Where the standards of this code are silent, the provisions of Title 22 shall apply.

B. PERMIT AND REVIEW REQUIREMENTS

Table 22.418.040-A (Permit and Review Requirements), identifies the permit or review required to establish each use as regulated by the applicable zone.

Table 22.418.040-A: Permit and Review Requirements

Abbreviation	Permit or Review Requirement	Reference
-	Not Permitted	
P	Permitted	
ABP	Adult Business Permit	Chapter 22.150
AC	Accessory use only	
AP	Animal Permit	Chapter 22.152
CUP	Conditional Use Permit	Chapter 22.158
MCUP	Minor Conditional Use Permit	Chapter 22.160
SPR	Ministerial Site Plan Review	Chapter 22.186
SEP	Special Events Permit	Chapter 22.188
HP	Housing Permit	Chapter 22.140

1. Principal Uses. Tables 22.418.050-A, 22.418.060-A, and 22.418.070-A identify the allowed principal uses by zone.
2. Use Interpretations.
 - a. Unlisted Uses.
 1. Prohibited Uses. Those uses not listed are prohibited, except as otherwise provided by Title 22 Section [22.18.020.E](#) (Residential Zones Designated), Section [22.20.020.E](#) (Commercial Zones Designated), and Section [22.22.020.E](#) (Industrial Zones Designated).
 2. Unlisted Similar Compatible Uses. Any land use that is not specifically listed in the land use tables for the applicable zone is prohibited. However, the Director shall have the authority to ministerially determine whether the proposed use may be permitted when the use is substantially similar to a listed permitted use, similar in impact to a listed

permitted use, or compatible with the purpose and intent fo the applicable zone.

- b. Use Modifications. This Specific Plan may modify the uses or development standards of the Countywide Zones listed in Table 22.418.010-A; see Section 22.418.120 (Modifications to Countywide Zones) of this Specific Plan.
3. Additions, Repairs, or Modifications to Existing Structures. These standards shall apply to any new addition, repair, or modification to existing structures, for which a complete application has been filed on or after the effective date of the Specific Plan containing these new or revised regulations, except as otherwise provided for in this section. When an addition, repair, or modification to an existing structure is subject to these new or revised regulations, only the actual addition, repair, or modification shall be required to comply with these regulations.
4. The following types of additions, repairs, or modifications to existing structures shall be exempt from new or revised regulations:
 - a. Normal maintenance or repair of an existing building or structure that is necessary to ensure its safe and habitable condition for ordinary and intended use; and
 - b. The remodeling of interior space of a structure that does not cause elimination of any of the structure's windows and does not increase the gross square footage of the structure's nonresidential floor area, the number of rooms available for lodging uses, or the number of dwelling units in the structure.

C. NONCONFORMING USES, BUILDINGS, OR STRUCTURES

1. Existing uses that are made nonconforming by this Specific Plan shall not be expanded and are further subject to the provisions of Title 22 Chapter [22.172](#) (Nonconforming Uses, Buildings and Structures).
2. The nonconforming status of uses that were previously rendered nonconforming, and which will continue to be nonconforming in the Specific Plan zones, shall be considered uninterrupted for the purposes of complying with the nonconforming provisions of Title 22 Chapter 22.172. Legal single-family and two-family residences rendered nonconforming at any time may continue in perpetuity subject to the nonconforming provisions of Title 22. Nonconforming apartments in MXD zones are exempt from the nonconforming provisions of Title 22. For the purposes of this Specific Plan, they are considered conforming and therefore allowed by right in those zones.



Implements FFCP Policies:

Land use compatibility between adjacent uses and buildings is an important consideration in mixed use communities, such as Florence-Firestone. The FFTOD Specific Plan addresses the following FFCP policies through establishing land use operation standards that seeks to promote safety, health, and welfare of the surrounding community:

- ✓ **Policy I-3.3 Noise Emissions**
- ✓ **Policy I-4.1 Improvements to Reduce Industrial Impacts**
- ✓ **Policy I-4.6 Disproportionate Level of Impacts**

D. LAND USE OPERATIONS.

Mixed use communities and development requires special attention as to the compatibility and livability of all uses within a building and the adjacent uses/buildings. All mixed use and non-residential zones within the Specific Plan Area shall comply with the following.

1. No operations conducted on any property shall create objectionable and/or obnoxious dust, light, matter, mud, noise, odor, refuse, smoke, steam, vibration, maintenance needs of grounds or buildings, or other nuisance(s).
2. No land use shall be detrimental to the health and welfare of the surrounding community. See applicable use standards for further requirements.

22.418.050 TOD MIXED USE ZONES

A. PURPOSE

The general purpose of the TOD Mixed Use (MU) Zoning Districts (Zones), as established by the FFTOD Specific Plan and shown in Figure 22.418.050-1, is to provide support for transit-oriented development that locates employment, homes, and services near transit stations. The specific purpose for each TOD MU Zone is as follows:

1. **Mixed Use 1 Zone.** The Mixed Use 1 (MU-1) Zone is intended to support mixed use corridors to provide a range of local neighborhood services and homes near transit. This zone implements the Major Commercial (CM) General Plan Land Use Designation, which allows 30-150 du/net acre for residential uses and a maximum Floor Area Ratio (FAR) of 3.0 for non-residential uses.
2. **Mixed Use 2 Zone.** The Mixed Use 2 (MU-2) Zone is intended to support “main street” retail, employment, and homes for the community near transit along existing commercial corridors surrounding the Slauson and Florence Transit Stations. This zone allows local neighborhood services and homes. The MU-2 Zone encourages more housing and strengthens transit corridors to support transit use and accessibility, as well as business and workforce opportunities. This zone implements the Mixed Use (MU) General Plan Land Use Designation, which allows 50-150 du/net acre for residential uses and a maximum Floor Area Ratio (FAR) of 3.0 for non-residential uses.
3. **Mixed Use 3 Zone.** The Mixed Use 3 (MU-3) Zone is intended to focus on employment and higher-density residential uses to create more jobs and homes for the community near transit, focused in existing industrial areas with large sites surrounding the Florence Station. The purpose is to create an employment-focused, high intensity mixed use transit district that allows for the creation of transitions between industrial uses, such as offices, to buffer homes and support the goals of the County Green Zones Program. The MU-3 Zone encourages the additional business and workforce opportunities, as well as housing focused around the Florence Station. This zone implements the Mixed Use (MU) General

COMMUNITY FEEDBACK: Desired Use Types



The FFTOD Specific Plan outreach activities highlighted that residents want to see more housing, entertainment, and a range of uses in the core TOD areas.

The TOD Mixed Use Zones were designed to respond to this feedback, allowing a range of housing and compatible community, retail, and entertainment uses.



Implements FFCP Policies:

The FFCP identifies a variety of policies intended to promote a diverse mix of high-quality retail, residential, and mixed-use development along key corridors and within proximity to the Metro A Line Stations. These MU zones implement the following FFCP policies:

- ✓ **Policy TD-2.1 Mix of Land Uses**
- ✓ **Policy R-2.1 Housing in Commercial Areas**
- ✓ **Policy R-2.3 Appropriate Higher-Density Housing**
- ✓ **Policy C-2.3 Activity Centers**

Plan Land Use Designation, which allows 50-150 du/net acre for residential uses and a maximum Floor Area Ratio (FAR) of 3.0 for non-residential uses.

4. **Mixed Use Transit Zone.** The Mixed Use Transit (MU-T) Zone is intended to create a higher-intensity mixed use transit district with a variety of housing, jobs, and neighborhood services within existing commercial and industrial areas surrounding the Slauson Station. This zone allows uses that foster a pedestrian-oriented setting with active uses to encourage walking, biking, and rolling. The MU-T Zone prioritizes multi-modal transportation, which promotes a healthier environment for community members by making it easier, safer, and more comfortable to travel using alternative transportation. This zone implements the Mixed Use (MU) General Plan Land Use Designation.

B. LAND USE REGULATIONS FOR TOD MU ZONES

1. **Allowed Uses.** Table 22.418.050-A prescribes the land use regulations for Zones MU-1, MU-2, MU-3, and MU-T. See Table 22.418.040-A for permit or review required to establish each use listed in Table 22.418.050-A.
 - a. Use permissions shall be the same for mixed use or commercial-only development unless otherwise stated in Table 22.418.050-A.
 - b. Residential uses, as stand alone or in a mixed use configuration, shall be subject to locational standards/limitations
2. **Accessory uses.** Accessory uses shall be regulated by Title 22 Table 22.26.030-D.
3. **Temporary Uses.** Temporary uses shall be regulated by Title 22 Table 22.26.030-E.
4. **Project Review and Evaluation.** All applications within the MU zones shall be subject to Title 22 Section 22.26.030.C (Project Review and Evaluation).
5. **Performance Standards.** Structures and uses in the TOD MU zones are subject to the standards of Section 22.418.080 through 22.418.110 of this Specific Plan and the performance standards found in Title 22 Section 22.26.030.F.
 - a. All residential uses in the TOD MU zones shall be exempt from Residential zone proximity use limitations per Title 22 Section 22.140.410, Section 22.140.590, and similar standards.
 - b. **Ground Floor Residential Limitations.** In the TOD MU zones with parcel frontage along Slauson Avenue, Compton Avenue, Florence Avenue, Firestone Boulevard, and Nadeau Street, the location of residential units shall be limited as follows:
 - i. Residential units (with or without entryways) shall not be permitted on the ground floor within first 35 feet of a Primary Corridor, as shown in Figure 22.418.030-1; common space (lobby, amenity space) is allowed where the ground floor height standards of Section 22.418.090.E of this Chapter are met.
 - ii. Residential units are allowed on upper floors at these locations.

- iii. TOD MU zones with frontage on any other street shall be permitted to have residential units with entries on the ground floor.

Figure 22.418.050-1: TOD Mixed Use Zones

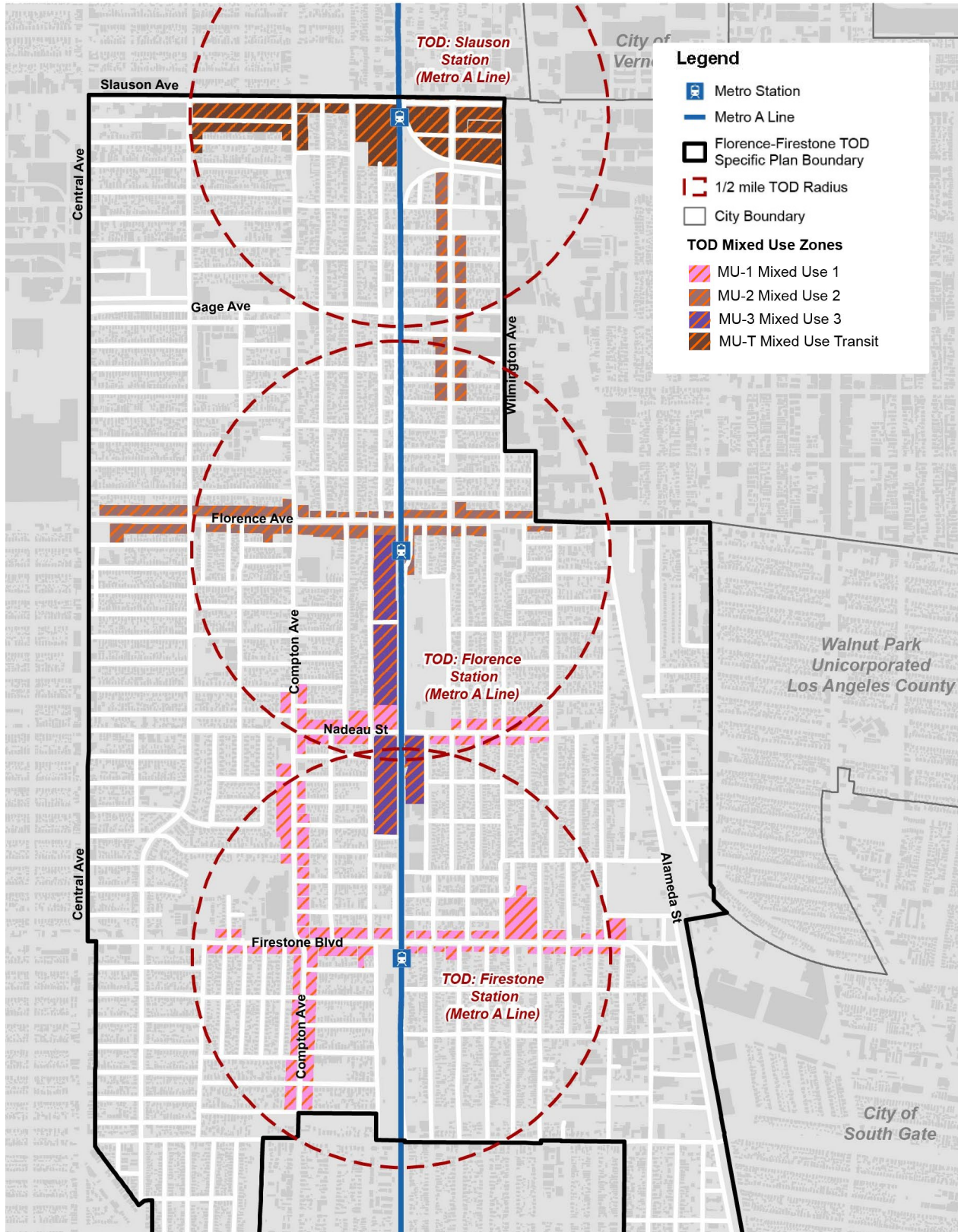


Table 22.418.050-A: TOD Mixed Use Zones Principal Use Regulations

See Table 22.418.040-A for use permission abbreviations

Use Category	MU1	MU2	MU3	MUT	Notes
Agricultural and Resource-Based Uses					
Community gardens	P	P	P	P	
Cannabis Uses					
Cannabis businesses and activities; including renting, leasing, and permitting	--	--	--	--	§22.140.134
Cannabis cultivation, personal; accessory to a legally established dwelling unit	See Table 22.16.030-C: Accessory Use Regulations				
Greenhouses	AC(SPR)	AC(SPR)	AC(SPR)	AC(SPR)	
Animal-Related Uses					
Dog training schools, excluding boarding	SPR	SPR	--	--	Prohibited in vertical mixed use
Veterinaries, small animal					
Clinics	SPR	SPR	--	--	Prohibited in vertical mixed use
Hospitals and veterinary consulting offices	SPR	SPR	--	--	
Hospitals	SPR	SPR	--	--	
Humane societies	CUP	CUP	--	--	
Cultural, Educational, and Institutional Uses					
Amphitheaters	CUP	AC(SPR)	AC(SPR)	AC(SPR)	
Arboretums and horticultural gardens	SPR	SPR	AC(SPR)*	AC(SPR)*	*Indoor only
Community centers	SPR	SPR	AC(SPR)	SPR	
Institutions of a philanthropic or charitable nature	P	P	P	P	
Libraries	SPR	SPR	SPR	SPR	
Museums	SPR	SPR	SPR	SPR	
Schools					
§22.140.134					
Business and professional schools	SPR	SPR	SPR	SPR	
Colleges and universities, accredited, excluding trade or commercial schools	SPR	SPR	SPR	SPR	Non-profit only
Schools, grades K-12, accredited by the State of California, excluding trade or commercial schools	SPR	SPR	SPR	SPR	§22.140.480
Theaters and other auditoriums	CUP	CUP	AC(SPR)*	AC(SPR)*	*Indoor only
Theaters and other auditoriums having a seating capacity of up to 3,000 seats	--	--	AC*	AC*	*Indoor only

Industrial Uses					
Assembly and manufacture					
Artisan Production / Custom Manufacturing	SPR	SPR	SPR	SPR	\$22.418.030 for definition
Breweries	- -	SPR	SPR	SPR	

Table 22.418.050-A: TOD Mixed Use Zones Principal Use Regulations (Continued)

See Table 22.418.040-A for use permission abbreviations

Use Category	MU1	MU2	MU3	MUT	Notes
Breweries	- -	SPR	SPR	SPR	
Craft products	SPR	SPR	SPR	SPR	
Glass, the production by hand of crystal glass art novelties within a closed building of fire-resistant construction	- -	- -	SPR	SPR	
Laboratories, research and testing	- -	- -	SPR	SPR	
Motion picture processing, reconstruction, and synchronizing of film with sound tracks	SPR	SPR	SPR	SPR	
Motion picture studios and indoor sets	SPR	SPR	SPR	SPR	\$22.140.060.A
Wineries, In compliance with Section 22.140.610.D3	- -	CUP	CUP	CUP	\$22.140.610
Lodging Uses					
Hotels	CUP	CUP	CUP	CUP	
Recreational Uses					
Arcades, game or movie	CUP	CUP	CUP	CUP	
Bowling alleys	CUP	CUP	- -	- -	
Gymnasiums	SPR	SPR	AC(SPR)	AC(SPR)	
Parks, playgrounds, and beaches, including accessory facilities	SPR	SPR	SPR	SPR	
Recreation clubs, commercial	SPR	SPR	SPR	SPR	
Riding and hiking trails, excluding trails for motor vehicles	SPR	SPR	- -	- -	
Skating rinks, ice or roller	CUP	- -	- -	- -	
Residential Uses					
Accessory dwelling units (ADUs) / Junior ADUs (JADUs)	SPR	SPR	SPR	SPR	
Adult residential facilities					
Facilities serving 6 or fewer persons	P	P	P	P	
Facilities serving 7 or more persons	CUP	CUP	CUP	CUP	
Day Care*					
Adult day care centers*	CUP	CUP	CUP	CUP	*Locational standards per §22.418.060.B
Child care centers, less than 50 children*	CUP	SPR	SPR	SPR	
Large family child care homes, in compliance with Section 22.140.210.B.1	P	P	P	P	\$22.140.210

Large family child care homes, in compliance with Section 22.140.210.B.2	MCUP	MCUP	MCUP	MCUP	\$22.140.210
Small family child care homes for children, serving 6 or fewer persons	P	P	P	P	

Table 22.418.050-A: TOD Mixed Use Zones Principal Use Regulations (Continued)

See Table 22.418.040-A for use permission abbreviations

Use Category	MU1	MU2	MU3	MUT	Notes
Small family child care homes for children, serving 6 or fewer persons	SPR	SPR	SPR	SPR	
Domestic violence shelters	SPR	SPR	SPR	SPR	§22.140.180
Foster family homes, in an approved residential use	P	P	P	P	
Group home for children					
Facilities serving 6 or fewer persons	P	P	P	P	§22.140.520
Facilities serving 7 or more persons	CUP	CUP	CUP	CUP	
Guest House	SPR	SPR			
Home occupation	P	P	P	P	§22.140.290
Joint live and work units (1)	SPR	SPR	SPR	SPR	§22.140.320
Multi-family housing					
Multi-family, all configurations consistent with development standards	SPR	SPR	SPR	SPR	Subject to location limitations
Residential substance use recovery facilities					
Facilities serving 6 or fewer persons	P	P	P	P	
Facilities serving 7 or more persons	CUP	CUP	CUP	CUP	
Rooming and boarding houses	SPR	SPR	--	SPR	
Supportive Housing	P	P	P	P	§22.128.100 / §8.04.345
Transitional Housing	P	P	P	P	§22.130.100
Retail/Commercial Uses					
Alcoholic beverage sales, for off-site consumption	CUP	CUP	CUP	CUP	
Alcoholic beverage sales, for on-site consumption	CUP	CUP	CUP	CUP	§22.140.030
Art galleries	SPR	SPR	SPR	SPR	
Bakery shops (full service or accessory to retail)	SPR	SPR	SPR	SPR	
Confectioneries and candy stores, including making only when accessory to retail sales from the premises	SPR	SPR	SPR	SPR	
Drugstores	SPR	SPR	SPR	SPR	
Farmers' markets	SPR	SPR	SPR	SPR	§22.140.220
Retail services (florist shops, newsstands, etc.)	SPR	SPR	SPR	SPR	
Grocery / food stores	SPR	SPR	SPR	SPR	
Health clubs and centers	SPR	SPR	SPR	SPR	
Food Service (cafes, delicatessens, ice cream shops, etc.)	SPR	SPR	SPR	SPR	
Catalog / Internet / Mail order business	SPR	SPR	SPR	SPR	
Meat markets, excluding slaughtering	SPR	SPR	SPR	SPR	
Pet supply stores, excluding the sale of pets other than tropical fish or goldfish	SPR	SPR	SPR	SPR	
Recording studios	SPR	SPR	SPR	SPR	
Retail store / sales	SPR	SPR	SPR	SPR	

Table 22.418.050-A: TOD Mixed Use Zones Principal Use Regulations (Continued)

See Table 22.418.040-A for use permission abbreviations

Use Category	MU1	MU2	MU3	MUT	Notes
Tasting rooms, on-site or remote					
In compliance with 22.140.590.D.1	MCUP	MCUP	MCUP	MCUP	\$22.140.590
In compliance with 22.140.590.D.2	CUP	CUP	CUP	CUP	\$22.140.590
Tobacco shops	SPR	SPR	--	--	
Service Uses					
Banks, savings and loans, credit unions, and finance companies	SPR	SPR	SPR	SPR	Excludes alternative financial services \$22.140.690
Barber / Beauty / Spa services and shops	SPR	SPR	SPR	SPR	
Bars and cocktail lounges	CUP	CUP	CUP	CUP	
Blueprint / Photocopying shops	SPR	SPR	SPR	SPR	
Body piercing parlors	SPR	SPR	SPR	SPR	
Catering services	SPR	SPR	SPR	SPR	
Contractor services(cesspool, locksmith, plumber, electricians, etc.)	SPR	SPR	SPR	SPR	Indoor only
Dance halls, indoor	CUP	CUP	--	CUP	
Dance pavilions, outdoor	AC(SPR)	AC(SPR)	AC(SPR)	AC(SPR)	
Massage establishment	CUP	CUP	CUP	CUP	
Medical services					
Dental clinics, including associated laboratories	SPR	SPR	SPR	SPR	
Dental laboratories	SPR	SPR	SPR	SPR	
First aid stations	SPR	SPR	SPR	SPR	
Hospitals	--	--	CUP	CUP	
Medical clinics, including associated laboratories and prescription pharmacies	SPR	SPR	SPR	SPR	
Medical laboratories	SPR	SPR	SPR	SPR	
Nightclubs	CUP	CUP	CUP	CUP	
Offices, business or professional (all types)	SPR	SPR	SPR	SPR	
Parking lots and parking buildings, commercial	AC	AC	AC	AC	
Permanent cosmetics parlors	CUP	CUP	--	--	
Pet grooming services, excluding boarding	CUP	CUP	--	--	
Rental services					
Bicycle rentals	SPR	SPR	SPR	SPR	
Costume rentals	SPR	SPR	SPR	SPR	Indoor only
Hospital equipment and supply rentals	SPR	SPR	SPR	SPR	Indoor only
Party equipment rentals	SPR	SPR	SPR	SPR	Indoor only

Table 22.418.050-A: TOD Mixed Use Zones Principal Use Regulations (Continued)

See Table 22.418.040-A for use permission abbreviations

Use Category	MU1	MU2	MU3	MUT	Notes
Tool rentals, including rototillers, power mowers, sanders and saws, cement mixers, and other equipment, excluding heavy machinery or trucks exceeding two tons capacity	- -	- -	CUP	CUP	Indoor only
Repair shops	CUP	CUP	SPR	SPR	Indoor only
Restaurants and other eating establishments, including food take-out and outdoor dining					
In compliance with Title 22 22.140.410.B.1	SPR	SPR	SPR	SPR	§22.140.410
In compliance with Title 22 22.140.410.B.2	SPR	SPR	SPR	SPR	
Scientific research or experimental development of materials, methods, or products, including engineering and laboratory research, administrative and other related activities, and facilities in conjunction therewith	SPR	SPR	SPR	SPR	
Tattoo parlors	CUP	- -	- -	CUP	
Wedding chapels	SPR	SPR	- -	- -	
Transportation, Electrical, Gas, Communications, Utilities, and Public Service Uses					
Airports, heliports, helistops, and landing strips	CUP	CUP	CUP	CUP	
Communications equipment buildings	SPR	SPR	SPR	SPR	
Electric distribution substations, including related microwave facilities	SPR	SPR	SPR	SPR	§22.140.200
Electric transmission substations and generating plants, including related microwave facilities	SPR	SPR	SPR	SPR	
Electric transformer substations			SPR	SPR	
Fire stations	SPR	SPR	SPR	SPR	
Microwave stations	SPR	SPR	SPR	SPR	
Police stations	SPR	SPR	SPR	SPR	
Post offices	SPR	SPR	SPR	SPR	
Publicly owned uses necessary to maintain public health, convenience, or general welfare	CUP	CUP	CUP	SPR	
Public utility service centers	SPR	SPR	SPR	SPR	
Radio and television broadcasting studios	SPR	SPR	SPR	SPR	
Radio and television stations and towers, excluding studios	CUP	CUP	CUP	CUP	
Radio and television stations, studios, and towers	CUP	CUP	CUP	CUP	
Stations, bus, railroad, or taxi	SPR	SPR	- -	- -	
Stations and terminals; bus, railroad, and taxi	- -	- -	SPR	SPR	
Telephone repeater stations	SPR	SPR	SPR	SPR	

Table 22.418.050-A: TOD Mixed Use Zones Principal Use Regulations (Continued)

See Table 22.418.040-A for use permission abbreviations

Use Category	MU1	MU2	MU3	MUT	Notes
Vehicle-Related Uses					
Vehicle services					
Automobile battery services	SPR	--	--	--	Within an enclosed building only; prohibited in vertical mixed use
Automobile body and fender repair shops	CUP	--	--	--	
Automobile brake repair shops	CUP	--	--	--	
Automobile repair garages, excluding body and fender work, painting, and upholstery	CUP	--	--	--	
Automobile supply stores	SPR	SPR	--	--	§22.140.100 Within an enclosed building only; parts installation is prohibited onsite
Notes: (1) 2 or more attached units required; use may also be subject to Chapter 22.120 (Density Bonus), Chapter 22.121 (Inclusionary Housing), or Chapter 22.166 (Housing Permits).					

C. DEVELOPMENT STANDARDS FOR TOD MU ZONES

1. All structures and uses in all TOD MU Zones (MU-T, MU-3, MU-2, and MU-1) shall be subject to the regulations of Table 22.418.050-B and Section 22.418.090, 22.418.100, and 22.418.110.
 - a. Required setbacks from streets are regulated by the locational standards of Table 22.418.090-A (Required Street Setback Ranges); these apply to any zone with frontage along that street. Setback standards for all structures and uses in the TOD Residential Zones are summarized in Figure 2.420.050-2 below.
 - b. Required stepbacks are regulated by the locational standards of Table 22.418.090-B (Required Stepbacks).

Figure 22.418.050-2: TOD MU-1 and MU-2 Zone Standards Summary

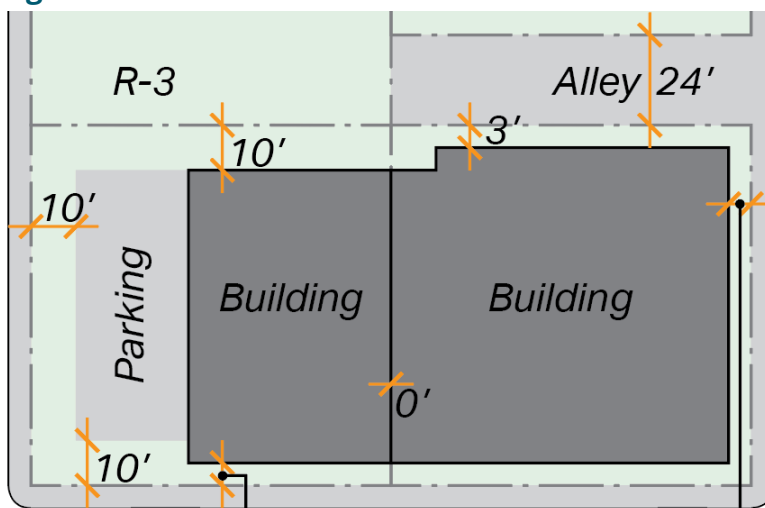


Table 22.418.050-B: TOD Mixed Use Zone Development

Standard	MU-1	MU-2	MU-3	MU-T	Notes
1. Intensity (22.418.090.C) & Density (22.418.090.D)					
Maximum FAR	3.0 for commercial only, mixed use, and joint live and work developments				Housing in a mixed use format shall be regulated by min. and max. densities, and subject to the max. FAR for the zone.
Density (du/net ac.)	30 du/ac. min.; to 150 du/ac. max.	50 du/ac. min.; 150 du/ac. max			
2. Maximum Height (22.418.090.E)					
Building (feet)	50'	North of Gage: 60'; Other locations: 50'	65'	72'	Fifth story (where applicable) limited to 50% of ground floor area
Number of Stories	4	5 north of Gage; 4 all other locations	5	6	
4. Minimum Setbacks (22.418.090.F) Measured from Property Line (PL) unless otherwise noted					
Street PL Range	See Table 22.418.090-A (Required Street Setback Ranges)				Section 22.418.090.F
Interior PL	0'	0'	0'	0'	Section 22.418.090.F
Interior PL to R-3 zones	10'	10'	15'	10'	
Alley	3' to building; 24' minimum alley width				
Parking/Garage to Street	10' min.				Section 22.418.090.F landscaping required in all setbacks.
Alley to Street	3' min.				
5. Upper Story Stepbacks (22.418.090.G)					
Required	See Table 22.418.090-B (Required Stepbacks)				
6. Other Applicable Standards					
Development Standards	Section 22.418.080 and 22.418.090				
Required Open Space	Section 22.418.090.N				
Circulation and Parking Standards	Section 22.26.030.D.5 and 22.418.100				
Tree Requirements	Section 22.126.030				
7. Fence Standards (22.418.090.M)					
Street Setback	Mixed use and non-residential: fences prohibited between building and public right-of-way; Residential uses where permitted: 0' for fences of 42" height or less; ≥50% transparency required				
Interior and Rear PL	0' setback fence to PL				
Fence Height	Adjacent to residential zone: 6' maximum; Adjacent to non-residential* projects: minimum 6' fence				*Includes mixed use and affordable housing projects

Standard	MU-1	MU-2	MU-3	MU-T	Notes
	required; maximum 10' fence permitted for noise or privacy				

22.418.060 TOD RESIDENTIAL ZONES

A. PURPOSE

The general purpose of the TOD Residential Zoning Districts (Zones), as established by the FFTOD Specific Plan and shown in Figure 22.418.060-1, is to support a variety of housing options, types, configurations, and affordability levels within proximity to transit.

- 1. Residential Low-Medium 1 Zone.** The Residential Low-Medium 1 (RLM-1) Zone is intended to maintain the existing residential neighborhood while supporting a broader range of housing types and configurations, such as single-family residential, townhomes, duplexes, and triplexes. The RLM-1 zone provides individuals and households with affordable options in proximity to transit and services. This zone implements the Residential 18 (H18) General Plan Land Use Designation, which allows 0-18 du/net acre for residential uses.
- 2. Residential Low-Medium 2 Zone.** The Residential Low-Medium 2 (RLM-2) Zone is intended to maintain existing residential neighborhoods while supporting a broader range of housing types and configurations, such as townhomes, duplexes, triplexes, apartments, and multi-family residential. The RLM-2 Zone provides individuals and households with a variety of housing options, including types and configurations which are affordable and accommodating for lifestyles in proximity to transit and services. This zone implements the Residential 30 (H30) General Plan Land Use Designation, which allows 20-30 du/net acre for residential uses.
- 3. Residential Medium Zone.** The Residential Medium (RM) Zone is intended to apply to existing residential neighborhoods where the purpose is to encourage medium density residential near transit. The RM Zone allows multifamily residential homes such as apartments and townhomes. This zone implements the Residential 50 (H50) General Plan Land Use Designation, which allows 20-50 du/net acre for residential uses.
- 4. Residential Slauson Station Zone.** The Residential High (RH) Zone is intended to encourage the establishment of high density residential near transit in existing neighborhoods. The RH Zone seeks to provide a wider range of housing types and

COMMUNITY FEEDBACK: Types of Homes



The FFTOD Specific Plan outreach activities highlighted that Florence-Firestone residents want to see a range of home types, specifically duplexes, and ADUs, in the TOD residential areas.

The RLM-1 zone was designed to promote neighborhood stability while making it easier to build duplexes and ADUs and adding more homes within the existing neighborhood setting.

The other Specific Plan Residential zones were set up to allow for a broad range of home types and make it easier to design quality higher-density housing that is compatible with the community context.

densities, supporting transit-oriented development near the Slauson Station. This approach encourages a mixture of housing types. This zone implements the Residential 100 (H100) General Plan Land Use Designation, which allows 50-100 du/net acre for residential uses.

B. LAND USE REGULATIONS FOR TOD R ZONES

1. Allowed Uses.
 - a. Table 22.418.060-A prescribes the land use regulations for the Specific Plan TOD Residential Zones (RSS, RM, RLM-2, RLM-1). Table 22.418.040-A (R Zone Principal Use Regulations) lists the type of review required to establish various land uses.
 - b. All residential uses are subject to Title 22 Chapter 22.120 (Density Bonus), Chapter 22.121 (Inclusionary Housing), or Chapter 22.166 (Housing Permits), where applicable.
2. Allowed non-residential uses, per Table 22.418.060-A, are intended to provide in-neighborhood daily services or needs such as small independent grocers or personal services. All non-residential uses shall be:
 - a. Located on a corner lot; non-residential uses are prohibited on interior lots;
 - b. Limited to a maximum of 5,000 square feet GFA; and
 - c. Designed consistent with the development standards of the applicable zone.
3. Accessory uses. Accessory uses shall be regulated by Title 22 Table 22.18.030-C.
4. Temporary Uses. Temporary uses shall be regulated by Title 22 Table 22.18.030-D.



Implements FFCP Policies:

Four residential zones are established which promote a range of housing options to meet the needs of all residents, across incomes and lifestyles. Each zone is tailored to the location and proximity to the Metro A (Blue) Line stations, balancing the goal to increase housing while promoting neighborhood stability. The FFTOD Specific Plan implements the following FFCP policies:

- ✓ **Policy R-1.1 Accessory Dwelling Units**
- ✓ **Policy R-1.3 Housing for Large Households**
- ✓ **Policy R-2.3 Appropriate Higher-Density Housing**
- ✓ **Policy 2-3.1 Increase For-Sale**



COMMUNITY FEEDBACK: Neighborhood Services

The FFTOD Specific Plan outreach activities highlighted that Florence-Firestone residents want to see more neighborhood services in their community to serve daily needs. The TOD Residential Zones allow a select list of commercial uses, such as small independent grocers, barber shops, and home offices, to promote local businesses and locate daily services close to residents.

Figure 22.418.060-1: TOD Residential Zones

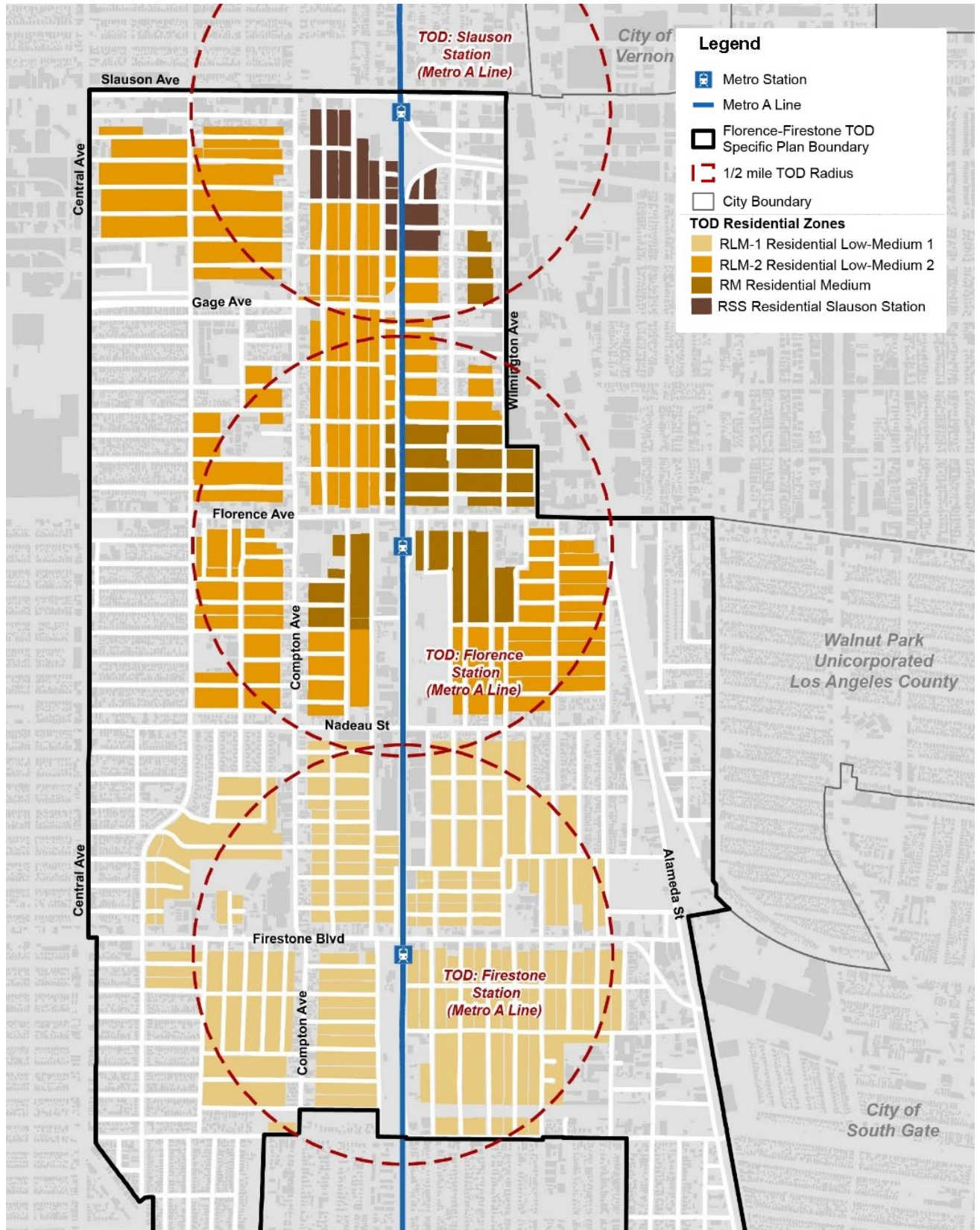


Table 22.418.060-A: TOD R Zones Principal Use Regulations

See Table 22.418.040-A for use permission abbreviations

Use Category	RLM-1	RLM-2	RM	RSS	Notes
Agricultural and Resource-Based Uses					
Community gardens	P	P	P	P	
Secondary land uses under high-voltage transmission lines	SPR	SPR	SPR	SPR	§22.140.630
Cannabis Uses					
Cannabis cultivation, personal, accessory to a legally established dwelling unit	P	P	P	P	
Cultural, Educational, and Institutional Uses*					
Churches, temples, or other places used exclusively for religious worship, including accessory educational and social activities	CUP	CUP	CUP	CUP	Accessory uses subject to the permissions of this table
Community centers*	CUP	CUP	CUP	CUP	*Locational standards per §22.418.060.B
Libraries *	CUP	CUP	CUP	CUP	
Museums *	- -	- -	CUP	CUP	
Recreational Uses					
Parks, playgrounds, including accessory facilities	AC (SPR)	AC (SPR)	AC (SPR)	AC (SPR)	
Renewable Energy Uses					
Utility-scale solar energy facilities, structure-mounted	P	P	P	P	§22.140.510
Residential Uses					
Accessory dwelling units (ADUs) / Junior ADUs (JADUs)	SPR	SPR	SPR	SPR	
Adult residential facilities					
Facilities serving 6 or fewer persons	P	P	P	P	
Facilities serving 7 or more persons	CUP	CUP	CUP	CUP	
Foster family homes	P	P	P	P	
Group homes for children					
Facilities serving 6 or fewer persons	P	P	P	P	
Facilities serving 7 or more persons	CUP	CUP	CUP	CUP	
Guest house	SPR	- -	- -	- -	
Home-based occupations	P	P	P	P	
Multi-family housing					
Multi-family, all configurations consistent with development standards	P	P	P	P	
Two-family residences	SPR	- -	- -	- -	

Table 22.418.060-A: TOD R Zones Principal Use Regulations (Continued)

See Table 22.418.040-A for use permission abbreviations

Use Category	RLM-1	RLM-2	RM	RSS	Notes
Residential Substance Use Recovery					
Serving 6 or fewer	P	P	P	P	
Service 7 or more	CUP	CUP	CUP	CUP	
Rooming and boarding houses	- -	- -	SPR	SPR	
Single-family residences	P	- -	- -	- -	\$22.140.580
Single-family residences on compact lots	P	P	P	P	\$22.140.585
Supportive Housing	P	P	P	P	\$22.128.100 / \$8.04.345
Transitional Housing	P	P	P	P	\$22.130.100
Day care*					
Adult day care centers*	CUP	CUP	CUP	CUP	*Locational standards per \$22.418.060.B
Child care centers, less than 50 children*	CUP	SPR	SPR	SPR	
Large family child care homes, in compliance with Section 22.140.210.B.1	P	P	P	P	\$22.140.210
Large family child care homes, in compliance with Section 22.140.210.B.2	MCUP	MCUP	MCUP	MCUP	\$22.140.210
Small family child care homes for children, serving 6 or fewer persons	P	P	P	P	
Domestic violence shelters	SPR	SPR	SPR	SPR	\$22.140.180
Retail/Commercial/Service Uses*					
Alcohol beverage sales, for on-site consumption*	CUP	CUP	CUP	CUP	\$22.140.030 *Locational standards per \$22.418.060.B
Alcoholic beverages sales, for off-site consumption *	CUP	CUP	CUP	CUP	
Art galleries*					*Locational standards per \$22.418.060.B
Bakery shops (full service or accessory to retail)*	SPR	SPR	SPR	SPR	
Barber / Beauty / Spa services and shops*	SPR	SPR	SPR	SPR	
Drugstores*	SPR	SPR	SPR	SPR	
Farmers' markets	P	P	P	P	
Food Service (cafes, delicatessens, ice cream shops, etc.)*	SPR	SPR	SPR	SPR	
Grocery / food stores*	SPR	SPR	SPR	SPR	
Medical and Dental clinics, excluding laboratories*	SPR	SPR	SPR	SPR	
Offices, business or professional*	SPR	SPR	SPR	SPR	
Retail services (florist shops, newsstands, etc.)*	SPR	SPR	SPR	SPR	
Retail store / sales*	SPR	SPR	SPR	SPR	
Transportation, Electrical, Gas, Communications, Utilities, and Public Service Uses					
Communication equipment buildings	CUP	CUP	CUP	CUP	
Earth stations	CUP	CUP	CUP	CUP	
Electrical distribution substations, including related microwave facilities	CUP	CUP	CUP	CUP	
Fire stations	- -	- -	CUP	CUP	

Gas metering and control stations, public utility	CUP	CUP	CUP	CUP	
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Table 22.418.060-A: TOD R Zones Principal Use Regulations (Continued)

See Table 22.418.040-A for use permission abbreviations

Use Category	RLM-1	RLM-2	RM	RSS	Notes
Parking lots/buildings, excluding commercial parking buildings	--	--	CUP	CUP	Limited to transit parking or shared parking only
Police stations	--	--	CUP	CUP	
Post offices	--	--	CUP	CUP	Limited to 5,000 SF
Publicly owned uses that are necessary to maintain the public health, convenience, or general welfare, other than uses specifically listed in the zone	CUP	CUP	CUP	CUP	
Radio and television stations and towers, excluding studios	CUP	CUP	CUP	CUP	

C. DEVELOPMENT STANDARDS FOR TOD R ZONES

1. Standards. All structures and uses in the TOD Residential Zones (RSS, RM, RLM-2, RLM-1) shall be subject to the regulations of Table 22.418.060-B (R Zone Development Standards).
2. Setback Standards Summary. Setback standards for all structures and uses in the TOD Residential Zones are summarized in Figure 22.418.060-2.
3. Other Applicable Standards. TOD Residential Zones shall be subject to the standards in Section 22.418.080 and 22.418.090 of this Chapter.

Figure 22.418.060-2: TOD Residential Zone Standards Summary

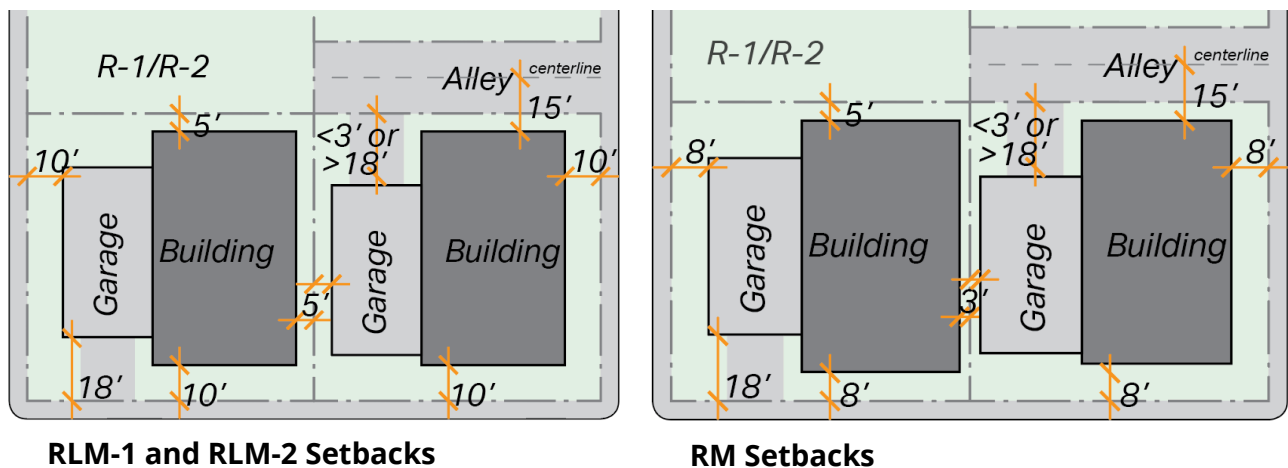


Table 22.418.060-B: R Zone Development Standards

Standard	RLM -1	RLM-2	RM	RSS	Notes
1. Density du/net ac. (22.418.090.C)					
Minimum	N/A	20 du/ac.		50 du/ac.	New development or unit replacement shall be subject to min. density requirements.
Maximum	18 du/ac.	30 du/ac.	50 du/ac.	100 du/ac.	
2. Maximum Height (22.418.090.E)					
Building (feet)	36'		50'	65'	
Number of Stories	3		4	5	
3. Minimum Setbacks (22.418.090.F) Measured from Property Line (PL) unless otherwise noted					
Street PL Setback, building	10'		8'	5'	
Street Setback, garage	18' to garage door (individual or shared, at or below grade); garage structure (not door) same as street setback to building				
Interior Setbacks	5'		3'; 4' if unit access faces interior PL		
Interior Setback to R-1 and R-2 zones	5'		N/A		
Alley Setback, building	As required to allow 15 feet from alley centerline			0'	
Alley Setback, garage	3' or ≥18'; driveway widths of 3'<18' are prohibited				
Parking/Garage Alley Setbacks	3' for shared garage access; 3' or ≥18' for individual unit garages; driveway widths of 3'<18' are prohibited				
4. Upper Story Stepbacks (22.418.090.G)					
Stepback Height	N/A		36'	40'	
Stepback Depth	N/A		5'	6'	
5. Other Applicable Standards					
Required Open Space	Section 22.418.090.N				
Circulation and Parking Standards	Section 22.26.030.D.5 and 22.418.100				
Tree Requirements	Section 22.126.030				
6. Fence Standards					
Street Property Line Setback	0' for fences of ≤42" height; ≥50% transparency required; 10' for fences of >42' height				
Interior PL Setback	0' from fence to PL				
Fence Height	Adjacent to residential zone: 6' maximum; Adjacent to non-residential* projects: minimum 6' fence required; maximum 10' fence permitted for noise or privacy				*Includes mixed use and affordable housing projects

22.418.070 TOD INDUSTRIAL MIX ZONE

A. PURPOSE

The general purpose of the TOD Industrial Mix (IX) Zoning District (Zone), as established by the FFTOD Specific Plan and shown in Figure 22.418.070-1, is to support a transition to less industrial-intensive employment-focused uses near transit-oriented development and improve land use compatibility adjacent to residential areas.

1. **Industrial Mix Zone.** The IX Zone is intended to maintain neighborhood-appropriate light industrial uses and jobs, while introducing new neighborhood-serving commercial and innovation uses suitable for mixed residential and employment areas. In conjunction with the Green Zones Program, the IX Zone allows for the creation of transitions between employment and residential uses to encourage less noxious uses, such as commercial, adjacent to homes. The IX Zone encourages land use compatibility and a healthy environment where a variety of business and residents can co-exist. This zone implements the Light Industrial (IL) General Plan Land Use Designation.

B. LAND USE REGULATIONS FOR TOD IX ZONE

1. Primary and Accessory Uses.
 - a. Table 22.418.070-A (TOD IX Zone Principal Use Regulations) prescribes the land use regulations for the IX Zones. See Table 22.418.040-A for permit or review required to establish each use listed in Table 22.418.070-A.
 - b. See Section 22.418.040 (TOD Land Use Regulations) for permit types and general use regulations.
2. Temporary Uses. Temporary uses shall be regulated by Title 22 Table 22.22.030-D.



Implements FFCP Policies:

The FFTOD Specific Plan implements FFCP policies that promote the growth and revitalization of industrial uses, towards compatibility with nearby uses. Through diversifying industrial uses and allowing supportive commercial uses, the TOD Industrial Mix Zone intends to introduce services and amenities, promote non-polluting uses, and implement the following FFCP policies:

- ✓ **Policy 1-1.1 Industrial Use Revitalization**
- ✓ **Policy 1-1.3 Industrial Area Amenities**
- ✓ **Policy I-3.1 Transition to Non-Polluting Industries**
- ✓ **Policy I-4.4 Industrial Adjacent to Residential**

Figure 22.418.070-1: TOD Industrial Mix Zone

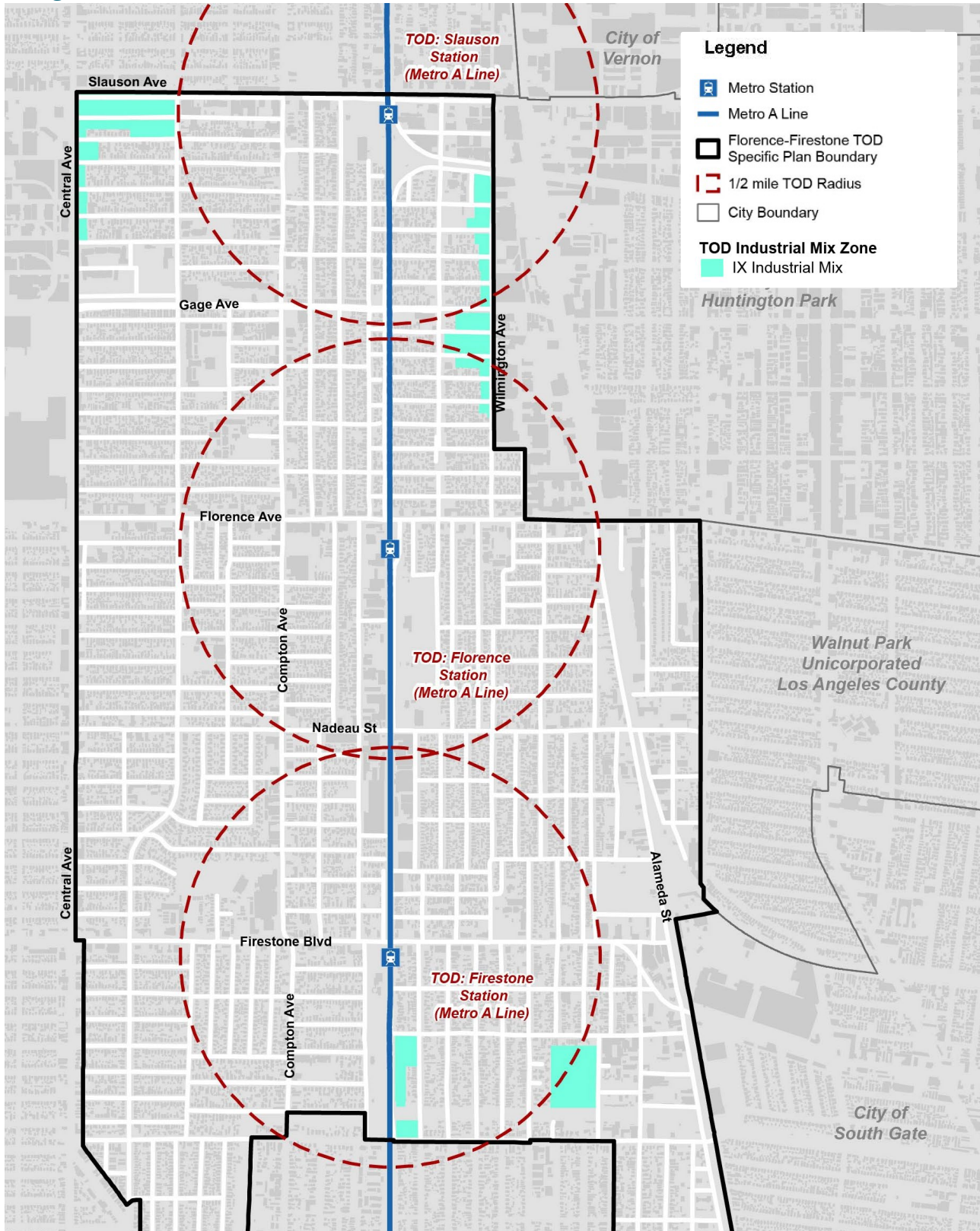


Table 22.418.070-A: TOD IX Zone Principal Use Regulations

See Table 22.418.040-A (Permit and Review Requirements) for permission symbols.

Use Category	IX	Notes
Agricultural and Resource-Based Uses		
Community gardens	P	
Animal-Related Uses		
Animal hospitals	SPR	
Veterinaries, small animal	SPR	
Cannabis Uses		
Cannabis businesses and activities; including renting, leasing, and permitting	-	§22.140.134
Cultural, Educational, and Institutional Uses		
Amphitheaters	CUP	
Arboretums and horticultural gardens	SPR	
Churches, temples, or other places used exclusively for religious worship, including accessory educational and social activities	SPR	
Community centers	P	
Disability rehabilitation and training centers	P	
Institutions of a philanthropic or charitable nature	P	
Libraries	SPR	
Museums	SPR	
Theaters and other auditoriums having a seating capacity of up to 150 seats	MCUP	
Theaters and other auditoriums having a seating capacity of 151 seats up to 3,000 seats	CUP	
Industrial Uses		
Artisan Production / Custom Manufacturing	SPR	See §22.418.030 for definition
Film laboratories	SPR	
Bakeries	SPR	
Breweries	SPR	CUP required when within 500' of sensitive use as defined by §22.84.030
Candy confectioneries	SPR	
Frozen food lockers	SPR	
Wineries		
In compliance with Section 22.140.610.D.1	SPR	§22.140.610
In compliance with Section 22.140.610.D3	CUP	§22.140.610
Wood products, including furniture	SPR	
Laundries and cleaning services	SPR	CUP required when within 500' of sensitive use as defined by §22.84.030
Manufacturing(all manufacturing activities shall be completely enclosed indoor facilities)		

Table 22.418.070-A: TOD IX Zone Principal Use Regulations

See Table 22.418.040-A (Permit and Review Requirements) for permission symbols.

Use Category	IX	Notes
Blacksmith shops	SPR	CUP required when within 500' of sensitive use as defined by §22.84.030
Cabinetmaking / Carpenter shops	SPR	
Engraving, machine metal engraving	SPR	CUP required when within 500' of sensitive use as defined by §22.84.030
Fabricating	SPR7	
Glass, the production by hand of crystal glass art novelties within a closed building of fire-resistant construction	SPR	
Machine shops	SPR	CUP required when within 500' of sensitive use as defined by §22.84.030
Paint mixing, excluding lacquers and synthetic enamels	SPR	
Presses, hydraulic presses for the molding of plastics	SPR	
Sheet metal shops	SPR	
Stone, marble, and granite, including grinding, dressing, and cutting	SPR	
Motion picture processing, reconstruction, and synchronizing of film with sound tracks	SPR	
Motion picture studios and indoor sets	SPR	§22.140.060.A
Scientific research or experimental development of materials, methods or products, including engineering and laboratory research, administrative and other related activities, and facilities in conjunction therewith	SPR	
Storage (all storage shall be completely enclosed indoor facilities)		
Bakery goods distributors	SPR	
Building materials	SPR	CUP required when within 500' of sensitive use as defined by §22.84.030
Cold storage plants	SPR	
Furniture and household goods, transfer and storage	SPR	
Warehouses, including storage warehouses	SPR	CUP required when within 500' of sensitive use as defined by §22.84.030 and generating more than 100 truck trips per day
Trade or commercial schools, specializing in manual training, shop work, or in the repair and maintenance of machinery or mechanical equipment	P	Indoor only
Valves, storage and repair of, including oil well valves	SPR/ CUP	SPR for Indoor only, CUP for outdoor
Welding	SPR	Indoor only
Renewable Energy Uses		
Utility-scale solar energy facilities, structure-mounted	P	§22.140.510

Table 22.418.070-A: TOD IX Zone Principal Use Regulations

See Table 22.418.040-A (Permit and Review Requirements) for permission symbols.

Use Category	IX	Notes
Recreational Uses		
Archery ranges	CUP	Indoor only
Billiard or pool halls	CUP	Indoor only
Bowling alleys	CUP	
Cardrooms or clubs	CUP	
Games of skill	CUP	
Gymnasiums	CUP	
Parks, playgrounds, and beaches, including accessory facilities	SPR	
Recreation clubs, commercial or private	SPR	§22.140.480
Riding and hiking trails	SPR	
Skating rinks, ice or roller	CUP	
Sport courts, including tennis, volleyball, badminton, croquet, lawn bowling, and similar courts, as a principal use	SPR	
Swimming pools as a principal use	SPR	
Retail/Commercial Uses		
Alcoholic beverages sales, for on-site consumption	CUP	§22.140.030
Alcoholic beverage sales, for off-site consumption	CUP	
Antique shops, genuine antiques only	SPR	
Art galleries	SPR	
Auction houses	SPR	
Bakery shops (full service or accessory to retail)	SPR	
Clothing stores	AC	Accessory to on-site production only
Confectioneries and candy stores, including making only when accessory to retail sales from the premises	SPR	
Farmers' markets	SPR	§22.140.220
Food Service (cafes, delicatessens, ice cream shops, etc.)	SPR	
Glass and mirror sales, including automobile glass installation	SPR	
Grocery / food / fruit and vegetable markets	SPR	
Hardware stores, including the sale of lumber and other building supplies	SPR	
Health clubs and centers	SPR	
Ice sales, excluding ice plants	SPR	
Meat markets, excluding slaughtering	SPR	
Millinery shops	SPR	

Table 22.418.070-A: TOD IX Zone Principal Use Regulations

See Table 22.418.040-A (Permit and Review Requirements) for permission symbols.

Use Category	IX	Notes
Office machines and equipment sales and rentals	SPR	
Paint and wallpaper stores	SPR	
Pet supply stores	SPR	
Photographic equipment and supply stores	SPR	
Recording studios	SPR	
Retail services (florist shops, newsstands, etc.)	SPR	
Retail stores / sales	SPR	Accessory to on-site production only
Tasting rooms, on site and remote		
In compliance with Section 22.140.590.D.1	MCUP	§22.140.590
In compliance with Section 22.140.590.D.2	CUP	§22.140.590
Service Uses		
Blueprint / Photocopying shops	SPR	
Body piercing parlors	CUP	
Book binderies	SPR	
Catering services	SPR	
Domestic violence shelters	SPR	§22.140.180
Contractor services(cesspool, locksmith, plumber, electricians, etc.)	SPR	Indoor only
Homeless shelters	SPR	§22.140.300
Laundries and cleaning services		
Agencies	SPR	
Dry cleaning establishments, excluding wholesale dry cleaning plants	SPR	§22.140.190
Hand	SPR	
Retail	SPR	
Self-service	SPR	
Massage establishment	CUP	
Medical services		
Dental clinics, including associated laboratories	SPR	
Dental laboratories	SPR	
First aid stations	SPR	
Medical clinics, including associated laboratories	SPR	
Medical laboratories	SPR	
Mortuaries	SPR	
Offices, business or professional	SPR	
Pest control services, including residential termite control	SPR	

Table 22.418.070-A: TOD IX Zone Principal Use Regulations

See Table 22.418.040-A (Permit and Review Requirements) for permission symbols.

Use Category	IX	Notes
Pet grooming services	SPR	Indoor only
Rental services		
Bicycle rentals	SPR	
Costume rentals	SPR	
Furniture and appliance rentals	SPR	
Hospital equipment and supply rentals	SPR	
Party equipment rentals and storage, including tables, chairs, and heat lamps	SPR	
Tool rentals, including rototillers, power mowers, sanders and saws, cement mixers, and other equipment	SPR	
Repair shops, household and fix-it	SPR	
Restaurants and other eating establishments, including food take-out and outdoor dining		
Restaurants and other eating establishments, including food take-out	SPR	
In compliance with Section 22.140.410.B.1	SPR	§22.140.410
In compliance with Section 22.140.410.B.2	CUP	§22.140.410
Reupholsterers, furniture	SPR	
Shoe repair shops	SPR	
Shoeshine stands	SPR	
Sightseeing agencies	SPR	
Silkscreening shops	SPR	
Steam or sauna baths	CUP	
Tailor shops	SPR	
Tattoo parlors	CUP	
Taxidermists	SPR	
Tourist information centers	SPR	
Watch repair shops	SPR	
Transportation, Electrical, Gas, Communications, Utilities, and Public Service Uses		
Air pollution sampling stations	SPR	
Comfort stations and restroom facilities	SPR	
Communications equipment buildings	SPR	
Earth stations	CUP	
Electric distribution substations, including related microwave facilities	SPR	§22.140.200
Electric transmission substations and generating plants, including related microwave facilities and renewable energy battery storage	CUP	

Table 22.418.070-A: TOD IX Zone Principal Use Regulations

See Table 22.418.040-A (Permit and Review Requirements) for permission symbols.

Use Category	IX	Notes
Fire stations	SPR	
Gas distribution depots, public utility	CUP	
Gas metering and control stations, public utility	SPR	
Microwave stations	SPR	
Police stations	SPR	
Post offices	SPR	
Publicly owned uses that are necessary to maintain the public health, convenience, or general welfare, other than uses specifically listed in the zone	CUP	
Public utility service centers	SPR	
Telephone repeater stations	SPR	
Vehicle-Related Uses		
Automobile battery services	SPR	All activities shall be conducted complete within an enclosed building; CUP required when within 500' of sensitive use as defined by §22.84.030 except for auto supply stores.
Automobile body and fender repair shops	CUP	
Automobile brake repair shops	CUP	
Automobile repair garages	CUP	
Automobile supply stores, including related installation and repair if conducted within an enclosed building.	SPR	

C. DEVELOPMENT STANDARDS FOR TOD IX ZONE

1. All structures and uses in the TOD IX Zone shall be subject to the regulations of Table 22.418.070-B.
2. Required setbacks from streets are regulated by the locational standards of Table 22.418.090-A (Street Setback Range Requirements); these apply to any zone with frontage along that street.
3. Other Applicable Standards. All development within the Specific Plan Area shall be required to meet the applicable standards of Section 22.418.080, 22.418.090, 22.418.100 and 22.418.110 of this Specific Plan.

Table 22.418.070-B: TOD IX Zone Development Standards

Standard	IX	Notes
1. Intensity (22.418.090.D)		
Maximum FAR	1.0	
Density (du/net ac)	N/A	
Minimum Lot Size	4,000	
Maximum Lot Coverage	None	
2. Maximum Height (22.418.090.E)		
Building (feet)	36'	
Number of Stories	2	
3. Minimum Setbacks (22.418.090.F), Measured from Property Line (PL) unless otherwise noted		
Street PL Setback Range	See Table 22.418.090-A (Required Street Setback Ranges)	Section 22.418.090.F
Interior Setback	0'	Section 22.418.090.F
Interior Setback to existing residential units	10'	
Alley Setback	0'	
Parking/Garage Setbacks	Consistent with building setbacks; required to facing interior of site or interior PL	Section 22.418.090.F
4. Other Applicable Standards		
Required Open Space	Section 22.418.090.N	
Circulation and Parking Standards	Section 22.26.030.D.5 and 22.418.100	
Tree Requirements	Section 22.126.030	
5. Fence Standards (22.418.090.M)		
Street Setback	0' if 75% transparent; consistent with street setback if solid fence	
Interior PL Setback	0' setback from fence to PL	
Max Fence Height	Fence height shall not exceed 96"	
Below 48" in Height	Portions of fence lower than 48" in height are permitted to be solid walls	
Above 48" in Height	Fences greater than 48" in height within the street setback shall be at least 50% transparent	
Required Wall Abutting Residential	Adjacent to residential zone: 6' maximum; Adjacent to non-residential, mixed-use or affordable housing projects: minimum 6' fence required; maximum 10' fence permitted for noise or privacy	

22.418.080 COMMUNITY-WIDE DEVELOPMENT STANDARDS

A. APPLICABILITY

The standards of this section are applicable to all structures and uses in the unincorporated Florence-Firestone Community. Additional by-zone development standards apply; see Sections 22.418.050, 22.418.060, and 22.418.070.

B. BUILDING & SITE DESIGN REQUIREMENTS

1. Building and Maintenance

- a. **Material Colors.** Black or other similar dark color shall not be used as the primary or base color for any wall or structure.
- b. **Sound Equipment.** Sound amplification equipment shall be prohibited outside an enclosed structure.
- c. **Graffiti.** All structures, walls, and fences that are publicly visible shall remain free of graffiti. Any property owner, lessee, or other person responsible for the maintenance of a property shall remove graffiti within 72 hours of receiving written notice from a Zoning Enforcement Officer that graffiti exists on the property. Paint used to cover graffiti shall match, as near as possible, the color of the surrounding surfaces.
- d. **Maintenance.** The property, including adjoining sidewalks and rear alleys, shall remain free of trash and other debris. Storage of household appliances, such as refrigerators, stoves, freezers, and similar products, is prohibited in all yard areas.
- e. **Outdoor Storage.** In addition to the requirements of Title 22 Section 22.140.430.B, all zones in the Florence-Firestone community shall screen outdoor storage in a manner as not to be publicly visible to anyone in an adjacent Residential Zone.
- f. **Screening**
 - i. **Facades and Windows.** If the building's frontage faces a major or secondary highway, no more than 25 percent of landscaping shall screen from public view the facade or windows on the ground floor of the building's frontage.
 - ii. **Mechanical Equipment.** Mechanical equipment shall be completely screened from view through the use of walls or landscaping.
 - iii. **Trash/Recycling.** Trash enclosures for refuse and recycling bins shall be:
 - a) Located within parking structures, at the rear or side of buildings, or between buildings, and shall not be between a building and a street or highway;
 - b) Located not farther than 150 feet from the building;
 - c) Not placed in any public right-of-way;
 - d) Screened by solid masonry walls between five and six feet in height, if located outside;
 - e) Match the exterior of the building; and

- f) Have solid doors and be located in the rear of the lot, as far away as possible from any adjoining Residential Zone.

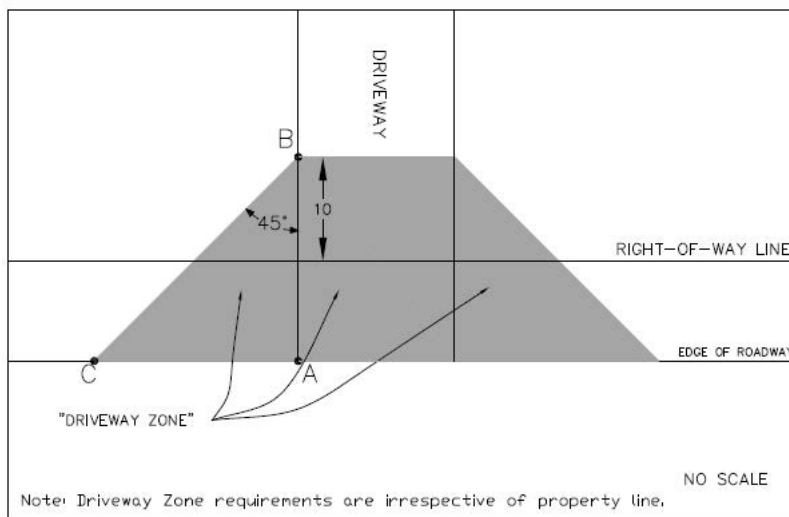
2. Security

- a. Concealment. Any exterior or interior security bars shall be designed to be fully hidden from view during business hours with devices such as concealed side pockets and ceiling cavities.
- b. Restrictions.
 - i. Chain-link, barbed, and concertina wire fences are prohibited.
 - ii. Security bars and accordion folding grilles installed on the exterior of a storefront are prohibited.
 - iii. Building security grilles may be placed within the interior of the building if the grilles are concealed so that they are not visible from the exterior of the building when not in use during business hours.

3. Driveway Zone. The following definitions apply to Figure 22.418.080-1 (Driveway Zone).

- a. Point "A" is the point at which the existing edge of the driveway meets the edge of the roadway or top of the curb, if present;
- b. Point "B" is the point along the edge of the driveway located 10 feet back from the right-of-way line towards the property; and
- c. Point "C" is the point at which a line that is extended from Point "B" at a 45-degree angle meets the edge of the roadway or top of curb, if present, as illustrated by Figure 22.418.080-1.

Figure 22.418.080-1: Driveway Zone



C. LOADING AREAS.

1. Modifications. Loading areas shall comply with the standards and conditions of Title 22 Section 22.112.120 (Loading Spaces). However, the loading area requirements may be modified or waived for non-residential projects of less than 20,000 square feet in GFA with the approval of a Minor Conditional Use Permit (Title 22 Chapter 22.160) application.
2. Location and Screening. In addition to the standards of Title 22 Section 22.112.120 (Loading Spaces), loading spaces shall be:
 - a. Located in the rear of the structure(s), as far as possible from adjoining residentially zoned lots;
 - b. Located away from primary pedestrian ingress and egress areas by a minimum of 20 feet;
 - c. Completely screened from the street and any adjacent residentially zoned property; screening materials shall include continuous walls and continuous landscaping; and
 - d. Loading and unloading operations shall not be conducted between the hours of 10:00 p.m. and 6:00 a.m. in such a manner as to cause a noise disturbance to any adjacent residentially zoned properties.

D. OFF-SITE OR SHARED PARKING AREAS.

Off-site or shared parking arrangements may be provided to meet required parking for commercial uses, provided a site plan has first been approved by the Director and the following standards are met. In the event the applicant does not or cannot comply with the following after approval of the Site Plan Review, approval of said site plan shall be revoked until parking areas are provided as follows, in accordance with Chapter 22.112 (Parking).

1. Such off-site or shared parking facility shall be located within 1,320 feet (1/4 mile) from any publicly-accessible entrance of the use to which they are provided;
2. Such off-site or shared parking facility is located on a lot where parking is permitted;
3. Such area shall be clearly marked as being made available for parking for the subject use(s) at the location of subject use(s) and at the location of the off-site or shared parking area; and
4. The applicant:
 - a. Is the owner of the lot where such off-site or shared parking facility is located; or
 - b. Has control of such off-site or shared parking facility through leasing or other arrangement in such a way as to prevent multiple leasing for the same spaces or cancellation without provided alternate spaces. Such leasing or other arrangement shall contain other guarantees assuring continued availability of the spaces.

E. REQUIRED SIGNAGE

All signage shall be consistent with Title 22 Chapter 22.114 except as modified herein. The following signage standards shall apply to all non-residential zones in Florence-Firestone.

1. Business Signs. Except as herein modified, all business signs shall conform to Chapter 22.114 (Signs). The sign regulations herein shall apply to:
 - a. New signs.
 - b. Signs that have fallen into disrepair, or which have been more than 50 percent damaged, and have not been repaired within 30 days of notice from the Department.
 - c. Signs whose use has ceased or the structure upon which the sign rests has been abandoned by its owner for a period of not less than 90 days.
 - d. This Subsection shall not apply to legally established existing signs that are maintained pursuant to State standards prior to the effective date of this Specific Plan.
 - e. Outdoor Advertising. Outdoor Advertising signs shall be prohibited for all parcels with frontage along a Primary Corridor, and all residential uses.
2. Prohibited Signs. Roof business signs and business or advertising signs painted directly on buildings shall be prohibited.
3. Damaged Signs.
 - a. The display surface of all signs shall be kept clean, neatly painted, and free from rust and corrosion. Any cracks, broken surfaces, malfunctioning lights, missing parts, or other unmaintained or damaged portion of a sign shall be repaired or replaced.
 - b. All signs in a state of disrepair shall be repaired so as to comply with the standards of this Section or removed within 30 days from notification that a state of disrepair exists.
4. Wall, Projecting, and Awning Business Signs. All businesses shall be permitted one wall, projecting, or awning business sign, unless the business has more than 40 feet of building frontage or multiple street frontages. For businesses with more than 40 feet of building frontage, the business shall be permitted one additional sign for each additional 30 feet or increment thereof of street frontage. For businesses with multiple street frontages, the business shall be permitted one such sign for each street frontage. These signs shall be subject to the following standards, as applicable:
 - a. Wall business signs. Wall business signs shall be mounted flush and affixed securely to a building wall and shall extend from the wall a maximum of 12 inches. In addition, wall business signs shall have the following maximum attributes:
 - i. A face area of two square feet for every linear foot of the applicable building frontage;
 - ii. Letter sizes of 24 inches in height; and
 - iii. A vertical dimension of 36 inches for the frame box or sign cabinet.

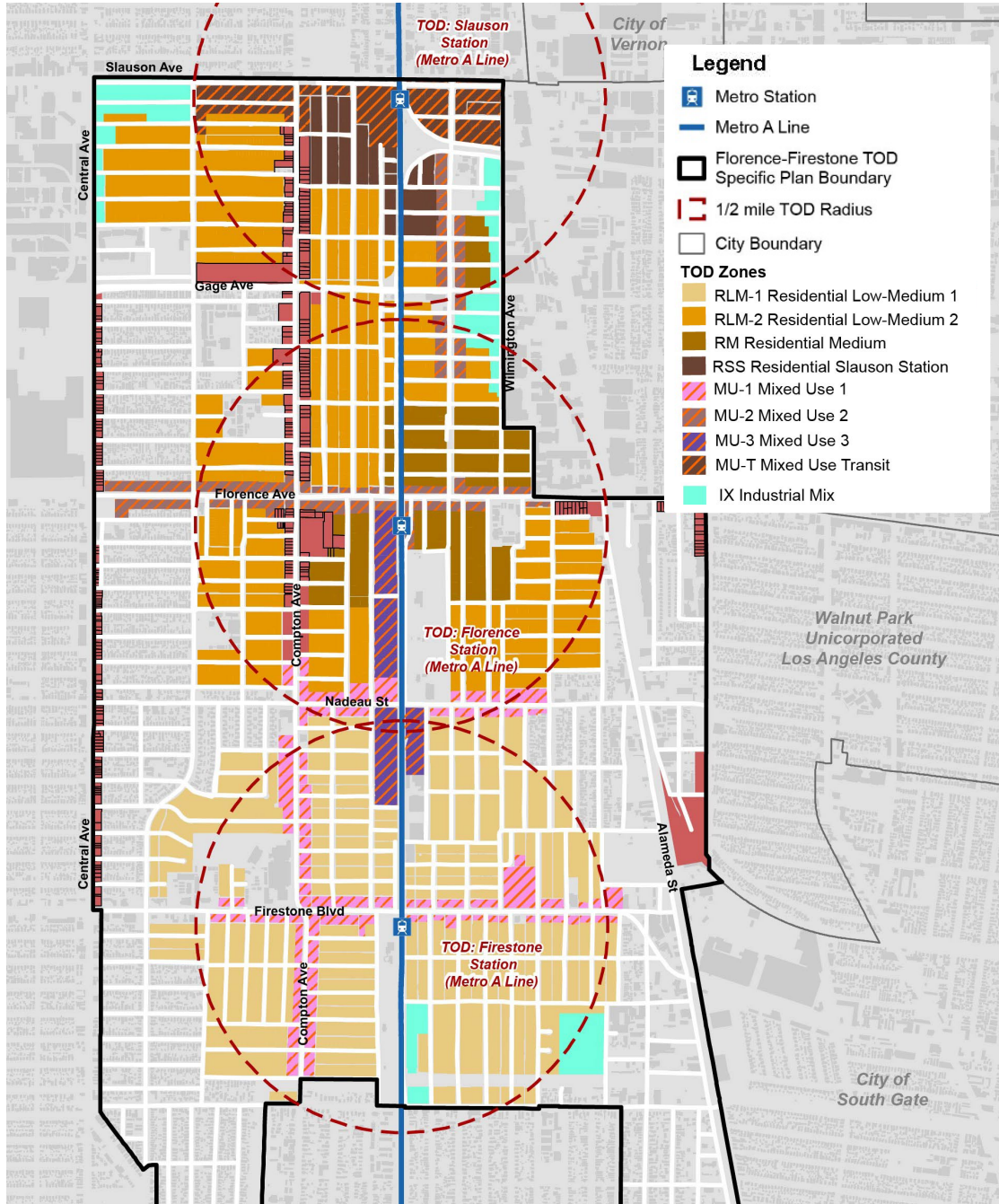
- c. Signage shall also include the following minimum language, featured prominently on the required sign and subject to Director approval: "Open to the Public." Signage provided to meet the requirements of this Section shall not be subtracted from the allowed signage for the lot.

22.418.090 TOD ZONE ADDITIONAL DEVELOPMENT STANDARDS

A. APPLICABILITY

The standards of this section are applicable to all structures and uses in the Florence-Firestone TOD MU-T, MU-3, MXD, MU-2, MU-1, IX, RSS, and RM zones area unless otherwise stated; see Figure 22.418.090-1 (Regulated TOD Zones). The standards of this Chapter are in addition to the allowed uses and development standards of this Chapter and Title 22 Section 22.26.030.

Figure 22.418.090-1: Regulated TOD Zones



B. PURPOSE OF TOD STANDARDS

Development standards for the TOD Zones are regulated by this section in addition to the by-zone regulations established by the Specific Plan. The combination of these development standards is intended to promote urban design and form that supports transit-oriented development and creates transitions between neighborhood types.

C. DENSITY

1. Minimum Density & Residential Requirement.
 - a. Where a minimum density is established for the applicable zone, new development or unit replacement shall be required to achieve the minimum density.
 - b. All sites developed consistent with MXD zoning shall be developed with housing units comprising a minimum 66 percent of the built floor area ratio (FAR) for that project.
2. Maximum Density Requirement. Projects that include residential dwelling units shall not exceed the allowable dwelling units per net acre (du/net ac) as regulated by the applicable zone except where subject to density bonus per Title 22 Chapter 22.120 (Density Bonus).
 - a. Maximum density is based on net gross site area (GSA); a reduction in buildable area due to dedications/easements shall not reduce allowable maximums.
 - b. Density Calculation. Projects shall refer to Title 22 Chapter 22.04.050 (Rules for Measurement) for density calculation.
3. Unit Size & Replacement.
 - a. Unit mix. All RSS Zone residential developments including 10 or more units shall be required to provide 20 percent of the total units as three-bedroom units.
 - b. Unit Replacement. All residential and mixed use development shall be required to replace or exceed the number of units on-site for all renovations, conversions, or new development. This shall result in no net loss of units within the Specific Plan Area.
 - c. Affordable Units. Affordable housing projects or projects demolishing existing affordable housing shall be subject to SB 330 (Skinner. Housing Crisis Act of 2019) and Title 22 Chapter 22.120.050.



Implements FFCP Policies:

Requiring a mix of unit types for new development can help create a variety of housing types to serve the Florence-Firestone community.

- ✓ **Policy R-1.2 Affordable Housing Supply**
- ✓ **Policy R-1.3 Housing for Large Households**
- ✓ **Policy R-1.5 Residential Overcrowding**
- ✓ **Policy R-1.7 No Net Loss of Housing Units**

D. INTENSITY

1. Floor Area Ratio. Projects that include non-residential space, including mixed use development in a horizontal or vertical form, shall not exceed the allowable FAR established for the applicable zone; see exceptions below:
 - a. Areas used exclusively for vehicle and bicycle parking and loading shall be excluded from FAR calculations.
 - b. In mixed use projects, residential uses shall be included in FAR calculations.
 - c. The maximum FAR is based on net site area; a reduction in buildable area due to dedications/easements shall not reduce allowable maximums.
 - d. Outdoor dining shall not count toward the FAR.
2. Modifications. FAR modifications are subject to State Density Bonus law and the lot consolidation incentives of Section 22.418.110 (Economic Development Incentives).

E. HEIGHT REGULATION

1. Building Height. Except as otherwise modified by Title 22, building or structure shall not exceed the height limit set in the development standards table for the applicable zone.
 - a. Building height measurements, exclude chimneys, mechanical equipment, rooftop antennas, and rooftop recreational spaces.
 - b. See Section 22.418.090.G (Stepbacks) for additional height regulations.
 - c. See Section 22.418.090.H (Active Ground Floor Design) for ground floor height requirements.
2. Rooftop Location and Exclusions. Maximum building height shall exclude rooftop and recreational space.
 - a. Location. Roof decks shall be set back 5 feet from the building edge on all sides and shall not be located within 50 feet of an R-1 or R-2 zone.
 - b. Area. The sum of all roof decks shall cover no more than one-half of the roof area.
3. Fifth Story Coverage. The fifth story (where applicable) shall be limited to a percentage of the ground floor area based on the following development types:
 - a. Residential zone developments: limited to 75 percent of ground floor area.
 - b. Mixed Use zone development: limited to 50 percent of the ground floor area.

F. SETBACKS

1. Street Setbacks. Setbacks from the street-adjacent property line shall be regulated by street frontage consistent with Table 22.418.090-A (Required Street Setback Ranges) for all structures in the TOD MU and MXD zones with the Florence-Firestone community.
 - a. Setback ranges establish a minimum and maximum setback permitted for the first and second story of the structure. These ranges are designed to set an appropriate public realm width for pedestrian-oriented streets; see Figure 22.418.090-2 (Public Realm Width).
 - b. Projects shall be required to locate the street-facing façade with the setback range for the specified percentage of linear frontage; see Table 22.418.090-A (Required Street Setback Ranges).
 - c. Street setbacks are measured from the property line (PL).
 - d. Figures 22.418.090-3 through 22.418.090-6 (Public Realm Conditions) illustrate the required public realm width conditions by dimension; the public realm is composed of the public right-of-way (ROW) and the frontage zone provided by private setbacks.
 - e. Required street setbacks shall be hardscaped to contribute to the public realm and support pedestrian activity.
 - i. Landscaping/planters, 20 percent maximum;
 - ii. Minimum of 80 percent of the setback area shall be hardscape (e.g., pavement, stoops, patios).
 - iii. Pavement shall be of a visibly different color and/or texture than the public sidewalk maintained by Public Works to differentiate private setback, which shall be maintained by private property owner.
 - iv. A maximum of 20 percent of the setback area shall be allowed to be landscaped (e.g., planters, foliage, stormwater features). Grass is prohibited.

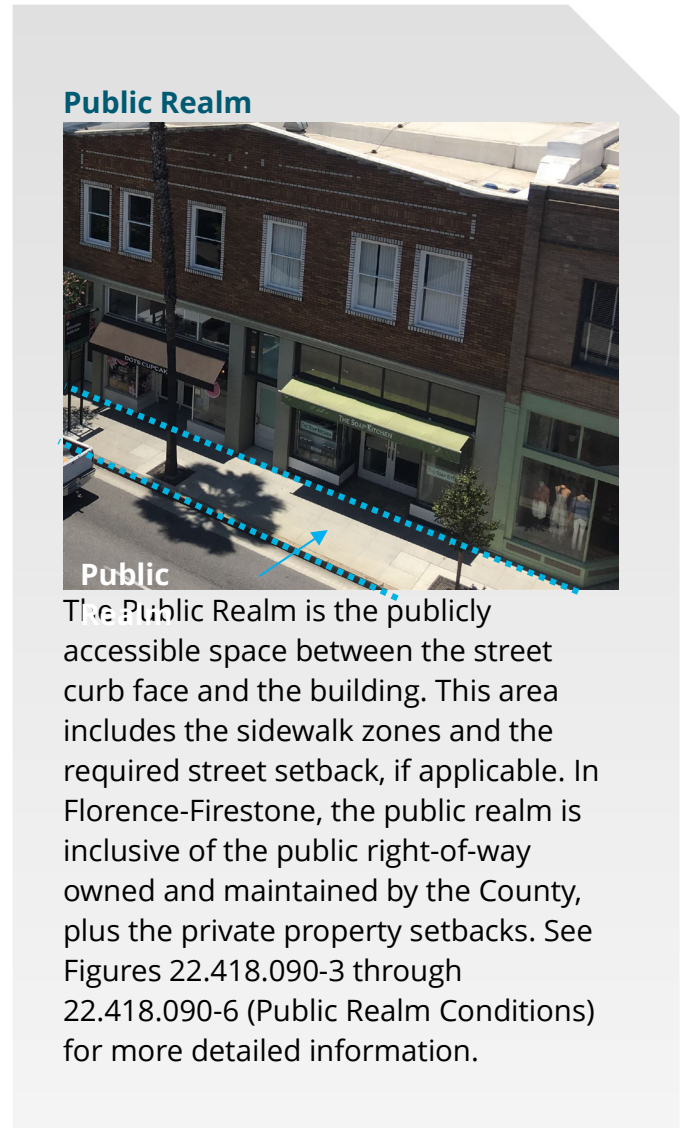
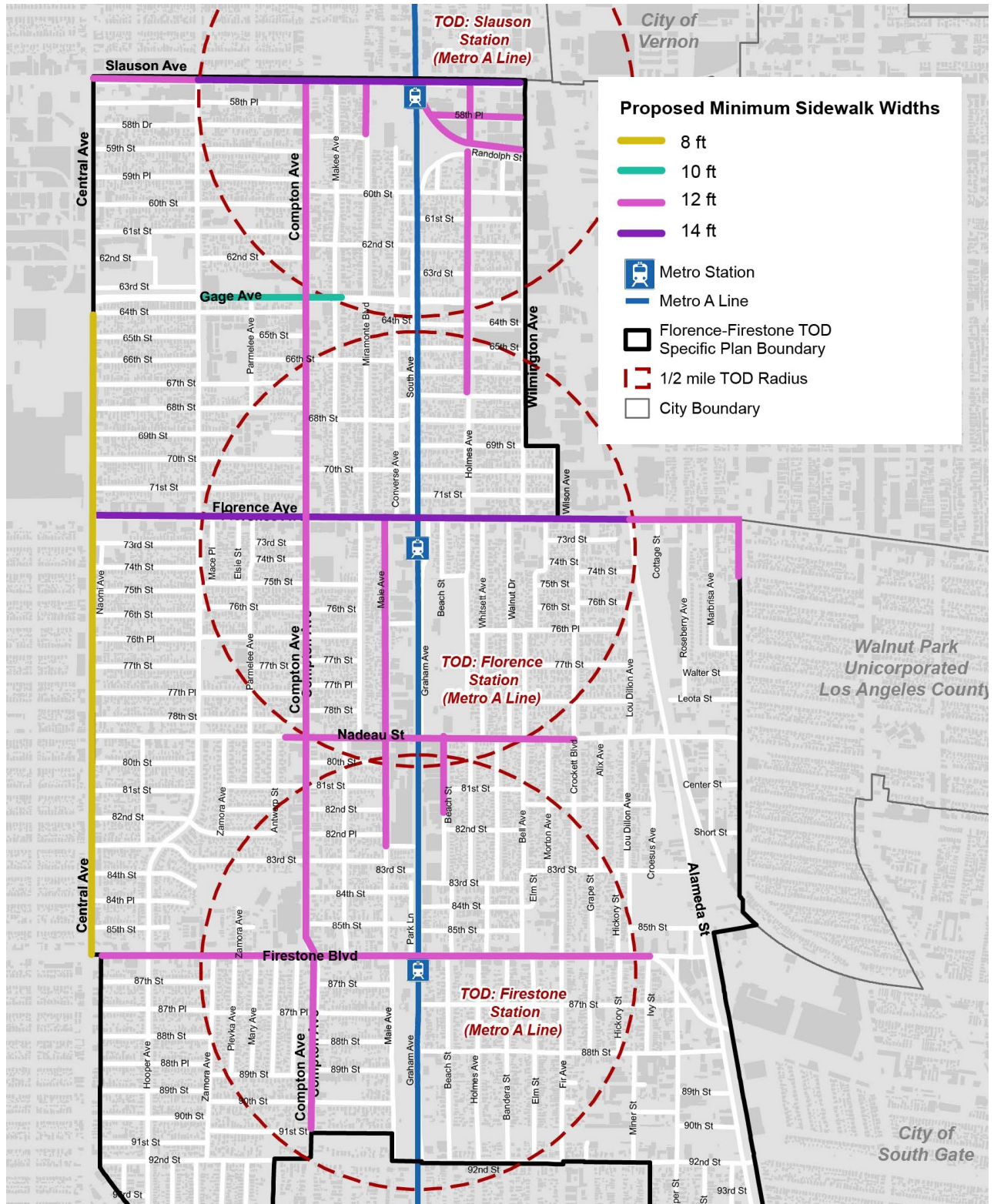


Table 22.418.090-A: Required Street Setback Ranges

Street Frontage	Required Building Setback Range from Street Property Line (minimum and maximum)		
	Mixed Use & Non-Residential	Residential (where permitted)	Minimum Percent of Linear Frontage
Slauson Avenue	6' to 10'	9' to 12'	75%
Compton Avenue, N of Nadeau	2' to 5'	5' to 8'	75%
Compton Avenue, S of Nadeau	4' to 8'	7' to 10'	50%
Florence Avenue	0'-5'	3'to 8'	75%
Nadeau Street	2' to 10'	5' to 10'	75%
Firestone Boulevard	2' to 5'	5' to 8'	75%
Holmes Avenue	2' to 5'	5' to 8'	50%
Maie Avenue / Beach Street	2' to 5'	5' to 8'	50%
All Other Streets	2' to 5'	5' to 8'	N/A

- f. All upper stories are permitted to utilize a 0-foot setback from the property line unless a stepback is required; see Section 2.420.090.G of this Chapter.
- g. Arcades and recessed ground floors up to 15 feet in depth are allowed when a second story meets the specified minimum setback.
- h. Balconies. Balconies may project up to 4 feet into a street setback (but not into the public ROW) and no closer than 3 feet to an interior property line.
- i. Other features allowed within the street setback include:
 - i. Shade structures, trellises, and similar;
 - ii. Bicycle parking or services;
 - iii. Plazas, fountains, outdoor dining;
 - iv. Seating/furniture; and
 - v. Other open space amenities per review authority approval.
 - vi. Other projections allowed within the setbacks are referenced in Title 22 Section 22.110.090.
- 2. Interior Setbacks. All structures shall comply with the interior setbacks in the development standard table for the applicable zone.
 - a. Interior setbacks are those abutting other parcels (non-street side and rear) and are measured from the shared property line.
 - b. Interior setbacks are not required along other property lines.

Figure 22.418.090-2: Public Realm Width



Source: County of Los Angeles; Esri; AECOM;

Sidewalk Zones and the Public Realm

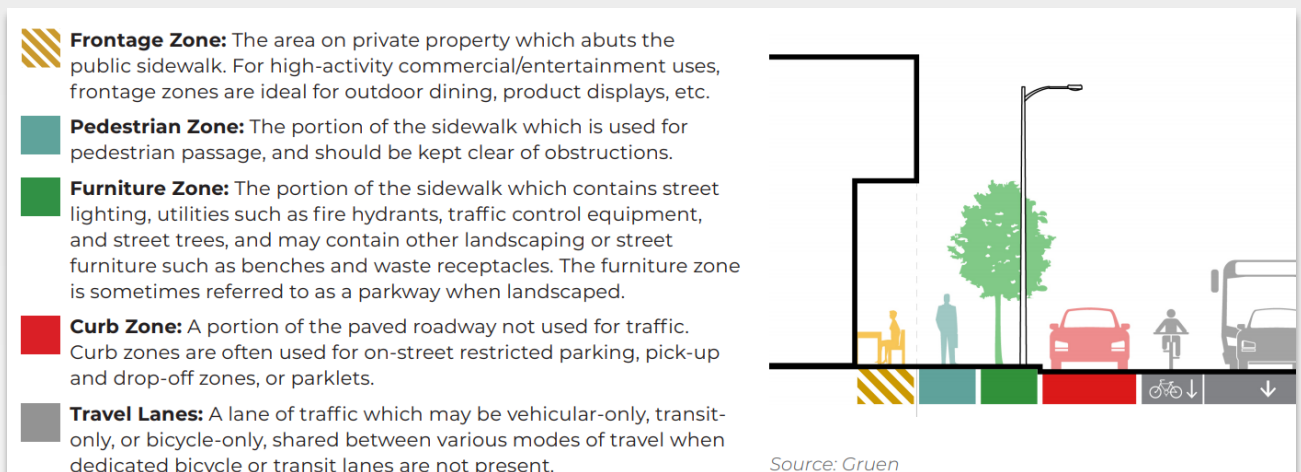
Consistent with the County (TOD) Toolkit, this Specific Plan helps to implement the “frontage zone” portion of the sidewalk in select areas for increased mobility, access, and economic activity (see TOD Toolkit for more information).

Sidewalk requirements, including locations and widths, shall be regulated per Title 22 Chapter 21.24.050 (Highways), which establishes right-of-way and roadway width requirements with cross-section diagrams specifying sidewalk dimensions.

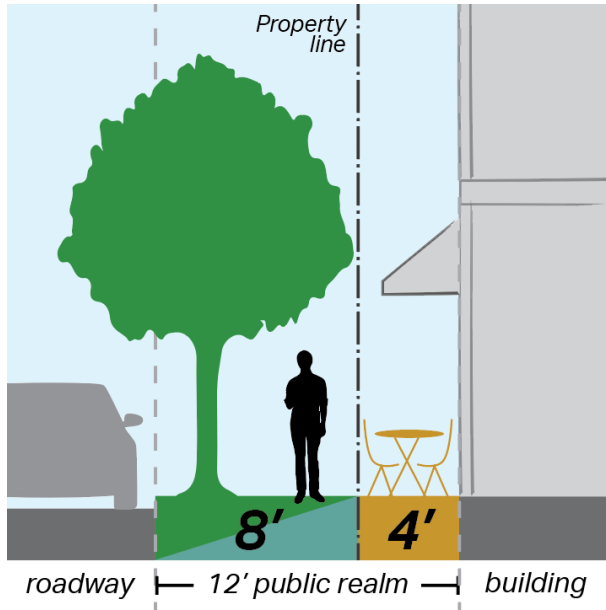
To enhance the sidewalk width and implement the County TOD Toolkit, this Specific Plan establishes required private development street setbacks that add to the perceived width of the public realm. Required street setback ranges to implement the “frontage zone” are set based on desired public realm widths for the community; see Figures 22.418.090-3 through 22.418.090-6 (Public Realm Conditions) which demonstrate potential implementation of the sidewalk zones.

Los Angeles County TOD Toolkit

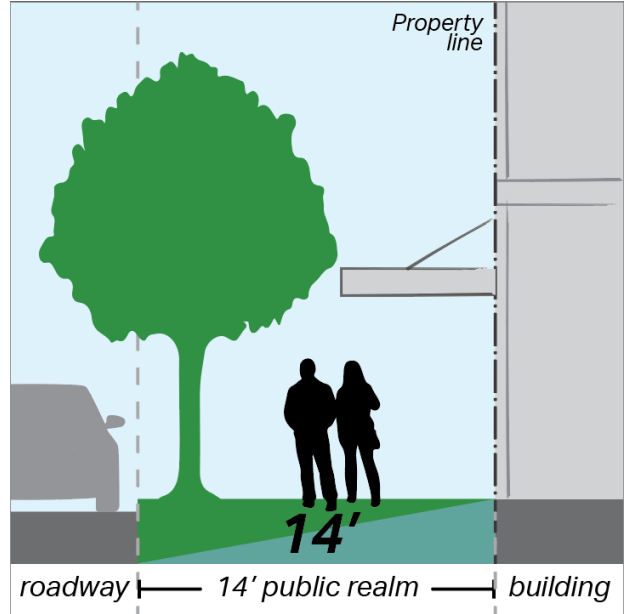
The County TOD Toolkit provides the guiding framework for implementing the County TOD Program and station area Specific Plans. The TOD Toolkit identifies different zones that make up a typical corridor’s sidewalk: Frontage, Pedestrian, Furniture, Curb, and Travel Lanes. Sidewalks, which collectively describes the Pedestrian and Furniture Streetscape Zones, form the primary pedestrian pathways in a TOD. Providing adequate sidewalk width where a minimum of two people may walk side-by-side and pedestrian amenities will help create a walkable environment throughout the entire station area.



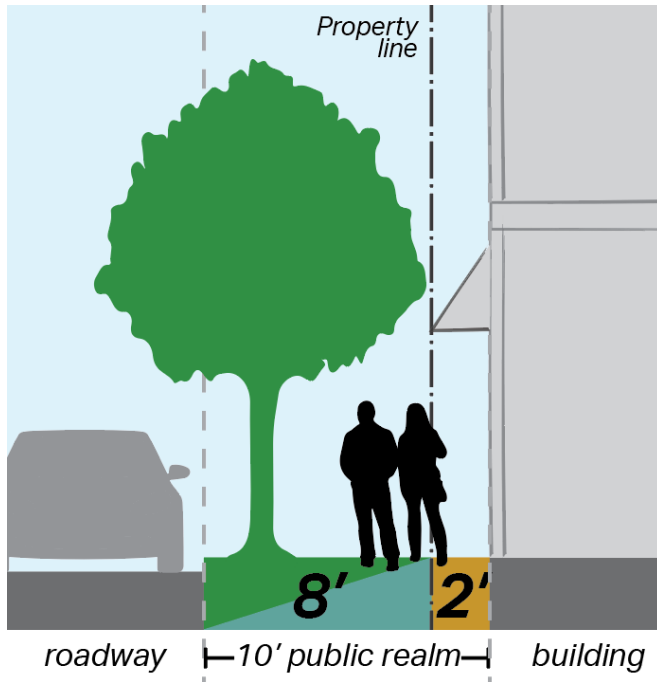
**Figure 22.418.090-3:
Public Realm Condition 12-foot**



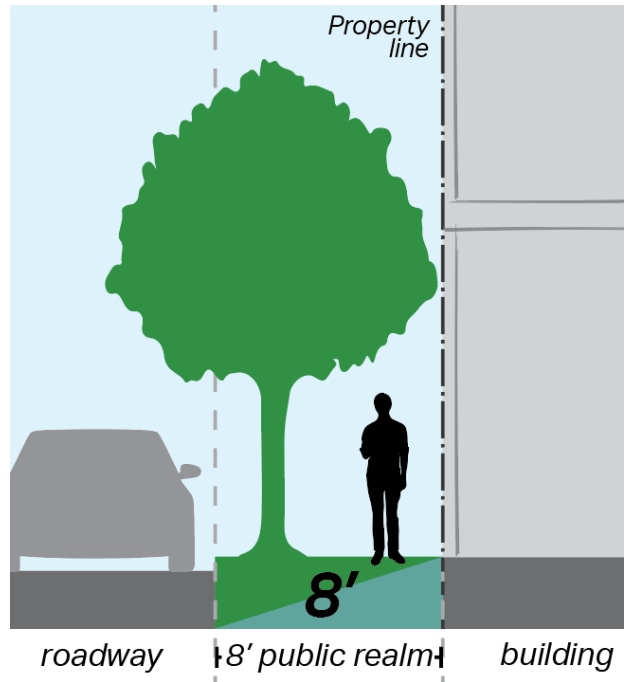
**Figure 22.418.090-4:
Public Realm Condition 14-foot**



**Figure 22.418.090-5:
Public Realm Condition 10-foot**



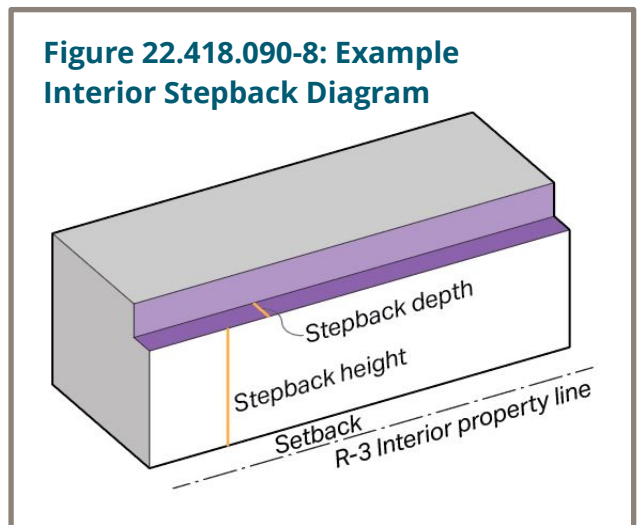
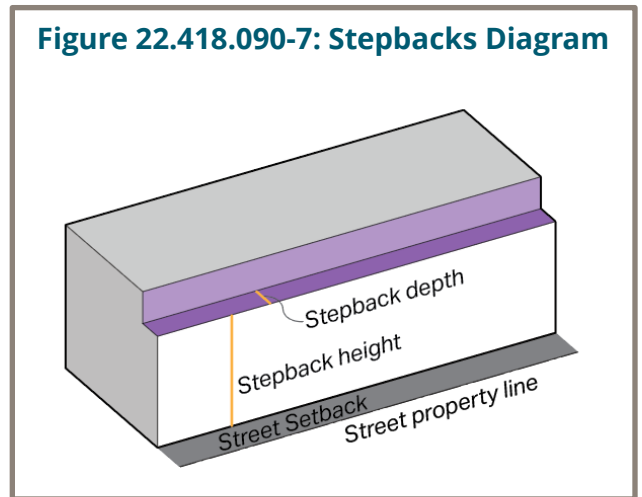
**Figure 22.418.090-6:
Public Realm Condition 8-foot**



3. Parking/Garage Street Setbacks. Surface parking and/or garages shall adhere to the following. See Section 22.418.110 (Circulation and Parking Standards) of this Specific Plan for additional requirements. Mixed Use (horizontal or vertical) and IX projects.
 - a. Shall be located in the rear of the structures or at the rear of the lot, except that up to 25 percent of required parking may be located along one side of the building if an access driveway is provided.
 - b. Shall be completely screened with walls or landscaping so that the parking areas are not visible from a major or secondary highway, unless the parking areas are located along access driveways, in which case, walls or landscaping may be placed only if they do not impede adequate line-of-sight to the public ROW.

G. STEPBACKS

1. Required Street Stepback. Stepbacks from the street-adjacent property line shall be regulated by Table 22.418.090-B for all structures in the MU and MXD zones subject to the street frontage adjacency. See Figure 22.418.090-7 (Stepbacks Diagram).
 - a. Stepbacks shall apply to all development with frontage on the streets identified in Table 22.418.090-B (Required Stepbacks) where the building height exceeds the identified stepback height.
 - b. Required stepbacks shall be measured from the built setback of the floor immediately below.
 - c. Buildings subject to the standard shall not exceed the specified height (stepback height) specified for the applicable location before stepping back the specified amount (stepback depth).
 - d. Uses allowed within the required stepback include balconies, patios, trellises, and green roofs.
Other open space features may be allowed per review authority approval.



2. Required Interior Stepback. All structures shall comply with the upper story stepbacks per Table 22.418.090-B from the interior property line when adjacent to R-3 residential zoning. See Figure 22.418.090-8 (Example Interior Stepback Diagram).

Table 22.418.090-B: Required Stepbacks

Street Frontage/Adjacency	Requirement				
	Stepback Height	Stepback Depth			
		MU-1	MU-2	MU-3	MU-T
Street Frontage					
Slauson Avenue	50'	N/A	N/A	N/A	8'
Compton Avenue, N of Nadeau	45'	N/A	N/A	N/A	6'
Compton Avenue, S of Nadeau	36'	6'	N/A	N/A	N/A
Florence Avenue	45'	N/A	6'	N/A	N/A
Nadeau Street	36'	8'	N/A	10'	N/A
Maie Avenue	36'	N/A	N/A	10'	N/A
Firestone Boulevard	36'	6'	N/A	N/A	N/A
Holmes Avenue	45'	8'	N/A	8'	N/A
Adjacent Zone					
Interior PL adjacent to R-3	36'	6'			

H. ACTIVE GROUND FLOOR DESIGN

The following standards apply to all mixed use corridors within the Specific Plan to support a walkable, pedestrian character that promotes walking and encourages more trips taken by foot within the community; see Figure 22.418.030-1 (Primary Corridors). All parcels with frontage on a Primary Corridor shall be subject to these standards.

1. **Ground Floor Height.** Development in the MU zones (inclusive of the MXD zone) shall have a minimum ground floor height, measured floor to floor based on the use type, consistent with Table 22.418.090-C (Ground Floor Minimum Heights). See Figure 22.418.090-9 (Ground Floor Dimensions).
2. **Residential Ground Floor.**
 - a. Residential common space (lobby, amenity spaces, etc.) located on the ground floor, in a mixed use or residential-only configuration where allowed, shall be subject to the non-residential height requirement.
 - b. Residential-only projects shall not be required to meet the non-residential height requirement.
 - c. For residential units, the ground floor entry may be elevated up to 5 feet from the sidewalk elevation.
3. **Non-Residential Depth.** Non-residential uses on the ground floor shall have a minimum interior depth of 35 feet. See Figure 22.418.090-9.
4. **Mixed Use Minimum Width.** The width of the street-facing retail component of the ground floor within a mixed use development shall be a minimum of 20 feet.



Implements FFCP Policies:

To support high-quality design and pedestrian travel, the FFTOD Specific Plan establishes a series of pedestrian-oriented standards that collectively create active ground floors. Visually appealing ground floors with design treatments that promote a welcoming environment for pedestrians helps to create a vibrant community. The FFCP Specific Plan implements the following FFCP policies:

- ✓ **Policy TD-1.5 Active Ground Floor**
- ✓ **Policy CI-3.1 Pedestrian-Oriented Design**

**Figure 22.418.090-9:
Ground Floor Requirements
Dimensions**

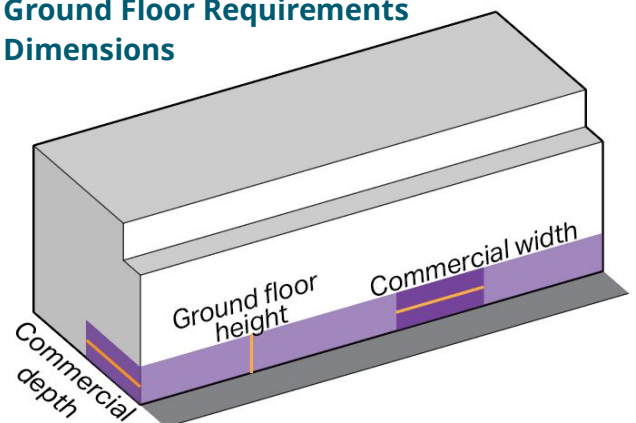


Table 22.418.090-C: Ground Floor Maximum Heights

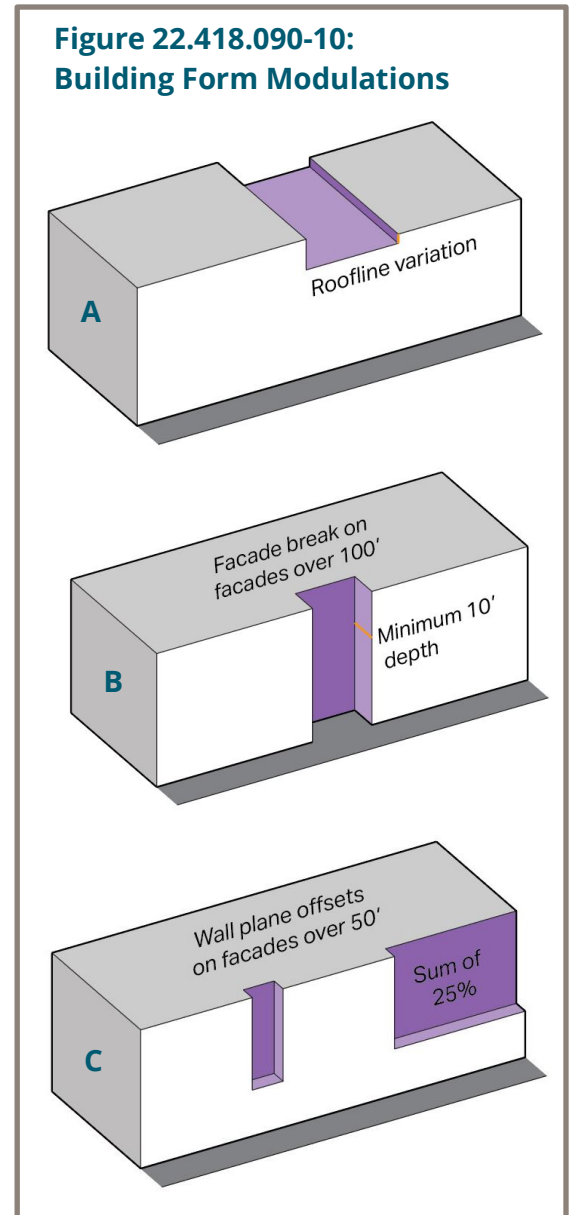
Zone	Ground Floor Use Type	Minimum Ground Floor Height	Notes
MU-T / MU-3 / MU-1 / MU-1 / MXD	Mixed Use	14 feet	See Section 22.418.090.H for residential ground floor common space requirements
	Non-residential	14 feet	
	Residential	12 feet	
IX	All Uses	20 feet	

5. Transparency. All street-facing façades shall be designed consistent with the following requirements.
 - a. Mixed use and non-residential buildings shall provide a minimum transparency of 60 percent of the ground floor.
 - b. Residential buildings in MU zones shall provide a minimum transparency of 30 percent of the street elevation on all floors; may be composed of windows, doors, porches, and balconies.
 - c. Buildings in the IX zone shall have a minimum transparency of 30 percent of the street elevation.
 - d. All buildings shall provide a minimum transparency of 30 percent for all upper stories.
 - e. Standards
 - f. Glass. All glass utilized in windows or entrances on the first 2 stories shall be either clear or lightly tinted to maximize pedestrian visibility of building interiors from the sidewalk area. Mirrored, highly reflective glass or densely tinted glass shall be prohibited for use in windows and entrances.
 - g. The use of tinted, mirrored, or highly reflective glazing is highly discouraged. A maximum of 20 percent of the building facade shall consist of mirrored or densely tinted glass.
 - h. Ground floor transparency is measured as the percentage of building frontage that consists of transparent openings between a height of 2 feet and 10 feet above sidewalk elevation for non-residential uses.
 - i. Overall façade transparency is measured as the percentage of total building elevation and inclusive of ground floor transparency.
 - j. Windows shall be recessed by at least 2 inches from the façade; flush windows may be allowed per review authority approval.
 - k. Blinds, drapes, posters, and shelving for product displays visible to the public ROW shall obscure no more than 10 percent of the transparent areas of each respective storefront.

I. BUILDING FORM MODULATION

All buildings in MU zones (including the MXD zone), regardless of use, shall be designed consistent with the following modulation standards.

1. **Rooflines.** All buildings in MU zones with 100 feet or more of street frontage shall be designed to provide roofs of varying heights, materials, textures, or motifs. Rooflines/heights shall vary by a minimum of 3 feet to satisfy this standard. See Figure 22.418.090-10.A.
2. **Building Length.** Buildings that exceed 100 feet in length along any street frontage shall include a break of at least 10 percent of the façade length or 20 feet, whichever is more. This break shall be at least 10 feet deep, open to the sky; See Figure 22.418.090-10.B. Upper-story open space features creating a building break shall satisfy this requirement
3. **Wall Plane Offsets.** Street-facing elevations over 50 feet in length shall include wall plane offsets equal to a minimum of 25 percent of the wall plane area above the ground floor; see Figure 22.418.090-10.C.
 - a. The street-facing elevation is defined as the vertical plane with the greatest surface area above the ground floor.
 - b. Buildings with 2 stories or less are exempt.
 - c. Wall plane offsets are not required to be continuous or open to the sky, and may be recessed or projected, but not past the property line.
 - d. Projected balconies do not count toward the wall plane offset requirement.



J. PEDESTRIAN DESIGN

The following standards shall apply to all buildings in MU zones (including the MXD zone) and IX zones.

1. **Primary Entrance.** All buildings shall have at least one primary entrance opening onto the sidewalk of the primary corridor frontage or frontage with the greatest ROW width. This may open onto a public open space or interior courtyard.
2. **Separated Entries.** Residential and commercial uses that are located on the same floor, where permitted, shall not have a common entrance hallway or common balcony, except that common entrance hallways shall be allowed in a single-story structure
3. **Blank Walls.** Within the MU and IX zones, a maximum of 20 feet in length of windowless expanses of walls on a street-facing façade is allowed. Blank walls shall be treated with an accent material, accent color, or mural, or treated with landscaping that screens a minimum of 30 percent of the wall area.
4. **Shading.** Shade structures (e.g., awnings and canopies including retractable features) shall be permitted along all primary corridors consistent with the following standards:
 - a. Minimum 4 foot projection, maximum 10 foot projection allowed.
 - b. Shade structures shall allow at least 8 feet of vertical clearance from sidewalk elevation.
 - c. Shade structures shall not conflict with existing trees or any structure within the public ROW.
 - d. Supporting structures or footings connecting to the ground are prohibited.
 - e. Shade structure shall be of a high-quality material that resists fading or deterioration.
 - f. Projections into the public ROW shall require an encroachment permit in accordance with Title 22 Section [16.18.030](#) (Excavation or Encroachment Permit).
5. **Outdoor Dining & Activities.** Outdoor dining and activities are encouraged in MU zones consistent with the following.
 - a. Outdoor dining shall be permitted where an effective public realm width of 10 feet or greater is provided through a combination of public ROW and private setback.
 - b. A clear path of travel measuring 4 feet shall be maintained at all times.
 - c. Outdoor dining and activities shall be permitted within the street setback.
 - d. An encroachment permit is required where outdoor dining or activities extend into the public ROW. Refer to Title 22 Sections [16.18.030](#) (Excavation or Encroachment Permit) and [22.140.410](#) (Outdoor Dining and Encroachment Permit).
6. **Pedestrian-Scaled Exterior Lighting.** All development shall provide exterior lighting designed to illuminate the sidewalk and building entries for pedestrians consistent with the following.

- a. Parking Lot Lighting. Parking lot lights, if any, shall be installed to minimize glare and illumination on neighboring residences.
- b. Light Trespass. Fully shielded fixtures shall be used for exterior and directional lighting to prevent light trespass to adjacent Residential Zones or sensitive uses.
- c. Lighting shall be provided at building access points, along pedestrian accessible walkways, or along any building face fronting a street to illuminate the storefront, the sidewalk, or access point in order to enhance pedestrian safety.
- d. Lighting shall be designed to minimize or prevent shadows or glare, such that visibility is not impaired. Examples include illumination of recessed entryways, and lighting evenly distributed along the store frontage or walkways such that near uniform foot-candles are registered along any pedestrian accessible area.

COMMUNITY FEEDBACK: Lighting



The FFTOD Specific Plan outreach activities highlighted that Florence-Firestone community members want to see more lighting on neighborhood streets. All development in the TOD Zones is required to provide exterior lighting to illuminate sidewalks and building entries for pedestrians, increasing safety and accessibility for people walking. The County may explore opportunities to install pedestrian-oriented lighting in sidewalks, as a future implementation action, as described in Chapter 7: Implementation.

K. ARCHITECTURAL ELEMENTS

The following standards shall apply to all MU zone (including the MXD zone) development with street frontage along the Primary Corridors; see Figure 22.418.090-2 (Public Realm Width).

1. Elements Required. To promote a high-quality built environment in Florence-Firestone, buildings shall incorporate architectural elements along the street frontage based on the following menu.
 - a. Architectural elements, which shall be repeated and distributed throughout the street frontage:
 - Balconies
 - Bay windows
 - Benches or seating for pedestrians, distributed along the length of the entire frontage and clustered at interest points
 - Decorative exterior stairs
 - Raised planters, with live plants, distributed along the length of the entire frontage
 - Recessed upper loggias or pergolas
 - Working tile or masonry water fountains
 - Courtyards
 - Forecourts
 - Outdoor Dining
 - Plazas

2. Parcel Requirements.

- a. Parcels with 40 feet or less of street frontage shall provide a minimum of 3 architectural elements.
- b. Parcels with greater than 40 feet of street frontage shall provide a minimum of 3 architectural elements, plus 1 additional architectural element for each segment, or a portion, of 40 feet of frontage.
- c. Architectural elements shall be distributed throughout the width of the building façade.

L. PARKWAY/STREET TREE REQUIREMENTS

Private development in MU and IX zones over 6,000 square feet in GFA shall install street trees consistent with the following.

1. Street Tree Requirement. 1 street tree shall be required per every 30 feet of street frontage measured from the center of the tree well. Public Works shall have the discretion to eliminate, relocate, or add, based on field conditions. Street tree shall be installed by private development in the Furniture Zone of the public ROW.
2. Maintenance. All street trees shall be maintained by Public Works.

M. FENCING

The following standards shall apply to all MU zones, MXD and IX zone development in Florence-Firestone.

1. Requirements. Fencing shall be required to be consistent with the standards of the applicable zone. For fencing standards related to single-family and two-family zones, see Section 22.418.132.B.
2. Measuring Height of Fences and Walls. Notwithstanding Title 22 Section 22.110.070.A (Measuring Height of Fences and Walls), the height of a fence or wall shall be measured inclusive of any architectural feature, fixture, or support element attached to or part of said fence or wall.
3. Location. Fences (including freestanding walls, raised planters, and similar) are permitted within the street setback only when enclosing permitted outdoor dining areas or in front of residential dwelling units.
 - a. Exceptions are allowed for guardrails, which may exceed the maximum height to the extent required by the Building Code. The guardrail shall be at least 50 percent transparent.
4. Fence Transparency. Fences shall be open and non-view obscuring for any portion of the fence or wall greater than 42 inches in height and must adhere to the following:

COMMUNITY FEEDBACK: Landscaping and Trees



The FFTOD Specific Plan outreach activities highlighted that Florence-Firestone community members want to see more landscaping and trees. Overall greening has many benefits, including promoting sustainability, climate resilience, and comfort for people walking. Shade provided by tree canopies can promote walkability by decreasing the urban heat island effect and enhancing the street environment. The FFTOD Specific Plan requires new development install street trees, creating more opportunities for shade and greening.

- a. Glass or chain-link fencing with live plant material shall not be considered open and non-view obscuring; and
- b. Vertical support elements maintain a minimum distance of 5 feet apart.
- c. A height of 42 inches for trees, shrubs, flowers, plants, and hedges is allowed.

N. PRIVATE & COMMON OPEN SPACE STANDARDS

1. Required Common and Private Open Space. Each residential or mixed use development shall provide the minimum area of open space based on unit size consistent with Table 22.418.090-D (Required Open Space by Residential Unit Type) and consistent with the following standards.
 - a. Private open space shall be contiguous to, attached to, and accessed from within an individual dwelling unit, and may include an atrium, balcony, patio, porch, or terrace.
 - b. At least 60 percent of Common Open Space shall be outdoors, and at least 80 percent of outdoor Common Open Space shall be open to the sky.
 - c. Common Open Space calculations may include required interior yards/setbacks where the minimum dimension is achieved; all required street setbacks shall be excluded from Common Open Space calculations.
 - d. To qualify as required open space, the standards of Table 22.418.090-E (Open Space Qualifying Standards) and the following shall apply.

Table 22.418.090-D: Required Open Space by Residential Unit Type

Type of Open Space Required per Unit	Number of Bedrooms			
	Studio	1 Bed	2 Bed	3+ Beds
Private Open Space	50 SF	60 SF	80 SF	100 SF
Common Open Space	75 SF	90 SF	120 SF	150 SF

2. Functional Space. Off-street parking and loading areas, driveways, ROW encroachments, and other vehicular access areas, service areas, and perimeter landscaping that is less than the minimum required width per 22.418.090-E shall not count as required Open Space.
3. Required Landscaping. All common areas shall be improved as either active or passive facilities with landscaping or hardscape elements designed to serve the residents of the project.
 - a. A minimum of 25 percent of the Common Open Space shall be planted areas of at least 30 inches in each direction.
 - b. Hardscape. A maximum of 25 percent of Common Open Space may be paved in standard concrete. Remaining areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate. Alternative paving may be allowed per Director of Public Works approval.

COMMUNITY FEEDBACK: Increasing Open Space



Community participation in Specific Plan outreach activities indicated Florence-Firestone residents would like to see more publicly accessible open space, such as pocket parks and plazas to serve the community.

- c. All common areas shall be developed and professionally maintained in accordance with approved landscape and irrigation plans.
- d. Common Open Space is for the exclusive use of residents of the development and may include features as listed in Table 22.418.090-F (Common Open Space Features).

Table 22.418.090-E: Open Space Qualifying Standards

Standard	Requirement	
	Minimum Area to Qualify	Minimum Dimension, One Direction
Private Open Space	36 SF	6 feet
Common Open Space		
10 units or less	150 SF	15 feet
11 units or more	5% of Lot Area	
Internal Courtyards (Common Area)	150 SF	40 feet
Pedestrian Walkway Dimension	N/A	5 feet

Table 22.418.090-F: Common Open Space Features

Permitted Features	
Atriums	Playgrounds
Barbecue and picnic areas	Pool decks
Community or multipurpose rooms	Swimming pools and spas
Courtyards/plazas	Sport courts

O. PUBLIC OPEN SPACE REQUIREMENTS

1. Each residential or mixed use development shall be required to include public open space subject to the standards of Table 22.418.090-G (Public Open Space by Project Size).
2. Dimensions. A minimum area of 400 square feet with a dimension of at least 20 feet in each direction is required for Public Open Space.
3. Location. Half of developed public open space, or 1,000 square feet, whichever is larger, shall be directly accessible from and at sidewalk elevation. Remaining required public open space may be located on upper stories and shall be accessible to the general public with signage.
4. Access. A maximum of 20 percent of the Public Open Space may be used as outdoor dining for a restaurant; a minimum of 80 percent of the Public Open Space shall be accessible to the general public.
5. Privately Owned Public Space Signage. Signage shall be provided consistent with public use signage requirements per Section 22.418.080.C (Signage) of this Chapter.
6. Required Landscaping.
 - a. A minimum of 25 percent of the Public Open Space shall be planted areas of at least 30 inches in each direction.
 - b. Hardscape. A maximum of 25 percent of Public Open Space may be paved in standard concrete. Remaining areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate. Alternative paving may be allowed per Director of Public Works approval.
 - c. All areas shall be developed and professionally maintained in accordance with approved landscape and irrigation plans.
7. Required Trees.
 - a. In addition to trees required per Title 22 Chapter 22.126, a minimum of 2 trees shall be planted for every 800 square feet of public open space.
 - b. Species and tree size shall be consistent with Title 22 Section 22.126.030.

Table 22.418.090-G: Public Open Space by Project Size

Project Development Size	Public Open Space Requirement
< 80,000 GSF	None required
80,000 > 119,999 GSF	2% of GFA
120,000 > 159,999 GSF	3% of GFA
160,000 > 199,999 GSF	4% of GFA
200,000+ GSF	5% of GFA

P. OPEN SPACE REDUCTIONS FOR THROUGHWAYS

Pedestrian Throughways. Common Open Space and Public Open Space requirement can be fulfilled by a project through the provision of a pedestrian throughway per Title 22 Section [21.24.210](#) (Pedestrian Ways) if the following criteria are met:

1. Parcel is over 350 feet in dimension
2. Located on a block of 700 feet (taking up more than half)
3. Connects to an alley or street
4. All pedestrian way maintenance requirements and design standards shall apply per Title 22 Section 21.24.210.

22.420.100 CIRCULATION AND PARKING STANDARDS.

A. REQUIRED PARKING BY ZONE OR USE.

The standards for parking requirements contained in Title 22 Chapter 22.112 (Parking) shall apply to all development in the Specific Plan Area with the following modifications. Reductions are intended to provide parking supply that supports TOD development and allows for greater flexibility in design and multi-modal access.

1. Non-Residential Requirements. All non-residential uses, as permitted by the applicable zone, shall provide parking consistent with Table 22.418.100-A (Parking Standards by Zone); these requirements modify Title 22 Chapter 22.112 (Parking) requirements as a reduction percentage. Any other zones not mentioned in Table 22.418.100-A shall meet the parking requirements of Title 22 Chapter 22.112 (Parking).
2. Outdoor Dining.
 - a. The first 2,500 SF of outdoor dining space, in the front setback or any other location, shall not be required to provide parking and shall not be counted toward the square footage of the associated restaurant space.
 - b. Outdoor dining in excess of 2,500 SF shall provide parking at a ratio of 1 space per 5 persons based on occupant load.
3. Residential Requirements. All residential uses in the RM, RSS, and MU zones shall provide the minimum required parking consistent with Table 22.418.100-B (Minimum Parking by Residential Unit Type); this modifies Title 22 Chapter 22.112 requirements for residential units.

Table 22.418.100-A: Parking Standards by Zone

Zone	Parking Reduction from Title 22 Chapter 22.112
MU-1	25% reduction of parking spaces by use
MU-2	50% reduction by use - north of Gage 25% reduction by use - south of Gage

MU-3	30% reduction by use
MU-T	50% reduction by use
IX	10% reduction by use

Table 22.418.100-B: Minimum Parking by Residential Unit Type

Unit Type *	Number of Spaces	Standard / Exceptions
Bachelor	0.75 space/unit	Unbundling required in TOD MU zones and allowed in Residential Zones
Efficiency / One-Bedroom	1 space/unit	
≥Two Bedrooms	1.25 space/unit	
Guest Parking (all unit types)	1 space/10 units	Only required for projects with 10 or more units in any zone

4. Accessible Vehicle Parking. In all zones, accessible parking for persons with disabilities shall be calculated based on the total number of parking spaces required prior to the modifications authorized in Table 22.418.100-A (Parking Standards by Zone).
5. Bicycle Parking. In all TOD MU and IX zones, bicycle parking spaces and bicycle facilities shall be required. In addition to the standards and requirements of Title 22 Section 22.112.100 (Bicycle Parking Spaces and Bicycle Facilities), a minimum of 8 additional short-term, and 2 additional long-term, bicycle parking spaces shall be provided on-site for the general public, directly accessible to pedestrians.
6. Change of use with nonconforming parking. A use with nonconforming parking may change to another use without adding parking except:
 - a. If the new use would require more parking than the existing use. Then, in order to establish the new use, the applicant must add parking equal to the difference between the parking requirement of the existing use and the new use (net change in parking intensity); and
 - b. If the new use is a limousine service or a fleet service/company vehicle operation, the applicant must bring the parking up to current new construction parking standards.
7. Employee Commute Reduction Program for large employers. Per South Coast Air Quality Management District (AQMD) Rule 2202 – On-Road Motor Vehicle Mitigation Options, an Employee Commute Reduction Program (ECRP) can be implemented by any large, consistent with AQMD definitions. The ECRP focuses on reducing work related vehicle trips and vehicle miles traveled to a worksite. See South Coast AQMD Rule 2202 for a program overview, including applicability, program implementation, administration, and employee commute reduction strategies.

B. PARKING LOCATION SITING REQUIREMENTS. With the exception of subterranean parking, all vehicle parking areas shall be:

1. Located in the rear of the structures or at the rear of the lot, except that up to 25 percent of required parking may be located along one side of the building if an access driveway is provided; and
2. Completely screened with walls or landscaping so that the parking areas are not visible from a major or secondary highway, unless the parking areas are located along access driveways, in which case walls or landscaping may be placed only if they do not impede adequate line-of-sight to the public ROW.
3. Off-site Parking. Parking requirements for non-residential uses may be met within 1,500 feet from the site of the development.
4. Developments are allowed a maximum of 1 curb cut per street frontage per property, or as otherwise consistent with Fire Department regulations.
5. Not more than 20 feet of a property frontage shall be devoted to parking access, such as driveways, for every 100 feet of lot frontage. Where additional driveway width is required by the County, or where there are other legal or permit requirements, no more than the minimum of the greater requirement specified shall be required.
6. Oversize Vehicles. Parking for vehicles that exceed 20 feet in length or 9 feet in width shall be located as far as possible from any abutting residentially-zoned lots.
7. Where the standards of this Specific Plan are silent, the standards of Title 22 Section 22.112.080 (Parking Design) shall apply.

C. RESIDENTIAL PARKING SITING REQUIREMENTS. For all residential surface parking and/or garage, developments shall adhere to the following:

1. Provide a minimum 3-foot setbacks for shared garage access.
2. Provide a 3-foot minimum setback or greater than 18 feet for individual unit garages.
3. Driveway widths between 3 feet and 18 feet are not allowed.
4. Residential garage access is not allowed from any Primary Corridor unless no other feasible option is available.
5. Street-facing garages shall be limited to a maximum of 1 garage serving a maximum of 2 cars for any project with 4 or more units. Parcels/projects with more than 1 street frontage shall be permitted 1 garage facing each street frontage.
6. Garages are encouraged to be alley loaded or have access from interior circulation, whenever possible.
7. Where a garage does not face the street frontage, the setback to the garage wall shall be the same as the required setback to the building.

D. UNBUNDLED PARKING REQUIRED

5. Residential Unbundled Parking. Unbundled parking is required for residential in MU zone mixed use configurations; unbundling is ministerially allowed in RM and RSS zones subject to the following:
 - a. For any building with new residential units, automobile parking spaces shall be leased or sold separately from the rental or purchase fees, such that renters or buyers have the option of renting or buying the residential unit at a lower price than if the parking was included.
 - b. For deed-restricted affordable units, 1 parking space shall be included in the base rent of each unit. The tenant may choose to receive the parking space or receive a rent discount equivalent to half the amount charged for monthly lease of a parking space. Tenants of affordable units shall not sublease their parking spaces.
 - c. Renters or buyers have the right of first refusal to parking built for their unit. Any remaining spaces may be leased to other users on a month-to-month basis. New occupants shall have the opportunity to lease or purchase parking built for their unit.

COMMUNITY FEEDBACK: Affordable Housing Options



During FFTOD Specific Plan outreach activities, Florence-Firestone community members shared that they would like to see more affordable housing options. One way to reduce the cost of housing is through unbundling, or separating, the cost of parking from the housing unit. For example, a surface parking space typically costs \$5,000-10,000 per space to construct, while a parking structure space typically costs \$15,000-25,000 to build.¹ Parking can be separated from a housing unit whether it is rented, leased or sold, resulting in cost savings for new construction and residents.

¹ Source: 2020, [Victoria Transport Policy Institute](#)

E. SHARED PARKING

6. Shared Parking Areas. In addition to the parking provisions regarding shared parking in Title 22 Chapter 22.178 (Parking Permits), parking may be shared among multiple uses to meet required parking for commercial uses in commercial or mixed use zones, provided a site plan has first been approved by the Director and the following standards are met. In the event the applicant does not or cannot comply with the following after approval of the Site Plan Review, approval of said site plan shall be revoked until parking areas are provided as follows, in accordance with Title 22 Chapter 22.112 (Parking):
 - a. Such off-site or shared parking facility shall be located within 1,320 feet (1/4 mile) from any publicly accessible entrance of the use to which they are provided;
 - b. Such off-site or shared parking facility is located on a lot where parking is permitted;

- c. Such area shall be clearly marked as being made available for parking for the subject use(s) at the location of subject use(s) and at the location of the off-site or shared parking area; and
- d. The applicant:
 - i. Is the owner of the lot where such off-site or shared parking facility is located; or
 - ii. Has control of such off-site or shared parking facility through leasing or other arrangement in such a way as to prevent multiple leasing for the same spaces or cancellation without provided alternate spaces. Such leasing or other arrangement shall contain other guarantees assuring continued availability of the spaces and shall be provided to the Director at the time of site plan application submittal.
7. Electric Vehicle. The provision of electric vehicle charging spaces (EV spaces) capable of supporting future electric vehicle supply equipment (EVSE) shall be provided per Title 22 Title 27 Section 85-7 (Electric Vehicle Charging Station System Requirements):
8. The number of required EV spaces shall be 10 percent of the total number of parking spaces provided for new residential units in MU zones and new non-residential buildings in all MU and IX. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number.

COMMUNITY FEEDBACK: Priority Uses



Community participation in FFTOD Specific Plan outreach activities indicated Florence-Firestone residents want to see more grocery stores, childcare/nursery schools, and community centers for child and senior activities.

This feedback was used to develop incentives to promote the inclusion of these uses in mixed use development.

These incentives also support the following FFCP Policies:

- ✓ **Policy C-1.2 Development Near Florence Station**
- ✓ **Policy C-3.5 Incentivize Commercial Diversity**
- ✓ **Policy TD-1.4 Incentivize Specific Uses**
- ✓ **Policy SH-4.3 Encourage Fresh Food Options Through Permits**

22.420.110 ECONOMIC DEVELOPMENT INCENTIVES

The following incentives shall apply to MU zones within Florence-Firestone to support desired uses and economic development within the community.

A. COMMUNITY PRIORITY USE INCENTIVE.

The following community-supportive priority uses shall be administratively incentivized in all mixed use and non-residential zones. The GFA of the use, 10,000 SF GFA, for all the following uses shall not count toward the maximum FAR of the parcel or project subject to conditions.

1. Administrative Review. No additional review requirements, beyond those identified in the applicable Land Use Permissions table, shall be applicable to utilizing this incentive.

2. FAR Exempt Uses.
 - a. Community Center
 - b. Day Care: Child Care Center
 - c. Grocery / food store

B. GROCERY STORE QUALIFYING CONDITIONS.

1. The use is part of a horizontal or vertical mixed use project that includes residential units.
2. The use is located primarily, 50 percent or more of the total uses GFA, on the ground floor. Use may be multi-story; however, only the ground floor area shall be exempted.
3. Minimum Fresh Foods Requirement. Any food market that devotes more than 30 percent of selling space to perishable fresh food items shall qualify.
4. Tenancy. Proof of a minimum 5-year tenancy contract shall be provided to qualify.
5. The ground floor of the building is designed to meet the MU height standards of Section 22.418.090.H (Active Ground Floor Design) of this Chapter.
6. Shared or Reduced Parking. The required parking spaces for the Grocery Store shall:
 - a. Qualify as guest spaces for any residential units developed as part of an on-site horizontal or vertical mixed use project.
 - b. Be considered shared parking and qualify as one-quarter of the required parking for any residential units developed as part of an on-site horizontal or vertical mixed use project. A shared parking study shall not be required.
 - c. Be reduced by 1 space per 1,000 SF if located within ¼ mile of a Metro Transit Station and bicycle parking is provided on-site.
 - d. The three incentives listed may be used individually or together for an integrated horizontal or vertical mixed use project.

C. ALL OTHER USE QUALIFYING CONDITIONS.

1. The use is part of a horizontal or vertical mixed use project that includes residential units.
2. Multi-story GFA up to 10,000 SF shall be exempted.
3. A curb-side or interior drop-off location is provided; such facility shall be designed to accommodate a minimum of 3 vehicles at a time. Where this is provided, the required parking may be reduced by an additional 20 percent beyond any other applicable parking reductions.
4. The ground floor of the building is designed to meet the MU Height standards of Section 22.418.090.H (Active Ground Floor Design) of this chapter.

D. LOT CONSOLIDATION INCENTIVES

1. Applicable Zones. Multi-lot development within MU-T, MU-3, and MU-2 zones may qualify for an incentive bonus on FAR and height under this section. The increased FAR is intended to allow greater flexibility of design for mixed use development to meet the maximum densities allowed.
2. Incentive. To encourage consolidation of 2 or more small lots to make it economically viable to build mixed use development, the project may be granted

an administrative incentive bonus on FAR and height per Table 22.418.090-H (Lot Consolidation Incentives).

Table 22.418.110-A: Lot Consolidation Incentives

Total Lot Size After Consolidation	FAR Bonus	Height Bonus*
0.5 acre to 1.0 acre	0.10	N/A
1.0 acre to 2 acres	0.25	6 feet
2 acres or more	0.50	11 feet

*The height bonus shall comply with the stepback requirement for lots abutting R-1 or R-2 zones.

22.420.120 MODIFICATIONS TO COUNTYWIDE ZONES

This section modifies the land use regulations and development standards of the Title 22 base zone for all structures and uses within the unincorporated Florence-Firestone Community..

22.420.120.1 COMMERCIAL ZONES

The following standards shall apply to all commercial zones in Florence-Firestone, in addition to or superseding the standards of Chapter 22.20.

A. FAÇADE STANDARDS.

- a. Variation of form and massing shall be used in building designs to provide visual interest. Long, unbroken facades are prohibited.
- b. For building facades with street frontage, at least 30 percent of the facade above the first story shall consist of materials or designs different from the rest of the facade. Examples of such materials include recessed windows, balconies, offset planes, or similar architectural accents or features.

B. MECHANICAL EQUIPMENT. All mechanical equipment shall be located in a manner that avoids obstructing the architectural design of a building.

1. Air Conditioning Units. Ground-mounted air conditioning units shall be screened or enclosed with landscaping or screening so as to not be visible from public areas at ground level and shall be screened with appropriate sound and vibration isolating mounts and barriers.
 - a. Roof-mounted air conditioning units shall be screened by architectural features so that the equipment will not be visible from public areas at ground level.

- b. Window-mounted or wall-mounted air conditioning units shall be placed to minimize overhang and impacts to the design of the building. Casements shall match the design of the facade.
2. Other Mechanical Equipment. Other mechanical equipment shall be screened from view using architectural features or screening materials so as to not be visible from public areas at ground level.

C. SECURITY.

1. Chain link, barbed wire, concertina wire, or similar fences are prohibited. Corrugated metal shall not be used as fencing material.
2. Solid security grilles or roll down gates are prohibited.
3. Security grilles shall be installed in the interior of a building and not be visible from the exterior of the building when not in use. Such security grilles shall not obstruct the public's view of the interior of the building and shall remain open during business hours.

D. LOADING. In addition to the standards of Section 22.112.120 (Loading Spaces), commercial zones in the Florence-Firestone Community shall be subject to Section 22.418.080.C.

E. OPEN SPACE AND PARKING MODIFICATIONS.

1. Parking Modifications. C-3 zoned parcels may be subject to a 30 percent reduction in required parking by use where the standards of Section 22.418.090.I (Building Form Modulation) are met; see exception in Section 22.418.100.A.5 (Change of use with nonconforming parking).
2. Exemption to Reductions. Entertainment or assembly uses shall provide required parking spaces in accordance with Title 22 Chapter 22.112 (Parking), except the use type "Dining rooms, cafes, cafeterias, coffee shops, nightclubs, outdoor dining areas, restaurants, and other similar uses" shall qualify for the reduction listed in Table 22.418.100-A (Parking Standards by Zone).
3. Parking Reductions by Providing Increase Open Space . New development in the C-2 and C-3 zones within Florence-Firestone may qualify for a parking reduction consistent with MU-3 zones, identified in Table 22.418.100-A, with an approved site plan if the proposed development complies with the requirements as provided. This provision shall not be combined with any other ministerial parking reduction, and accessible parking for persons with disabilities shall be calculated based on the total number of parking spaces required prior to any reduction authorized by this Section.
 - a. A minimum of 10 square feet of privately owned public space shall be provided for every foot of lot frontage. The public space shall be provided on-site, along and directly accessible to pedestrians from a commercial corridor, or where a commercial corridor is not present, a street. Said privately owned public space shall

be maintained by the property owner in the manner depicted in submitted maintenance, lighting, landscaping, and site plans.

- b. In addition to those required architectural elements, pursuant to Section 22.418.090.K (Architectural Elements), the public space shall contain at least one of the following:
 - i. Any privately maintained type of courtyard, plaza, or public circulating area which incorporates benches and pedestrian seating, landscaping, or hardscaping, including water features and shade trees;
 - ii. A privately maintained garden, accessible to the public, which incorporates benches or pedestrian seating, and landscaping or hardscaping, including water features, and shade trees;
 - iii. Any type of privately maintained, landscaped open space, including a micro-park, green space, or other urban area that includes shade trees, and benches or public seating; or
 - iv. Any type of privately maintained, landscaped animal-friendly space, including micro-park, dog run, green space, or other open area that includes on-site pet waste stations, shade trees, and benches or public seating.
- c. Signage for the privately owned public space shall be provided consistent with Section 22.418.080.E.
- d. Bicycle Parking Spaces and Bicycle Facilities. In addition to the standards and requirements of Title 22 Section 22.112.100 (Bicycle Parking Spaces and Bicycle Facilities), a minimum of eight additional short-term, and two additional long-term, bicycle parking spaces shall be provided on-site for the general public, directly accessible to pedestrians.

22.420.120.2 C-M ZONE MODIFICATIONS

1. Development Standards.
 - a. Height. If located within 250 feet of a Residential Zone, a new structure shall have a maximum height of 45 feet above grade, excluding chimneys, rooftop antennas, rooftop mechanical equipment, and structure-mounted renewable energy systems.
 - b. Setbacks. All new buildings and structures that face a Residential Zone or sensitive use shall have a minimum setback of 10 feet from the front property line. The setback shall be completely landscaped, except where there is required parking or a driveway. The landscaping shall be maintained in the manner provided in Title 22 Subsection d. (Buffers) below.
 - c. Lot Coverage. The maximum lot coverage shall not exceed 70 percent. At least 10 percent of the net lot area shall be landscaped with lawns, shrubbery, flowers, trees, or live plants. The landscaping shall be maintained in the manner provided in Subsection B.4.a. Incidental walkways, if any, shall not be counted toward the 10 percent landscaping requirement.

- d. **Buffers.** Properties that adjoin a Residential Zone or sensitive use shall have a minimum five-foot landscaped buffer along the common property line. One 15-gallon tree for every 100 square feet of landscaped area shall be planted equally spaced in the buffer strip. The landscaping shall be maintained with regular watering, pruning, weeding, fertilizing, litter removal, and replacement of plants when necessary.
 - e. **Loading Spaces.** In addition to the standards of Section 22.112.120 (Loading Spaces) in Section 22.418.080.C (Loading Spaces), no loading space shall be permitted along a property line that adjoins a Residential Zone.
 - f. **Truck Access.** Industrial properties with multiple street frontages shall permit truck access only from the street that is furthest from any adjacent or nearby Residential Zone.
 - g. **Use Modifications.** All C-M zoned parcels within the Florence-Firestone Community shall be regulated by use regulations of Title 22 Section 22.20.030 except as modified by Table 22.418.120-A.
2. **Nonconforming Uses.** Nonconforming residential uses in the C-M zone shall be exempt from the following:
- a. The termination periods set forth in Title 22 Section 22.172.050 (Termination Conditions and Time Limits) as long as the residential use continues; and
 - b. The provisions in Title 22 Section 22.172.020.G (Repair of Damaged or Partially Destroyed Buildings or Structures Nonconforming Due to Use and/or Standards).

Table 22.418.120-A: C-M Use Modifications

Uses Requiring a CUP	
All the following uses shall require a CUP pursuant to Title 22 Chapter 22.158:	
Services	
Electric distribution substations, subject to the standards described for this use in Title 22 Section 22.140.200	Tool rentals, including rototillers, power mowers, sanders, saws, cement mixers, and other equipment, but excluding heavy machinery or trucks exceeding two-tons' capacity
Laundry plants, wholesale	
Recreation and Amusement	
Amusement rides and devices, including merry-go-rounds, ferris wheels, swings, toboggans, slides, rebound-tumbling, and similar equipment operated at one particular location not longer than seven days in any six-month period	Carnivals, commercial, including pony rides, operated at one particular location not longer than seven days in any six-month period
Industrial Uses	
The following industrial uses are allowed with a Conditional Use Permit only if all activities associated with the use are conducted within an enclosed building.	

Assembly and manufacture of the following from previously prepared materials, and excluding the use of drop hammers, automatic screw machines, punch presses exceeding five-tons' capacity and motors exceeding one horsepower capacity that are used to operate lathes, drill presses, grinders or metal cutters:	
Aluminum products	Metal plating
Plastic products	Shell products
Stone products	
Prohibited Uses - All the following uses are prohibited	
Explosive storage	Sewage treatment plants

22.420.120.3 C-2 ZONE MODIFICATIONS

1. Use Modifications. All C-2 zoned parcels within the Florence-Firestone Community shall be regulated by use regulations of Title 22 Section 22.20.030 except as modified by Table 22.418.120-B.

Table 22.418.120-B: C-2 Use Modifications

Uses Requiring a CUP	
All the following uses shall require a CUP pursuant to Title 22 Chapter 22.158:	
Air-pollution sampling stations	
Automobile service stations, including incidental repair, washing, and rental of utility trailers, subject to the applicable provisions of Section 22.140.100 (Automobile and Vehicle Sales and Rentals, Automobile Service Stations and Automobile Supply Stores - Accessory Uses).	
Churches, temples or other places used exclusively for religious worship, including customary incidental educational and social activities in conjunction therewith.	

22.420.120.4 C-3 ZONE MODIFICATIONS

1. Height Modifications. Residential and mixed-residential/commercial structures shall have a maximum height of 50 feet above grade. All other structures shall have a maximum height of 45 feet above grade. These height limits do not include chimneys, rooftop antennas, rooftop mechanical equipment, and structure-mounted renewable energy systems.
2. Use Modifications. All C-3 zoned parcels within the Florence-Firestone Community shall be regulated by use regulations of Title 22 Section 22.20.030 except as modified by Table 22.418.120-C.

Table 22.418.120-C: C-3 Use Modifications

Uses Requiring a CUP	
All the following uses shall require a CUP pursuant to Title 22 Chapter 22.158 and shall conduct all activities including repair activities within an enclosed building only.	
Sales	
Automobile sales, sale of new and used motor vehicles, and including incidental repair and washing, subject to the applicable provisions of Section 22.140.100	Churches, temples or other places used exclusively for religious worship, including customary incidental educational and social activities in conjunction therewith.
Car washes; automatic, coin-operated, and hand wash	Motorcycle, motorscooter, and trail bike sales
Drive-through facilities	Pawnshops
Furniture and household transfer and storage	Trailer sales, box and utility
	Truck rentals
Services	
Air-pollution sampling stations	Automobile muffler shops
Automobile battery service	Automobile radiator shops
Automobile brake repair shops	Automobile repair garages

Automobile service stations, including incidental repair, washing, and rental of utility trailers, subject to the applicable provisions of Section 22.140.100

22.420.120.5 COUNTYWIDE RESIDENTIAL ZONE MODIFICATIONS

The following development standards shall apply to all countywide residentially zoned properties in Florence-Firestone (R-1, R-2, R-3, R-4), in addition to or superseding the standards of Chapter 22.18.

A. FRONT YARD LANDSCAPING. All residential-only development and residential uses not included as part of a mixed use development shall provide front yard landscaping.

1. For lots less than 40 feet in width, front yards shall have a minimum of 25 percent landscaping.
2. For all other lots, front yards shall have a minimum of 50 percent landscaping.

B. FENCES, WALLS, AND LANDSCAPING FOR SINGLE-FAMILY RESIDENCE OR TWO-FAMILY RESIDENCE USES.

1. Front Yards. The provisions of this chapter shall supersede the provisions of Title 22 Section 22.110.070 (Fences and Walls) as follows, including in Table 22.418.120-D.
2. Corner or Reversed Corner Lots.
 - a. Table 22.418.100-D identifies the maximum height for fences, walls, and landscaping for corner or reversed corner lots.
 - b. Where such fence or wall exceeds 42 inches in height, such front yard shall maintain live plants in the portion of the yard between the fence or wall and the right-of-way. Such plants shall comply with the provisions of this Chapter.

Table 22.418.120-D: Fence Height By Lot Type

Location	Maximum Height	
	Fences, Walls, Trees,* Shrubs,* Flowers,* and Plants,* including Hedges*	
Reverse Corner Lots		
Area between the edge of roadway or top of curb, if present, and the right-of-way line	Permit Required**	
Area between the right-of-way line and 10 feet back from the right-of-way line towards the property	42 inches	
> 10 feet from the right-of-way line towards the property	6 feet	
All Other Lots	Fences and Walls	Trees,* Shrubs,* Flowers,* and Plants,* including Hedges*
Area between the edge of roadway or top of curb, if present, and the right-of-way line	42 inches	42 inches
Area between the right-of-way line and 10 feet back from the right-of-way line towards the property	6 feet, pursuant to Subsection (b)	42 inches

> 10 feet from the right-of-way line towards the property	6 feet	6 feet
<p>*Where forming a barrier serving the same purpose as a fence or wall. **Any encroachment within the public right-of-way requires a permit issued by Public Works as set forth in Section 16.06.010 within Title 16.</p>		

3. All Other Lots. Table 22.418.120-D identifies the maximum height for fences, walls, and landscaping for all other lots.
 - a. Where such fence or wall exceeds 42 inches in height, such front yard shall maintain live plants in the portion of the yard between the fence or wall and the right-of-way. Such plants shall comply with the provisions of this Chapter.
 - b. When located within an area outside a driveway zone between the right-of-way line and 10 feet from the right-of-way line towards the property, fences or walls shall be open and non-view obscuring for any portion of the fence or wall greater than 42 inches in height. A fence, wall, or portion thereof shall be considered open and non-view obscuring when:
 - i. A minimum of 80 percent of that fence, wall, or portion thereof, evenly distributed horizontally along the entire length of said fence, or wall, or portion thereof, is transparent or permits views. Glass or chain link fencing with live plant material shall not be considered open and non-view obscuring; and
 - ii. Vertical support elements maintain a minimum distance of five feet apart.
4. Corner Side Yards. Fences, walls, hedges, and landscaping within a required corner side yard shall comply with the provisions of Section 22.110.080.C (Corner Side Yards).
5. Location.
 - a. Notwithstanding the provisions of Section 22.110.080.E (Limited Secondary Highways) and Section 22.110.040 (Accessory Structures and Equipment), any fence, wall, hedge, or landscaping shall comply with the provisions of this Chapter.
 - b. Notwithstanding the provisions of this Chapter, any encroachment within the public right-of-way requires a permit issued by Public Works as set forth in Section 16.06.010 (Permit - Prerequisite to Commencement of Certain Work) within Title 16 (Highways) of the County Code.

22.420.120.6 R-4 ZONE MODIFICATIONS

The following development standards shall apply to all R-4 zoned properties in Florence-Firestone, in addition to or superseding the standards of Chapter 22.18.

1. **Building Height.** A building or structure in Zone R-4 shall not exceed a height of 35 feet above grade, excluding chimneys, rooftop antennas, rooftop mechanical equipment, and structure-mounted renewable energy systems.

22.420.120.7 M-1 ZONE MODIFICATIONS

The following development standards shall apply to all M-1 zoned properties in Florence-Firestone, in addition to or superseding the standards of Chapter 22.22.

A. DEVELOPMENT STANDARDS.

1. **Minimum Lot Size.** Except for lots legally created prior to the effective date of the ordinance establishing this Chapter, the minimum lot size shall be 8,000 square feet.
2. **Buffers.** Properties that adjoin a Residential Zone or sensitive use shall have a minimum five-foot landscaped buffer along the common property line. One 15-gallon tree for every 100 square feet of landscaped area shall be planted equally spaced in the buffer strip. The landscaping shall be maintained with regular watering, pruning, weeding, fertilizing, litter removal, and replacement of plants when necessary.
3. **Setbacks.** All new buildings and structures that face a Residential Zone or sensitive use shall have a minimum setback of 10 feet from the front property line. The setback shall be completely landscaped, except where there is required parking or a driveway. The landscaping shall be maintained in the manner provided in this Chapter.
4. **Lot Coverage.** The maximum lot coverage shall not exceed 70 percent. At least 10 percent of the net lot area shall be landscaped with lawns, shrubbery, flowers, trees, or live plants. The landscaping shall be maintained in the manner provided in Subsection B.4.a. Incidental walkways, if any, shall not be counted toward the 10 percent landscaping requirement.
5. **Height.**
 - a. If located within 250 feet of a Residential Zone, a new structure shall have a maximum height of 45 feet above grade, excluding chimneys, rooftop antennas, rooftop mechanical equipment, and structure-mounted renewable energy systems.
 - b. If located east of the Alameda Corridor, south of Florence Avenue and North of Nadeau, no structure shall exceed a height of 50 feet above grade, excluding chimneys, rooftop antennas, rooftop mechanical equipment, and structure-mounted renewable energy systems.
6. **Main Entrance.** Any property that has frontage on both Roseberry Avenue and Alameda Street shall have its main entrance on Alameda Street.
7. **Loading Spaces.** In addition to the standards for Loading Spaces in this Chapter, no loading space shall be permitted along a property line that adjoins a Residential Zone.
8. **Truck Access.** Industrial properties with multiple street frontages shall permit truck access only from the street that is furthest from any adjacent or nearby Residential Zone.

9. **Outdoor Businesses.** All principal business activities, except plant nurseries, parking lots, and customer parking, conducted outside an enclosed structure within 250 feet of a Residential Zone or sensitive use shall require a Conditional Use Permit (Chapter 22.158) application.
10. **Outdoor Storage.** In addition to the requirements of Section 22.140.430.B, outdoor storage shall be kept so as not to be publicly visible to anyone in an adjacent Residential Zone.
11. **Fences or Walls.** Properties that adjoin a Residential Zone or sensitive use shall have a minimum eight-foot high solid masonry wall along the common property line in compliance with Section 22.140.430.C.2 (Fences and Walls) and sight distance requirements established by Public Works.

B. USE MODIFICATIONS.

All M-1 zoned parcels within the Florence-Firestone Community shall be regulated by use regulations of Title 22 22.22.030 except as modified by Table 22.418.100-F or Title §22.84 (Green Zones Ordinance).

C. NONCONFORMING USES. Nonconforming residential uses in the M-1 Zone shall be exempt from the following:

1. The termination periods set forth in Section 22.172.050 (Termination Conditions and Time Limits) as long as the residential use continues; and
2. The provisions in Section 22.172.020.G (Repair of Damaged or Partially Destroyed Buildings or Structures Nonconforming Due to Use and/or Standards).

Table 22.418.120-E: M-1 Use Modifications

Permitted Uses	
<p>Breweries, provided they comply with all applicable standards for alcohol production in addition to the following:</p> <ul style="list-style-type: none"> • All primary business activity is done indoors; • No outside storage of any materials, product, or equipment involved in the use; and <p>Any exhaust vapors are condensed before release, sent to a boiler and burned, or treated in such a manner as to prevent the external emission of odors. Not within 500 ft. of a sensitive use.</p>	
Uses Requiring a CUP	
<p>All the following uses shall require a CUP pursuant to Title 22 Chapter 22.158:</p>	
Acetylene; the storage of oxygen and acetylene in tanks, if oxygen is stored in a room separate from acetylene, and such rooms are separated by a not less than one-hour fire-resistant wall	Agricultural contractor equipment, sale or rental or both
Animal experimentation research institute	Automobile body and fender repair shops, if all operations are conducted inside of a building
Automobile painting and upholstery	Batteries, manufacture and rebuilding
Bottling plant	Building materials, storage of
Carnivals, commercial or otherwise	Cellophane products, manufacture
Circuses and wild animal exhibitions, including the temporary keeping or maintenance of wild animals in conjunction therewith for a period not to exceed 14 days, provided said animals are kept or maintained, pursuant to and in compliance with all regulations of the Department of Animal Care and Control	Cold-storage plants
Concrete batching, providing that the mixer is limited to one cubic yard capacity	Contractor's equipment yards, including farm equipment and all equipment used in building trades
Dairy products manufacture and depots	Distributing plants
Electrical transformer substations	Engraving; machine metal engraving
Fabricating, other than snap riveting or any process used in bending or shaping which produces any annoying or disagreeable noise	Ferris wheels
Fruit packing plants	Fumigating contractors
Heating equipment manufacture	Horn products manufacture
Ice manufacture, distribution, and storage	Ink manufacture
Iron, ornamental iron works, but not including a foundry	Lumberyards, except the storage of boxes or crates
Laboratories for testing experimental motion picture film	Machine shops
Machinery storage yards	Nightclubs
Oil wells and appurtenances, to the same extent and under all of the same conditions as permitted in Zone A-2	Outdoor skating rinks and outdoor dance pavilions

Outdoor storage	Paint mixing, except the mixing of lacquers and synthetic enamels
Plaster, the storage of	Rubber; raw rubber processing, if the rubber is not melted and, where a banbury mixer is used, the dust resulting therefrom is washed
Rug cleaning plant	Sheet metal shops
Shell products manufacture	Shooting gallery
Starch mixing and bottling	Stone, marble and granite, and grinding, dressing and cutting of
Storage and rental of plows, tractors, buses, contractor's equipment and cement mixers, not within a building	Stove polish manufacture
Tire yards and retreading facilities	Trucks parking, storage, rental, and repair
Ventilating ducts manufacture	Welding
Metals	
Manufacturing of products of precious metals;	Manufacturing of metal, steel and brass stamps, including hand and machine engraving;
Metal fabricating;	Metal spinning;
Metal storage;	Metal working shops; and
Plating and finishing of metals, provided no perchloric acid is used.	
Prohibited Uses - All the following uses are prohibited	
Boat building	Bus storage
Canneries, except meat or fish	Car barns for buses and streetcars
Casein products manufacture, except glue	Cesspool pumping, cleaning, and draining
Dextrine manufacture	Draying yards or terminals
Engines; internal combustion or steam engines manufacture	Explosives storage
Farm machinery repair	Fox farms
Fuel yard	Incinerators manufacture
Lubricating oil; canning and packaging, if not more than 100 barrels are stored aboveground at any one time Marine oil service stations	Moving van storage or operating yards
Oil well valves storage and repair	Poultry and rabbits; wholesale and retail sale, including slaughtering and dressing within a building
Presses; hydraulic presses for the molding of plastics	Produce yards or terminals
Refrigeration plants	Sand; washing for sandblasting
Slaughterhouses with wholesale or retail sale of meat or meat products	Sodium glutamate, manufacture
Wood yards	Yarn; products manufacture, including dyeing

22.420.120.8 M-2 ZONE MODIFICATIONS

The following development standards shall apply to all M-2 zoned properties in Florence-Firestone, in addition to or superceding the standards of Chapter 22.22.

1. **Minimum Lot Size.** Except for lots legally created prior to the effective date of the ordinance establishing this Specific Plan, the minimum lot size shall be 15,000 square feet.
2. **Buffers.** Properties that adjoin a Residential Zone or sensitive use shall have a minimum five-foot landscaped buffer along the common property line. One 15-gallon tree for every 100 square feet of landscaped area shall be planted equally spaced in the buffer strip. The landscaping shall be maintained with regular watering, pruning, weeding, fertilizing, litter removal, and replacement of plants when necessary.
3. **Loading Spaces.** In addition to the standards for Loading Spaces in 22.418.080.C (Loading Spaces), no loading space shall be permitted along a property line that adjoins a Residential Zone.
4. **Truck Access.** Industrial properties with multiple street frontages shall permit truck access only from the street that is furthest from any adjacent or nearby Residential Zone.
5. **Outdoor Businesses.** All principal business activities, except plant nurseries, parking lots, and customer parking, conducted outside an enclosed structure within 250 feet of a Residential Zone or sensitive use shall require a Conditional Use Permit (Chapter 22.158) application.
6. **Use Modifications.** All M-2 zoned parcels within the Florence-Firestone Community shall be regulated by use regulations of Section 22.20.030, except waste disposal facilities and yards for automobile dismantling, junk and salvage, and scrap metal processing shall not be permitted on properties that adjoin a Residential Zone or sensitive use.

Chapter 5



Artist Credit: "Short Stories" Mural by Willie Middlebrook

Mobility

5 Mobility

5.1 INTRODUCTION & PURPOSE

To support the TOD-focused strategy of this Specific Plan, this chapter describes strategies to create a multi-modal environment and respond to the need for safer and more user-friendly transportation systems. The mobility infrastructure recommendations identified support transit, pedestrian, and bicycle mobility, and include programmatic improvements to support complete streets and improve parking conditions.

Currently, the vehicle miles traveled (VMT) per service population (a combination of residential and employees) in the Specific Plan Area is 30.2; this VMT value indicates that the Specific Plan service population drives relatively fewer miles than those in the surrounding areas in Los Angeles County. Under the future build-out scenario described in this Specific Plan, VMT per service population is estimated to be 20.3 by the horizon year of 2035. This anticipated reduction in VMT would result from improved provision of services in the community and improved access to transit that reduces the need for people to drive. Additional housing and the associated increased population balances against local job opportunities and services that may be within or near the Specific Plan Area. Under the future Specific Plan scenario, supported by the mobility improvements described in this Chapter, more trips will be able to be made on foot, on bike, or by transit, more comfortably and safely.

5.2 SUMMARY OF EXISTING CONDITIONS

The existing conditions in the Specific Plan Area are documented in the Mobility & Equity Study, published as part of this Specific Plan effort in October 2020. For more information on existing roadway network designations, vehicle capacity and volumes, transit routes and headways, bicycle facilities, and collision patterns by mode the report can be found at: <https://planning.lacounty.gov/fftod>. [Key findings and recommendations from the Mobility & Equity Study are summarized here.](#)

5.2.1 Key Findings

- >> Four major arterials are responsible for the movement of most vehicles, trucks, transit vehicles, and people on foot: Slauson Avenue, Florence Avenue, Firestone Boulevard, and Compton Avenue.
- >> These four arterials exhibit “hotspot” collision patterns, particularly on Compton Avenue, which also exhibits the greatest difference between posted speeds and observed speeds, indicating an opportunity for traffic calming along this corridor.
- >> The Specific Plan Area is characterized by high speeds, lack of sufficient pedestrian and bicycle infrastructure, and degraded pavement quality along some streets.
- >> Pedestrian connections across major arterials, and across the Metro A (Blue) Line itself, are limited, and may create unsafe conditions for people traveling on foot as these conditions encourage riskier choices like crossing at locations without marked crosswalks or signals.

- >> Transit service is present throughout the Specific Plan Area, but headways are long, particularly in off-peak periods. Improvements recommended in Metro's NextGen Study do not demonstrate a major improvement in headways for most bus lines that serve the Specific Plan Area.
- >> Compared to the rest of Los Angeles County, socio-economic conditions in the Specific Plan Area seem to be influencing vehicle ownership and use, with higher rates of households that lack access to a vehicle and lower rates of auto mode-share for certain types of trips.
- >> This data analysis corroborates many of the issues and observations documented in the Metro Blue Line First/Last Mile Plan.

5.2.2 Key Recommendations

- >> Prioritize mobility improvements, specifically those related to pedestrian, transit, and bicycle mobility, that have already been well-documented in prior studies but have not yet been implemented.
- >> Identify opportunities to align with and support implementation of other County initiatives such as Vision Zero Los Angeles County and Safe Routes to School.
- >> Determine appropriate levels of parking that are necessary to support the existing community, new development, and compliment future multi-modal transportation investments.

5.3 SUMMARY OF MAJOR PROJECTS

The County agencies that are responsible for implementing transportation projects in the Specific Plan Area have many major projects underway. These projects are shown in Figure 5-1 (Major Mobility Infrastructure Projects) and include the following:

- Metro's Rail to Rail/River (Segment A) project along Slauson Avenue from the future Metro Crenshaw/LAX Line to the Metro A (Blue) Line Slauson Station, which includes a multi-modal path along the north side of Slauson Avenue and a new crossing at Slauson Station (underneath the rail tracks) (Note: Segment B, which connects the Slauson Station to the LA River, is currently undergoing a Supplemental Alternatives Analysis)
- Metro's West Santa Ana Branch Transit corridor, which will improve regional transit network connectivity at Slauson Station, to points southeast of Florence-Firestone
- Crosswalk upgrades at locations on Slauson Avenue, Compton Avenue, and Firestone Boulevard
- Traffic signal upgrades at locations on Gage Avenue, Florence Avenue, Nadeau Street, Firestone Boulevard, Compton Avenue, Hooper Avenue, and Alameda Street
- Pedestrian improvements along Firestone Boulevard between Central Avenue and Alameda Street

- Bikeway improvements on 88th Place / 89th Street between Central Avenue and Maie Avenue
- Street resurfacing projects (including pavement preservation and roadway reconstruction projects) on local streets in the northeast part of the Specific Plan Area, along Nadeau Street, and on several local streets south of Firestone Boulevard
- New signage and wayfinding throughout the Specific Plan Area

In addition, Metro Active Transportation (MAT) Program grants were awarded to two projects in the Specific Plan Area during the first (2021) cycle, with additional detail to come as planning and design begin:

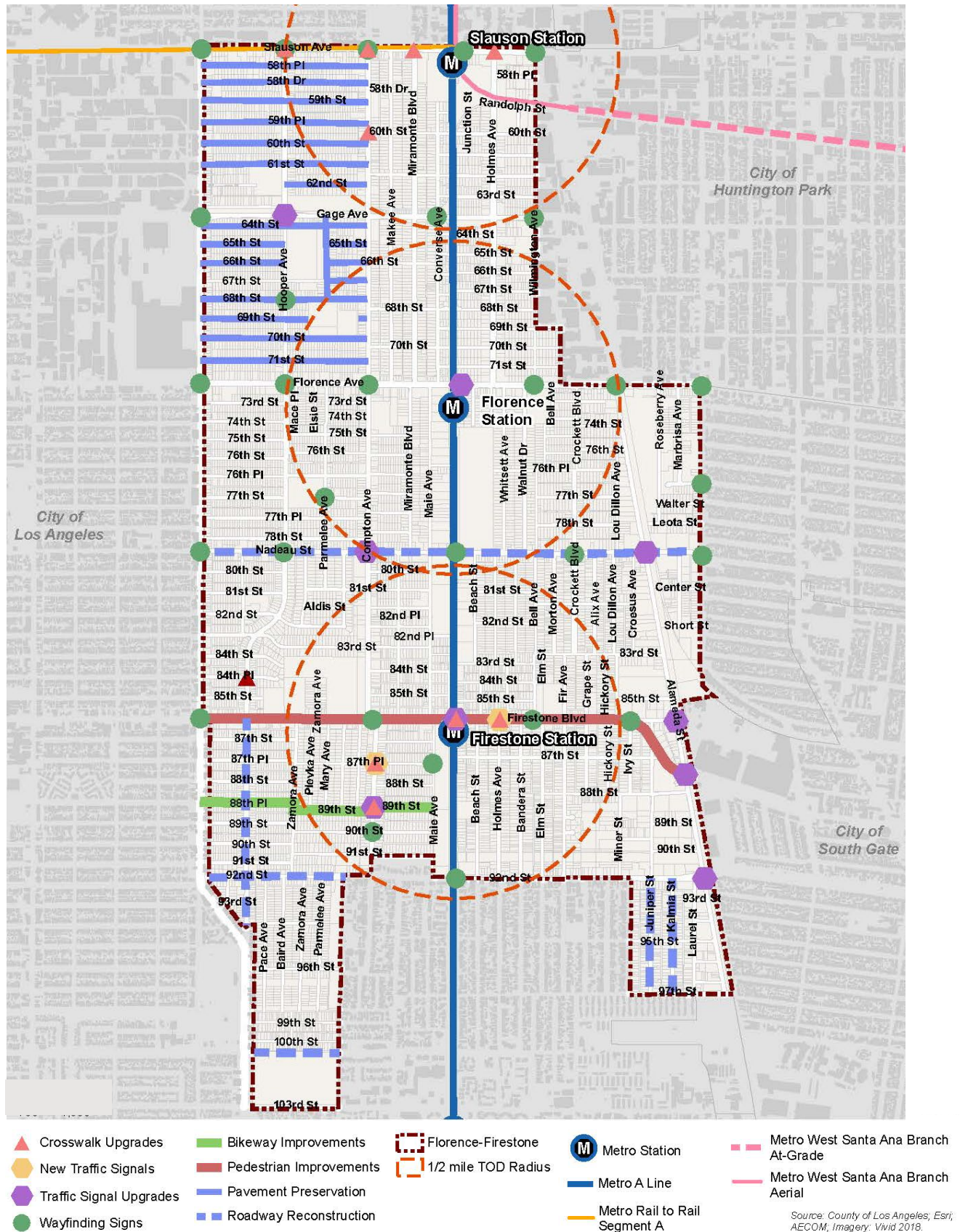
- First/last mile project at Slauson Station
- Randolph Street Active Transportation Corridor

The projects demonstrate ongoing investment in this area, through efforts such as the County Vision Zero program, Metro's First/Last Mile program, and the County Pavement Management System. While some of these infrastructure projects are funded and scheduled to be completed in the next few years, others require additional funding for full implementation and would benefit from ongoing prioritization as the Specific Plan is implemented.

In addition to the mobility infrastructure projects described, three additional planning and land use efforts are underway in the Specific Plan Area:

- The Department of Public Health also has pedestrian planning efforts underway for the Florence-Firestone community, scheduled to begin in 2021
- An Affordable Housing & Sustainable Communities (AHSC) grant application has been submitted for a project along 83rd Street
- LA City Planning Department is developing a Transit Neighborhood Plan (TNP) along Slauson Corridor to complement the Rail to Rail/River investments

Figure 5-1: Major Mobility Infrastructure Projects



5.4 MODE-SPECIFIC IMPROVEMENTS

The improvements recommended in this section are the result of ongoing community engagement and professional planning/design work that has been underway in the Specific Plan Area over many years. This section brings the recommendations together from formal planning processes (e.g., the Metro Blue Line First/Last Mile Plan, the FFCP, and the community engagement conducted as part of this Specific Plan) and builds upon them in order to support the land use changes outlines in the prior chapters.

5.4.1 Transit

The Specific Plan Area is served by an extensive network of public transportation, including 12 local bus routes operated by Metro and the Metro A (Blue) Line. The three rail transit stations on the Metro A (Blue) Line (Slauson Station, Florence Station, and Firestone Station) serve the Specific Plan Area locally and provide regional access to Downtown Los Angeles, Los Angeles International Airport (LAX), Southeast Los Angeles, Willowbrook/Watts area, Marina del Rey, Playa del Rey, and Playa Vista.

The Link Florence-Firestone/Walnut Park Shuttle (Link) is operated by Public Works and provides transit service to connect communities to key destinations in the Florence-Firestone and Walnut Park communities. The Link serves the Metro A Line (Florence and Firestone Stations) and key destinations including Washington, Bethune and Roosevelt Parks, Florence and Graham Libraries, and other destinations. Service for the Link is provided every 60 minutes every day, except for holidays.

The existing Slauson Station is located at the intersection of Slauson Avenue and Randolph Street. The station is adjacent to the Vermont-Slauson neighborhood in South Los Angeles and is surrounded by industrial and residential land uses, including schools, a park, a playground, and a community center. The area around the Slauson Station lacks sufficient and quality signage and wayfinding, and many sidewalks have both elements obstructing the path of travel and insufficient curb ramps. The entrance on Randolph Street is narrow and acts as a barrier near the station. The station lacks a crosswalk to the bus stop on the other side of Slauson Street, though a new crossing is planned as part of the Metro Rail to Rail project.



Example of a curb ramp and truncated dome

The existing Florence Station is located on the segment of Florence Avenue between Maie Avenue and Graham Avenue. The area within a ½-mile radius from the Florence Station is residential with multiple elementary schools and Roosevelt Park. The area immediately adjacent to the station has wayfinding signage, but the area within a ½ mile, beyond the station footprint, has little directional signage for pedestrians, bicyclists, or transit users. The station can only be accessed from the north along Florence Avenue; there is no south exit/entrance to the station. Many sidewalks are in poor to fair condition and most have curb ramps.

The existing Firestone Station is located at the intersection of Firestone Boulevard and Graham Avenue. The land uses around the station include a mix of industrial and residential areas with high voltage towers, walls, and fences. In addition, most sidewalks are narrow and damaged, and lack sufficient opportunities for crossing. The area lacks crosswalks and lighting, especially under the train overpass where the bus stop is located.

A. Transit Service Improvements

As more people become residents of this community, in coordination with Metro as part of its NextGen Bus Plan² update, this area should be evaluated for increased bus service in the Specific Plan Area. The Link should also be evaluated for expanded service hours into the evenings; improved frequency; and increased destinations, including the Slauson Station area. Expanding the route to serve the Slauson Station and increasing the frequency from approximately 60-minute headways to 10-minute headways would improve local connectivity to destinations within the Florence-Firestone community. It would also improve actual and perceived safety and comfort for riders, particularly female riders, and attract new riders.

B. Transit Amenity Improvements (Bus Stops and Transit Stations)

Transit stop amenities improve the transit experience. Amenities can include shelters, benches, lighting, transit information, trash bins, bicycle racks, and public art. Well-designed transit stops can improve rider comfort and convenience and attract new riders. Bus shelters also play an important role in transit operations. They provide riders with shelter from varying weather conditions and provide a place to rest and wait. Bus shelters should provide additional amenities, such as benches, bus stop ID, route information, and lighting. Installation of transit amenities, and bus shelters should be installed throughout the Specific Plan Area in coordination with Metro. Where necessary, expansion of the bus stop footprint should be considered through repurposing curb lane space (discussed further in the Flex Zone section of this Chapter).



Transit Stop Amenity Best Practices Example

The underpass beneath the Firestone Station should be prioritized for near-term bus stop improvements. This underpass supports bus stops in the eastbound and westbound directions and serves as a major transfer point. However, the bus stop amenities at this location are minimal due to space constraints. Community input has requested improvements and beautification of this space in the form of better lighting, murals, landscaping, and features to improve perceptions of safety (such as emergency

² Metro's NextGen Bus Plan was adopted in 2020 and includes a reimagined bus system that focuses on providing fast, frequent, reliable and accessible service. The NextGen Bus Plan includes service changes, route changes, and stop location changes. More information can be found on Metro's website, at www.metro.net/project/nextgen.

phones). Additional discussion of major improvements at this location is provided in the Major Project Recommendations section of this Chapter.

5.4.2 Pedestrian

Overall, the Specific Plan Area lacks a cohesive walking network. The Metro A Line creates a barrier to walkability by splitting the community across a mostly impermeable north/south barrier. Additional freight rail lines, such as the line that travels southeast away from the Slauson Station, create additional challenges to walkability. As described in the Community Atlas, sidewalk widths in the Specific Plan Area range from 6 to 14 feet wide. Some residential and commercial streets have parkways, trees, and space for street furniture, while others are narrow and constrained by walls, without any buffer between pedestrians and vehicle traffic. Also described in the Community Atlas, some of the block sizes in the community are considered walkable, while others are over 600 feet in length and lack sufficient crossing opportunities.

The spacing between crosswalks and signalized crosswalks at intersections varies between 600 and 1,250 feet, which makes pedestrian crossings difficult. Long distances between pedestrian crossings may encourage people to cross at locations that lack supportive infrastructure like painted crosswalks or traffic signals, since reaching such a facility may require longer out-of-direction travel. These conditions reduce both the walkability of the area and safety for pedestrians. See Figure 5-2 (Recommended Pedestrian Improvements Map) for a summary of recommended pedestrian improvements.

A. Sidewalk and Lighting Improvements

While sidewalks currently exist on most streets in the Specific Plan Area, some are narrow and substandard in quality. Sidewalks should be improved as new development occurs and should follow the Complete Street Design outlined in the TOD Toolkit. Curb zones should include street trees and supplement traditional street lighting with pedestrian lighting to create an attractive sidewalk environment for pedestrians along commercial corridors. To better implement the TOD Toolkit, the following streets should have pedestrian lighting installed:

- Slauson Avenue
- Gage Avenue
- Florence Avenue
- Nadeau Street
- Firestone Boulevard
- Central Avenue
- Compton Avenue
- Holmes Avenue

To implement the TOD Toolkit, development standards for Specific Plan zones require that private development:

1. Meet street setbacks ranges, contributing to the Frontage Zone and increasing the public realm width
2. Install street trees and pedestrian lighting in Curb Zone for all streets listed.

To guide the implementation of pedestrian street lighting along these corridors and provide clarity for developers, the County should develop guidelines that provide standards for lighting levels, spacing, and light fixture design. The guidelines can provide enhanced standards for streets within a 1/2 mile of each Metro A Line Station to increase pedestrian safety and comfort for transit riders.

B. Intersection Improvements

Intersection improvements should be implemented through the Specific Plan Area to enhance the pedestrian environment, improve station access, and calm traffic. These include four major types of improvements:

- Adding/restriping high visibility crosswalks at existing marked crossings (noted in Table 5-1 as “Upgrade Facilities”)
- Adding curb ramps, curb extensions (where feasible), and truncated domes at existing marked crossings (noted in Table 5-1 as “Upgrade Facilities”)
- Adding Pedestrian Activated Flashing Beacons or Rectangular Rapid Flashing Beacons (RRFBs) at existing marked mid-block crossings (noted in Table 5-1 as “Upgrade Facilities”)
- Adding high visibility crosswalks and, where appropriate, Pedestrian-Activated Flashing Beacons or RRFBs at unmarked crossings at intersections and at new mid-block crossing locations (noted in Table 5-1 as “Add New Facilities”)

The locations of these improvements are shown in Figure 5-2 (Recommended Pedestrian Improvements Map) and in Table 5-1 (Recommended Pedestrian Improvements). The specific improvements necessary and appropriate for each location should be determined at the time of design, as conditions may change and design standards for elements, such as crosswalks, curb ramps, curb extensions and mid-block crossing treatments may evolve. Priority locations based on existing conditions and surrounding land uses are highlighted in yellow in the Recommended Pedestrian Improvements Map.



Example of a pedestrian activated beacon



Example of an RRFB

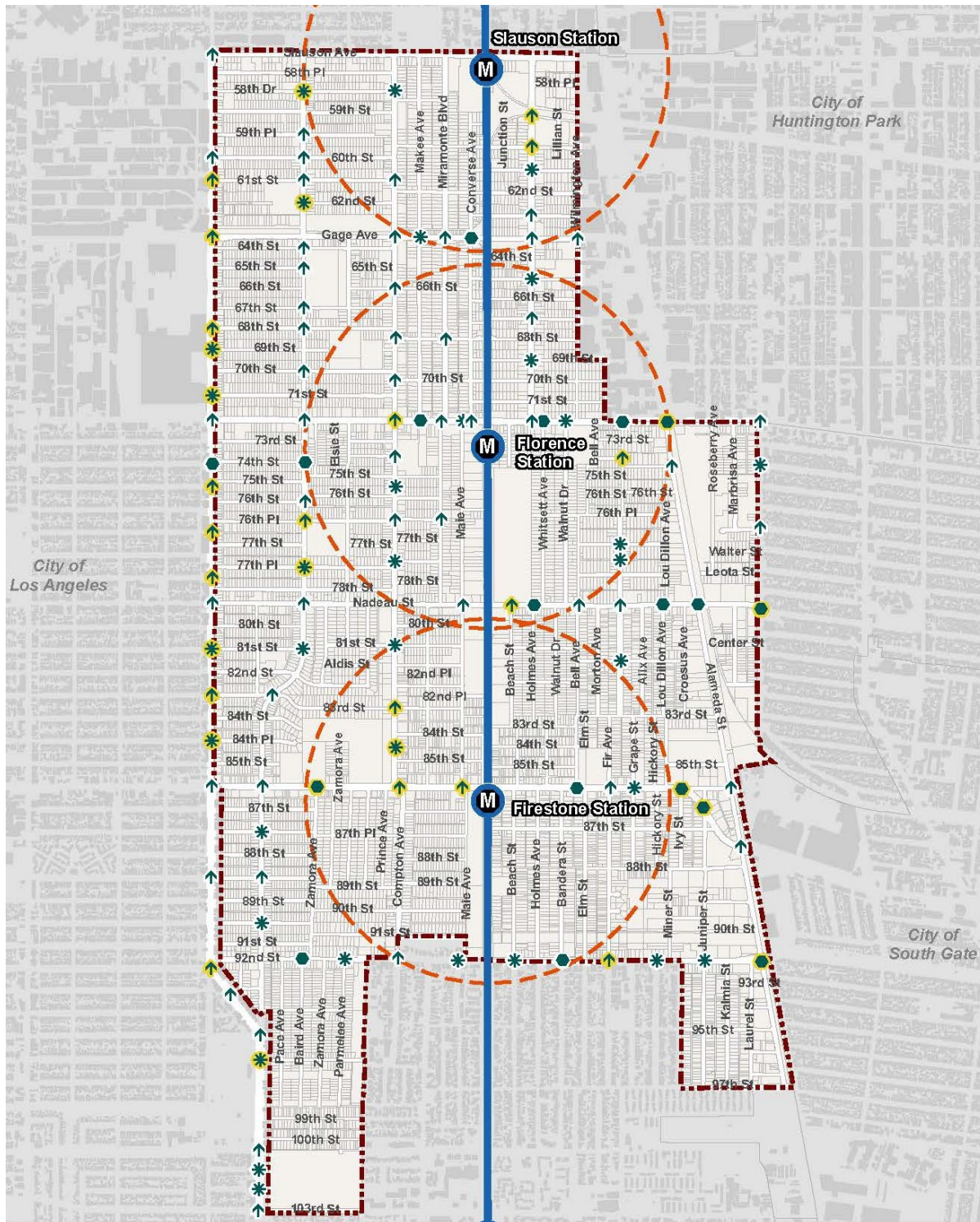


Example of a high visibility marked crosswalk



Example of a curb extension with truncated domes

Figure 5-2: Recommended Pedestrian Improvements Map



- * New Pedestrian Facilities
- ↑ Upgraded Pedestrian Facilities
- New and Upgraded Pedestrian Facilities
- ★ Priority Location
- Florence-Firestone
- 1/2 mile TOC Radius
- M Metro Station
- Metro A Line



Source: County of Los Angeles; Esri, AECOM, Imagery: Vivid 2018.

Table 5-1: Pedestrian Improvement Recommendations

Location	Crossing Improvement
Gage Avenue & Central Avenue	Upgrade Facilities
Gage Avenue & Compton Avenue	Upgrade Facilities
Gage Avenue & Makee Avenue	Add New Facilities
Gage Avenue & Miramonte Boulevard	Upgrade Facilities
Gage Avenue & Converse Avenue	Upgrade Facilities, Add New Facilities
Gage Avenue & Holmes Avenue	Upgrade Facilities
Gage Avenue & Wilmington Avenue	Upgrade Facilities
Florence Avenue & Central Avenue	Upgrade Facilities
Florence Avenue & Hooper Avenue	Upgrade Facilities
Florence Avenue & Compton Avenue	Upgrade Facilities
Florence Avenue & Makee Avenue	Upgrade Facilities, Add New Facilities
Florence Avenue & Miramonte Boulevard	Upgrade Facilities
Florence Avenue & Maie Avenue	Add New Facilities
Florence Avenue & Converse Avenue	Upgrade Facilities
Florence Avenue & Whitsett Avenue	Upgrade Facilities, Add New Facilities
Florence Avenue & Walnut Drive	Add New Facilities
Florence Avenue & Crockett Boulevard	Upgrade Facilities, Add New Facilities
Florence Avenue & Alameda Street	Upgrade Facilities, Add New Facilities
Florence Avenue & Santa Fe Avenue	Upgrade Facilities
Nadeau Street & Central Avenue	Upgrade Facilities
Nadeau Street & Hooper Avenue	Upgrade Facilities
Nadeau Street & Maie Avenue	Upgrade Facilities
Nadeau Street & Beach Street	Upgrade Facilities
Nadeau Street & Holmes Avenue	Upgrade Facilities, Add New Facilities
Nadeau Street & Bell Avenue	Upgrade Facilities
Nadeau Street & Crockett Boulevard	Upgrade Facilities
Nadeau Street & Lou Dillon Avenue	Upgrade Facilities, Add New Facilities
Nadeau Street & Alameda Street	Upgrade Facilities, Add New Facilities
Nadeau Street & Santa Fe/Broadway	Upgrade Facilities, Add New Facilities
Firestone Boulevard at Central Avenue	Upgrade Facilities
Firestone Boulevard at Hooper Avenue	Upgrade Facilities
Firestone Boulevard at Zamora Avenue	Upgrade Facilities, Add New Facilities
Firestone Boulevard at Compton Avenue	Upgrade Facilities
Firestone Boulevard at Maie Avenue	Upgrade Facilities
Firestone Boulevard at Bell Avenue	Upgrade Facilities, Add New Facilities
Firestone Boulevard at Fir Avenue	Upgrade Facilities
Firestone Boulevard at Grape Street	Add New Facilities

Location	Crossing Improvement
Firestone Boulevard at Ivy Street	Upgrade Facilities, Add New Facilities
Firestone Boulevard at Juniper Street	Upgrade Facilities, Add New Facilities
Firestone Boulevard at Alameda Street	Upgrade Facilities
92nd Avenue at Central Avenue	Upgrade Facilities
92nd Avenue at Baird Avenue	Upgrade Facilities, Add New Facilities
92nd Avenue at Parmalee Avenue	Add New Facilities
92nd Avenue at Compton Avenue	Upgrade Facilities
92nd Avenue at Maie Avenue (E Leg)	Add New Facilities
92nd Avenue at Bandera Street	Upgrade Facilities, Add New Facilities
92nd Avenue at Fir/Anzac Avenue	Upgrade Facilities
92nd Avenue at Hickory Street	Add New Facilities
92nd Avenue at Juniper Street	Add New Facilities
92nd Avenue at Alameda Street	Upgrade Facilities, Add New Facilities
92nd Avenue at Beach Street	Add New Facilities
Central Avenue at Slauson Avenue	Upgrade Facilities
Central Avenue at 60th Street	Upgrade Facilities
Central Avenue at 61st Street	Upgrade Facilities
Central Avenue at 68th Street	Upgrade Facilities
Central Avenue at 69th Street	Add New Facilities
Central Avenue at 71st Street	Add New Facilities
Central Avenue at 74th Street	Upgrade Facilities, Add New Facilities
Central Avenue at 75th Street	Upgrade Facilities
Central Avenue at 76th Place	Upgrade Facilities
Central Avenue at 78th Street (N Leg)	Upgrade Facilities
Central Avenue at 81st Street	Add New Facilities
Central Avenue at 83rd Street	Upgrade Facilities
Central Avenue at 84th Place	Add New Facilities
Central Avenue at 88th Place	Upgrade Facilities
Central Avenue at 93rd Street	Upgrade Facilities
Central Avenue at 95th Street/Hooper Avenue	Upgrade Facilities
Central Avenue at 96th Street/Colden Avenue	Add New Facilities
Central Avenue at Century Boulevard	Upgrade Facilities
Central Avenue at 101st Street	Add New Facilities
Central Avenue at 102nd Street	Add New Facilities
Central Avenue at 103rd Street	Upgrade Facilities
Hooper Avenue at 58th Dr	Add New Facilities
Hooper Avenue at 59th Place	Upgrade Facilities
Hooper Avenue at 60th Street	Upgrade Facilities

Location	Crossing Improvement
Hooper Avenue at 61st Street	Upgrade Facilities
Hooper Avenue at 62nd Street	Add New Facilities
Hooper Avenue at 64th Street	Upgrade Facilities
Hooper Avenue at 65th Street	Upgrade Facilities
Hooper Avenue at 67th Street	Upgrade Facilities
Hooper Avenue at 68th Street	Upgrade Facilities
Hooper Avenue at 70th Street	Upgrade Facilities
Hooper Avenue at 74th Street	Upgrade Facilities, Add New Facilities
Hooper Avenue at 76th Street (N Leg)	Upgrade Facilities
Hooper Avenue at 76th Place	Upgrade Facilities
Hooper Avenue at 77th Place	Add New Facilities
Hooper Avenue at 81st Street	Add New Facilities
Hooper Avenue at 83rd Street	Upgrade Facilities
Hooper Avenue at 87th Place	Add New Facilities
Hooper Avenue at 88th Place	Upgrade Facilities
Hooper Avenue at 90th Street	Add New Facilities
Compton Avenue at 58th Dr (S Leg)	Add New Facilities
Compton Avenue at 61st Street	Upgrade Facilities
Compton Avenue at 66th Street	Upgrade Facilities
Compton Avenue at 68th Street	Upgrade Facilities
Compton Avenue at 70th Street	Upgrade Facilities
Compton Avenue at 74th Street	Upgrade Facilities
Compton Avenue at between 75th Street and 76th Street	Add New Midblock Crossing
Compton Avenue at 76th Place	Upgrade Facilities
Compton Avenue at 77th Place (N leg)	Add New Facilities
Compton Avenue at 81st Street	Add New Facilities
Compton Avenue at 83rd Street	Upgrade Facilities
Compton Avenue at between 84th Street and 85th Street	Add New Midblock Crossing
Miramonte Blvd at 68th Street	Upgrade Facilities
Miramonte Blvd at 76th Place	Upgrade Facilities
Holmes Avenue at Randolph Street	Upgrade Facilities
Holmes Avenue at 60th Street	Upgrade Facilities
Holmes Avenue at 61st Street	Add New Facilities
Holmes Avenue at 63rd Street	Upgrade Facilities
Holmes Avenue at 65th Street	Add New Facilities
Holmes Avenue at 67th Street	Upgrade Facilities
Holmes Avenue at 69th Street	Add New Facilities
Holmes Avenue at Florence Avenue	Upgrade Facilities

Location	Crossing Improvement
Crockett Boulevard at 74th Street	Upgrade Facilities
Crockett Boulevard at 77th Street	Add New Facilities
Crockett Boulevard at 78th Street	Add New Facilities
Crockett Boulevard at Nadeau Street	Upgrade Facilities
Crockett Boulevard at 81st Street	Add New Facilities
Alameda Street at 74th Street	Upgrade Facilities
Alameda Street at Manchester Avenue	Upgrade Facilities
Santa Fe Avenue at Florence Avenue	Upgrade Facilities
Santa Fe Avenue at California Street	Add New Facilities
Santa Fe Avenue at Hope Street/Walnut Terrace	Upgrade Facilities

5.4.3 Bicycle

Bikeways are generally divided into four types described in Figure 5-3 (Bicycle Facility Types).

Figure 5-3: Bicycle Facility Types

Class I (Bike Path)



Provides a completely separated right-of-way (off-street) designated for the exclusive use of bicycles and pedestrians with crossflow traffic minimized.

Class III (Bike Route)



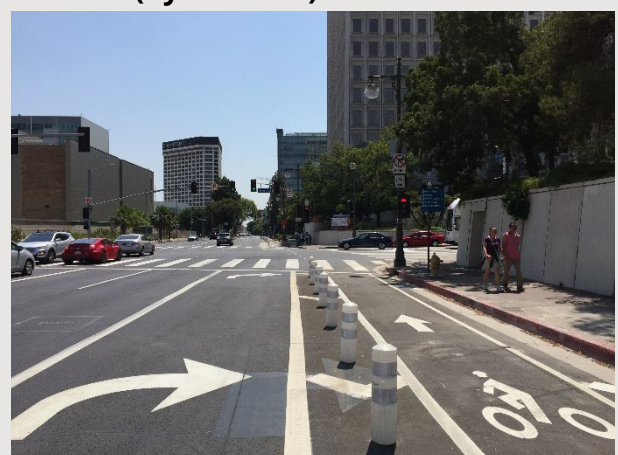
Provides for shared use with pedestrians or motor vehicles and is (on-street) designated by signs or permanent markings.

Class II (Bike Lane)



designated for the exclusive or semi-exclusive use of bicycles. Pedestrian and motorist through travel is prohibited, although crossflows are permitted. Parking can be allowed to the right of bike lane if sufficient ROW width exists.

Class IV (Cycle Track)



Provides physical separation from motor traffic using a vertical feature, designated for the exclusive use of bicycles. The separation may include grade separation, flexible posts, inflexible barriers, or on-street parking.

The bicycle infrastructure that currently exists in the Specific Plan Area is limited to Class III bicycle routes and bicycle boulevards, and Class II bicycle lanes. There are Class III facilities on the following corridors:

- 92nd Street from Central Avenue to Alameda Avenue
- Hooper Avenue from Firestone Boulevard to Central Avenue
- Crockett Boulevard from 76th Place to Nadeau Street
- Maie Avenue from Slauson Avenue to 92nd Street (the Maie Avenue facility is designated as a bicycle boulevard)

There are Class II bicycle lanes on the following corridors:

- Hooper Avenue from Slauson Avenue to Firestone Boulevard
- Holmes Avenue from Slauson Avenue to Florence Boulevard
- Crockett Boulevard from Nadeau Street to 83rd Street

While existing facilities are limited, many additional facilities are proposed in the Specific Plan Area. More detail regarding these existing and planned facilities can be found in the Mobility & Equity Study.

A. Bicycle Facility Improvements

In addition to what is already planned in the Bicycle Master Plan this Specific Plan proposes adding Class IV protected bicycle facilities on Compton Avenue, Florence Avenue, and Nadeau Street. See Figure 5-4 (Recommended Bicycle Improvements) and Table 5-2 (Location and Type of Recommended Bicycle Improvements). In addition to bicycle facilities, bicycle parking should be provided at key public locations to serve existing uses. Bicycle parking can include bicycle racks, lockers, and corrals.



Example of a Metro Bikeshare Station

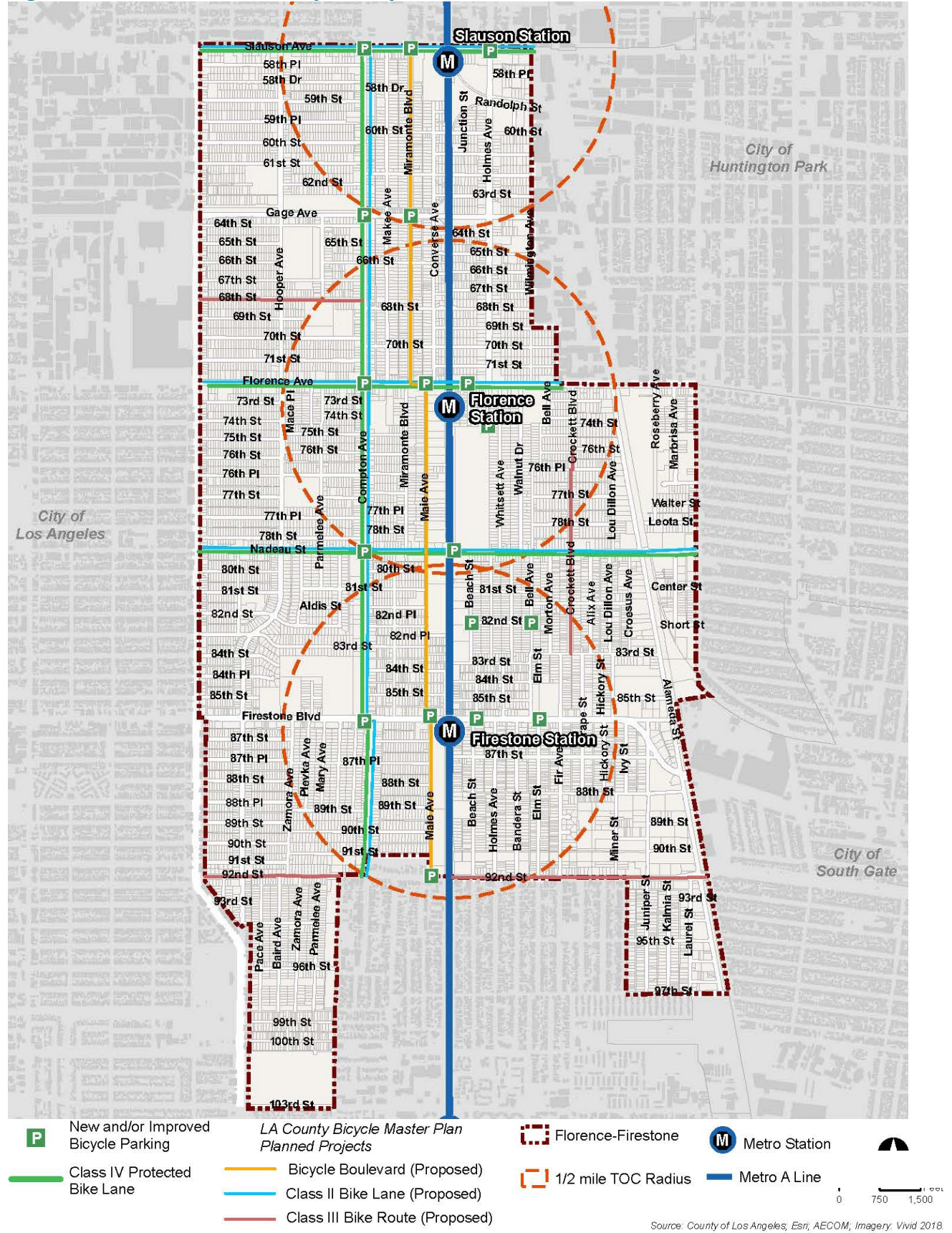
B. Bikeshare

Bikeshare can play a major role in the success of transit-oriented development across urban communities as it increases travel possibilities, encourages public transit connections, and provides opportunities for recreation. Metro is anticipating additional efforts to install bicycle/mobility hubs around each of the station areas. The County should coordinate with the Metro Mobility Hubs team to site bikeshare stations at Metro stations and along commercial corridors throughout the Florence-Firestone community. Where possible, electric bicycles (e-bikes) should be incorporated into the bikeshare system, which will make the system more accessible to people of varying levels of confidence and fitness.

Table 5-2: Location and Type of Recommended Bicycle Improvements

Location	Improvement
Compton Avenue	Class IV Protected Bike Lane
Florence Avenue	Class IV Protected Bike Lane
Nadeau Street	Class IV Protected Bike Lane
Slauson Avenue	Class II Bike Lane (Bicycle Master Plan)
Compton Avenue	Class II Bike Lane (Bicycle Master Plan)
Florence Avenue	Class II Bike Lane (Bicycle Master Plan)
Nadeau Street	Class II Bike Lane (Bicycle Master Plan)
68th Street (Central Avenue to Compton Avenue)	Class III Bike Lane (Bicycle Master Plan)
Crockett Boulevard (76th Place to 83rd Place)	Class III Bike Lane (Bicycle Master Plan)
92nd Street	Class III Bike Lane (Bicycle Master Plan)
Miramonte Boulevard (Slauson Avenue to Florence Avenue)	Bicycle Boulevard (Bicycle Master Plan)
Maie Avenue (Florence Avenue to 92nd Street)	Bicycle Boulevard (Bicycle Master Plan)
82nd Street & Beach Street	Bicycle Parking
82nd Street & Bell Avenue	Bicycle Parking
Slauson Avenue & Compton Avenue	Bicycle Parking
Slauson Avenue & Miramonte Boulevard	Bicycle Parking
Slauson Avenue & Holmes Avenue	Bicycle Parking
Gage Avenue & Compton Avenue	Bicycle Parking
Gage Avenue & Miramonte Boulevard	Bicycle Parking
Florence Avenue & Compton Avenue	Bicycle Parking
Florence Avenue & Maie Avenue	Bicycle Parking
Florence Avenue & Beach Street	Bicycle Parking
Beach Street & Holmes Avenue	Bicycle Parking
Nadeau Street & Compton Avenue	Bicycle Parking
Nadeau Street & Graham Avenue	Bicycle Parking
Firestone Boulevard & Compton Avenue	Bicycle Parking
Firestone Boulevard & Maie Avenue	Bicycle Parking
Firestone Boulevard & Beach Street	Bicycle Parking
Firestone Boulevard & Elm Street	Bicycle Parking
92nd Street & Maie Avenue	Bicycle Parking

Figure 5-4: Recommended Bicycle Improvements



5.5 COMPLETE STREET STRATEGIES

“Complete Streets” refers to the idea that streets should be usable and comfortable for people traveling by all modes, not only vehicles. Although the roadway system provides the backbone circulation system for all modes of transportation, it has historically been oriented to serving the automobile as the prioritized mode. Complete streets build upon the existing roadway system to provide a network that better supports safe and efficient circulation of transit, bicycles, and pedestrians, as well as automobiles. The existing street system will be maintained in its current configuration, with some changes designed to improve walkability, transit use, and bicycle use, as described in this Chapter, and in prior chapters of this Specific Plan. The number of traffic lanes and roadway lane configurations will generally remain the same. The following complementary complete streets strategy recommendations that apply to all modes include:

- Signage and wayfinding to provide improved information on distances and directions to people using any mode of travel
- Traffic calming to reduce dangerous speeds and improve safety for all roadway users
- Transportation Demand Management (TDM) program to manage demand for travel rather than increasing supply or capacity of transportation systems

5.5.1 Signage and Wayfinding

Through the Public Works project, installation of new signage and wayfinding is anticipated in the Specific Plan Area in the near future (locations shown in Figure 5-1). To support future travel needs and a higher number of people walking, biking, and riding public transit in the community, this strategy should be revisited periodically to assess whether existing signage is sufficient to meet the needs of all users, including pedestrians (who may prefer time estimates to destinations instead of distance estimates), bicyclists (who may prefer signs with directions to continue on designated bike facilities), and public transit riders (who may also seek information about transit transfer opportunities).

5.5.2 Traffic Calming

Traffic calming measures, such as curb extensions, speed bumps, raised crosswalks, and neighborhood traffic circles help slow the speed of traffic, improve the pedestrian environment, and minimize safety concerns associated with cut-through traffic. Figure 5-5 (Recommended Traffic Calming Improvements) shows several specific locations that are well-suited for traffic calming measures feasibility studies based on their existing width; local roadway designation; and, in some cases, direct requests from residents in the Florence-Firestone community. These locations include:

- 65th Street between Parmelee Avenue & Compton Avenue
- 68th Street between Parmelee Avenue & Compton Avenue
- 75th Street between Compton Avenue and Miramonte Boulevard
- 76th Street
- 77th Street between Compton Avenue and Miramonte Boulevard
- 83rd Street & Crockett Boulevard
- Crockett Boulevard south of Nadeau Street

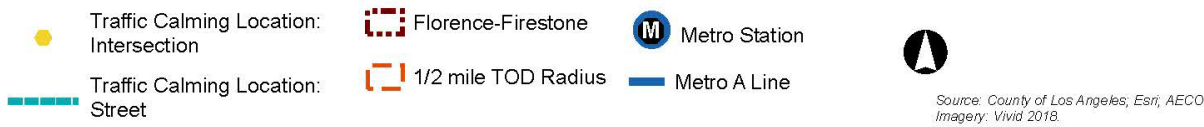
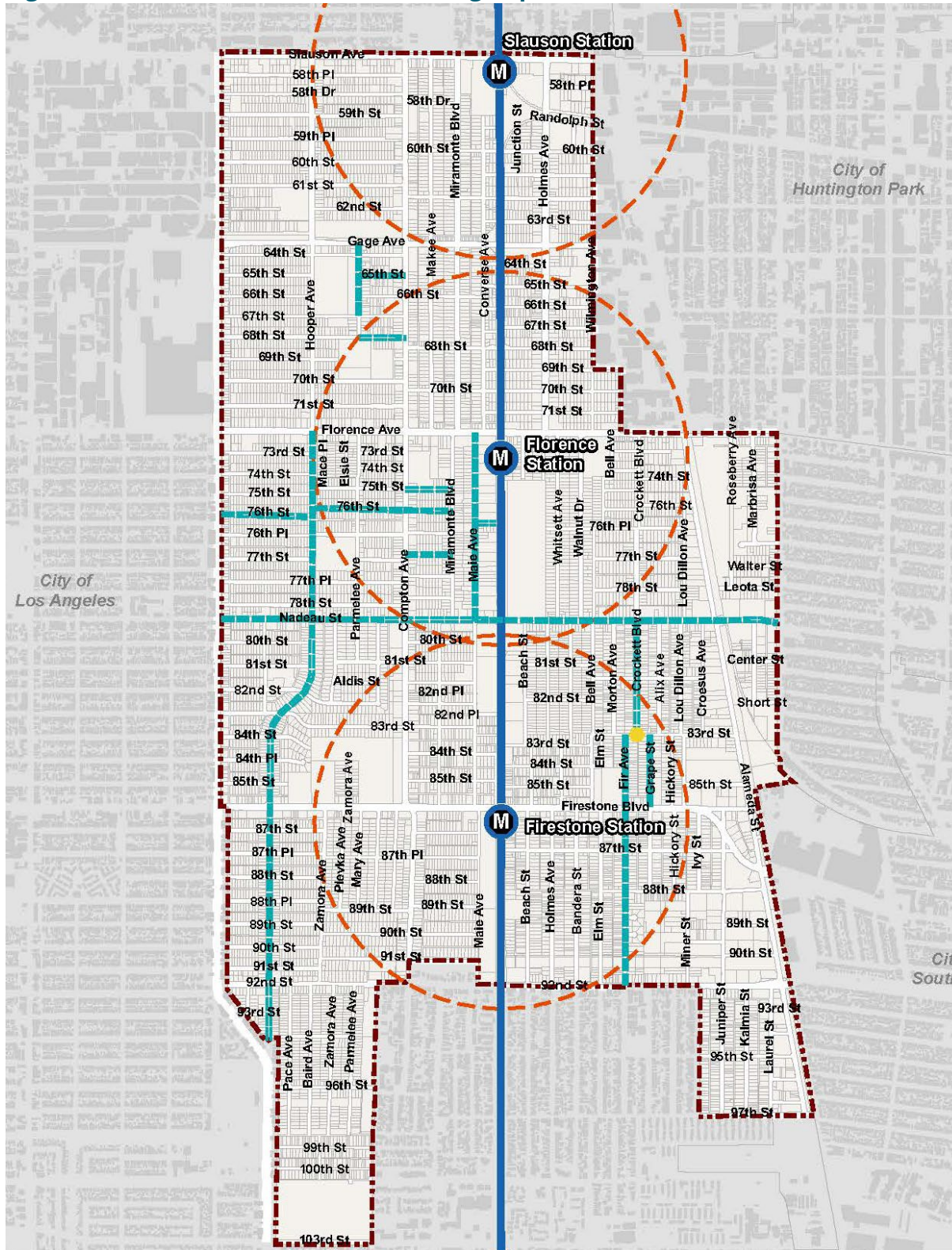
- Fir Avenue south of 83rd Street
- Grape Street between 83rd Street and Firestone Boulevard
- Maie Avenue north of Nadeau Street
- Nadeau Street
- Parmelee Avenue between Gage Avenue and 67th Street
- Hooper Avenue south of Florence Avenue

Further analysis and a feasibility study will be needed to determine the traffic calming approach most appropriate at each of these locations, and should consider feasibility, current design standards, and any additional information (speed surveys, updated collision history) that may become available.

In addition to these specific locations, the County can consider the following strategies to increase the number of local streets and neighborhoods that benefit from traffic calming:

1. Standardize the implementation of elements such as curb extensions whenever curb repair work, crosswalk improvements, or signal upgrades are completed, as context permits
2. Simplify and promote the process for a neighborhood to request speed bumps
3. Expand the application of “pilot” improvements using materials that are lower-cost, easier to install and remove, and can be deployed more rapidly when requested by residents.

Figure 5-5: Recommended Traffic Calming Improvements



5.5.3 Transportation Demand Management Program

Transportation Demand Management (TDM) describes the programmatic incentives that are used to manage demand for travel (in contrast to strategies that increase supply or capacity of transportation systems). A Florence-Firestone TDM program could be implemented through a community-scale Transportation Management Organization (TMO) that provides resources, information, and incentives to employers, employees, and residents in the community. The TMO may be housed within a County department or may be a separate entity – both examples exist within other LA County jurisdictions. The TDM program could encourage employers to provide transit passes, active transportation incentives, and remote work options for their employees, and could serve as a “one-stop-shop” for information about traveling in Florence-Firestone, for residents, visitors, and employees. The TMO could also serve as a resource to implement parking management strategies.

While not a requirement to launch a TDM program, the elements below could strengthen the program’s effectiveness and incentivize the use of existing transit resources and active transportation investments:

- Identification of a dedicated revenue stream to fund incentives and staff the TMO, whether internal to a County department or as a separate entity
- Mandatory participation for large employers to ensure the largest commercial developments are communicating with their employees about travel options (as noted in a previous chapter, employers that employ over 250 people at a worksite may have an Employee Commute Reduction Program (ECRP) as a way to meet their emissions reductions targets specified by AQMD Rule 2202)
- A reporting requirement to track impact over time, including participation, travel trends, and dollars spent on incentives that return to residents within the community

5.6 ADDITIONAL MAJOR PROJECT RECOMMENDATIONS

In addition to the described network improvements, three major improvements have been identified to improve access to the Metro A Line Stations in the Specific Plan Area and to Roosevelt Park, with a focus on pedestrian accessibility. These projects have been identified in prior planning efforts such as the Metro Blue Line First/Last Mile Plan and the FFCP. These efforts would require coordination across multiple agencies and/or land acquisition and may be most feasible to complete with redevelopment of adjacent parcels near the project locations. These project locations are shown in Figure 5-6 (Additional Major Project Recommendations)

5.6.1 Southern Slauson Station Access Point

Formalizing the informal pedestrian pathway leading from 60th Street to Slauson Avenue will connect the neighborhoods south of the Slauson Station to the station entrance. This pathway is already used as an informal access point to the station and provides a more direct path of travel to the station entrance. Formalizing the path will require acquisition of the rail right-of-way underneath the Metro A (Blue) Line, coordination with Metro, and coordination with the Public Works.

5.6.2 Pedestrian Bridge at 76th Street

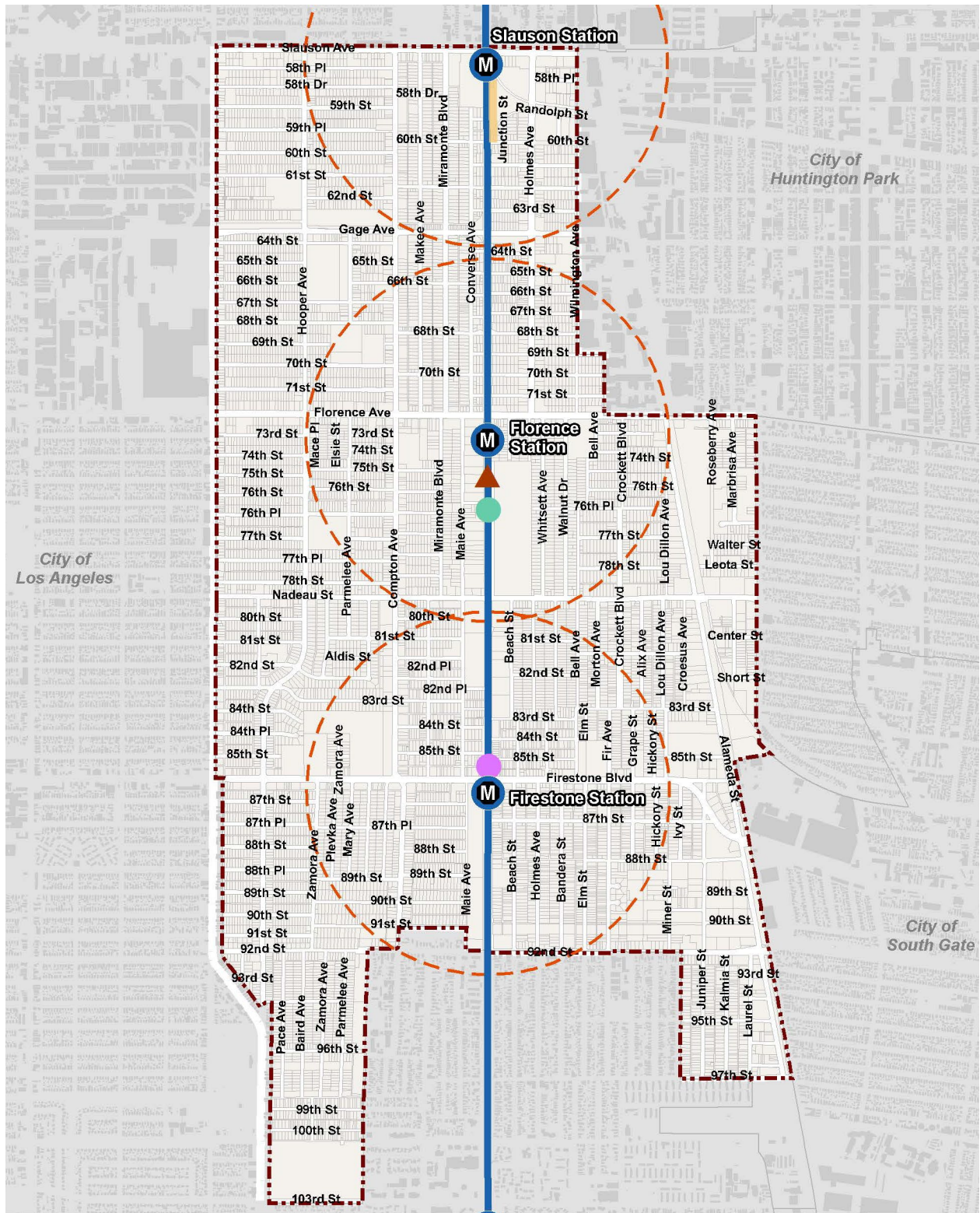
Replacement and reconstruction of the pedestrian bridge connecting the west side of the community at East 76th Street to Roosevelt Park at Graham Avenue would improve neighborhood pedestrian connectivity, access to community assets, and access to transit. In addition, by incorporating public art, the reconstruction of this bridge would create a pleasing visual marker for the community, reinforcing locally valued viewsheds at the top of the bridge.

5.6.3 Florence Station and Firestone Station Access

Increasing the ease of reaching a transit station is an important improvement that should be made for each of the stations in the Specific Plan Area. The A (Blue) Line Stations in the Specific Plan Area each only have one access point. The Slauson Station will see expanded access as the West Santa Ana Branch line is implemented, but the Florence and Firestone Stations would also benefit from improved access. At the Florence Station, the community suggested creation of a second at-grade access point at the south end of the station to minimize out-of-direction travel to access the platform. At the Firestone Station, additional amenities under the elevated rail line would improve the pedestrian and transit rider experience. These amenities could include:

- Better lighting under the rail overcrossing, near the station entrance, and along the blocks adjacent to the station
- Beautification through murals, art, and landscaping
- Additional Metro communication and emergency call boxes
- Additional street furniture
- Additional wayfinding, signage, and branding extending under the overcrossing to the west side of the rail tracks

Figure 5-6: Additional Major Project Recommendations



Formalized Pedestrian Pathway

Pedestrian Undercrossing Improvements

Pedestrian Bridge

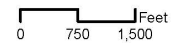
Second Access Point

Florence-Firestone

1/2 mile TOD Radius

Metro Station

Metro A Line



Source: County of Los Angeles, Esri, AECOM, Imagery: Vivid 2018.

5.7 PARKING

The overall goal for parking in the Florence-Firestone community is to provide sufficient parking to ensure the economic viability and success of the community, to provide parking in convenient locations to users, and to efficiently manage existing parking in a manner that supports a safe, walkable and pedestrian-friendly environment in the Specific Plan Area. The provision and management of parking within a TOD is closely tied to the success of transit and to creating a welcoming pedestrian and bicycle environment. Strategies for providing parking must complement the land use strategies and the availability of transit. Typically, these strategies reduce requirements for parking near transit stations and charge for parking that is provided. However, the following factors are particular to the Florence-Firestone community:

- Older housing stock that may have fewer parking spaces per unit;
- A higher number of people per dwelling unit than the average for Los Angeles County; and
- Heightened concerns about the rising cost of living that may induce displacement in the community.

Based on these contextual factors and community input around perceived residential parking shortages, this Specific Plan reinforces the comprehensive parking study recommended by the FFCP as a near-term implementation action, with the following goals for the study:

- Document existing parking conditions;
- Identify opportunities for improving management of the public and private parking supply in order to alleviate existing parking deficiencies and improve access to parking resources;
- Explore creative strategies and techniques to manage the existing parking supply as growth occurs in the area; and
- Identify options for reducing parking requirements for new development in and near the Metro A (Blue) Line Stations.

Chapter 6



Artist Credit: "Short Stories" Mural by Willie Middlebrook

Infrastructure

6 Infrastructure

6.1 OVERVIEW

This Chapter describes the utility infrastructure needed for implementation of the Specific Plan. It provides an overview of existing conditions for water, sewer, stormwater, electric, natural gas, and telecommunication services and provides recommendations for targeted improvements necessary to serve future conditions under the Specific Plan buildout.

As an already developed area, Florence-Firestone has the utility and public facilities coverage needed to serve the existing population and future development under the Specific Plan. However, increased development may require that certain utilities be expanded or upgraded at time of development for key locations to accommodate growth.

6.2 WATER SERVICE

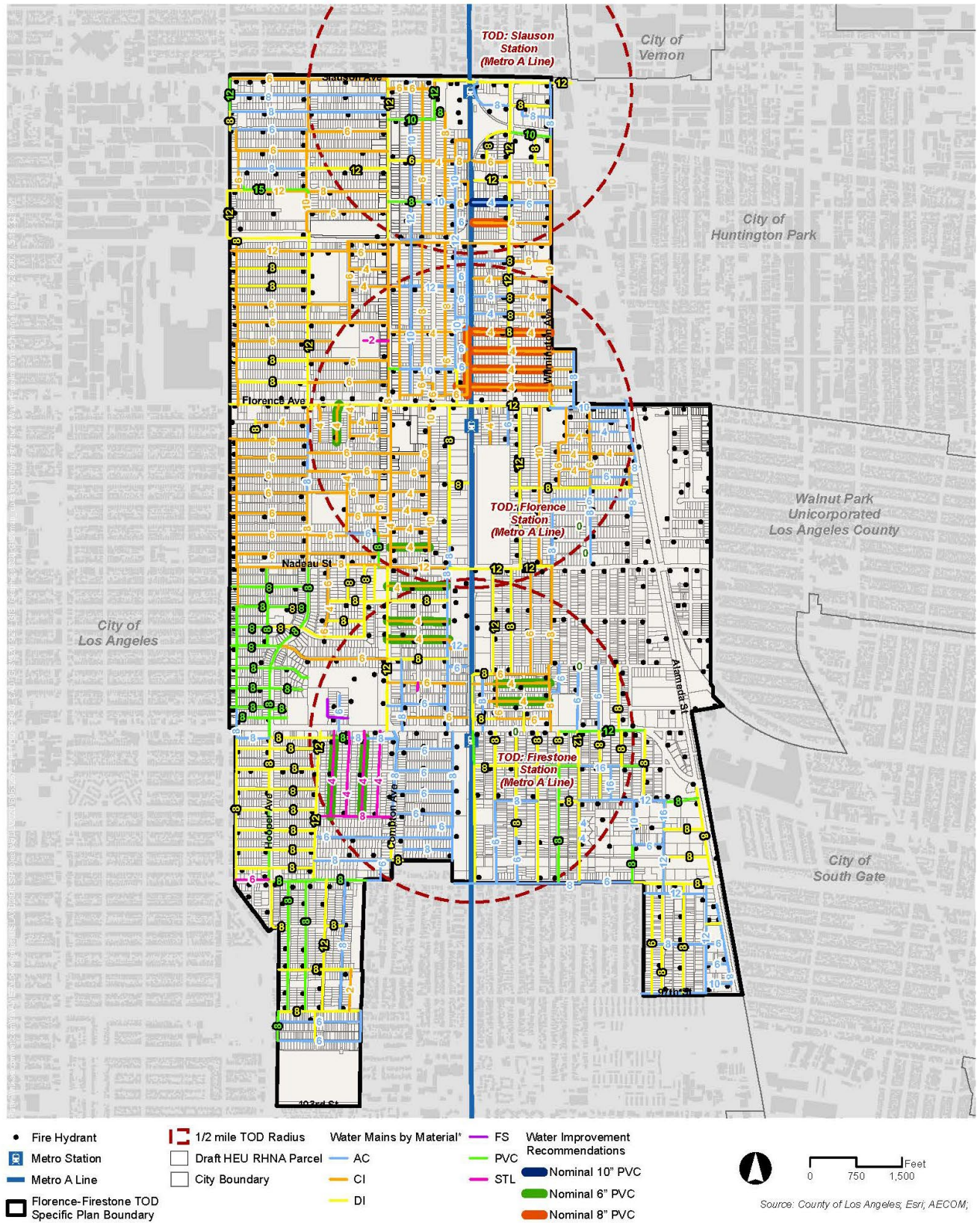
A. Existing Conditions

The Specific Plan Area and Florence-Graham Water System customers are serviced with potable water by the Golden State Water Company. This water is a blend of groundwater pumped from the Central Groundwater Basin and water from the Colorado River Aqueduct and the State Water Project, which is imported and distributed by the Metropolitan Water District of Southern California (MWD). According to the Florence-Graham Water System Consumer Confidence Report on Water Quality for 2019, the “Central Groundwater Basin is bounded on the north by the La Brea Uplift; on the east by the Elysian, Repetto, Merced and Puente hills; on the southeast by the Orange County Groundwater Basin; and on the west by the Newport-Inglewood Fault Zone.”

The installed water system is constructed of mostly cast iron, ductile iron, and asbestos concrete with sizes ranging from 2 inch to 16 inch pipes. Pipes are located in the public right-of-way under existing streets and alleyways. Figure 6-1 (Existing and Planned Water System) shows the layout of the existing water lines, along with recommended upgrades that are necessary to meet the projected demand within the Specific Plan.

Currently, there are no existing recycled water pipelines installed in the Specific Plan Area. If installed in the future recycled water systems would be owned and maintained by Central Basin Municipal Water District. The closest recycled water pipelines to the Specific Plan Area are approximately 1.16 miles east from Alameda Street on Slauson Avenue and 2.31 miles east of Alameda Street on Firestone Boulevard.

Figure 6-1: Existing and Planned Water Systems



Source: County of Los Angeles, Esri, AECOM;
 *Water Mains labeled by diameter in inches.

B. Future Conditions

The buildout of the Specific Plan includes a projection of housing and employment in mixed use developments. This would result in an increase in water demand and water flow in the community. However, this anticipated increase could be partially offset by decreased demand due to the conversion of existing industrial uses to mixed use developments. With some exceptions, existing water lines have the capacity to handle the increased demand.

The following needs have been identified if increased density is developed at the following locations:

- All lines servicing fire hydrants: must be at least nominal 6 inch to supply minimum fire flow requirements, per Title 22 Section 20.16.060
- High density residential buildout (RSS zone) of five stories north of 62nd Street and 63rd Street west of Holmes Avenue: may require upgrade of the existing 4 inch cast iron (CI). Recommended replacing 4 inch main with 10 inch polyvinyl chloride (PVC) main along 62nd and 8 inch PVC main along 63rd.
- Medium density residential buildout (RM zone) east of Converse, south of 68th Street, west of Wilmington Avenue and north of Florence Avenue: may require upgrade of 4 inch CI along 69th Street, 70th Street, and 71st Street. Recommend replacing all 4 inch mains in this area with 8 inch PVC mains.

Developers of mixed use parcels, and medium density or higher density residential parcels that include several buildings serviced by one meter location will need to provide a water supply analysis to confirm the efficacy of the infrastructure to meet the increased demand, in accordance with Golden State Water Company requirements, County Title 22 regulations, and the California Subdivision Map Act.

The Golden State Water Company Florence-Graham District Urban Water Management Plan was last updated in 2015 and should be consulted for all water system upgrade considerations.

6.3 SEWER SERVICE

A. Existing Conditions

The existing sewer system (mains and laterals) is within the Consolidated Sewer Maintenance District (CSMD), which is owned and maintained by the Public Works Sewer Maintenance Division (SMD). All mains and laterals empty into SMD-owned trunks. The County's trunk sewer lines are owned and maintained by the Sanitation District.

The following is a characterization of the existing gravity-fed sewer mains within the Specific Plan Area. See Figure 6-2 (Existing Sewer System and Potential Upgrade Areas) for detailed locations.

- Streets and alleys, with some exceptions, are primarily 8 inch vitrified clay pipe (VCP) and lined cement pipe (LCP).

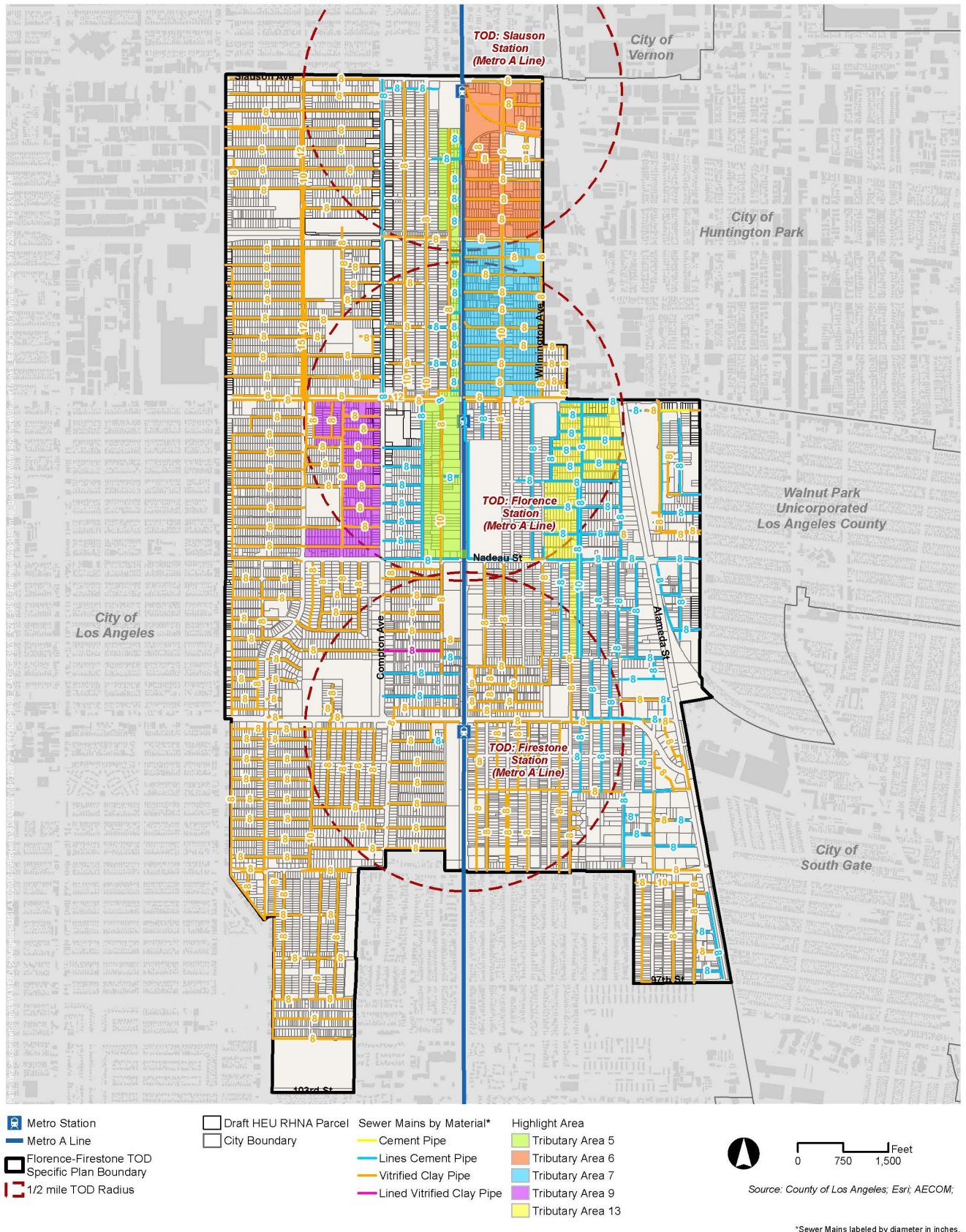
- North of Florence Avenue, some pipes are 10 inch, 12 inch, and 15 inch CVP, collecting from large systems of 8 inch CVP to carry to larger diameter trunks.
- The Hooper Avenue trunk starting at E Florence Avenue, runs south on Hooper Avenue to 92nd Street, Baird Avenue from 92nd Street and Zamora Avenue from 98th Street. This trunk continues under Ted Watkins Memorial Park and south of the Specific Plan Area.
- The Compton Avenue trunk, starts at E Florence Avenue, and follows Compton Avenue south of the Specific Plan Area.
- Two trunk lines starting at E Florence Avenue and Whitsett Avenue, flow south, crossing through the southeast portion of the Specific Plan Area and continues south.

B. Future Conditions

A preliminary analysis was performed using available information that shows that the existing trunk sewers generally have sufficient capacity to support the buildout of the Specific Plan. The following locations are exceptions that may require upgrading based on the level of density/intensity realized in the vicinity:

- Tributary Area 5: A 10 inch main emptying into a trunk line at the Maie Avenue/Nadeau Street intersection may warrant further study. The main collects from 50 acres of light residential and light manufacturing uses on the east side of Converse Avenue and Maie Avenue, from north of E 60th Street to Nadeau Avenue. Depending on the density/intensity of uses between 60th Street and Nadeau Avenue, east of Converse Avenue and Maie Avenue, the main may need to be upgraded to 15 inch.
- Tributary Area 6: An 8 inch main running toward City of Huntington to the east at Slauson Avenue may warrant further study. The main collects from 49 acres that are zoned Unlimited Residence and Heavy Manufacturing, along Holmes Avenue, from Gage Street to Slauson Avenue, east to west from South Pacific railroad lines to Wilmington Avenue comprises the northeast corner of the Specific Plan Area and a majority of the Slauson TOD Area. This portion of the Specific Plan is planned for high intensity mixed use and medium density residential development, replacing existing industrial and primarily single-family uses, respectively. The 8 inch main may be insufficient for existing conditions due to the significant presence of heavy manufacturing in the area; upgrade to 10 inch is recommended. Depending on density/intensity of future development, the main may need to be upgraded to 15 inch.
- Tributary Area 7: A 10 inch main flowing south under Holmes Avenue from Gage Avenue to a Trunk line at Florence Avenue may warrant further study. The main runs between South Pacific railroad to the east and Wilmington Avenue to the west. The 10 inch main services 59 acres of mostly Unlimited Residence with some Light Manufacturing, Neighborhood Business, and Mixed-Use Development; this area is planned for low-medium (RLM-2) to medium density (RM) residential. Depending on density/intensity realized in the geography, the main may need to be upgraded to 15 inch.

Figure 6-2: Existing Sewer System and Potential Upgrade Areas



- Tributary Area 9: An 8 inch main under Parmelee Avenue that flows to the west under E 78th Street and empties into a trunk under Hooper Avenue may warrant further study. The main services about 34 acres south of Florence Avenue, east of Parmelee Avenue and North of E 78th Street; this area is composed of Limited Density Multiple Residence, General Commerce, and Mixed-Use Development zones. Depending on density/intensity of the uses, the main may need to be upgraded to 10 inch.

Parcel developers need to consult with Public Works and the CSMD regarding future sewer facilities or upgrade considerations; the CSMD will evaluate all development that will occur and will conduct its own analysis of changes to the service trunk and necessary sewer infrastructure upgrades.

New sewer laterals will be required for new buildings. The cost of extending the sewer mains and laterals to serve the new buildings will be borne by the developers. Sewer mains run in the street and sewer laterals are the sewer pipes that connect to the building.

6.4 STORMWATER SERVICE

A. Existing Storm Drainage Conditions

The stormwater in the Florence-Firestone urban area is managed by open channel flow in curbs and gutters as the primary conveyance. The storm drainage system is a combination of public and privately maintained channels, including the majority of segments that are maintained by Public Works within the Los Angeles County Flood Control District (LACFCD), a segment running along Nadeau Street east from Graham Avenue that is maintained by the Road Maintenance Division (RMD), and several drains in the area being maintained by private entities.

The entire system is gravity fed, reinforced concrete pipe (RCP) from 18 inch to 90 inch, mostly 24 inch to 48 inch in diameter. **See Figure 6-3** (Stormwater System). Each branch empties into higher flow reinforced concrete boxes (RCBs) ranging 51 inch to 84 inch in height and 54 inch to 105 inch in width running under Hooper Avenue on the west side of the Specific Plan Area, and under Crockett Boulevard and Hickory Street on the east side, comprising the Hooper Avenue Drain and Glen Avenue Drain systems, respectively. Both drains empty into Compton Creek Upper before it empties into the Los Angeles River.

Stormwater flow is typically north to south in the Specific Plan Area. West of Graham Avenue, the flow is from east to west along Florence Avenue, Nadeau Street, and Firestone Boulevard. East of Graham Avenue, the flow is west to east along the same roads.

B. Green Infrastructure / LID Requirement

Green infrastructure and low-impact development (LID) are practices that contribute to stormwater quality control. These practices lessen the adverse impacts of stormwater runoff from development and urban runoff on natural drainage systems, receiving water, and other water bodies, and minimize pollutant loadings from impervious

surfaces by requiring development projects to incorporate properly designed stormwater features.

Public Works maintains two documents to guide and require these practices: the Low Impact Development (LID) Manual and the Green Infrastructure Guidelines; see these documents for specific details.

The LID Manual requires compliance with the requirements of the National Pollutant Discharge Elimination System (NPDES) Municipal Separate Storm Sewer System (MS4) Permit for stormwater and non-stormwater discharges from the MS4 within the coastal watersheds of Los Angeles County. The Regional Water Quality Control Board (RWQCB) adopted the MS4 permit (order no. R4-2012-0175) in December 2012, establishing LID requirements for all new development projects in nine different categories. The majority of anticipated new development under the Specific Plan would qualify under these categories and be required to install LID features consistent with the LID Manual.

LID practices or stormwater quality control measures can be categorized into the following types:

1. Retention-based stormwater quality control measures (bioretention, infiltration basin, dry well, permeable pavement, etc.)
2. Biofiltration
3. Vegetation-based stormwater quality control measures (stormwater planter or planter box, vegetated swale, green roof, etc.)

The Green Infrastructure Guidelines provide guidance for new construction and reconstruction of road and flood projects. The goal of the Guidelines is to incorporate sustainable practices into the design, construction, and operation of Public Works' infrastructure. The Guidelines provide LID design options to consider during the planning or designing of road and flood projects intended to manage stormwater runoff.

All new development, administrative and discretionary, under the Specific Plan shall:

- A. Demonstrate that site improvements do not introduce new flooding concerns upstream or downstream from the project;
- B. Submit LID and/or Storm Water Pollution Prevention Plans, as required by the NPDES thresholds, to preservation of water quality and mitigation of environmental impacts; and
- C. Incorporate best management practices, as appropriate to the project and parcel, consistent with the LID Manual and Green Infrastructure Guidelines.

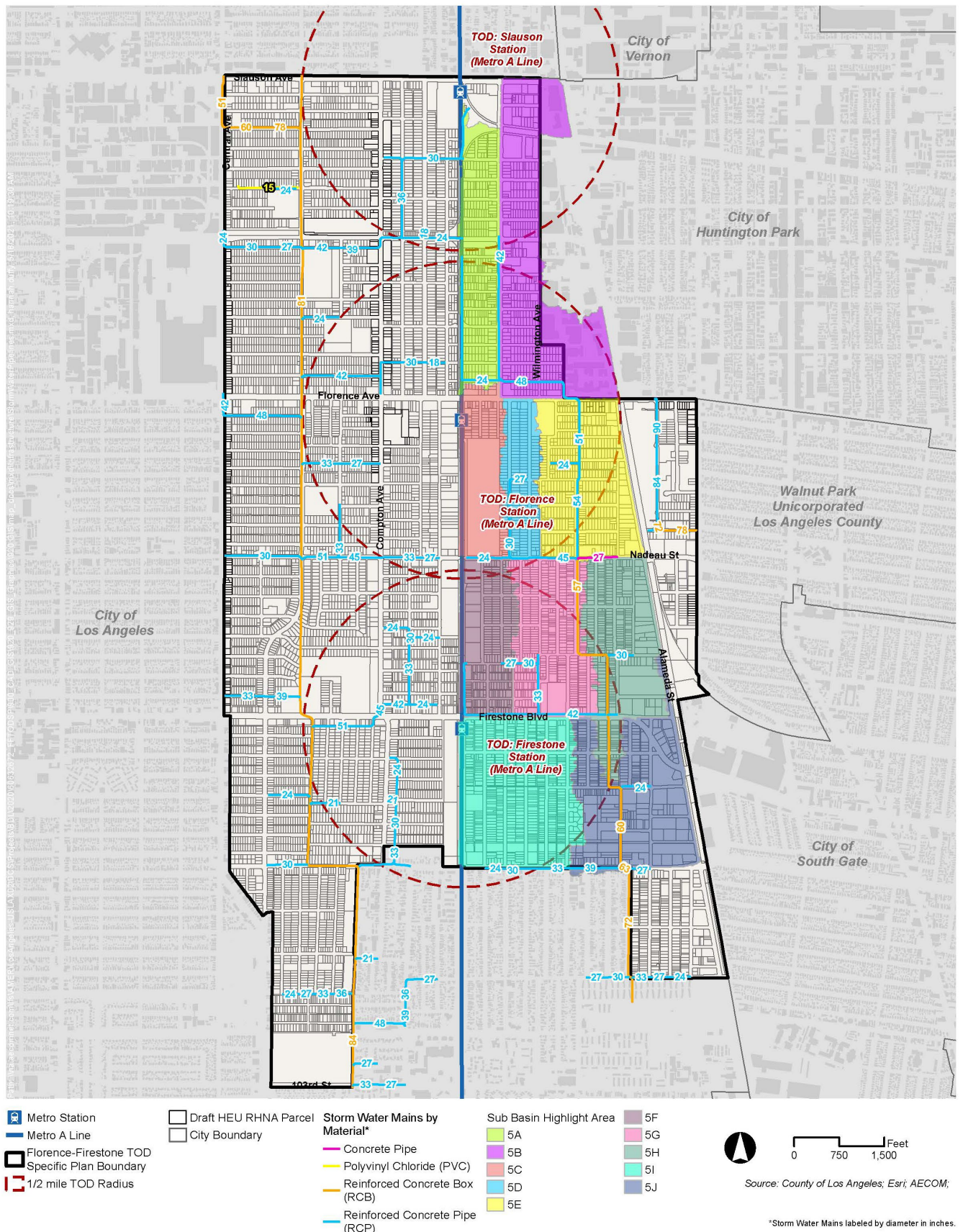
C. Future Stormwater Management Conditions

Buildout of the Specific Plan will generate little increase in runoff to the existing drainage system because the area is completely developed and projects will be required to incorporate LID practices per RWQCB requirements and Public Works' Green Infrastructure Guidelines. However, based on existing infrastructure within the two drain systems, existing and project infrastructure capacities differ.

The Hooper Avenue Drain, comprised of the underground drainage system west of the Southern Pacific railroad line, has adequate capacity to carry the peak flow of the 25-

year storm inclusive of Specific Plan buildout. Upgrades are not required to meet buildout conditions.

Figure 6-3: Stormwater System



The Glen Avenue Drain originates at 63rd Street and Gage Avenue. The Drain leaves the Specific Plan Area heading south under Croesus Avenue and carries the runoff from the entire eastern half of the Specific Plan Area. Preliminary study results show this 72x72 RCB has insufficient capacity to carry the peak flow runoff generated by the 25-year storm.

Each highlighted area in **Figure 6-3** (Stormwater System) represents basins served by the Glen Avenue Drain that may experience underground drainage system overflows due to deficient underground flow capacity, with associated stress placed on curb and gutter drainage to carry the excess. Developments generated by this Specific Plan should not add to these conditions. However, it is recommended that the areas served by the Glen Avenue Drain improve area runoff peak flow characteristics through generalized implementation of retention-based stormwater quality control measures within the public right-of-way and in any new developments. If possible, upsizing of segments of the underground system to handle 50 percent greater flow is also recommended.

6.5 SOLID WASTE MANAGEMENT

The Specific Plan Area utilizes the residential/commercial franchise system for solid waste collection services. The County administers trash, recycling, green waste collection, and other waste management services within the Florence / Firestone / Willowbrook Garbage Disposal District. Services are currently provided to residents and businesses through a contract with Consolidate Disposal Services, a private waste hauler.

Waste management is an increasingly challenging issue for urbanized areas as available space for landfills becomes more limited and increasing populations generate more waste. In 2014, the Board of Supervisors adopted a Roadmap to a Sustainable Waste Management Future. This roadmap outlines the process by which the County can implement strategies to reduce solid waste generation in unincorporated areas and through County operations. The Florence-Firestone community is part of this program, which includes goals of reducing solid waste destined for landfills by 80 percent by 2030 and 95 percent by 2040.

6.6 ELECTRICAL SERVICE

Electricity in the community is provided by Southern California Edison (SCE), a private franchise utility company and subsidiary of Sempra Energy.

All standards, development requirements, and improvement strategies are set directly by SCE, with oversight by the California Public Utilities Commission (CPUC). Electricity is transmitted by a network of mostly aboveground power lines, with a few underground distribution facilities to supply sufficient power to all locations, including streetlights and traffic signals. The major east-west arteries like Slauson Avenue, Firestone Boulevard, and Florence Avenue are mostly free of overhead lines; lines serving these areas run through nearby alleyways. However, areas free of full overhead power lines have individual lines connecting to and powering streetlights and are crossed by overhead lines on crossing roads and alleys.

The existing system supplies a sufficient level of electrical service to the Specific Plan Area and has adequate capacity to support the buildout of the Specific Plan.

New development or redevelopments will be responsible for upgrades and undergrounding as determined by SCE, in coordination with Public Works after building plan submittal. Underground electricity is more reliable, safer, and more aesthetically pleasing. Ultimately, SCE and CPUC will determine the overhead sections that will be relocated underground; electric supply and demand are generally determined on a case-by-case basis.

Developers shall be responsible for the costs of required undergrounding and may also be required to bear the costs for extending streetlights or modifying traffic signals. Public Works will determine streetlight and traffic signal modifications for new and redevelopments, in accordance with County Title 22 requirements.

CPUC Rule 20A provides funding for undergrounding of utilities (including communications) through “work credits” given by the utility company to the cities or unincorporated areas in counties on a yearly basis. These work credits can be used in areas determined to be in the “public interest.” See Figure 6-4 (Proposed Rule 20A Utility Undergrounding Districts). The following are “Public Interest” criteria:

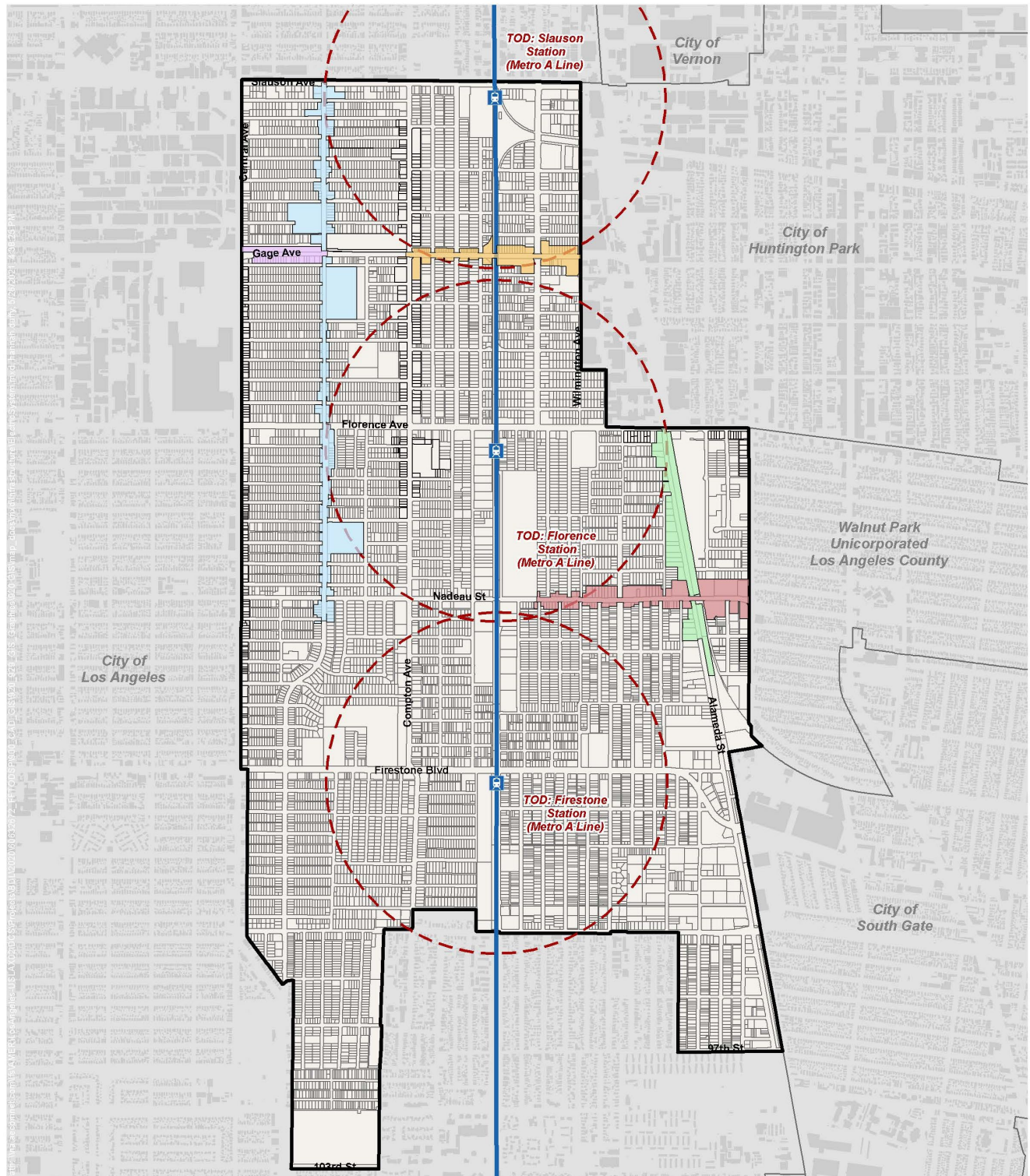
- Eliminate an unusually heavy concentration of overhead lines;
- Involve a street or road with a high volume of public traffic;
- Benefit a civic or public recreation area or area of unusual scenic interest; and
- Be listed as an arterial street or major collector as defined by the Governor’s Office of Planning and Research (OPR) Guidelines.

Community and local governments determine these criteria through public hearings and consultation with the local utility. Full funding of an overhead distribution line to underground requires successful “public interest” determination, collection of enough Rule 20A work credits by the utility (including a possible five year “borrow forward” if required), and the creation of a utility underground district.

The following areas should be considered for a Rule 20A undergrounding process:

- Gage Avenue: Strip mall development between Hooper Avenue and Compton Avenue resulted in the removal of power lines from that section. Removing remaining overhead lines from this arterial would be a public benefit.
- Alameda Street: Entire length of major collector north of 92nd Street has overhead lines; Alameda Street serves as a gateway to the area from the east. Removal of overhead lines would be a public benefit.
- Hooper Avenue: Important thoroughfare from Slauson Avenue to Nadeau Street. Removal of overhead lines would greatly beautify and secure the western side of the Specific Plan Area.
- Nadeau Street: There are overhead lines on this important central collector starting east of Holmes Avenue/Franklin D. Roosevelt Park. Removal of these lines would greatly improve the eastern half of the Specific Plan Area.

Figure 6-4: Proposed Rule 20A Utility Undergrounding Districts



- Metro Station
- Metro A Line
- Florence-Firestone TOD Specific Plan Boundary
- 1/2 mile TOD Radius
- Draft HEU RHNA Parcel
- Adjacent Parcel
- City Boundary
- Highlight Area**
- Alameda St
- Gage Ave (East)
- Gage Ave (West)
- Hooper Ave
- Nadeau St

Feet
 0 750 1,500
 Source: County of Los Angeles; Esri; AECOM;

6.7 NATURAL GAS SERVICE

Southern California Gas Company (SCG) is a private franchise utility company regulated by the CPUC that provides natural gas to the Specific Plan Area. SCG owns and operates all transmission mains, distribution pipelines, and service laterals in the community.

See **Figure 6-5** (Natural Gas System) for an overview of existing facilities.

The analysis and decision on capacity to meet future demand under buildout of the Specific Plan will be conducted by SCG in coordination with the County at the time building plans are submitted and development occurs. The development shall be responsible for the cost of required upgrades and new or relocated services for new development or redevelopments.

6.8 TELECOMMUNICATION & CABLE SERVICE

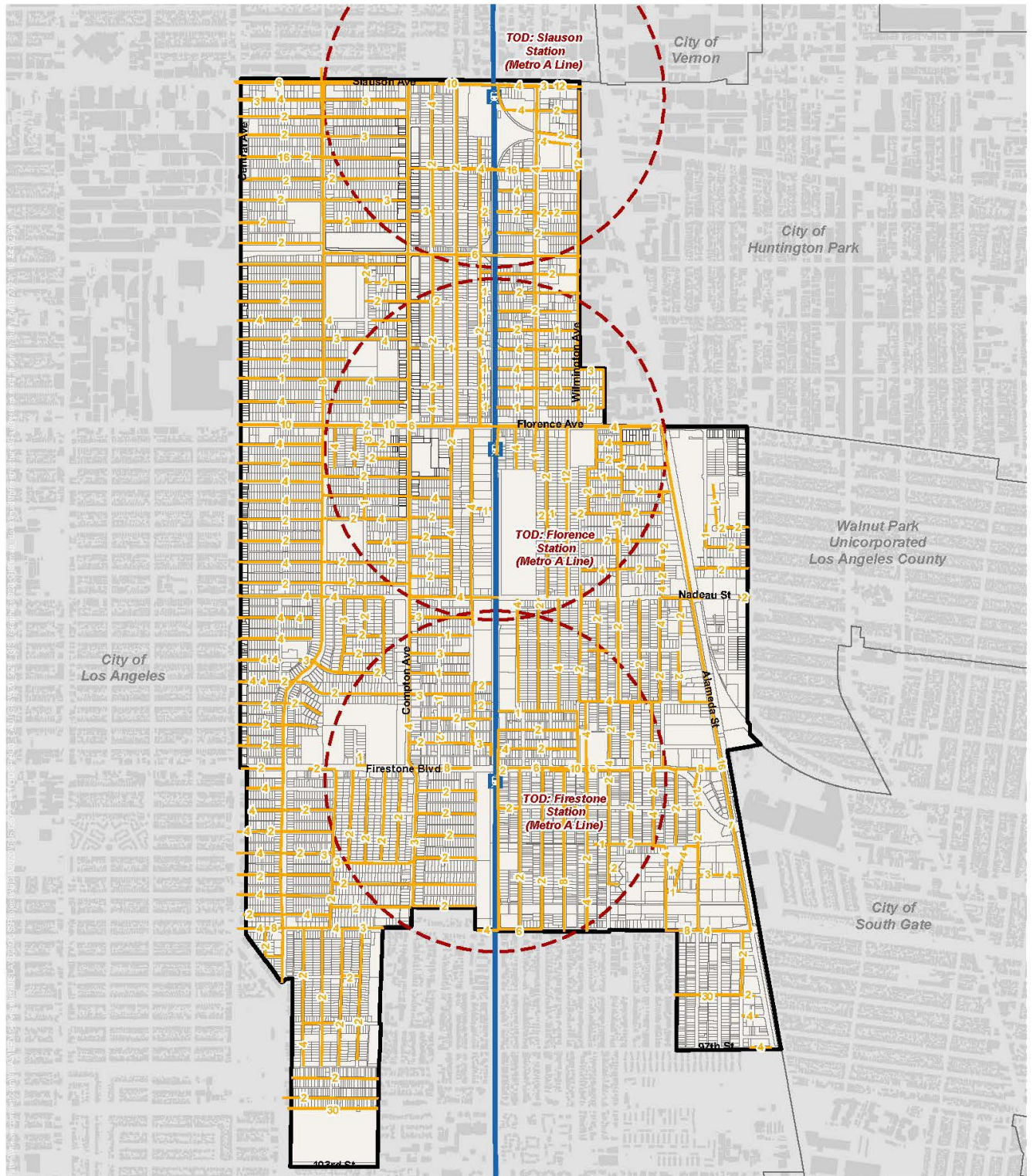
AT&T, a private franchise utility company, provides local and long-distance telecommunication services and ADSL (or Asymmetric Digital Subscriber Line) internet services in the Specific Plan Area. Services are provided primarily on aboveground lines shared with the electric provider. There are no fiber optic installations in the Specific Plan Area.

AT&T assesses demand for services and ability to serve new developments on a case-by-case basis after building plans are submitted by developers. AT&T provides any assessed upgrades or new services and recoups the cost later with the additional revenue from new customers.

Spectrum provides cable and internet services, with copper cable connections provided to every parcel, in the Specific Plan Area. Spectrum shares joint trenches with electrical and AT&T if the electrical lines are underground. SCE determines the layout of underground conduit facilities, which AT&T and Spectrum utilize.

Various wireless carriers provide services within the Specific Plan Area. Wireless communications facilities, either freestanding or attached to a building or structure, currently require approval of a Conditional Use Permit in compliance with Title 22 . Conditional Use Permits for wireless communications facilities shall expire 10 years from the date of approval, unless amended or extended by the planning commission or hearing officer. The County is working on an update to the wireless ordinance that may alter the standards or approval requirements for wireless communication facilities

Figure 6-5: Natural Gas System



- Metro Station
- Gas Mains
- Metro A Line
- Florence-Firestone TOD Specific Plan Boundary
- 1/2 mile TOD Radius
- Draft HEU RHNA Parcel
- City Boundary



Source: County of Los Angeles; Esri, AECOM;

*Gas Mains labeled by diameter in inches.

Chapter 7



Artist Credit: "Short Stories" Mural by Willie Middlebrook

Implementation

7 Implementation

7.1 FUNDING AND FINANCING STRATEGIES

This section provides an overview of a variety of potential funding sources and financing measures that may help the County implement certain improvements and upgrades to support the FFCP vision and policies and the Specific Plan objectives.

While some implementation actions can occur incrementally, other actions occur with specific development projects, and others will require funding from a variety of sources.

Potential funding sources are grouped into the following categories:

1. Land-secured financing
2. Development and private sources
3. County Programs, Funds, and Measures
4. Regional, state, and federal programs

Each potential funding source that may apply to the Specific Plan Area is identified with a brief description and associated with types of projects that the source can fund in Table 7-1 (Specific Plan Implementation Financing Strategies). See Appendix A for a more in-depth description of each funding and financing tool and its relation to improvements and projects as part of the Specific Plan. Improvement and project types included in Table 7-1 are those that help to achieve the FFCP vision, policies, and objectives, summarized below:

- Streetscape/public realm/infrastructure refers to improvements to multi-modal infrastructure encompassing walking, cycling, public transit, and automobiles to make it safer and more comfortable to access destinations and connect to other transportation infrastructure.
- Public art refers to investments in art across media created for the general public, and which enhances cultural resources and community identity.
- Affordable housing refers to investments in new housing options which expand the supply of rental and for-sale units that are privately owned and subsidized by the government to offer reduced prices for low-income households.
- Equity-based programs refer to investments that center equitable outcomes, including those specifically targeted towards low- and moderate-income neighborhoods and disadvantaged communities most impacted by pollution, aging infrastructure, and a lack of affordable housing.

Table 7-1 provides a toolkit of diverse sources relevant to the Specific Plan and is intended to provide a starting point for developing a funding strategy for community investment.

Funding programs are subject to change; the programs listed in this section are relevant as of the time of Specific Plan adoption. As noted in Appendix A, grant applications for projects in the Specific Plan may be more successful if “bundled” with similar projects in other parts of Los Angeles County.

As funding opportunities are realized and new funding becomes available, the County can continue to identify, monitor, and apply for other governmental funding sources that meet the County’s and respective agencies’ objectives over time.

7.1.1 Land-Secured Financing

Land-secured financing tools in California include the formation of benefit assessment districts, business-based or property-based business improvement districts, community facilities districts (CFDs), and others described herein.

- A. Community Benefit Assessment Districts. A Benefit Assessment District is a financing mechanism, funded through charges on properties in the district, used by jurisdictions to help pay for specific services in a defined district area.
- B. Community Facilities Districts (Mello-Roos). Mello-Roos financing is a discretionary financing mechanism that applies to real property owners within a Mello-Roos District, which is also known as a Community Facilities District (CFD).
- C. Community Revitalization and Investment Authorities (CRIA). A CRIA is a financing tool, authorized through AB 2 (2015) that can be used to fund projects for affordable housing and economic revitalization in disadvantaged communities.

The entirety of the FFTOD Specific Plan Area is designated as a Disadvantaged Community (DAC) per SB 535 (De León) and thus meets the criteria for the creation of a CRIA.

- D. Enhanced Infrastructure Financing District (EIFD). EIFD is a financing tool that, like CRIA, is based on establishing a district area and collecting a portion of property tax increment to fund qualifying projects, either directly or through bond issues serviced by the tax increment.
- E. Neighborhood Infill Finance and Transit Improvements Acts (NIFTI and NIFTI-2). The NIFTI Act (2017) is an enhancement of EIFD law that allows an EIFD that is coterminous with the city or county establishing the entity to employ sales and use taxes to fund projects in infill site areas. In addition, 20 percent of all funds generated through NIFTI must be set aside for affordable housing.
- F. Business-Based Improvement District (BBID)/Property-Based Business Improvement District (PBID). A BBID is a public/private partnership formed through assessments on businesses within the district, and a property-based business improvement district (PBID) is formed through assessments of property owners alone.

Table 7-1: Specific Plan Implementation Financing Strategies

Funding Source	Streetscape / Public Realm/ Infrastructure	Public Art	Affordable Housing	Equity-Based Programs
Category: Land-Secured Financing				
Community Benefit Assessment Districts / Community Facilities Districts (Mello-Roos)	X			
Community Revitalization and Investment Authorities (CRIA)	X		X	X
Enhanced Infrastructure Financing Districts (EIFDs)	X		X	

Funding Source	Streetscape / Public Realm/ Infrastructure	Public Art	Affordable Housing	Equity-Based Programs
Neighborhood Infill Finance and Transit Improvements Acts (NIFTI, NIFTI-2)	X		X	
Business-Based Improvement Districts (BBIDs) / Property-Based Business Improvement District (PBID)	X	X		X
Category: Development and Private Sources				
Development Impact Fees (DIFs)	X	X	X	X
Development Agreement (DA) and Disposition and DA (DDA)	X	X	X	X
Category: County Programs, Funds, and Measures				
Capital Improvement Program (CIP)	X	X	X	X
Revenue Bonds	X	X	X	X
General Obligation Bonds and Other Public Debt	X	X	X	X
Multi-Family Housing Bonds			X	
Metro and Transportation Development Act Funds (TDA)	X	X	X	
Measure R / M	X	X	X	X
Category: State and Federal Programs				
Affordable Housing and Sustainable Communities (AHSC) Program	X		X	X
Sustainable Communities Competitive Grants	X		X	X
Active Transportation Program (ATP)	X			
Urban Greening Program	X	X	X	
Road Repair and Accountability Act (SB 1) Funding	X			
Highway Safety Improvement Program (HSIP)	X			
Local Partnership Program (LPP)	X	X	X	
Transportation Alternatives Set-Aside (TASA) Program	X	X	X	
Certified Local Government (CLG) Preservation Grants		X	X	X
Environmental Enhancement and Mitigation (EEM) Program	X		X	
California Infrastructure and Economic Development Bank (I-Bank)	X		X	
Community Development Block Grant (CDBG) Program	X		X	X
New Markets Tax Credit (NMTC)*	X	X	X*	
Transformative Climate Communities (TCC)	X	X	X	X
Infill Infrastructure Grant Program	X	X	X	X
Brownfield Grant Funding	X	X	X	X
Cleanup Loans and Environmental Assistance to Neighborhoods (CLEAN) program	X	X	X	X

*New Markets Tax Credits are applicable to residential projects, but mixed-use developments may be eligible to fund portions of their commercial program with NMTC.

7.1.2 Development and Private Sources

- A. Development Impact Fees (DIFs). DIFs provide a funding mechanism for new public infrastructure and facilities required to serve new development.
- B. Development Agreement (DA) and Disposition and Development Agreement (DDA). A DA is a voluntary but binding contract between a property owner and the jurisdiction in which the property is located that lays out the rules and conditions for development.
- C. Foundation and Corporate Sponsorships. Private funds may also be raised for a specific purpose that implements the vision for the FFTOD Specific Plan Area. For example, a variety of foundations provide funding for art installations, healthy community initiatives, and other innovative programs.

7.1.3 County Programs, Funds, and Measures

- A. Capital Improvement Program (CIP) for the Metro Planning Area. A CIP is a multi-year planning instrument used in most jurisdictions to identify, prioritize, plan, budget, finance, and manage capital improvement projects.
- B. Revenue Bonds. Revenue bonds are a class of municipal bonds whose repayment is guaranteed by future revenues generated by specific activities.
- C. General Obligation (GO) Bonds and Other Public Debt. GO bonds are a class of municipal bonds that are not secured by the collateral of a funded project, and bond payments do not come from income generated by the bond-funded projects.

CAP-AND-TRADE PROGRAMS

The State administers a growing number of grant and loan programs, collectively known as the California Climate Investments Program (CCIP), that provide funding for projects and programs that reduce greenhouse gases (GHGs) and provide health, mobility, economic, and other co-benefits to communities throughout the state. Most Cap-and-Trade programs target a substantial portion of their funding to Disadvantaged Communities (DACs) classified in accordance with the CalEnviroScreen tool. The entirety of the FFTOD Specific Plan Area is designated as a DAC per CalEnviroScreen, which is defined as the top 25% scoring areas based on ranking each of the State's 8,000 census tracts using national and state data sources on 20 indicators of pollution, environmental quality, and socioeconomic and public health conditions. This designation establishes priority and a competitive advantage for projects that would benefit the local community in seeking Cap-and-Trade funding. Cap and-Trade provides funding in three primary areas:

1. Transportation and Sustainable Communities
2. Clean Energy and Energy Efficiency Funding
3. Natural Resources and Waste Diversion Funding

Under each of these funding areas are numerous programs that have funding available for projects and programs that would be contained within the FFTOD Specific Plan Area or the County as a whole. The Plan Area's status as a Disadvantaged Community may make potential projects more competitive for

- D. Multifamily Housing Bonds. Since 1984, the Los Angeles County Development Authority (LACDA) has issued more than \$650 million in mortgage revenue bonds for multifamily housing. The bonds are issued to developers to finance low- and moderate-income housing for families. The LACDA may issue either tax-exempt or taxable bonds. Taxable bonds would generally be issued only in combination with tax-exempt bonds. Taxable bonds do not require an allocation of bond authority from the California Debt Limit Allocation Committee (CDLAC).
- E. Metro and Transportation Development Act (TDA) Funds. TDA Article 3 funds are used by cities within Los Angeles County for the planning and construction of bicycle and pedestrian facilities. By ordinance, LA Metro is responsible for administering the program and establishing its policies.
- F. Measure R and Measure M. Measure R and Measure M were Los Angeles County ballot initiatives passed by voters in 2008 and 2016, respectively, that each levy a half-cent sales tax on taxable retail sales to fund a variety of transportation initiatives.

7.1.4 State and Federal Programs

- A. Affordable Housing and Sustainable Communities (AHSC) Program. The AHSC Program funds land use, housing, transportation, and land preservation projects to support infill and compact development that reduces greenhouse gas (GHG) emissions and administered through the California Department of Housing and Community Development (HCD).
- B. Sustainable Communities Competitive Grants. The Sustainable Communities Competitive Grants fund transportation planning activities, such as planning for active transportation, safe routes to schools, transit services, vision zero, complete streets, freight corridors, social equity, integrated land use, and transportation planning. Grants are available on an annual basis and through a competitive application process managed by California Department of Transportation (Caltrans). The planning-focused implementation actions outlined in Table 7-2 (Specific Plan Implementation Actions) are prime candidates for the Sustainable Communities Competitive Grants.
- C. Active Transportation Program (ATP). The ATP funds projects that encourage increased use of active modes of transportation to increase non-motorized trips, advance the active transportation efforts of regional agencies to achieve GHG reduction goals, and ensure that disadvantaged communities fully share in the benefits of the program.
- D. Urban Greening Program. The Urban Greening Program funds a variety of improvement projects as a program of California Climate Investments funded by Cap-and-Trade dollars.
- E. Road Repair and Accountability Act (SB1) Funding. The California Transportation Commission (CTC) considers applications for projects seeking SB 1 (2016) funding to improve roadways, transit, and build walking and biking projects.

- F. Highway Safety Improvement Program (HSIP). The HSIP is a core federal-aid program, with funding administered to regions and municipalities by the state, with the aim of achieving a significant reduction in traffic fatalities and serious injuries on all public roads, including non-State-owned roads.
- G. Local Partnership Program (LPP). SB1 (2016) created the LPP and continuously appropriates \$200 million annually to be allocated by the California Transportation Commission (Commission) to local or regional transportation agencies that have sought and received voter approval of taxes or that have imposed fees dedicated solely for transportation improvements. LPP can fund transportation infrastructure improvements such as improvements to transit facilities, bicycle and pedestrian mobility, local roads, and even items that mitigate the environmental impact of new transportation (e.g., air quality or urban water runoff).
- H. Transportation Alternatives Set-Aside (TASA) Program. The Fixing America's Surface Transportation (FAST) Act and the Moving Ahead for Progress in the 21st Century (MAP-21) provide the federal funds for Transportation Alternatives (TAs), which are community-based projects that expand travel choices and enhance the transportation experience. TA projects must be one of 10 eligible activities and must relate to surface transportation.
- I. Certified Local Government (CLG) Preservation Grants. A Certified Local Government (CLG) Program has access to federal funds to be used for historic preservation programs.
- J. Environmental Enhancement and Mitigation (EEM) Program. The EEM Program funds environmental enhancement and mitigation projects directly or indirectly related to transportation projects.
- K. California Infrastructure and Economic Development Bank (I-Bank). The I-Bank finances public infrastructure and private development through issuing tax-exempt and taxable revenue bonds, providing financing to public agencies, providing credit enhancements, acquiring or leasing facilities, and leveraging State and federal funds.
- L. Community Development Block Grant (CDBG) Program. The CDBG Program funds the revitalization of neighborhoods, the expansion of affordable housing and economic opportunities, and/ or improvements of community facilities and services, principally to benefit low- and moderate-income persons or neighborhoods.
- M. New Markets Tax Credit (NMTC). The NMTC, a federal tax initiative, could be used to stimulate investment in new development, such as commercial corridors, within the Specific Plan Area.
- N. Transformative Climate Communities (TCC) Program. The TCC Program is a competitive grant funding community-led development and infrastructure projects that achieve major environmental, health, and economic benefits in the state's disadvantaged communities. The program is intended to empower the communities most impacted by pollution to choose their community vision, strategies, and projects.

- O. Infill Infrastructure Grant Program. Promotes infill housing development by providing financial assistance for capital improvement projects that are an integral part of or necessary to facilitate the development of a Qualifying Infill Project or a Qualifying Infill Area. Funds may not be used for site acquisition.
- P. Brownfield Grant Funding. Grants targeted toward a specific purpose in returning contaminated brownfields sites to cleaner and more productive uses.
- Q. Cleanup Loans and Environmental Assistance to Neighborhoods (CLEAN) Program. Offers low-interest loans of up to \$2.5 million for the cleanup of hazardous materials where redevelopment of abandoned and underutilized urban properties is likely to have a beneficial impact on the property values, economic viability, and quality of life of a community. Eligible sites include brownfield sites and underutilized properties.

7.2 IMPLEMENTATION

The FFTOD Specific Plan will be implemented through a wide range of measures, the active participation of multiple County departments and agencies, ongoing collaboration with state and regional agencies, investment that supports local community growth, private sector investment, and an engaged community. Facilitating economic investment in the Specific Plan Area will require sustained public and private sector participation over the near and long term. The County can help realize the Specific Plan's vision, goals, and policies and further implement the Plan, particularly with outside funding sources where redevelopment is less likely to occur.

This section includes targeted implementation actions, within timelines and responsible parties, intended to help guide and prioritize the implementation of the Specific Plan.

As changes in priorities, economic conditions, and market trends occur over time, the County may need to revisit and reprioritize the implementation actions. Table 7-1 (Specific Plan Implementation Financing Strategies) identifies potential funding sources and which

Countywide Collaboration to Implement the FFTOD Specific Plan

Implementing the FFTOD Specific Plan requires collaboration across County departments and coordination with existing Countywide implementation programs, plans, and efforts, some of which are listed as follows:

- Department of Regional Planning (DRP)
- Public Works (PW)
- Department of Public Health (Public Health)
- Department of Parks & Recreation (DPR)
- Department of Arts & Culture (Arts & Culture)
- Los Angeles County Department of Consumer & Business Affairs (DCBA)
- Workforce Development, Aging & Community Services (WDACS)
- Los Angeles County Fire Department (FIRE)
- Los Angeles County Public Library (Library)
- Related Agencies:
 - Los Angeles County Development

improvement categories they can apply to. Table 7-2 (Specific Plan Implementation Actions) and the following sections outline implementation actions for the FFTOD Specific Plan, including description, timeframe, and responsible parties for each action.

Through the documenting of existing conditions in Florence-Firestone, and collecting community feedback, potential historic resources were identified. Consistent with the goals of the FFCP, future efforts to evaluate and establish historic districts or resources may be appropriate. See side panel and Chapter 8 for more information.

7.2.1 Implementation Actions

Implementing the FFTOD Specific Plan requires collaboration across County departments and outside agencies, such as Metro and Caltrans, as well as coordination with existing Countywide implementation programs, plans, and efforts. All implementation programs should include outreach to community-based organizations (CBOs), and stakeholder groups.

The following implementation actions are intended to guide the County in implementing the FFTOD Specific Plan with generalized timeframes as follows:

- Ongoing: Periodic or on a continuing basis
 - A Paseo Through Time in Florence-Firestone (Un paseo través del tiempo en Florence-Firestone) (2018), authored by Jeannene Przybylski outlines several community resources of historic or cultural value including:
 - Century Theatre by architect S. Charles Lee; 6525 Compton Ave.
 - Long-Term: 10 to 15 years
 - Lost Book House on Firestone Blvd.; 2181 Firestone Blvd.
 - Graham Library:
 - 1900 E. Firestone Blvd. (current location)
 - 1925 E. 87th St. (former location)
 - 8511 Holmes Ave. (former location)
- Project implementation is based on funding availability.
- The Century Youth Activities League (formerly the Firestone Park Sheriff's station) by architect James H. Garrott; 7901 Compton Ave.
- Firestone Park Sheriff's station second location; 2201 E. Firestone Blvd. Firestone Park Sheriff's station first location; 1551-1555-1557 E. Florence Ave.
- Tessie Cleveland Community Services Corporation by architect James H. Garrott; 8019 Compton Ave.
- The Youth Activities League; 7116 S. Makee St.
- The Miramonte Blvd. Palm trees along Miramonte Blvd. between E. 66th St. (north) and E. Florence Ave. (south)

Potential Historic Resources for Further Assessment:

A Paseo through Time in Florence-Firestone
Un paseo través del tiempo en Florence-Firestone



Table 7-2: Specific Plan Implementation Actions

Action & Description	Timeframe	Performance Metric(s)	Responsible Parties
Mobility, Infrastructure, and Sustainability (MS)			
<p>MS-1: Bicycle and Pedestrian Infrastructure Improvements</p> <p>Study implementation pedestrian improvements (new and upgraded crossings) and bicycle improvements (bicycle corridor segments) per the Mobility Element, Bicycle Master Plan, Pedestrian Plan, Metro A Line (Blue) First/Last Mile Plan, and the Slauson Station Area TOD Specific Plan project list outlined in Section XX of Chapter 6: Mobility.</p>	Near-Term	<ul style="list-style-type: none"> Number of bicycle and pedestrian infrastructure improvements installed Number installed by TOD Station Area 	PW Metro
<p>MS-2: Traffic Calming Improvements</p> <p>Study corridor-scale traffic calming improvements such as speed bumps, curb extensions, and traffic circles to discourage speeding and neighborhood cut-through traffic, per the Mobility Element. Consider site-specific improvements could be implemented with redevelopment to minimize disruption.</p>	Near-Term	<ul style="list-style-type: none"> Number of traffic calming improvements installed Number installed on residential streets (identified as a key need) 	PW
<p>MS-3: Bus Stop Improvements</p> <p>Install lighting, street trees, benches, shelters, recycling and trash bins, wayfinding signage, and route information at all bus stops throughout the FFTOD Specific Plan Area.</p>	Near-Term	<ul style="list-style-type: none"> Number of bus stop improvements Number installed by TOD Station Area 	PW Metro
<p>MS-4: Metro A Line Pedestrian Overpass</p> <p>Replace and reconstruct the pedestrian bridge connecting the west side of the community at E 76th Street to Roosevelt Park at Graham Avenue. Incorporate public art to create a pleasing visual marker for the community. Explore additional locations for pedestrian bridge crossings or other connection methods to safely connect community members to parks and community resources across the A Line and railroad rights-of-way.</p>	Long-Term or with redevelopment of adjacent parcels	<ul style="list-style-type: none"> Replacement and reconstruction of pedestrian bridge at E. 76th Street 	PW Metro Arts and Culture
<p>MS-5: Pedestrian Path to Slauson Station from 60th Street.</p> <p>Formalize the informal pedestrian pathway leading from 60th Street to Slauson Avenue, connecting neighborhoods to the south of Slauson Station to the station entrance. This pathway is already used as an access point to the station and provides a more direct path of travel to the station entrance. Formalizing the path will require:</p> <ol style="list-style-type: none"> Acquisition of the rail right-of-way underneath the A (Blue) Line Coordination with Metro Coordination with PW <p>This would be most likely to occur with nearby redevelopment or with the implantation of the West Santa Ana Branch (WSAB) Line, which does not currently address this path.</p>	Long-Term or with redevelopment of adjacent parcels	<ul style="list-style-type: none"> Formalization of pedestrian path 	PW Metro DRP Caltrans
<p>MS-6: Additional station access points at Firestone and Florence Stations</p>	Mid-Term	<ul style="list-style-type: none"> Number of station access points 	Metro PW

Action & Description	Timeframe	Performance Metric(s)	Responsible Parties
<p>The Metro A (Blue) Line Stations in the FFTOD Specific Plan Area each only have one access point. The Slauson Station will see expanded access as the WSAB Line is implemented, but the Florence and Firestone Stations would also benefit from improved access, including:</p> <ul style="list-style-type: none"> • Florence Station: The community suggested the creation of a second at-grade access point at the south end of the platform. • Firestone Station: An additional entrance on the west side of the rail tracks could be implemented to allow better access from the west without needing to cross under the elevated rail line. 		<p>constructed in the Specific Plan</p>	<p>Caltrans</p>
<p>MS-7: Undercrossing improvements at Firestone Station The underpass beneath the Firestone Station supports bus stops in the eastbound and westbound directions and serves as a major transfer point. However, the bus stop amenities at this location are minimal due to space constraints. Community input has requested improvements and beautification of this space in the form of better lighting, murals, landscaping, and features to improve perceptions of safety (such as emergency phones).</p>	<p>Mid-Term</p>	<ul style="list-style-type: none"> • Number of undercrossing improvements installed 	<p>Metro PW Caltrans</p>
<p>MS-8: Implement Metro Rail to Rail improvements along Slauson Avenue Include a new crosswalk at Slauson Station. Consider expanding the scope to include a Mobility Hub.</p>	<p>Mid-Term</p>	<ul style="list-style-type: none"> • Number of Rail to Rail Improvements • Slauson Station crosswalk • Mobility Hub 	<p>PW Metro</p>
<p>MS-9: Green Alleys Implement the PW's Green Alley Master Plan and develop identified green alley sites. Explore implementing additional green alley sites per the Specific Plan. Consider expanding to include other green street treatments (bioswales in curb extensions, stormwater capture, expansion of parks and open space, use of permeable materials where possible).</p>	<p>Mid-Term</p>	<ul style="list-style-type: none"> • Number of alleys converted to green alleys 	<p>PW FIRE DPR DRP</p>
<p>MS-11: Re-envision Union Pacific Site near Slauson Station Explore opportunities to lease or acquire the UPRR site along Randolph Street and Metro right-of-way. Opportunities in the short term include a surface parking lot for Slauson Station. Long-term opportunities include park space for the community.</p>	<p>Medium-Term to Long-Term</p>	<ul style="list-style-type: none"> • Leasing or acquisition of UPRR side • Installation of a surface parking lot • Construction of park space 	<p>DRP DPR UPRR Metro</p>
<p>MS-12: Parkway Maintenance Plan To enable implementation of the County TOD Toolkit, develop a countywide plan for maintaining street trees and pedestrian lighting installed by private development. Consider a pilot program for the FFTOD Specific Plan Area to develop a maintenance plan with additional standards and demonstrate implementation of the plan in the Florence-Firestone community.</p>	<p>Near-Term</p>	<ul style="list-style-type: none"> • Initiation of pilot program for FFTOD Specific Plan Area 	<p>PW</p>

Action & Description	Timeframe	Performance Metric(s)	Responsible Parties
<p>MS-13: Conduct a Comprehensive Parking Study for Florence-Firestone Prepare a comprehensive parking study for the FFTOD Specific Plan including:</p> <ul style="list-style-type: none"> • Document existing parking conditions in this community. • Better manage existing public and private parking supply in the community to alleviate existing parking deficiencies. • Identify strategies and techniques to manage the existing parking supply as growth occurs in the area. • Identify options for reducing parking requirements for new development in the vicinity of LRT stations. 	Near-Term	<ul style="list-style-type: none"> • Initiation of Parking Study 	DRP PW
<p>MS-14: Install LA Metro Bikeshare Stations Site bikeshare stations at Slauson, Florence, and Firestone Stations and along commercial corridors throughout the Florence-Firestone community.</p>	Near-Term	<ul style="list-style-type: none"> • Number of installed bikeshare stations within the FFTOD Specific Plan Area 	Metro PW
<p>MS-15: Implement TNC partnership to support first/last mile travel to LA Metro stations Pilot a partnership with Transportation Network Companies (TNC) providers (Lyft, Uber) to support first/last mile access to the Metro stations from within the Florence-Firestone community.</p>	Mid-Term	<ul style="list-style-type: none"> • Initiation of pilot partnership for FFTOD Specific Plan Area 	Metro PW
<p>MS-16: Expand the Link service hours and routes to improve first/last mile connections to Metro stations and enable short transit trips within Florence-Firestone The Florence-Firestone/Walnut Park route on the Link provides access between Gage Avenue and 92nd Street, connecting neighborhoods within Florence-Firestone and Walnut Park to the Florence and Firestone Metro stations. Expanding the route to serve Slauson Station and increasing the frequency from approximately 60-minute headways to 10-minute headways, pending projected ridership, would drastically improve local connectivity to Slauson Station and to destinations within the Florence-Firestone community.</p>	Mid-Term	<ul style="list-style-type: none"> • Route expansion study • Expansion of service hours and routes within the FFTOD Specific Plan Area 	PW
<p>CP-3: Slauson Station Coordination Maintain coordination efforts related to Rail to River and WSAB improvements.</p>	Ongoing	<ul style="list-style-type: none"> • Rail to River and WSAB improvements 	DRP
Cultural Resources and Community Identity (CR)			
<p>CR-1: Miramonte Boulevard Historic District Explore designating Miramonte Boulevard between Gage Avenue and Florence Avenue as a Historic District in coordination with the Historical Landmarks and Records Commission.</p>	Medium-Term	<ul style="list-style-type: none"> • Public outreach to explore Historic District establishment 	DRP
<p>CR-2: Historic Resources Survey Conduct a Historic Resources Survey with community outreach to allow community members opportunities to</p>	Near-Term	<ul style="list-style-type: none"> • Initiation of Historic Resources Survey 	DRP

Action & Description	Timeframe	Performance Metric(s)	Responsible Parties
provide input on local historic and cultural resources valuable to the community. Build off of the list of potential historic resources identified in <i>A Paseo Through Time in Florence-Firestone</i> (2018).			
<p>CR-3: Cultural Equity and Inclusion Promote addition of art in the community and continue public outreach events consistent with the Countywide Cultural Policy, and Cultural Equity and Inclusion Initiative.</p>	Medium-Term	<ul style="list-style-type: none"> • Number of mural permits applied for/approved • Public outreach events 	Arts and Culture DRP
Economic Development and Community Assistance (ED)			
<p>ED-5: Business Improvement District for Firestone Boulevard Study the feasibility to form a Business Improvement District (BID) for Firestone Boulevard to fund business-related improvements, maintenance, and physical amenities.</p>	Medium-Term	<ul style="list-style-type: none"> • Establishment of a BID for Firestone Boulevard 	LACDA
<p>ED-6: Community-Serving Facilities in New Development Identify opportunities to financially support new development of community-serving facilities (such as health clinics and job training centers) through County leasing of space for community-serving facilities.</p>	Near-Term	<ul style="list-style-type: none"> • Number of new leases for community-serving facilities 	LACDA DRP
<p>ED-7: TOD Catalyst Project Fund joint private/public mixed-use catalyst projects to diversify commercial uses in the TOD areas and provide services that cater to residents’ and workers’ daily needs.</p>	Long-Term	<ul style="list-style-type: none"> • Number of joint private/public mixed-use catalyst projects funded 	LACDA Metro
<p>ED-8: Public Development of Joint Amenities Explore opportunities to encourage development with joint amenities on County-owned land to benefit developers and the community, including short-term safe parking and shared parking for surrounding businesses</p>	Medium-Term	<ul style="list-style-type: none"> • Number of joint amenities developed 	DRP
Coordination and Partnerships (CP)			
<p>CP-2: Metro Coordination Coordinate with Metro on station area improvements to Slauson, Florence, and Firestone to ensure the FFTOD Specific Plan vision and guiding principles are implemented through these station area improvements and in line with community needs.</p>	Medium-Term	<ul style="list-style-type: none"> • Coordinate with LA Metro during the planning phase of station area improvements 	DRP Metro
<p>CP-4: Community Land Trust Study for Florence-Firestone Explore opportunities to collaborate with community land trusts (CLTs) to acquire property and become long-term landowners of land and protectors of affordability as part of economic development and security for the community.</p>	Medium-Term	<ul style="list-style-type: none"> • Initiation of CLT study for FFTOD Specific Plan Area 	LACDA
<p>CP-5: Coordination with LAUSD</p>	Medium-Term	<ul style="list-style-type: none"> • Number of traffic incidents/fatalities 	PW

Action & Description	Timeframe	Performance Metric(s)	Responsible Parties
Explore funding opportunities to coordinate with LAUSD on safety improvements and traffic/parking enforcement in the FFTOD Specific Plan Area in proximity to schools.			



**County of Los Angeles Department of Regional
Planning**