

Appendix 1

Updated North Area Plan and CSD

May 2020

DRAFT

SANTA MONICA MOUNTAINS NORTH AREA PLAN

Los Angeles County
Department of Regional Planning



The following Santa Monica Mountains North Area Plan will require approval by both the Los Angeles County Regional Planning Commission and Board of Supervisors prior to official implementation. Hearing dates to be determined.

Once adopted, the Santa Monica Mountains North Area Plan will be a component of the Los Angeles County General Plan and provide goals and policies specific to the Santa Monica Mountains North Area.

DRAFT

SANTA MONICA MOUNTAINS

NORTH AREA PLAN

May 2020

Los Angeles County
Department of Regional Planning

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"To enrich lives through effective and caring service."



"To improve the quality of life through innovative and resourceful physical and environmental planning, balancing individual rights and community needs."



"Let the land dictate the type and intensity of use."

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INTRODUCTION

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Dudleya cymosa ssp. *agourensis* (Agoura Hills dudleya)
Credit: Joseph Decruyenaere

CHAPTER 1: INTRODUCTION

THE VISION FOR THE SANTA MONICA MOUNTAINS NORTH AREA PLAN UPDATE

The Santa Monica Mountains are one of Los Angeles County's most significant ecological and scenic resources. The Los Angeles County Department of Regional Planning worked alongside the LA County Board of Supervisors 3rd District, community groups, and local residents to shape a cohesive vision for the Santa Monica Mountains North Area, and we are pleased to present the Santa Monica Mountains North Area Plan as a roadmap for that vision. As a result of the destructive 2018 Woolsey Fire, the importance of responsible development, ecological health, and risk management has become paramount for local communities. To help support the unique communities in the North Area, this document will serve to protect our most important ecological resources while managing development in one of our most sensitive natural environments.

As most residents are aware, portions of Los Angeles County are under increasing development pressure due to urbanization within the region, including rural areas such as the Santa Monica Mountains North Area. Increased human activity associated with this development may have negative

impacts on our communities and natural environments, including greater susceptibility to destructive wildfires, heightened safety risks for our residents, diminished water quality, degradation of overall ecological quality, and the loss of critical animal and plant habitat. This document is intended to help mitigate those potential impacts.

The vision for the Santa Monica Mountains North Area is to maintain and strengthen a healthy and comprehensive ecosystem while accommodating development that meets the highest standards of environmental stewardship. This vision is encapsulated by the guiding principle of the plan: "Let the land dictate the type and intensity of use".

In the following pages you will find a comprehensive set of principles and objectives that will help us achieve this vision. The document is intended for the use of residents, communities, and public agencies within the SMMNA to guide decision-making and development. With a set of guiding principles and objectives, we can work as a community to realize a long-term vision for the Santa Monica Mountains North Area that benefits all Los Angeles County residents for generations to come.

WILDLAND-URBAN INTERFACE

Wildland-Urban Interface (WUI) areas exist throughout Los Angeles County. These areas are critical for habitat conservation, air and water resource management, recreational access, fire safety, and development.

1. Santa Monica Mountains
2. Puente Hills and Chino Hills
3. San Gabriel Mountains
4. Santa Clarita Valley
5. Antelope Valley

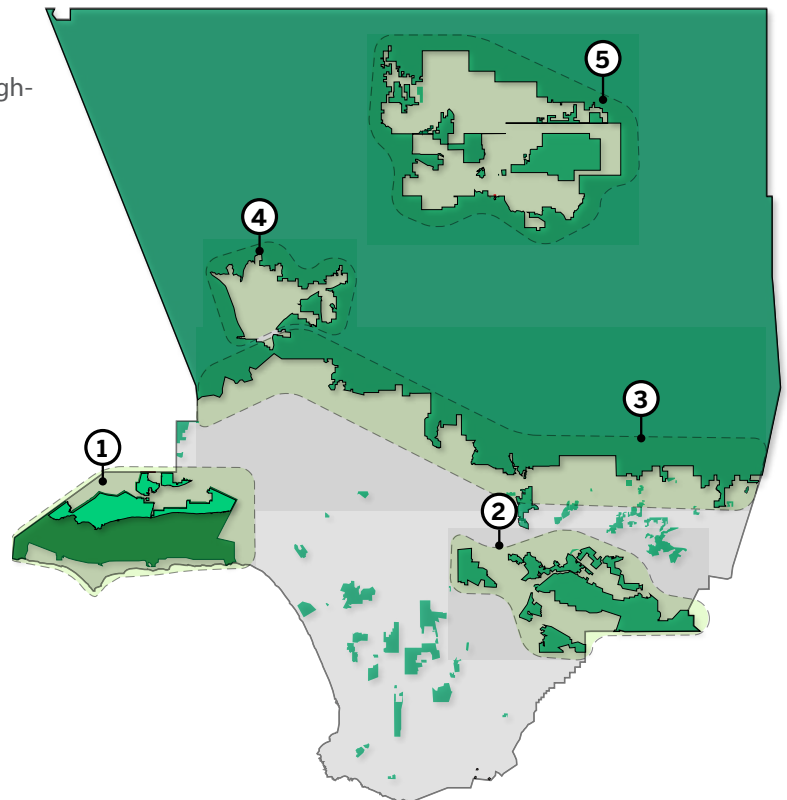


Illustration: Skidmore, Owings & Merrill

PURPOSE OF THE SANTA MONICA MOUNTAINS NORTH AREA PLAN

The Santa Monica Mountains North Area Plan (North Area Plan), originally adopted by the Los Angeles County Board of Supervisors in October 2000, is a component of the Los Angeles County General Plan. The North Area Plan's primary role is to provide more focused policy for the protection of biological resources and regulation of development within the unincorporated area of the Santa Monica Mountains west of the City of Los Angeles and north of the Coastal Zone. The North Area Plan refines the policies of the countywide General Plan as it applies to this planning area.

The North Area Plan serves to:

- Identify the community's environmental, social, and economic goals.
- Provide a summary of the various land uses in the North Area and the County's goals for creating the greatest compatibility amongst such uses.
- Define the County's policies on existing and future development needed to achieve community goals.
- Respond to problems and opportunities concerning community development in a way consistent with local, regional and State goals and policies.
- Work with local citizens and stakeholders to generate a long-term vision for their community, and provide a forum for residents to help define the planning and decision-making processes of local government.
- Create a basis for subsequent planning efforts, such as the preparation of specific plans and special studies.

GUIDING PRINCIPLE

The guiding principle for the Santa Monica Mountains North Area Plan is to:

Let the land dictate the type and intensity of use.

The overall goal of the North Area Plan is to maximize preservation of the area's natural environment, recognize the opportunities and constraints that the land imposes, accommodate new uses that minimize impacts on the natural environment, ensure that new development is compatible with and enhances the quality of existing communities, and provide for a wide range of public and private recreational opportunities.

The area's diverse topography, biotic habitats, and wildland-urban interface establish a character, sense of openness, and scenic experience that embody the landscape and communities of the Santa Monica Mountains North Area (North Area). A large portion of the North Area is part of the Santa Monica Mountains National Recreation Area, one of just 18 across the United States in the National Park System. The National Recreation Area includes both public and private lands, and the successful management of this significant regional asset depends on private and public collaboration with a common goal of natural resource preservation. Over 7,500 acres within the North Area—including several federal park sites, Malibu Creek State Park, and open space managed by the Santa Monica Mountains Conservancy—represent a public heritage and trust requiring appropriate protection.

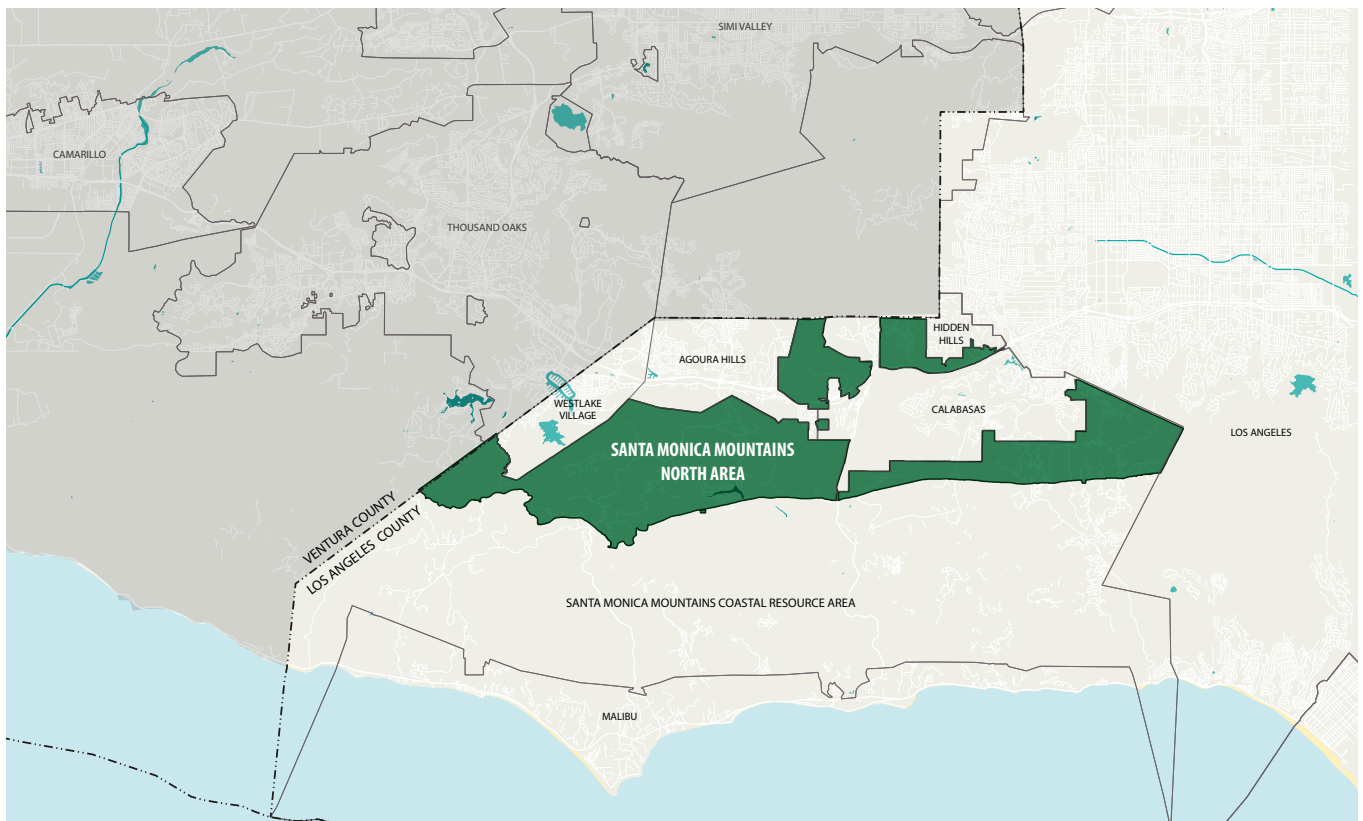
The North Area's recreational opportunities and its rural and semi-rural lifestyle amenities create a popular draw for tourists as well as those living in nearby metropolitan areas. But spectacular views and dramatic landscapes have generated development pressures that have had a significant impact on the local environment, such as on native flora and fauna unique to the Santa Monica Mountains, on important habitat resources that support various ecological communities, and on watersheds that drain through canyons into Santa Monica Bay. Natural hazards are also present across the North Area, including steep, unstable slopes, and a high potential for destructive wildfires.

The scale of development within the North Area is constrained not only by the need for environmental protection and habitat conservation, but also by the cumulative limitations of infrastructure and public services in the area, and by natural and human-caused risks to public health and safety. To protect the long-term health of the environment and communities in the North Area, no increase in development intensity will be allowed, particularly in areas underserved by public services and with high fire-risk. Existing infrastructure and roadway networks will be maintained through identified improvements that can be accommodated in an environmentally sensitive manner. No new freeways are planned to serve this area, and there will be no areawide flood control system of concrete channels conveying storm runoff in order to facilitate future growth. Development within the wildland-urban interface will also be discouraged in order to reduce wildfire and climate-change related risks to residents, property, and emergency personnel. Classified by the Los Angeles

County Fire Department and the California Department of Forestry & Fire Protection (Cal Fire) as a Very High Fire Hazard Severity Zone, and as indicated by recent destructive wildfires, the Santa Monica Mountains are an ecosystem in which fires are a natural occurrence, and homes within wildland areas face a substantial risk due to the likelihood and severity of wind-driven wildland fires in the mountains.

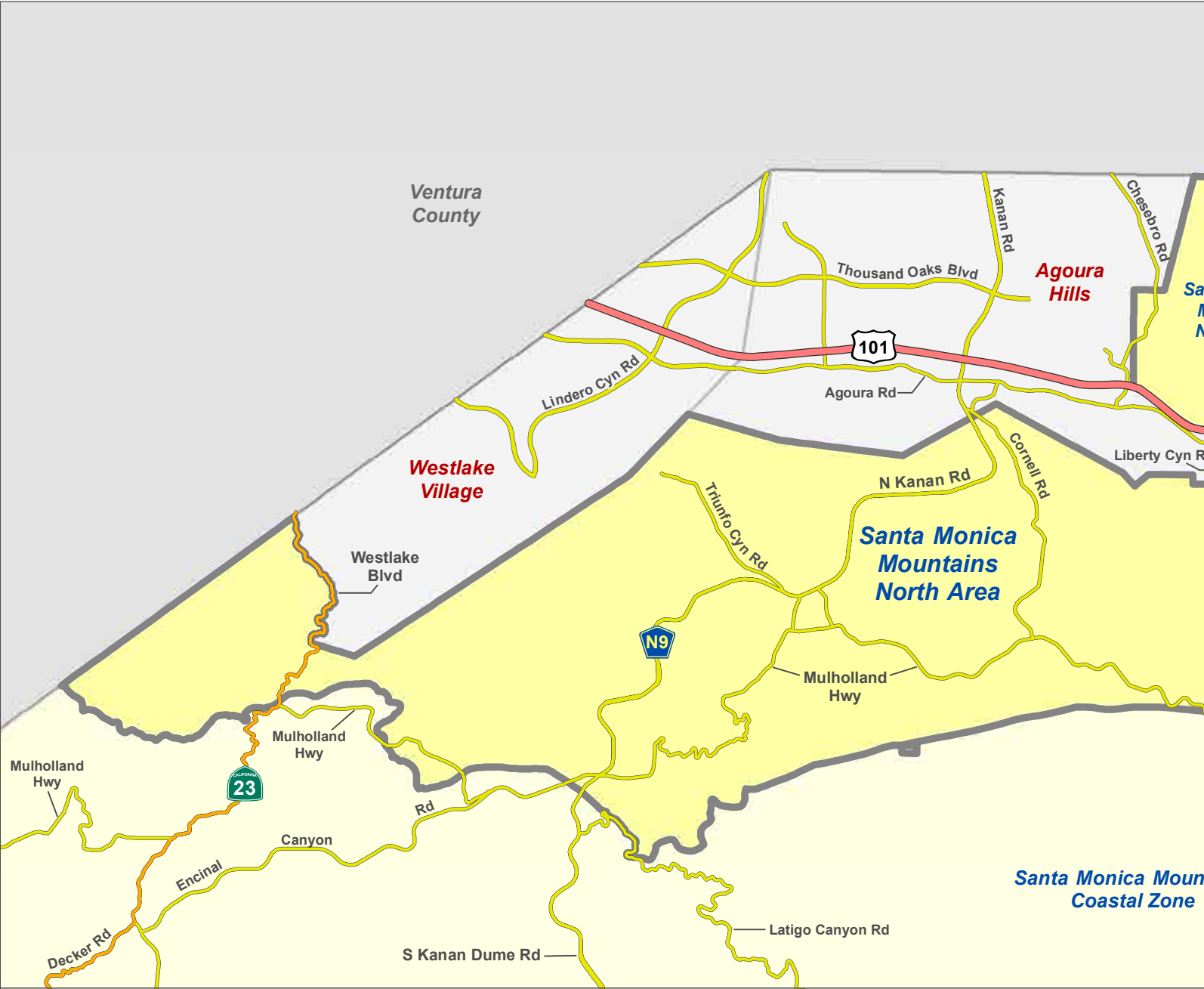
SETTING

The Santa Monica Mountains North Area planning area is comprised of the unincorporated portion of the Santa Monica Mountains west of the City of Los Angeles and north of the Coastal Zone boundary (Figure 1). The North Area encompasses 32.2 square miles and consists of a distinctive group of communities surrounded by steep mountains, rolling hills, canyons, streams, and oak woodlands.



Although distinct as a planning area, the Santa Monica Mountains North Area is interconnected jurisdictionally, and environmentally, to many different communities.

Santa Monica Mountains North Area



Santa Monica Mountains North Area (SMMNA)



Other Unincorporated Area



Incorporated City



Major Road



Highway



Freeway

**Figure 1:
Planning Area Boundary**



LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple St.
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Prepared by DRP GIS Section / September 2019

Surrounding cities include the City of Los Angeles to the east, Calabasas to the north and northeast, Agoura Hills to the north, Hidden Hills to the northeast, Westlake Village to the west and northwest, and the Santa Monica Mountains Coastal Zone to the south.

Development throughout the North Area is typically concentrated in subdivisions or dotted along the hillside roads. Many of the subdivisions in the North Area are considered antiquated, or were recorded prior to 1929 when the Subdivision Map Act was amended to afford local governments more control over development. Areas such as Topanga Canyon and Malibu Lake contain antiquated subdivisions that need careful regulation to ensure that there is a balance between new development and the availability of services and amenities.

The North Area is subject to considerable natural hazards that can affect people and property. Much of the terrain in the North Area is sloped, with a substantial portion of land having slopes greater than 25 percent. The area is subject to widespread slope instability and is entirely within the Very High Fire Hazard Severity Zone, the most urgent classification for wildfire safety purposes. These and other factors have resulted in land use patterns remaining stable with limited growth and development throughout the North Area. Park lands cover approximately 38 percent of the planning area, and include parts of the Santa Monica Mountains National Recreational Area, Topanga State Park, and Malibu Creek State Park.

AREA DEVELOPMENT

The Santa Monica Mountains are renowned for their stunning beauty and their isolation from the busy Los Angeles metropolitan area. While the North Area had a number of subdivided neighborhoods established throughout it at the beginning of the 20th century, development has since been restricted to preserve the natural resources and beauty of the area. In 1961, a northeastern portion of the North Area was incorporated to form the City of Hidden Hills. The late 1980s and early 1990s saw the incorporation of the cities of Agoura Hills, Westlake Village and Calabasas, leaving a strip of unincorporated land between the new cities and the Coastal Zone. The North Area has maintained the

natural beauty and rural character of the Santa Monica Mountains through sensitive development and encouraging recreational uses.

ORGANIZATION OF THE NORTH AREA PLAN

The North Area Plan consists of five elements that outline goals and policies for land use throughout the North Area. The following elements provide the basic policy framework for the North Area Plan and are intended for use by the public and governmental decision makers for the regulation of uses and development within the jurisdiction of the North Area Plan:

- **Conservation and Open Space Element;**
- **Safety and Noise Element;**
- **Land Use Element;**
- **Circulation Element;**
- **Public Facilities Element.**

Appendices

The Appendices contain important background information for use in administration of the North Area Plan. Such material is not an official part of the North Area Plan and may be modified, updated or deleted as deemed appropriate by the Director of Planning.

HOW TO USE THE NORTH AREA PLAN

This Santa Monica Mountains North Area Plan is a component of the Los Angeles County General Plan. The goals, policies, and standards of the North Area Plan must be consistent with the county-wide chapters and elements of the General Plan. This North Area Plan should be used in conjunction with the Santa Monica Mountains North Area Community Standards District (CSD), a component of Los Angeles County Title 22, which implements specific development regulations for the various subareas within the North Area boundary.

Users should be guided by the following:

- Should any areas of conflicting interpretation arise, unless specifically noted, the provisions of this area plan shall prevail.
- No policy, whether in written or diagram form, shall be given greater weight than any other policy in evaluating the policy intent of this North Area Plan.
- The Land Use Policy Map is never to be interpreted by itself, but rather must be interpreted in light of applicable written policies.
- The interpretation of policy should be governed by the 'Guiding Principles' of the North Area Plan.
- Staff Consultation: While this North Area Plan is meant to be a guide for the public in determining allowable uses of private property, nothing in this plan provides an entitlement to any specific form of development, and the public is strongly encouraged to consult with County planning staff prior to making any substantial investment in reliance on the belief that any specific development is possible, including prior to investing in the preparation of development plans that might later prove to be inconsistent with the North Area Plan.
- Grandfather Clause: With the exception of uses which this North Area Plan establishes a moratorium on, legally established uses in existence at the time of adoption of this North Area Plan are deemed to be consistent with this plan. Existing legal lots are not affected, and may be developed – following current development requirements – regardless of lot size. Applications requesting expansion of such uses, however, which are not consistent with the goals and policies of the North Area Plan – once it is adopted – will be required to file for an amendment to the Plan to proceed.
- Applicability: All applications pending and deemed complete as of [adoption date of North Area Plan] may choose whether the application will be reviewed for consistency with the 2000 North Area Plan or the current North Area Plan. All applications pending but not deemed complete as of [adoption date of North Area

Plan], as well as applications filed on or after [adoption date of North Area Plan], must be found consistent with the current North Area Plan.

Other discretionary applications (such as zone changes, conditional use permits, oak tree permits) must be found consistent with the plan in effect at the time of final County approval.

In addition to the direction provided by this North Area Plan, new development and land use activities are regulated by many agencies other than the Department of Regional Planning. Obtaining approval for certain types of actions may require proof of the availability of public services – including water/sewer, power, police, fire and schools – as well as fair-share provisions for public parks, libraries, streets, etc.

Along with the standard building requirements and zoning regulations that apply countywide, development in mountainous areas often require special considerations and permits from local, state, and federal agencies. Such controls are often intended to ensure compatibility with off-site resources – such as downstream water quality and coastal areas – in addition to regulating the onsite impacts. For example, on-site wastewater treatment systems – necessary in the more remote areas not served by public sewers – may require adherence to the requirements of several agencies due to grading, soil conditions, water table, etc.; these agencies include the County Departments of Public Works and Health Services, as well as the California Regional Water Quality Control Board. Also, any alteration of a streambed will likely require permits from the California Department of Fish and Wildlife, and possibly from the U.S. Army Corps of Engineers – in addition to compliance with County site design regulations.

PREVIOUS PLANNING EFFORTS

A number of comprehensive planning efforts and focused park and resource management plans have guided or influenced the regulation and development of the North Area Plan update. These efforts are summarized below.

Santa Monica Mountains National Recreation Area Comprehensive Plan (1978)

This plan was created by the state-formed Santa Monica Mountains Comprehensive Planning Commission. It proposed a regulatory approach toward preserving open space lands, and promoted low-density, large-lot rural residential development in the Santa Monica Mountains.

Malibu/Santa Monica Mountains Interim Area Plan (1981)

The County adopted this plan as a first step in comprehensive planning in the unincorporated Santa Monica Mountains. Although it was intended as an interim plan, the Board of Supervisors chose to extend it indefinitely.

Santa Monica Mountains National Recreation Area General Management Plan (1982)

The Santa Monica Mountains National Recreation Area was established by Congress in 1978 to protect and enhance the area's resources, air quality, and recreational and educational value. The plan was prepared by the National Park Service. Its overarching goal is for landowners and agencies to work together to create a system of land use, recreational opportunities, and resources conservation.

Santa Monica Mountains National Recreation Area Land Protection Plan (1984)

This plan identified which land was needed to protect significant natural, cultural, and scenic resources, as well as priorities for protection. The plan also proposed a broad range of methods for protecting land such as direct purchase or cooperative programs between landowners and local agencies for management of private open space.

Malibu Land Use Plan (1986)

This land use plan was created to regulate development in the Santa Monica Mountains Coastal Zone. Accordingly, the plan resulted in the bifurcation of the Santa Monica Mountains into two planning areas – the Coastal Zone and the North Area.

Ventura Freeway Corridor Areawide Plan (Joint, 1996)

When Calabasas incorporated in 1991, the County initiated a new planning process to update the Interim Area Plan north of the Coastal Zone. Emphasis was placed on a coordinated and joint planning process among all principal governmental agencies in the Ventura Freeway Corridor planning area. In 1993, the County, the cities of Agoura Hills, Calabasas, Hidden Hills, and Westlake Village, two municipal service agencies, and the National Park Service formed a coalition to fund the preparation of comprehensive revisions to the region's land use plans. The intent of the Areawide Plan was to provide coordinated direction for the update of each jurisdiction's general plan to address issues of growth, environmental management, and inter-jurisdictional coordination. A draft of the Areawide Plan was completed in 1996. The Areawide Plan was superseded by the Santa Monica Mountains North Area Plan in 2000.

Santa Monica Mountains North Area Plan (2000)

This plan replaced the Malibu/Santa Monica Mountains Interim Area Plan. The principles of the Ventura Freeway Corridor Areawide Plan were incorporated into this plan. It provided focused policy for the regulation of development within the North Area.

Santa Monica Mountains North Area Community Standards District (CSD) (2002)

The CSD was established to implement the goals and policies of the North Area Plan in a manner that protects the health, safety, and welfare of the community and natural environment. Since adoption, it has been amended four times to add: the Grading and Significant Ridgeline Ordinance in 2005; the Commercial Zoning Ordinance in 2007; the Fences, Walls, and Landscaping Ordinance in 2010; and the Vineyard Ordinance in 2015.

Santa Monica Mountains Local Coastal Program (2014)

The California Coastal Commission certified the Santa Monica Mountains Local Coastal Program (LCP) in October 2014. The LCP consists of a land use plan (LUP) and a local implementation program (LIP). The LUP is a component of the Los Angeles County General Plan and provides goals and policies. The LIP is the primary implementation mechanism for the LUP and establishes district-wide, zone-specific, and area-specific regulations for new development and the protection and management of the Coastal Zone's biological and scenic resources.

RELATIONSHIP TO THE SANTA MONICA MOUNTAINS LOCAL COASTAL PROGRAM

The California Coastal Act, in designating the coastal zone, divided the Santa Monica Mountains planning area into two geographic components: one part within the Coastal Zone, and the other part north of the Coastal Zone. By necessity, because the Coastal Act requires a State-certified land use regulation program for the Coastal Zone and the Coastal Act does not apply in the North Area, two separate plans must be prepared for the Santa Monica Mountains. Although the North Area is considered a separate planning area from the Coastal Zone, both regions share similar characteristics in terms of habitat, topography, and environmental issues. Accordingly, the North Area Plan seeks to maintain reasonable consistency with the Santa Monica Mountains Local Coastal Program on policy issues that also face the North Area. Notwithstanding this division by the Coastal Zone boundary, the County of Los Angeles is committed to the concept that planning for the entire Santa Monica Mountains should be governed by the following planning principle:

Integrated, comprehensive, regional in concern and in approach, consistent and fair in application of policies and regulations, and open to public participation from all parts of the region.

The North Area Plan and LCP together will serve as a comprehensive statement of regional policy for the regulation of uses within the Santa Monica Mountains, thereby creating continuity for planning within the greater Santa Monica Mountains region.

RELATIONSHIP TO THE LOS ANGELES COUNTY GENERAL PLAN

The General Plan is a countywide land use policy document that guides the long-term physical development and conservation of the unincorporated areas. The unincorporated area of Los Angeles County is comprised of approximately 2,650 square miles of land that is not within any of the County's 88 cities. Approximately one million people live throughout the County's unincorporated areas. The General Plan organizes this dispersed area into eleven planning areas to provide for the development of local plans that respond to the needs of communities through the Planning Areas Framework. The Santa Monica Mountains North Area Plan will govern the Santa Monica Mountains Planning Area.

All area plans are extensions of the General Plan and are based on the framework established by the General Plan. As such, the Santa Monica Mountains North Area Plan is part of the General Plan and is consistent with the General Plan's guiding principles, goals and policies. The North Area Plan contains goals and policies specific to the issues and needs of the Santa Monica Mountains.

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CONSERVATION AND OPEN SPACE ELEMENT

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Dudleya cymosa ssp. *cymosa* (canyon liveforever)

Credit: Joseph Decruyenaere

CHAPTER 2: CONSERVATION AND OPEN SPACE ELEMENT

INTRODUCTION

This element establishes a framework for both the preservation and management of open space, scenic and natural resources of the Santa Monica Mountains, and the use and enjoyment of the area's wide range of recreational opportunities by local residents and area visitors.

Efforts to manage and conserve the environment in the Santa Monica Mountains North Area focus on the relationship between the natural environment and the human activities within it. A biological resource assessment was conducted to accurately assess the extent of biological resources within the Santa Monica Mountains, and to determine the relative sensitivity of these resources to human impacts (see Appendix A). This biological assessment analyzed special-status riparian and animal species, Significant Ecological Areas (SEAs), and habitat linkages, and recommended habitat categories to be used in the North Area. These habitat categories are S1, S2, S3, and S4; the most rare and sensitive habitat with the most restrictive development standards being S1; and the least sensitive, disturbed habitats with the least restrictive development standards being S4. The goals and policies in this section were driven by this biological assessment and its recommendations.

To minimize the impacts that future development may have on both the environment of the region and the opportunities for recreation within the Santa Monica Mountains, the following sections address the area's natural resources:

- **Open Space**
- **Biological Resources**
- **Water Quality and Availability**
- **Tree Protections**
- **Hillside Management**
- **Scenic Resources**
- **Trails**
- **Cultural Resources, Tribal Cultural Resources, and Paleontological Resources**

GUIDING PRINCIPLE

The guiding principle for managing development and protecting the natural environment is:

Resource protection has priority over development.

The North Area Plan's jurisdiction encompasses a complex and naturally dynamic landscape that is dominated by the Santa Monica Mountains. The scenic beauty and environmental diversity of the area, in close proximity to the second-largest urban population in the United States, require effective policy and action programs to manage and protect these environmental resources.

This principle recognizes that the Santa Monica Mountains possess irreplaceable resources, and that every user of the land is a trustee, shaping the area's heritage for future generations. Given this perspective, sensible resource management avoids degradation of the environment. The challenge of managing the natural environment is to ensure that the use of natural resources protects and enhances the quality of both the natural and built environments of the area.

Development on any scale can enhance or disrupt the character of its natural setting – both those in the immediate area as well as those offsite, such as downstream impacts to coastal resources. Attention to a full range of environmental factors is needed to ensure compatibility between the natural and built environments. In scenic and environmentally sensitive areas, development must conform to, and become a part of, the natural setting.

Thus, the provisions of this element provide detailed guidance designed to locate new development so that it conforms with constraints of the natural environment, contributes to the open space character of the area, and protects sensitive watersheds, downstream water quality, coastal resources, Santa Monica Bay, and the Los Angeles River. The area's positive influence on the Los Angeles region, including scenic, recreational, and educational attributes, relies heavily upon sustaining the area's natural setting, the scenic beauty of varied landforms, and the area's spectacular geologic formations, which provide a substantial recreational resource.

OPEN SPACE

Over 7,400 acres of major public open spaces lie within the North Area Plan boundary –approximately 35 percent of the planning area. These lands are under the management of government agencies such as the National Park Service, the California Department of Parks and Recreation, and the Santa Monica Mountains Conservancy, and non-governmental organizations such as the Mountains Restoration Trust. Additional committed open space areas include permanent open space lands preserved as the result of various development approvals. Additionally, large blocks of privately-owned undeveloped lands that exist throughout the region function as open space when not fenced.

There are generally three types of open space in the North Area:

- 1. Open Space for the Protection of Natural Resources:** Most of the land acquired by the National Park Service, the California Department of Parks and Recreation, and the Santa Monica Mountains Conservancy falls into this category, as these lands contain significant biological resources. Much of the remaining open space within the region contains a variety of important
- 2. Open Space for the Protection of Public Health and Safety:** Many hillside areas have proven to be unstable. They are unsuitable for development and are more appropriately left as open space. In addition, the fires that periodically burn through the Santa Monica Mountains are a reminder of the inherent difficulties with development in mountainous areas. Because fire is a natural and increasingly common occurrence, certain areas within the mountains are best left in their natural condition and protected from development. Currently, many steeply sloping areas and areas subject to flooding have been committed to long-term open space, primarily as part of past development approvals.
- 3. Open Space for Public Recreation:** These open space areas include the public and private parks managed by Los Angeles County and property owners' associations, dedicated trail easements, and recreation areas owned and managed by agencies such as the National Park Service and the California Department of Parks and Recreation. Also included are areas of outstanding scenic beauty and historically or culturally significant sites.

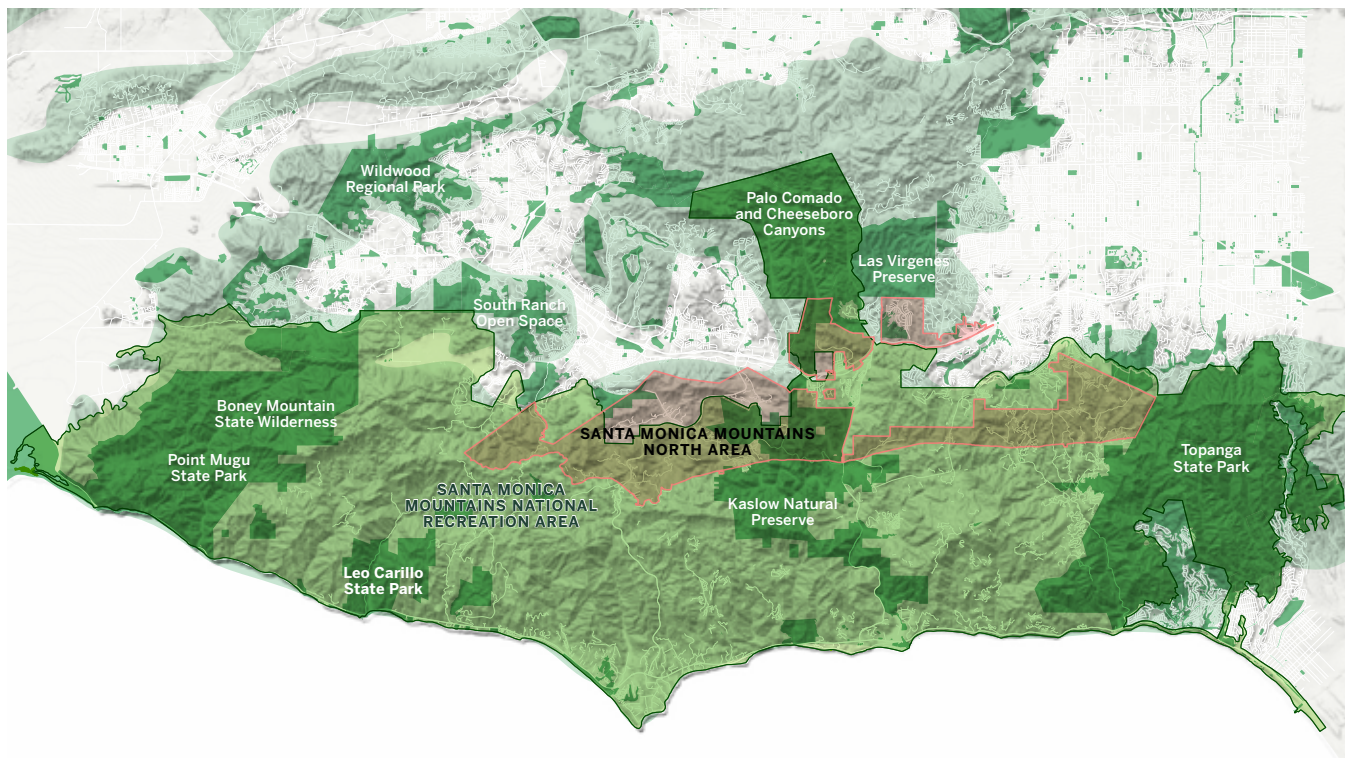


Illustration: Skidmore, Owings & Merrill

GOALS AND POLICIES

Open Space

Goal CO-1:

Preserve open space areas that meet the diverse needs of Los Angeles County.

Policies:

- **CO-1:** Implement programs and policies that enforce the responsible stewardship and preservation of dedicated open space areas.
- **CO-2:** Protect and conserve natural resources, natural areas, and available open spaces.
- **CO-3:** Provide and improve access to dedicated open space and natural areas for all users that considers the protection of sensitive biological resources.
- **CO-4:** Prioritize open space acquisitions for available lands that contain unique ecological features, streams, watersheds, scenic features, habitat types and/or offer linkages that enhance wildlife movements and genetic diversity.
- **CO-5:** Collaborate with public, non-profit, and private organizations to acquire and preserve available land for open space.
- **CO-6:** Require open space easements or deed restrictions as part of development projects on sites containing S1 and S2 habitat in order to ensure that approved building site areas are limited and impacts to sensitive habitat are minimized.
- **CO-7:** When development conditions of approval set aside lands for open space, clearly define the land's intended open space functions and ensure that the management and use of such lands are consistent with those intended open space functions.
- **CO-8:** Depict all public or private parcels set aside as open space through the recordation on title of conservation easements, open space easements and open space deed restrictions as Open Space on the Land Use Policy Map.
- **CO-9:** Require that any new development or improvement is sited and designed so required fuel modification or brush clearance does not encroach into dedicated open space or parkland.
- **CO-10:** Pursue a variety of methods to preserve open space, including fee-simple acquisition, purchase of development rights, land swaps, regulations, or development density and lot retirement incentives. For County, State, and federal funds that may be earmarked for open space, assign high priority to acquiring properties designated on the National Park Service's Land Protection Plan, and to parcels within S1 and S2 habitat areas.
- **CO-11:** Implement legal protections, such as deed restrictions and dedication of open space easements, to ensure designated open space lands are preserved in perpetuity.
- **CO-12:** When accepting open space dedications, prioritize acquisitions to those lands that: contain unique ecological features; protect undeveloped streams, watersheds, woodlands, and grasslands; prevent vegetation clearance or grading of steep areas; help reduce development-induced runoff; and protect existing and approved recreation areas.

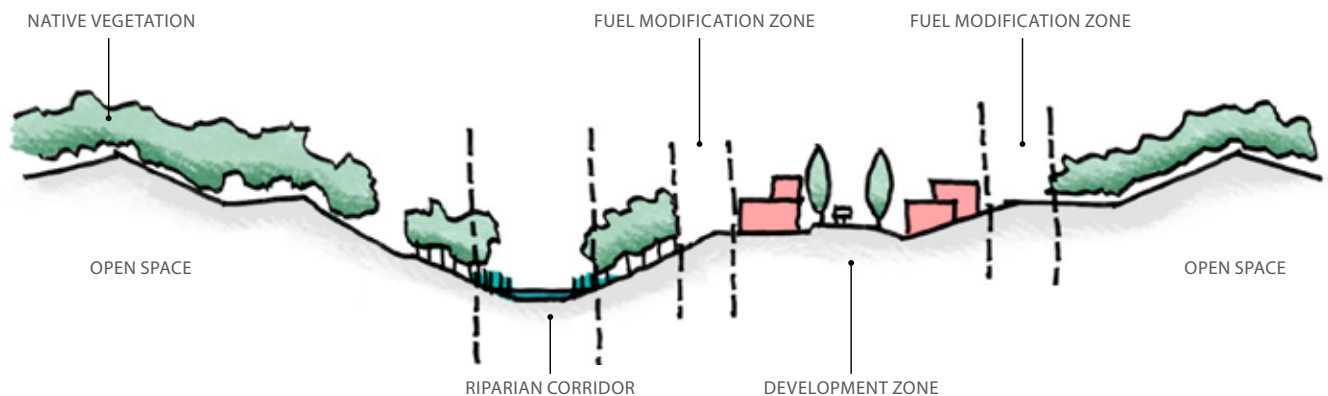


Illustration: Skidmore, Owings & Merrill

BIOLOGICAL RESOURCES

The Santa Monica Mountains are home to a variety of sensitive plants and wildlife, unique geologic features, important wildlife linkages, and aquatic features. Several State and federally listed threatened and endangered species, as well as numerous California Species of Special Concern and rare plants, are known from the North Area, such as Lyon's pentachaeta and the California red-legged frog. There are over 400 species of birds, 23 species of reptiles, 10 species of amphibians, 41 species of mammals, and over 900 species of vascular plants found in the Santa Monica Mountains.

Iconic southern California landscapes such as valley oak savannah, sycamore-lined canyons, volcanic rock outcrops,

and wildflower-rich meadows are found in the North Area, both on and off protected lands. The North Area supports very large blocks of undisturbed open space separating urban development along U.S. Highway 101 from protected open space in the main body of the Santa Monica Mountains and Simi Hills. The North Area Plan seeks to protect these habitats, leaving them relatively undisturbed and their resources intact, while still allowing for responsible development.

All land throughout the North Area has been mapped and assigned a habitat sensitivity ranking. Four habitat categories were created; S1, S2, S3, and S4, to categorize and prioritize the habitat with the North Area. The rankings

TABLE 1: HABITAT CATEGORIES

CATEGORY	SIGNIFICANCE	DESCRIPTION
S1	Distribution Limited, particular rarity, or important function.	<p>S1 habitat consists of areas of the highest biological significance, rarity, or sensitivity. S1 habitat includes alluvial scrub, coastal bluff scrub, dune, native grassland and scrub with a strong component of native grasses or forbs, riparian, native oak, sycamore, walnut and bay woodlands, and rock outcrop habitat types. Wetlands¹, including creeks, streams, marshes, seeps and springs, are also S1 habitat. Coast live and valley oak, sycamore, walnut, and bay woodlands are all included in S1 habitat.</p> <p>S1 habitat also includes populations of plant and animal species (1) listed by the State or Federal government as rare, threatened or endangered, listed by NatureServe as State or Global-ranked 1, 2, or 3, and identified as California Species of Special Concern, and/or (2) California Native Plant Society (CNPS)-listed 1B and 2 plant species², normally associated with S1 habitats, where they are found within S2 or S3 habitat areas.</p>
	Function Lands that support the rarest and most sensitive resources or have important ecosystem function and is worthy of the highest-level conservation.	
	Development Highly restricted.	
S2	Distribution Intact but broadly distributed.	<p>S2 habitat consists of areas of high biological significance, rarity, and sensitivity that are important to the ecological vitality and diversity of the Santa Monica Mountains Mediterranean ecosystem. S2 habitat includes large, contiguous areas of coastal sage scrub and chaparral-dominated habitats.</p> <p>This habitat contains (1) CNDDB-identified rare natural communities; (2) plant and animal species listed by the State or Federal government as rare, threatened, or endangered; listed by NatureServe as State or Global-ranked 1, 2, or 3, and identified as California Species of Special Concern; and/or (3) CNPS-listed 1B and 2 plant species³, normally associated with S2 habitats.</p>
	Function Lands that support intact native vegetation communities, and which may include some rare species but is otherwise adequately conserved in the North Area.	
	Development May occur in areas with S2 habitat provided measures are implemented to avoid, minimize, and mitigate habitat impacts.	

¹ Lands which may be covered periodically or permanently with shallow water and include saltwater marshes, freshwater marshes, open or closed brackish water marshes, swamps, mudflats, and fens. Land where the water table is at, near, or above the land surface long enough to promote the formation of hydric soils or to support the growth of hydrophytes, and shall also include those types of wetlands where vegetation is lacking and soil is poorly developed or absent as a result of frequent and drastic fluctuations of surface water levels, water flow, turbidity or high concentrations of salts or other substances in the substrate. Such wetlands can be recognized by the presence of surface water or saturated substrate at some time during each year and their location within, or adjacent to vegetated wetlands or deep-water habitats.

² All of these particular categories of listed species are maintained in the California Department of Fish and Wildlife (CDFW) / California Natural Diversity Database (CNDDDB), which is an information clearinghouse for lists of rare plant and animal species and rare natural communities.

³ Ibid

are based on the distribution, rarity, and habitat function of the habitat found in each category. The habitat categories are described in Table 1.

The habitat categories are mapped on the Biological Resources Map (Figure 2) and is to be used as a reference to depict the general distribution of habitat categories; however, the precise boundaries and existence of the various habitat categories shall be determined on a site-specific basis based on substantial evidence and a site-specific biological inventory and/or assessment.

This North Area Plan contains a procedure, as enumerated in Policy CO-18, to both confirm the habitat types and locations depicted on the map and on the basis of substantial

evidence establish the appropriate habitat category. Any area not designated as a habitat category on the Biological Resources Map that meets the criteria of a habitat category shall be accorded all the protection provided for that habitat category in the North Area Plan.

The habitat categories as depicted on the Biological Resources Map may be adjusted based upon substantial biological evidence and independent review by the Department Biologist as set forth in this element. Based on substantial evidence, a resource on any site may be classified or reclassified from one category to a higher or lower category. Where the County finds that the physical extent of habitats on a project site is different than those indicated on the Biological Resources Map, the County shall maintain

TABLE 1: HABITAT CATEGORIES *(continued from previous page)*

CATEGORY	SIGNIFICANCE	DESCRIPTION
S3	Distribution Disturbed, non-native, and cleared.	S3 habitat consists of areas that would otherwise be designated as S2 habitat, but the native vegetation communities have been significantly disturbed or removed as part of lawfully established development. This category also includes areas of native vegetation that are not significantly disturbed and would otherwise be categorized as S2 habitat, but have been substantially fragmented or isolated by existing, legal development and are no longer connected to large, contiguous areas of coastal sage scrub and/or chaparral-dominated habitats. This category includes lawfully developed areas and lawfully disturbed areas dominated by non-native plants such as disturbed roadside slopes, stands of non-native trees and grasses, and fuel modification areas around existing development (unless established illegally in an S2 or S1 area). This category further includes isolated and/or disturbed stands of native tree species (oak, sycamore, walnut, and bay) that do not form a larger woodland or savannah habitat. While S3 habitat does not constitute a biological resource area, these habitats provide important biological functions that warrant specific development standards for the siting and design of new development.
	Function Lands that support non-native and ruderal vegetation and have disturbed or cleared habitat that are expected to have lower habitat function than other natural lands.	
	Development Less restricted	
S4	Distribution Developed and agricultural lands	S4 habitat consists of developed or paved land that was permitted as part of a lawfully established development. While S4 habitat does not constitute a biological resource area, these habitats may provide important biological functions that warrant specific development standards for the siting and design of new development.
	Function Lands that support existing residential or commercial development, other facilities, or agricultural practices.	
	Development Least restricted	

documentation with detailed justification for any classification or reclassification of habitat categories at the project site based on substantial evidence. Where the County finds that the physical extent of habitats on a project site is different than those indicated on the Biological Resources Map, the Biological Resources Map shall be modified accordingly as part of a map update.

GOALS AND POLICIES

Biological Resources

Goal CO-2:

An environment that supports significant animal and plant communities in an undisturbed condition and retains the greatest possible protection in the North Area.

Policies:

- **CO-13:** Protect sensitive habitats by collaborating with entities such as County departments, homeowner associations and other groups to balance between land use, sensitive ecological areas (SEAs), wildlife connectivity, and emergency responses.
- **CO-14:** Allow for maximum wildlife connectivity and habitat linkages throughout the North Area. All feasible strategies shall be explored to protect these areas from disturbance including purchasing open space lands, retiring development rights, clustering development to increase the amount of preserved open space, restricting the design and location of fencing, requiring the dedication of open space conservation easements, and minimizing removal of native vegetation.
- **CO-15:** The most biologically significant areas are designated S1 habitat and S2 habitat and shall be subject to strict land use protections and regulations.
- **CO-16:** Land uses S1 and S2 habitats shall only be allowed where they are sited and designed to avoid significant disruption of habitat values, consistent with the policies of the North Area Plan. All development shall be sited to avoid or minimize impacts to S1 and S2 habitat to the maximum extent feasible. Measures, including but not limited to signage, placement of boardwalks, utilizing established trail corridors, following natural contours to minimize grading, and limited fencing shall be implemented as necessary to protect S1 and S2 habitat.
- **CO-17:** New development shall be sited in a manner that avoids the most biologically sensitive habitat onsite where feasible, while not conflicting with other North Area Plan policies. Priority shall be given to siting development in S4 habitat. If infeasible, priority shall be given to siting new development in S3 habitat. If it is infeasible to site development in S4 or S3 habitat areas, development may be sited in S2 habitat if it is consistent with the specific limitations and standards for development in S2 habitat and all other provisions of the North Area Plan. If it is infeasible to site development in S4, S3, and S2 habitat areas, development may be sited, as a last option, in S1 habitat if

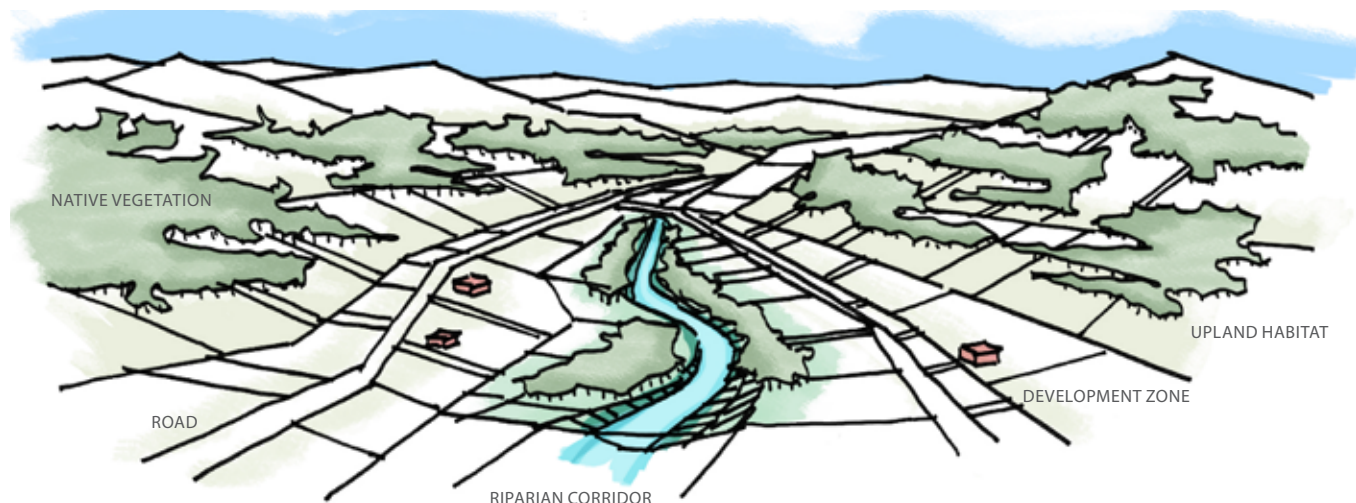


Illustration: Skidmore, Owings & Merrill

it is consistent with the specific limitations and standards for development in S1 habitat and all other provisions of the North Area Plan.

- **C0-18:** Emphasize the protection of habitat:
 - a. Preserve, protect, and enhance habitat linkages through limitations in the type and intensity of development and preservation of riparian corridors.
 - b. Place primary emphasis on preserving large, unbroken blocks of undisturbed natural open space and wildlife habitat areas. As part of this emphasis, all feasible strategies shall be explored to protect these areas from disturbance. Such strategies include, but are not limited to, purchasing open space lands, retiring development rights, clustering development to increase the amount of preserved open space, siting development near existing roads and structures, requiring the dedication of open space conservation easements in all permits that include approval of structures within S1 or S2 habitat, and minimizing grading and the removal of native vegetation.

- **C0-19:** Open space conservation easements and dedications shall be utilized, where required or offered, to ensure the preservation of habitats and habitat linkages. The receiving agency shall be a qualified public agency or land conservation agency with the ability to manage, preserve, or enhance park and open space lands. Financing for the long-term maintenance of such areas should be considered through endowments, assessments, or other public funding mechanisms.
- **C0-20:** Encourage the permanent preservation of lands with greater than 50 percent slope as open space, preferably through open space dedications to a public agency or a public land conservation agency which has the authority to manage, preserve, or enhance park and open space lands, or, secondarily, through effective easements.
- **C0-21:** Use primarily locally indigenous plant species in landscape areas within Fuel Modification Zones A and B of structure(s) requiring fuel modification. Non-locally indigenous plants and gardens that are not invasive may be allowed within the building site area and in Fuel Modification Zones A and B, with associated irrigation, provided that the species are consistent with Fire Department requirements and all efforts are made to conserve water.

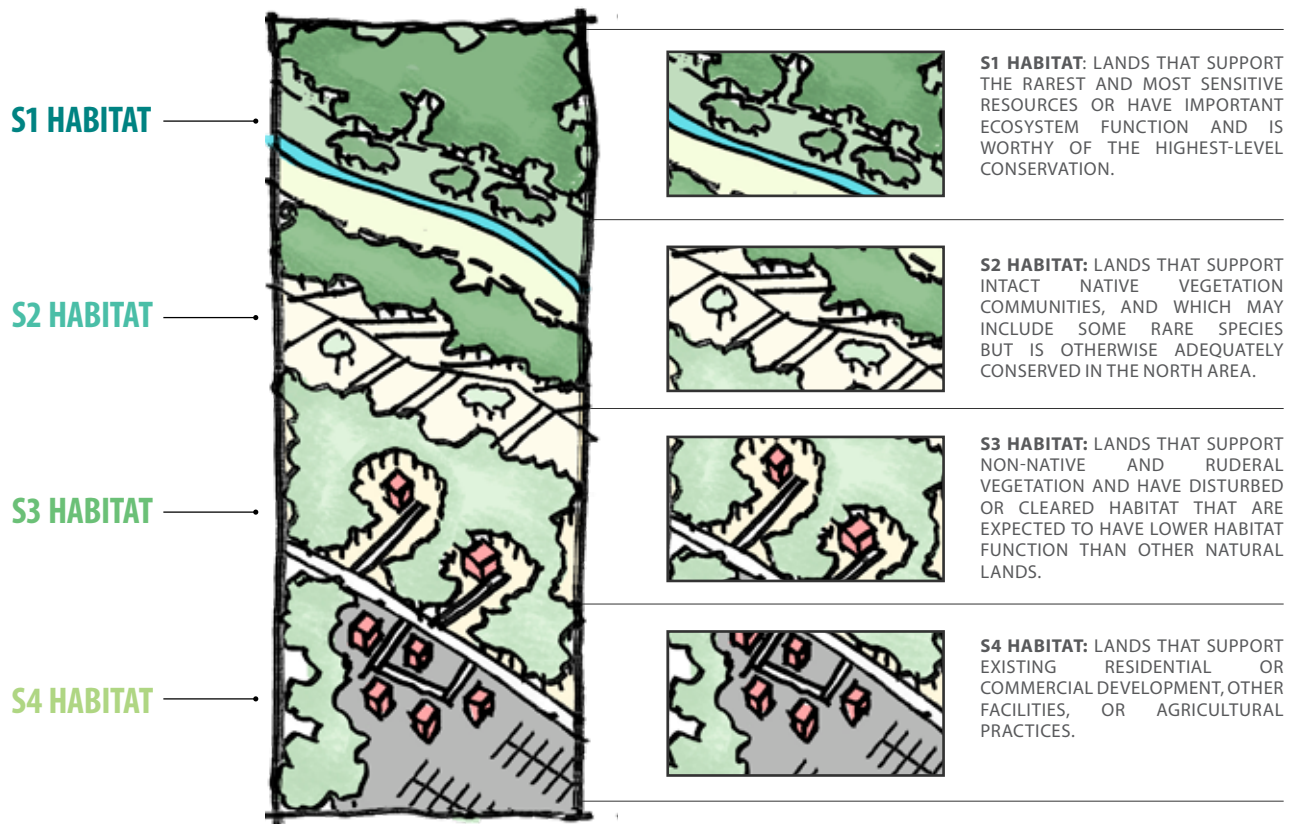
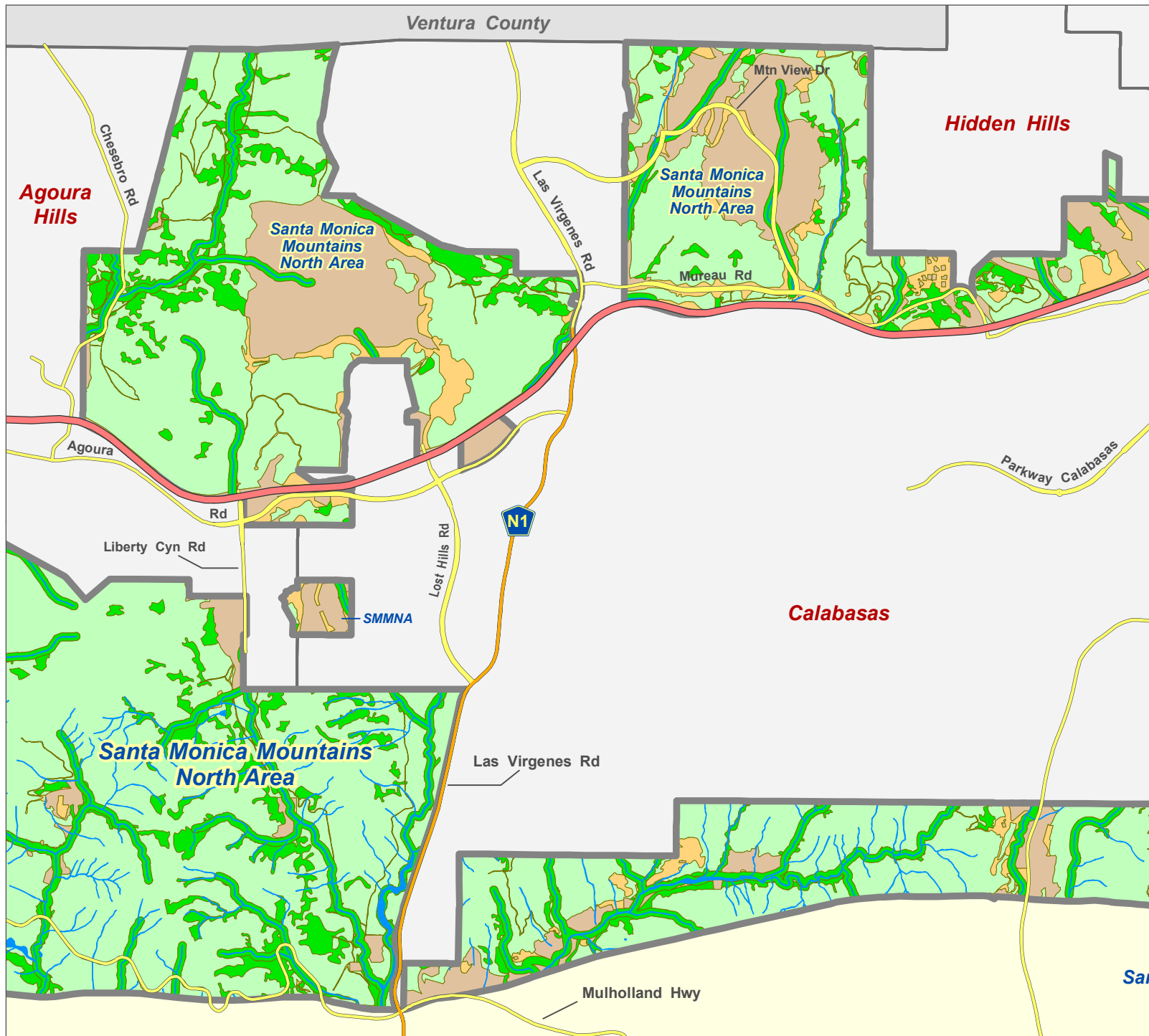







Illustration: Skidmore, Owings & Merrill

Santa Monica Mountains North Area



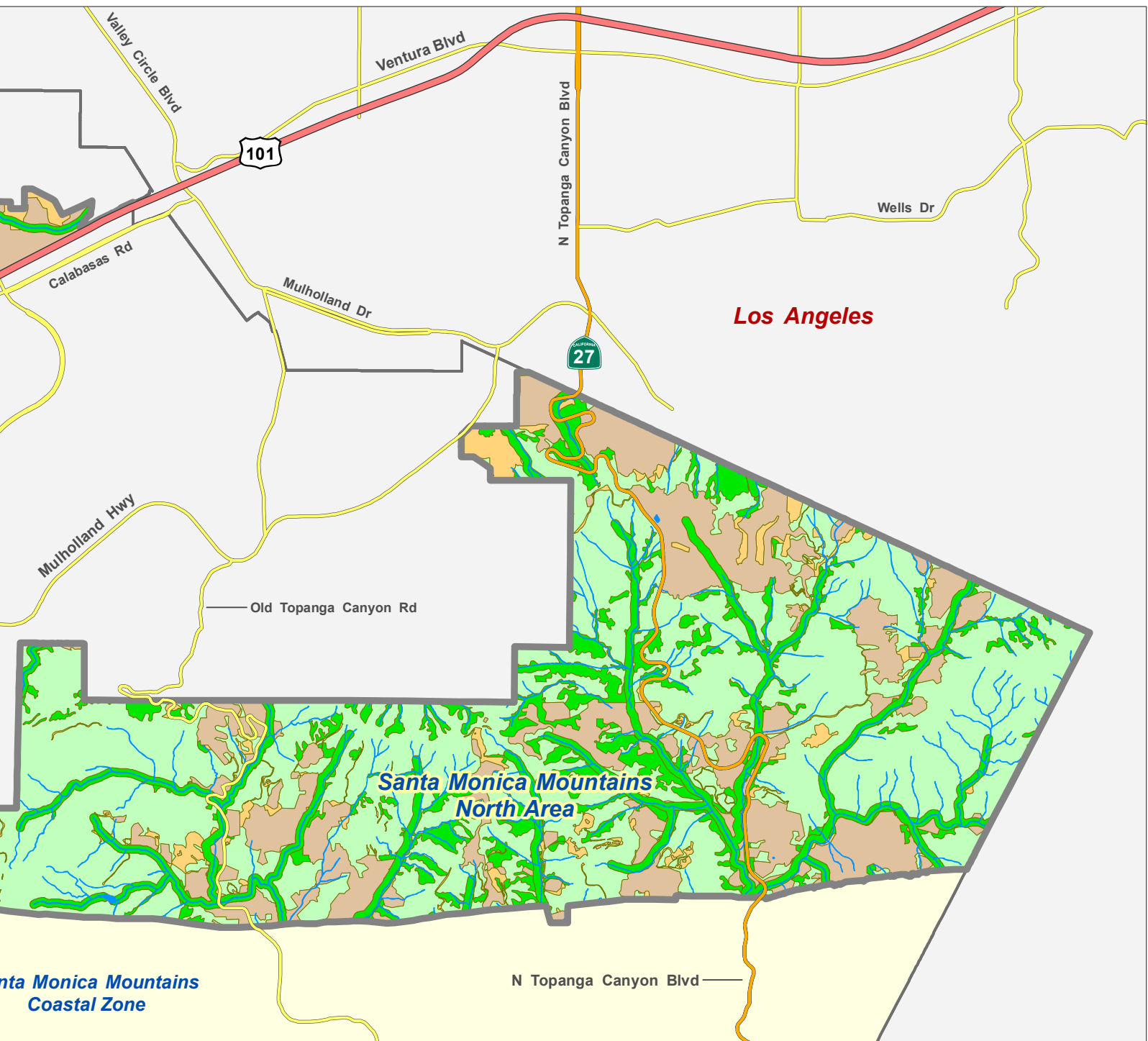
Biological Resources

-  Water Body (from National Wetlands Inventory)
-  Vegetation Sensitivity - S1
-  Vegetation Sensitivity - S2
-  Vegetation Sensitivity - S3
-  Vegetation Sensitivity - S4

Base Layers

-  Major Road
-  Highway
-  Freeway
-  Other Unincorporated Area
-  Incorporated City

**Figure 2:
Biological Resources (Eastern Portion)**

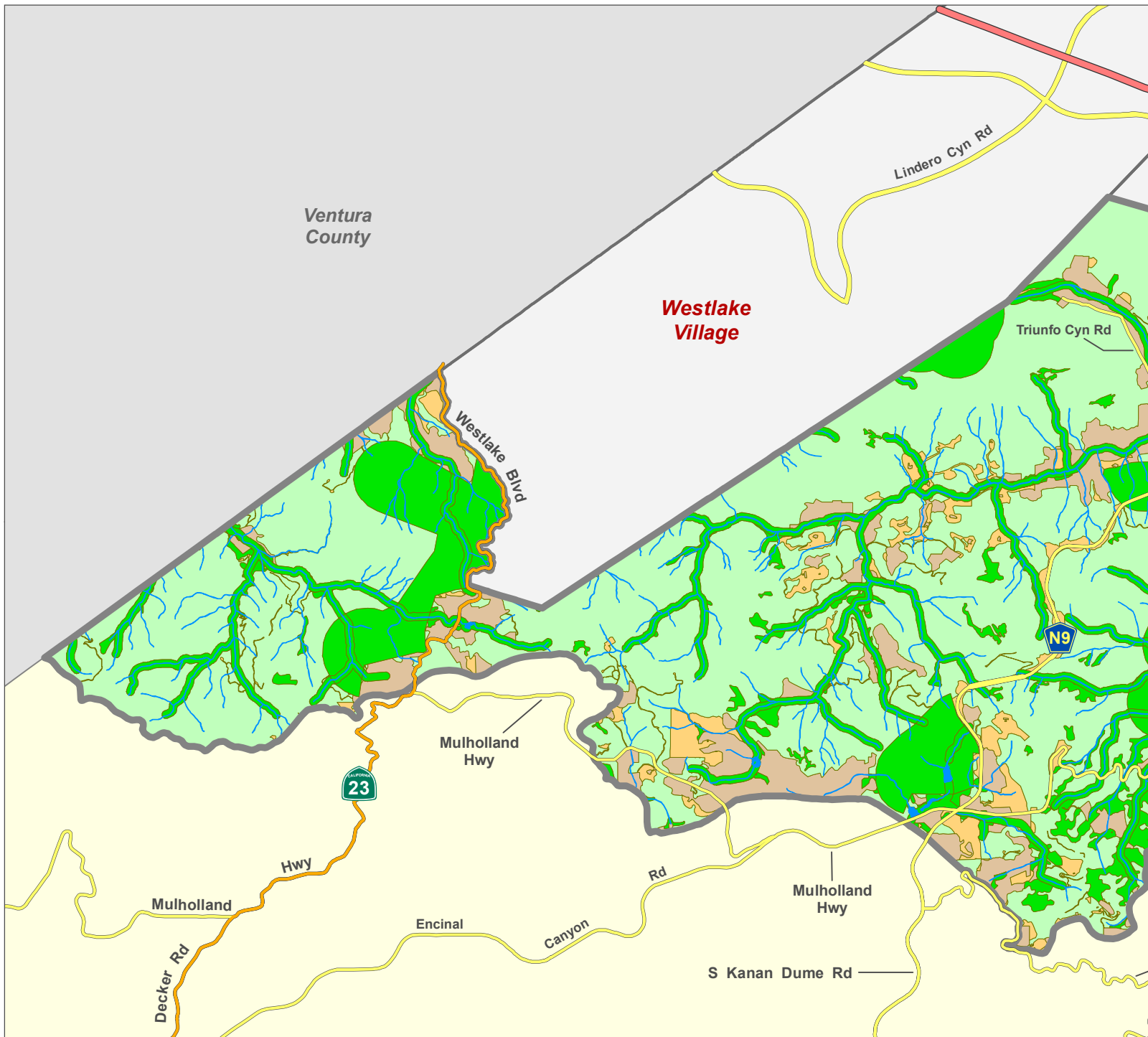


LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple St.
Los Angeles, CA 90012








Prepared by DRP GIS Section / October 2019

Santa Monica Mountains North Area



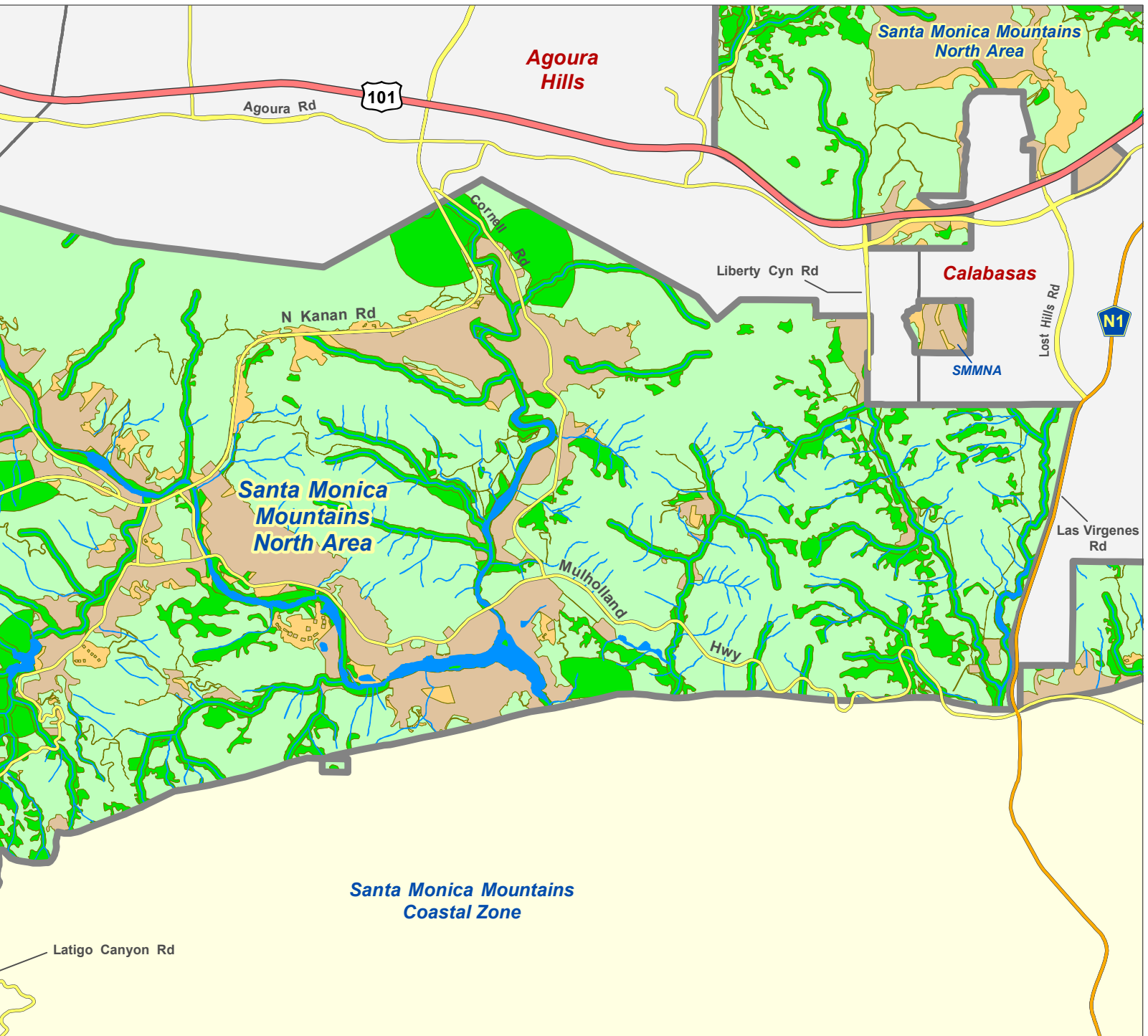
Biological Resources

-  Water Body (from National Wetlands Inventory)
-  Vegetation Sensitivity - S1
-  Vegetation Sensitivity - S2
-  Vegetation Sensitivity - S3
-  Vegetation Sensitivity - S4

Base Layers

-  Major Road
-  Highway
-  Freeway
-  Other Unincorporated Area
-  Incorporated City

**Figure 2:
Biological Resources (Western Portion)**



LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple St.
Los Angeles, CA 90012



Prepared by DRP GIS Section / October 2019

Invasive plants are strictly prohibited. The removal or trimming, thinning or other reduction of natural vegetation, including locally indigenous vegetation, is prohibited except when required for construction of an approved development and/or for compliance with fuel modification requirements for approved or lawfully existing development. Los Angeles County will work with organizations, homeowners, and park agencies on educational programs to reduce the spread of invasive plant species within the Santa Monica Mountains.

- **C0-22:** New development adjoining parklands shall be sited and designed to minimize impacts to habitat and recreational opportunities to the maximum extent feasible. Natural vegetation buffer areas to be provided around parklands.
- **C0-23:** New development in wetlands shall be restricted to the following three uses: (1) wetlands-related scientific research and educational uses; (2) incidental public service purposes, including burying cables and pipes or inspection of piers and maintenance of existing intake and outfall

lines; and (3) wetland restoration projects. These uses are only permitted where it has been demonstrated that there is no feasible less environmentally damaging alternative and adverse environmental effects are mitigated.

- **C0-24:** All new development shall be sited and designed to avoid, minimize, or mitigate required fuel modification and brush removal's habitat disturbance or destruction, removal or modification of natural vegetation, and irrigation of natural areas.
- **C0-25:** When impacts to S1 and S2 habitat are unavoidable, mitigate habitat impacts through preservation mechanisms including permanent on-site deed restriction, dedication of land to a state or federal conservation agency, conservation easement, restrictive covenant, or conservation in-lieu fees.
- **C0-26:** Where multiple habitat protection policies are applicable, the policy that is most restrictive and protective of the habitat resource shall regulate development.

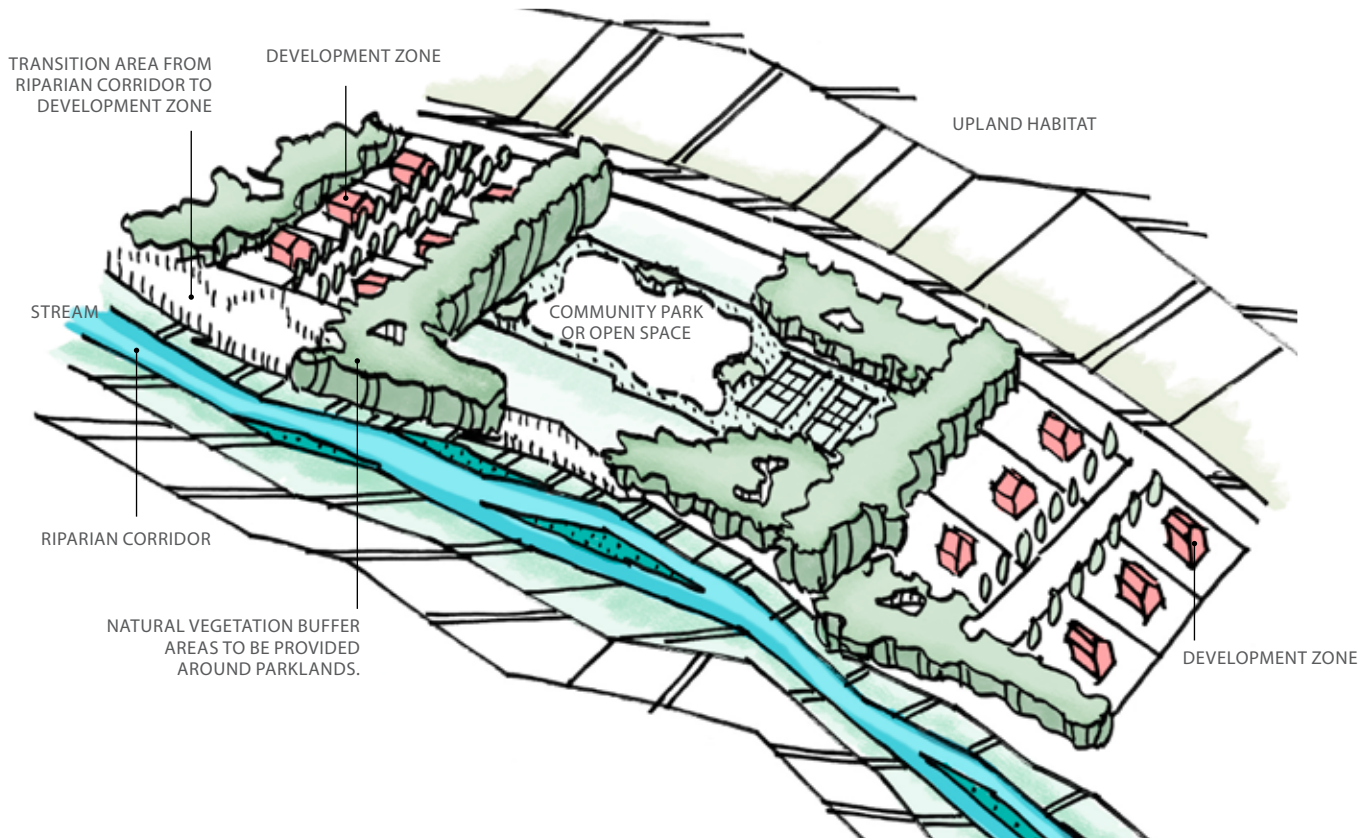


Illustration: Skidmore, Owings & Merrill

- **C0-27:** Cluster new development to the maximum extent feasible and locate as close as possible to existing roadways, services and other developments to minimize impacts to biological resources and removal of native vegetation.
- **C0-28:** Minimize the increase in run-off and erosion from properties into the watershed that results in downstream pollution and increased size of flood plains in coastal lagoons.
- **C0-29:** Promote infiltration of stormwater – onsite wherever possible – where it will not exacerbate geologic hazards through the incorporation of BMPs.
- **C0-30:** Outdoor lighting shall be fully shielded and directed away from biological resources, open space, and other sensitive receptors.

WATER QUALITY

Public health and the quality of biological resources rely heavily upon the quality of water that flows from the watersheds within the Santa Monica Mountains. The healthy functioning of these watersheds is in turn dependent upon the development patterns and types of uses occurring within them. The major watersheds within the North Area are:

- **Malibu Creek (including Las Virgenes Creek and Medea Creek)**
- **Arroyo Calabasas**
- **Topanga Canyon**
- **Las Trancas Creek**
- **Zuma Creek**
- **Los Alisos Creek**

These major watersheds feed both the Pacific Ocean (via Santa Monica Bay) and the Los Angeles River as well as the numerous riparian corridors which are such significant features in the area. The largest watershed in the area is the Malibu Creek Watershed, which has an area of 105 square miles and contains a total of 225 stream segments. Malibu Creek drains the north slopes of the Santa Monica Mountains, the south slopes of the Simi Hills, the interior valleys between the two ranges, and Malibu Canyon.

Given their distinctive location adjacent to the dense urban areas of Los Angeles County, the Santa Monica Mountains offer a variety of resources to the region. They provide scenic vistas and rural experiences to hikers, equestrians, and

motorists; they are also considered by some to be a desirable place to build homes and ranches. However, anthropogenic activity may have deleterious effects on water quality. A recent report by the California RWQCB finds that beneficial uses of water in various locations and at different times of year in the Santa Monica Mountains are impacted by nutrients, pathogens, toxics, trash, and sediment. Beaches, which are popular for recreation, are similarly impaired.

Much of the Santa Monica Mountains is served by onsite wastewater treatment systems (OWTS). Some developments are served by approved small package treatment plants. Many of the private systems employ state-of-the-art technology, but some failures have been reported in older systems. Failures of OWTS can adversely impair water quality, human health, and biological communities in the surrounding watershed.

The majority of new development is expected to either occur in concentrated locations or in very low-density settings. The Los Angeles Region RWQCB recognizes the potentially serious impacts of development on water quality. Mitigation requirements in the National Pollutant Discharge Elimination System (NPDES) Municipal Separate Storm Sewer System Discharge permit provide measures for reducing polluted runoff. These regulations regarding stormwater mitigation adopted by RWQCB for the coastal watersheds of Los Angeles County establish rigorous requirements, implemented and enforced, with oversight from the RWQCB, by each city or by the Los Angeles County Flood Control District in the unincorporated areas.

The RWQCB requirements apply to much of the Santa Monica Mountains and provide water quality protections that address grading activities, use of locally indigenous vegetation, clustering development, preventing erosion, and constructing retention basins. These regulations require that stormwater runoff mitigation measures, known as “Best Management Practices” (BMPs), be employed to the maximum extent practicable to minimize water quality impacts.

Because the Santa Monica Mountains are an especially sensitive resource, impairment of water quality may have serious consequences and should be properly managed. The following policies are intended to provide area-sensitive measures that supplement the waste discharge requirements established by the Los Angeles Region RWQCB.

GOALS AND POLICIES

Water Quality

Goal C0-3:

Maintain and restore biological productivity and water quality appropriate to maintain optimum populations of aquatic organisms and to protect human health.

Goal C0-4:

Protect watersheds from impacts due to development, recreational, or agricultural uses.

Policies:

- **C0-31:** Support and participate in watershed-based planning efforts with the Los Angeles Region RWQCB and upstream and downstream cities.
- **C0-32:** Site, design, and manage new development and improvements, including – but not limited to – landscaping, to protect waters from non-point source pollution by minimizing the introduction of pollutants in runoff and minimizing increases in runoff rate and volume. Review new development and improvements for potential degradation of water quality, and ensure that they meet the requirements of the NPDES Municipal Stormwater Permit's Low Impact Development (LID) Requirement.
- **C0-33:** To reduce runoff and erosion and provide long-term, post-construction water quality protection in all physical development, prioritize the use of BMPs in the following order: 1) Site design BMPs; 2) Source control BMPs; and 3) Treatment control BMPs. When the combination of site design and source control BMPs is not sufficient to protect water quality, require treatment control BMPs, in addition to site design and source control measures. Design, construct, and maintain any required treatment control BMPs (or suites of BMPs) so that they treat, infiltrate, or filter the amount of stormwater runoff produced by all storms up to and including the 85th percentile, 24-hour storm event for volume-based BMPs, and/or the 85th percentile, one-hour storm event (with an appropriate safety factor of two or greater) for flow-based BMPs.
- **C0-34:** Prioritize the use of LID in project design to preserve the natural hydrologic cycle and minimize increases in stormwater or dry weather flows.
- **C0-35:** Minimize impervious surfaces in new development, especially directly connected impervious areas. Require redevelopment projects to increase the area of pervious surfaces, where feasible.
- **C0-36:** Infiltrate development runoff on-site, where feasible, to preserve or restore the natural hydrologic cycle and minimize increases in stormwater or dry weather flows.
- **C0-37:** Require development to protect the absorption, purification, and retention functions of natural drainage systems that exist on the site. Where feasible, site and design development, including drainage, to complement and utilize existing drainage patterns and systems, conveying drainage from the developed area of the site in a non-erosive manner. Disturbed or degraded natural drainage systems should be restored where feasible.
- **C0-38:** Protect water quality by limiting maximum potential buildout in sensitive watersheds, including adjacent to the following waterways:
 - **Medea Creek**
 - **Palo Comado Canyon**
 - **Lindero Creek**
 - **Stokes Creek**
 - **Triunfo Creek**
 - **Cold Creek**
 - **Malibu Creek**
 - **Las Virgenes Canyon**
 - **Potrero Valley**
 - **Lower Topanga Canyon**
- **C0-39:** Cooperate with local and State transportation agencies to implement BMPs that promote infiltration of runoff from roads and highways and minimize urban runoff flows into streams and creeks.
- **C0-40:** Manage the temporary storage of construction materials for public projects or landslide material on road shoulders using the most current BMPs to eliminate erosion into adjacent drainage courses, to protect air and

water quality, and to minimize the spread of invasive plant species. Ensure that landslide material is deposited in permitted landfills or sites with valid permits to accept fill.

- **C0-41:** Limit grading, soil compaction and removal of locally indigenous vegetation to the minimum footprint needed to create a building site, allow access, and provide fire protection for the proposed development. Monitor grading projects to ensure that grading conforms to approved plans.
- **C0-42:** Revegetate prior to the rainy season areas disturbed by development activity. Use locally indigenous plant species outside of Fuel Modification Zone A and prohibit non-native invasive species, balancing long-term slope stability and habitat restoration with reduced fuel loads for fire protection.
- **C0-43:** Prevent the disposal of animal waste, wastewater, and any other byproducts of human, crop-based agricultural or equestrian activities in or near any drainage course or S1 habitat area.
- **C0-44:** Require confined animal facilities and agricultural activities to utilize BMPs to minimize erosion and avoid sediment and pollutant impacts. For all development, require the ongoing maintenance of all design features used to mitigate stormwater runoff.
- **C0-45:** The use of reclaimed water for any approved agricultural use is required where feasible.
- **C0-46:** Ensure that animal containment facilities are sited and designed to manage, contain, and dispose of animal waste using the most effective BMPs to minimize waste introduced to surface runoff or groundwater.
- **C0-47:** Prohibit non-emergency earthmoving operations during the rainy season (extending from October 15 to April 15). Approved grading shall not be commenced unless there is sufficient time to complete grading operations before the rainy season. If grading operations are not completed before the rainy season begins, grading shall be halted and temporary erosion control measures shall be put into place to minimize erosion until grading resumes after April 15, unless the County determines that completion of grading would be more protective of

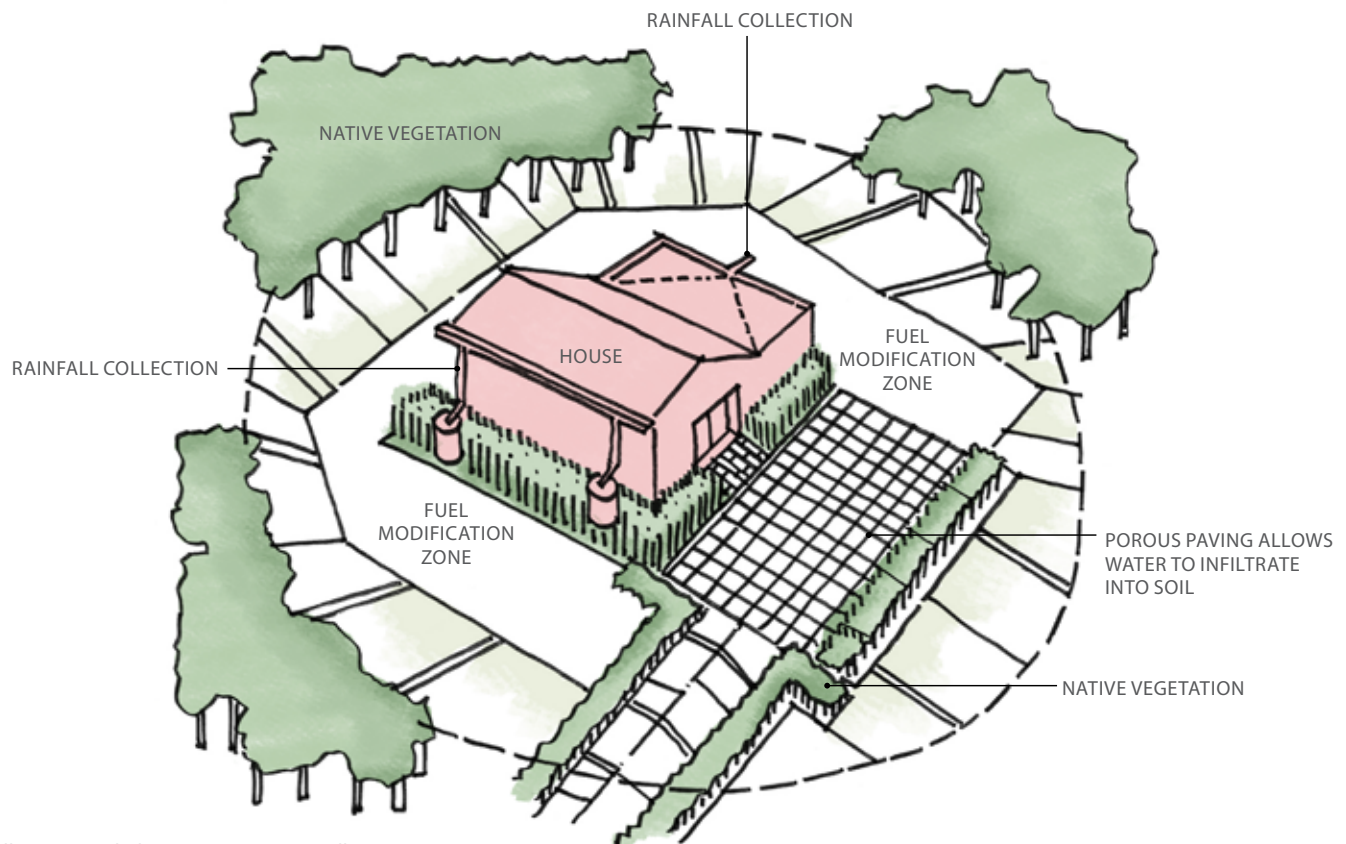


Illustration: Skidmore, Owings & Merrill

sensitive environmental resources and would minimize erosion and sedimentation. Erosion control measures shall be required for any ongoing grading project or any completed grading project that is still undeveloped.

- **C0-48:** Grading during the rainy season may be permitted to remediate hazardous geologic conditions that endanger public health and safety.
- **C0-49:** Minimize the land disturbance activities of construction (e.g., clearing and grading), especially in erosive areas (including steep slopes, unstable areas, and erosive soils), to avoid detrimental water quality impacts caused by increased erosion or sedimentation. Use soil stabilization BMPs on disturbed areas.
- **C0-50:** Natural vegetation buffer areas that protect riparian habitats shall be maintained. Buffers shall function as transitional habitat and provide a separation from developed areas to minimize adverse impacts. Buffers shall be of a sufficient size to ensure the biological integrity and preservation of the riparian habitat.
- **C0-51:** Permit construction of new water wells only where they will not have significant adverse individual or cumulative impacts on groundwater, streams, or natural resources. For a well location in close proximity of a stream, drainage courses, and similar surface water conveyance, a groundwater assessment must be performed by a qualified professional to ensure surface water will not adversely impact groundwater quality.
- **C0-52:** Access for geologic testing (or percolation or well testing) shall use existing roads or truck-mounted drill rigs where feasible. Where there is no feasible access, a temporary access road may be permitted when it is designed to minimize length, width and total grading to only that necessary to accommodate required equipment. All such temporary roads shall be restored to the maximum extent feasible, through grading to original contours, revegetating with native plant species indigenous to the project site, and monitoring to ensure successful restoration. All percolation testing shall take place out of any future planned road access.

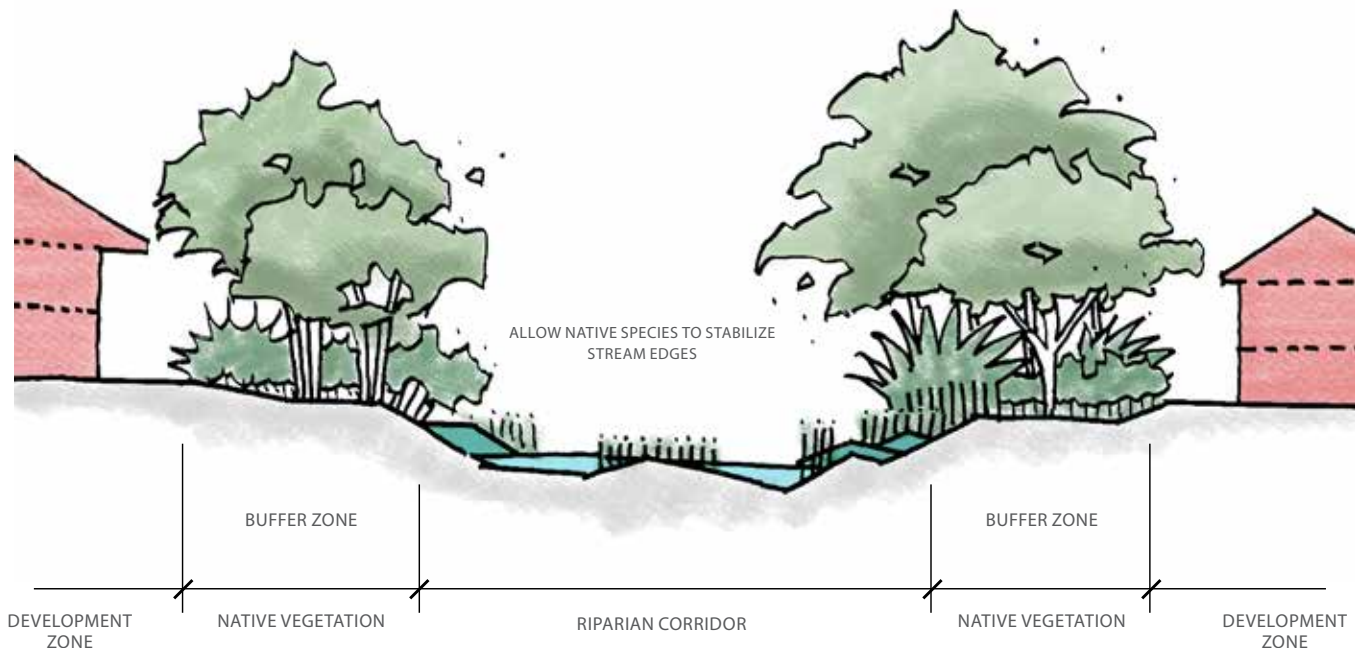


Illustration: Skidmore, Owings & Merrill

- **C0-53:** Use LID approaches in project design to preserve the natural hydrologic cycle and minimize increases in stormwater of dry weather flows.
- **C0-54:** Prohibit the use of hauled water as a source of potable water for new development.
- **C0-55:** Participate in the development and implementation of solutions to problems associated with OWTS and their impact on water quality.
- **C0-56:** Prohibit development of rural areas where established standards by the County and RWQCB cannot be met, such that the cumulative effect of OWTS will negatively impact the environment, either by stream pollution or by contributing to the potential failure of unstable soils.
- **C0-57:** In areas with constraints to OWTS, including but not limited to, substandard, antiquated subdivisions, and geologic hazard areas, the County Departments of Public Health and Public Works may permit innovative and alternative methods of wastewater treatment and disposal provided that installation, operation, and maintenance of such systems minimize impacts to public health, water quality, and natural resources, and are acceptable to the County and to the RWQCB.
- **C0-58:** Site new OWTS and require them to be designed so that impacts to sensitive environmental resources are minimized, including grading, site disturbance, and the introduction of increased amounts of water. Adequate setbacks and/or buffers shall be required to protect S1 habitat area, native trees, and surface waters from lateral seepage from the sewage effluent dispersal systems and to protect the OWTS from flooding and inundation.
- **C0-59:** Channelizations or other substantial alterations of streams shall be prohibited except for: (1) Necessary water supply projects where no feasible alternative exists; (2) Flood protection for existing development where there is no other feasible alternative, as approved by the Director of Los Angeles County Department of Public Works or Chief Engineer of the Los Angeles County Flood Control District or his/her designee; or (3) The improvement of fish and wildlife habitat. Any channelization or stream alteration permitted for one of these three purposes shall minimize the depletion of groundwater, shall include maximum feasible mitigation measures to mitigate unavoidable

impacts, and must be evaluated for potential impacts to flood levels as to comply with Title 44, Code of Federal Regulations Section 60.3, and Title 20, Section 20.94.040 of the County Code. Bioengineering alternatives shall be preferred for flood protection over "hard" solutions such as concrete or riprap channels.

- **C0-60:** Alteration of natural streams for the purpose of creating stream road crossings shall be prohibited unless there is no other feasible alternative to provide access to public recreation areas or lawfully established development on legal parcels, and the stream crossing is accomplished by bridging. Bridge columns shall be located outside streambeds and banks. Wherever possible, shared bridges shall be used for providing access to multiple home sites. Culverts may be utilized for the crossing of minor drainages lacking beds and banks and riparian vegetation and where the culvert is sized and designed to not restrict movement of fish or other aquatic wildlife. An in-stream road crossing, such as an "Arizona crossing", shall be modified to a soft-bottom crossing or replaced by a bridge, consistent with Fire Department requirements, when major maintenance or repair activities on the crossing are undertaken. groundwater assessment must be performed by a qualified professional to ensure surface water will not adversely impact groundwater quality.

TREE PROTECTIONS

Trees are an integral part of the ecosystem throughout the Santa Monica Mountains. The North Area is home to oak woodlands and riparian woodlands that provide valuable habitat for various plant and animal species. Riparian woodlands that line streams and other water sources contain trees such as sycamores, cottonwoods, bigleaf maple, white alder, and bay trees. Coast live oak woodlands have a protective canopy that allows ferns and shrubs to thrive underneath.

In addition to the ecosystem services that trees provide in wildlands, they are also valuable resources in developed areas. Animals such as birds and small mammals rely on trees in both wild and developed areas for habitat. Trees in developed areas also help mitigate the urban heat island effect that is produced from an overconcentration of developed and paved surfaces. In addition, tree roots help prevent erosion and therefore the removal of trees can leave areas more vulnerable to landslides and other hazards.

GOALS AND POLICIES

Tree Protections

Goal CO-5:

Preserve tree populations throughout the North Area, including native trees and trees of historic value.

Policies:

- **CO-61:** Provide protections for trees that are native to the Santa Monica Mountains, including limiting removal of native trees when feasible.
- **CO-62:** When native trees must be removed, require the planting of new native trees should be required as mitigation as a condition of approval.
- **CO-63:** Work with agencies including County Fire and County Agricultural Commissioner to ensure proper fire buffers through brush clearance and fuel modification in new and infill development.
- **CO-64:** Monitor the spread of infectious diseases and pests to native and non-native trees in the Santa Monica Mountains in order to protect and preserve tree populations that could be affected.
- **CO-65:** Emergency tree removals and brush clearance should be performed only when necessary for the health of woodlands and to prevent immediate hazards to human health or personal property.
- **CO-66:** Preserve mature native trees by siting and designing development in a manner that prevents encroachment into the protected zone of native trees.
- **CO-67:** Protect non-native trees that have high habitat or historic value.

HILLSIDE MANAGEMENT

Along with their supporting vegetation, the bold open ridges, deep canyons, rolling hills, and interior valleys of the area provide the basis for the natural beauty of the Santa Monica Mountains and the communities along the Ventura Freeway. A large portion of the area, and nearly all of the land that has not been committed to either development or long-term open space, consists of steep slopes in excess of 25 percent grade. Level topographic areas comprise only a small portion of the total land area. The natural hillsides remaining within the area are a significant biological and visual resource, and a key factor in the character of the area's communities.

Several significant topographical features are present within the region. To the south of Agoura Road at Kanan Road is Ladyface Ridge, identified as 'one of the most prominent land-forms in the area.' The portion of the Simi Hills immediately west of Las Virgenes Road is among the most visually prominent features visible from the freeway, providing the first visual impression of the area to drivers traveling from the San Fernando Valley. Just north of Malibu Lake, in the southcentral region of the study area, is Sugar Loaf, a landmark peak that is partially within the Paramount Ranch portion of the Santa Monica Mountains National Recreation Area. Saddle Rock and Turtle Rock are prominent rock formations, located near the National Park Service's Rocky Oaks site. In addition, a large section (mostly the northern section) of the Mulholland Highway Scenic Corridor is located in the southern portion of the study area; buffers needed to protect this area extend north along Las Virgenes Creek to the Ventura Freeway.

While hillside areas are a notable asset of the region and worthy of sensitive treatment for their scenic and biotic values, they also require careful management to protect the quality of stream, ground and coastal waters – both within the planning area as well as downstream, all the way to the ocean waters along the Malibu coast. Grading, development, revegetation and equestrian and other specific use activities may all result in changes to the amount and quality of water runoff in these areas. Actions that may either directly or indirectly impact natural drainages and alter stormwater runoff are factors to be considered when evaluating the impacts of human intrusion into hillside areas.

GOALS AND POLICIES

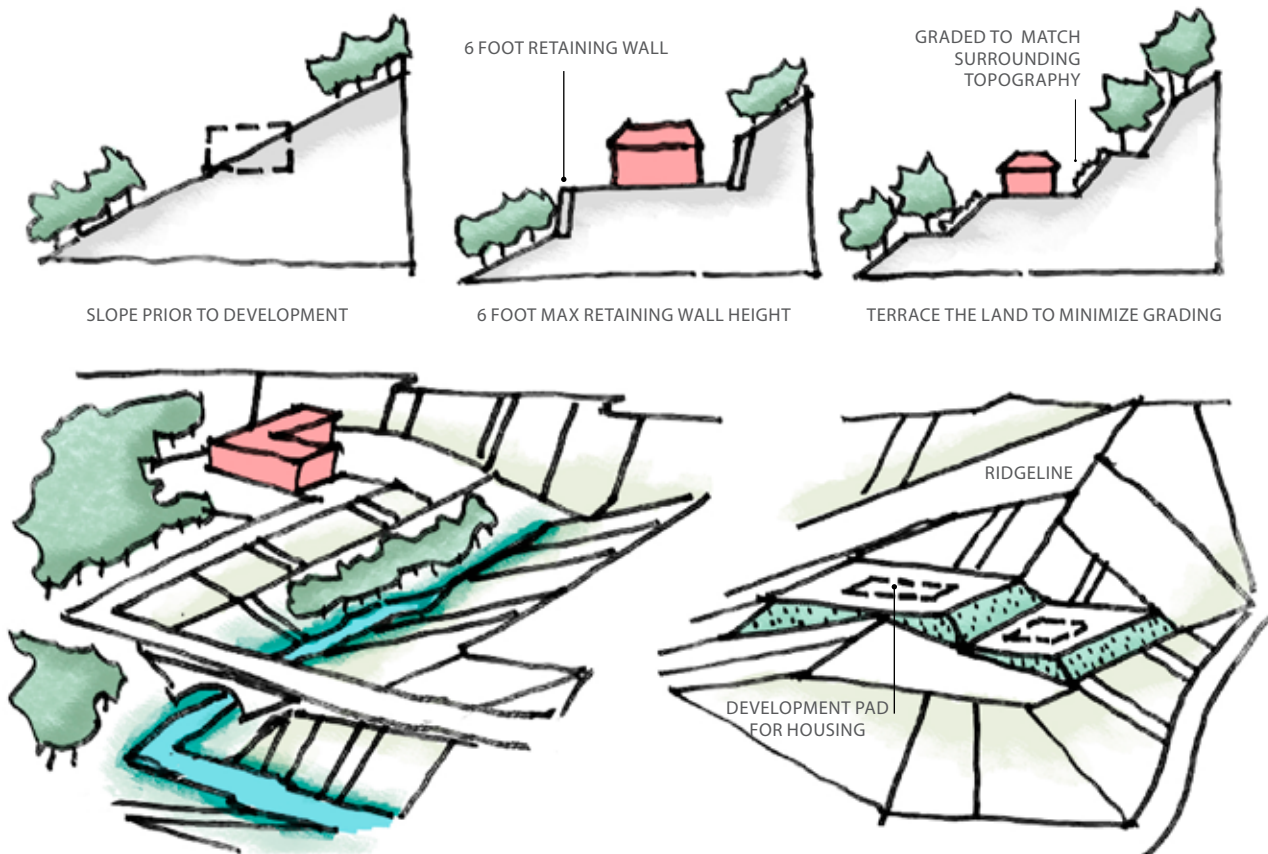
Hillside Management

Goal CO-6:

Retain the natural topographic character and vegetation of hillsides to the maximum extent possible and ensure that all development in such areas is sited and designed to provide maximum protection to public health and safety, surface and subsurface waters, public scenic views, and sensitive habitats.

Policies:

- **CO-68:** Site and design new development to minimize the amount of grading and the alteration of natural landforms.
- **CO-69:** Site and design new development to protect natural features and minimize removal of natural vegetation.
- **CO-70:** Limit structure height to minimize impacts to scenic resources.
- **CO-71:** Cut and fill grading may be balanced on-site where the grading does not substantially alter the existing topography and blends with the surrounding area. Export of excess soil may be required to preserve biotic, scenic, or other significant resources. Topsoil from graded areas shall be utilized for site landscaping where it does not substantially alter the existing topography and blends with the surrounding area.
- **CO-72:** Ensure that development conforms to the natural landform and blends with the natural landscape in size, design, shape, materials, and colors. Building pads on sloping sites shall utilize split-level or stepped-pad designs that minimize impacts to scenic resources.



SITE GRADING INCLUDING ROADS SHOULD BE SENSITIVE TO EXISTING TOPOGRAPHY.



GRADING SHOULD NOT OCCUR ON HILLTOPS AND RIDGELINES. GRADING AND DEVELOPMENT SITING SHOULD BE SENSITIVE TO TOPOGRAPHY, VIEWSHEDS, AND SCENIC RESOURCES.

Illustration: Skidmore, Owings & Merrill

- **CO-73:** Restrict development on slopes greater than 25 percent unless placement is biologically superior than alternative site.
- **CO-74:** Site and design new development to minimize the height and length of manufactured cut and fill slopes, and minimize the height and length of retaining walls.
- **CO-75:** Blend graded slopes with the natural contours of the land and utilize landform grading.
- **CO-76:** Cluster structures on lots in hillside areas, including clustering with structures on adjoining lots, if clustering is shown to minimize site disturbance and grading. Development within a subdivision shall be clustered and utilize shared driveways.
- **CO-77:** Require all cut and fill slopes and other disturbed areas to be landscaped and revegetated prior to the beginning of the rainy season utilizing native, drought-tolerant plant species that blend with existing natural vegetation and natural habitats of the surrounding area.
- **CO-78:** Grading that is associated with roads, bridges, retaining walls, and other necessary access ways should follow the natural terrain and contours and avoid creating a significant visual scar.

SCENIC RESOURCES

The natural beauty of the Santa Monica Mountains is widely recognized as one of its most distinctive and valuable attributes, making it a primary attraction to residents and visitors. The environment is characterized by occasional morning fog draping over vast rolling hills, canyons, oak woodlands, and dramatic geologic features coexisting with distinctive communities, such as Malibou Lake and Lobo Canyon. There are also a number of local and regional recreation trails and scenic driving routes that meander through the Santa Monica Mountains, including two State-designated County Scenic Highways (Mulholland Highway and Malibu Canyon-Las Virgenes Road) and one State Scenic Highway (Topanga Canyon Boulevard).

Given the proximity of development to such abundant scenery, any form of physical alteration has immediate and noticeable effects. Activity in the area, whether it is

residential development, recreation facilities, or agriculture, has greater visual impacts on the land than in many other parts of Los Angeles County. The visual impact of building, grading, or even vegetation removal can be just as dramatic as the natural features themselves. In some parts of the Santa Monica Mountains, natural features have been graded away or built upon, effectively obliterating any scenic qualities.

Dramatic topographic features and rural conditions make the area's scenic resources highly visible to residents and visitors. Views of natural features are the focus of scenic preservation and enhancement. The following policies are not intended to completely preclude development from scenic areas, but are a means to protect scenic qualities. Their intent is to require and achieve a sensitive balance between development and protecting the visual qualities of the Santa Monica Mountains.

While the Ventura Freeway is the main access route to the area's cities, Mulholland Highway is the main route to the area's recreational resources. Built in the 1920s to 'take Angelenos from the city to the ocean,' Mulholland Highway follows the crest of the Santa Monica Mountains for approximately 55 miles, beginning in the City of Los Angeles at the Hollywood Freeway, running through the region, and ending at Leo Carrillo State Beach on the Malibu coast. While the Ventura Freeway area has many scenic roadways, Mulholland Highway's history; its proximity to local, state, and federal recreation areas; and the amount of resources already put into it by federal, state, and local jurisdictions make Mulholland Highway a unique resource for the Los Angeles region.

The following significant scenic resource features are designated on the Scenic Resources Map (Figure 3):

- **Scenic Elements;**
- **Significant Ridgelines; and**
- **Scenic Routes.**

Scenic Elements:

Scenic Elements are designated areas that contain exceptionally scenic features unique not only to the Santa Monica Mountains, but to the Los Angeles County region. These areas are characterized by rare or unique geologic formations such as large rock outcroppings and sheer canyon

walls, as well as undisturbed hillsides and/or riparian or woodland habitat with intact locally indigenous vegetation and plant communities. The following areas contain designated scenic elements:

1. **West Mulholland Highway Sandstone:** cluster of rugged sandstone peaks.
2. **Saddle Rock:** a prominent sandstone landform.
3. **Turtle Rock:** a prominent sandstone landform.
4. **Upper La Sierra Canyon:** a prominent sandstone ridge.
5. **Ladyface Ridge:** One of the most prominent landforms in the area and the highest mountain in the Ventura Freeway corridor. This volcanic ridge with steep slopes is an important feature of the area.
6. **Cornell Sandstone Peaks:** rugged sandstone peaks.
7. **Sugar Loaf:** Landmark peak with extreme slopes at the higher elevations.
8. **Palo Comado:** scenic rolling hills with an oak woodland savannah which is highly visible from the Ventura Freeway.
9. **Old Topanga Sandstone:** an expansive sandstone outcropping.

Significant Ridgelines:

Ridgelines are defined as the line formed by the meeting of the tops of sloping surfaces of land. In general, Significant Ridgelines are highly visible and dominate the landscape. Significant Ridgelines were selected based on one or more of the following criteria:

1. **Topographic complexity:** Ridges that have a significant difference in elevation from the valley or canyon floor;
2. **Near/far contrast:** Ridges that are a part of a scene that includes a prominent landform in the foreground and a major backdrop ridge with an unbroken skyline;

3. **Cultural landmarks:** Ridges that frame views of well-known locations, structures or other places which are considered points of interest in the North Area;
4. **Uniqueness and character of a specific location:** Peaks and their adjoining ridges;
5. **Existing community boundaries and gateways:** Ridges and surrounding terrain that separate communities and provide the first view of predominantly natural, undeveloped land as a traveler emerges from the urban landscape; and
6. **Overall integrity:** Ridges that comprise a significant component of a pristine, undeveloped mountain system and are viewable from a public place.

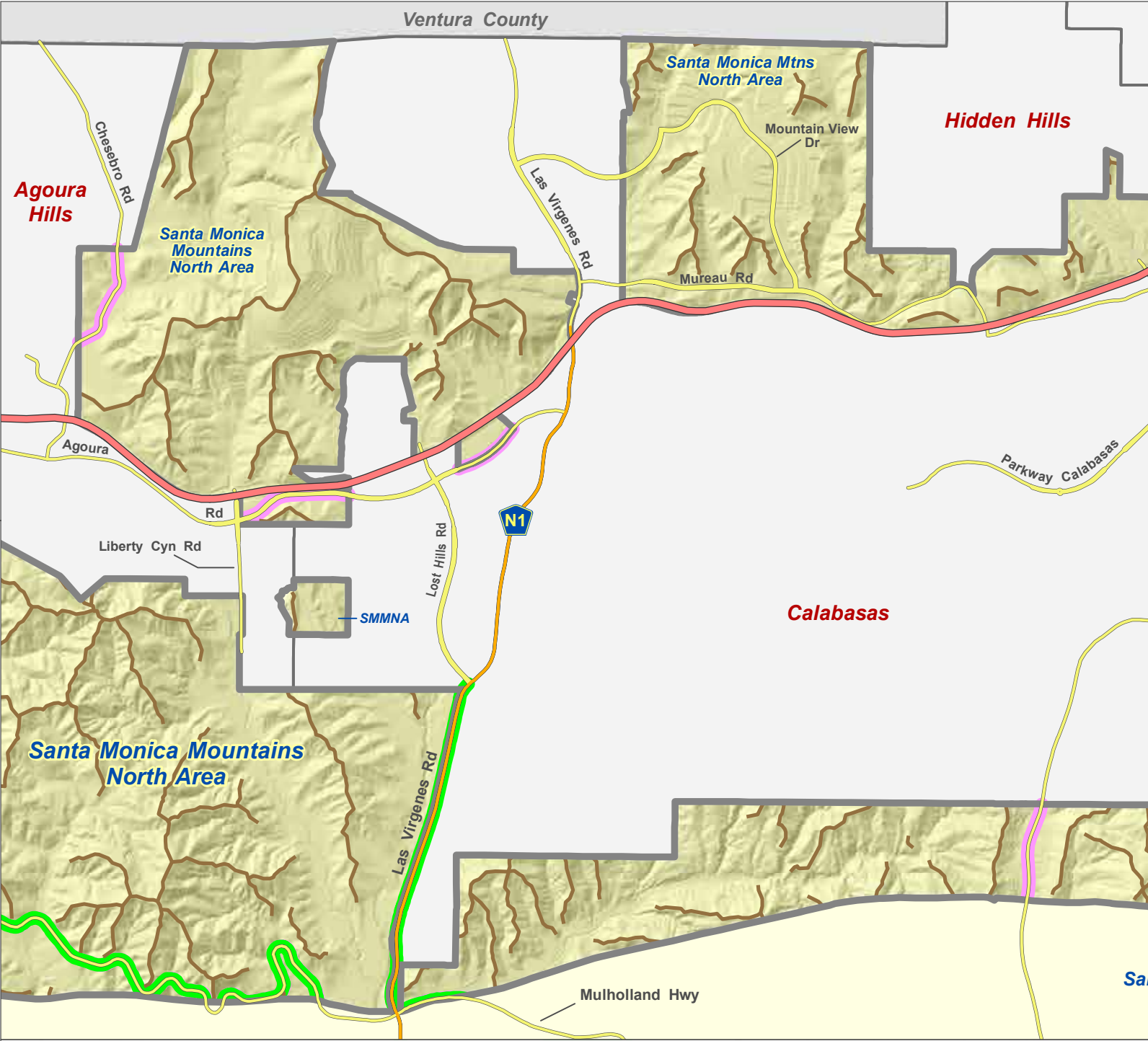
Scenic Routes:

Scenic routes are selected for the unique natural aesthetic qualities that can be experienced as one drives along them. Scenic routes also include County Scenic Highways. The selected routes pass along wide swaths of undisturbed habitat, offer views of dramatic geologic or coastal formations, pass by rolling hills studded with oaks, and wind past areas rich with riparian vegetation. County Scenic Highways are recognized by the State as possessing aesthetic qualities of Statewide importance, and are marked with the familiar poppy signs. The following are identified scenic routes and routes with scenic qualities:






1. **Mulholland Highway**
2. **Las Virgenes Road**
3. **Kanan Road**
4. **Kanan-Dume Road**
5. **Agoura Road**
6. **Chesebro Road**
7. **Cornell Road**
8. **Old Topanga Canyon Road**
9. **Topanga Canyon Boulevard**

While only significant scenic resource features are identified on the Scenic Resources map, there are other scenic resources in the Santa Monica Mountains of regional and national importance that are to be protected. These include places on, along, within, or visible from scenic routes, public parklands, trails, and state waters that offer scenic vistas of

Santa Monica Mountains North Area



Scenic Resources

-  State-Designated County Scenic Highway
-  Proposed Scenic Route
-  Significant Ridgelines (Adopted)
-  Scenic Element (Feature 7)*
-  Scenic Element Extent into Other Jurisdictions

Base Layers

-  Major Road
-  Highway
-  Freeway
-  Other Unincorporated Area
-  Incorporated City

*Numbered Scenic Elements

7 - Old Topanga Sa

**Figure 3:
Scenic Resources (Eastern Portion)**



Element Feature
andstone

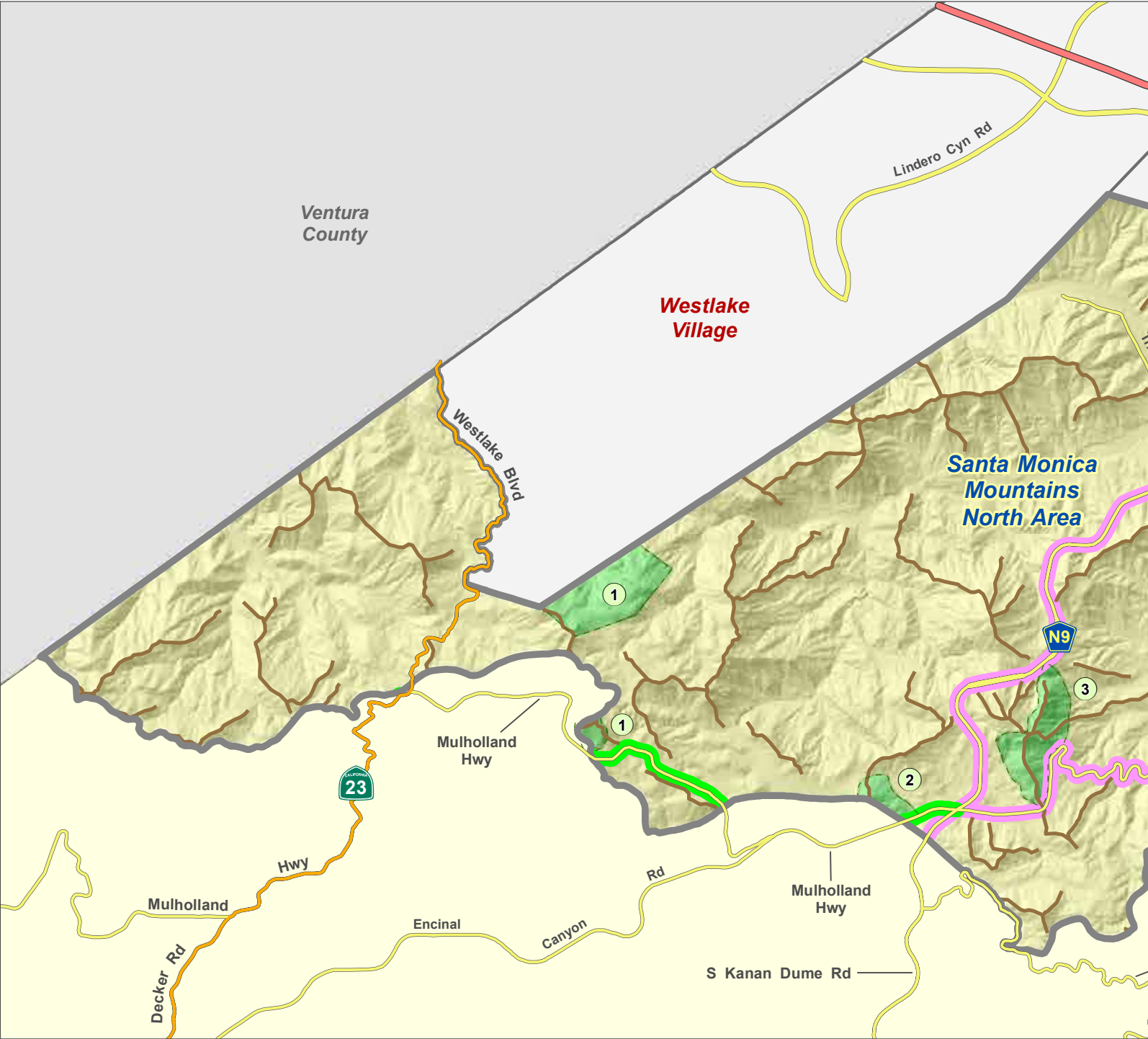


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Santa Monica Mountains North Area



Scenic Resources

- State-Designated County Scenic Highway**
- Proposed Scenic Route**
- Significant Ridgelines (Adopted)**
- Scenic Element (Features 1 through 6)***
- Scenic Element Extent into Other Jurisdictions**

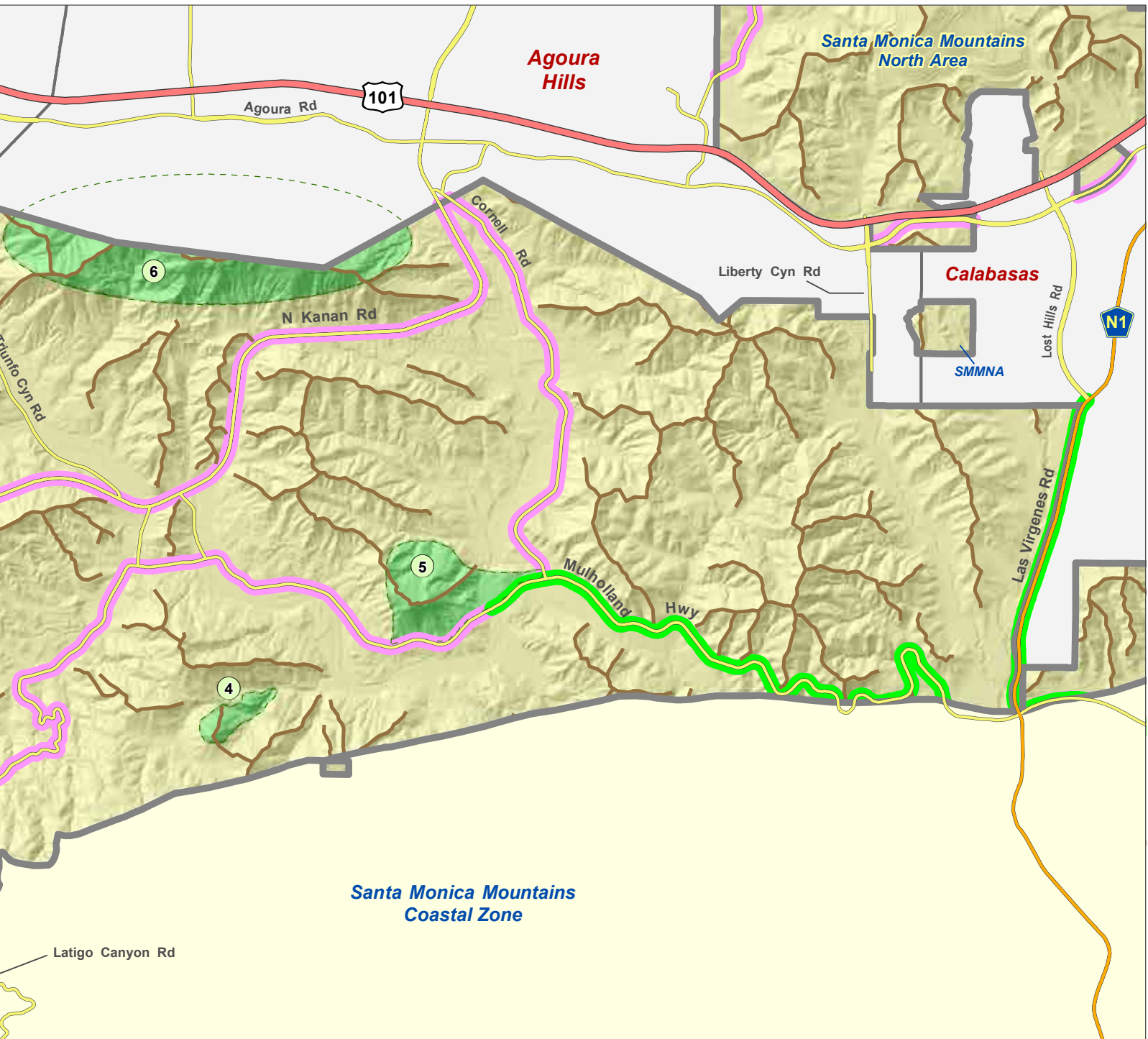
Base Layers

- Major Road**
- Highway**
- Freeway**
- Other Unincorporated Area**
- Incorporated City**

*Numbered Scenic Elements

- 1 - West Mulholland
- 2 - Turtle Rock
- 3 - Upper La Sierra
- 4 - Cornell Sandstone
- 5 - Sugar Loaf
- 6 - Ladyface Ridge

Figure 3: Scenic Resources (Western Portion)



Element Features
Highway Sandstone

Canyon
ne Peaks



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the mountains, canyons, and other unique natural features. The purpose of the following policies is to protect the scenic and visual qualities of all scenic resources.

GOALS AND POLICIES

Scenic Resources

Goal CO-7:

Retain the scenic beauty of the plan area by considering and protecting its scenic and visual qualities as a resource of public importance.

Policies:

- **CO-79:** Protect public views within Scenic Areas and throughout the North Area. Places on, along, within, or visible from Scenic Routes, public parklands, public trails,

and state waters that offer scenic vistas of the mountains, canyons, and other unique natural features are considered Scenic Resource Areas. Scenic Resource Areas do not include areas that are largely developed such as existing, predominantly built-out residential subdivisions.

- **CO-80:** Maintain and enhance the visual quality of vistas along the unincorporated portions of identified scenic routes and routes with scenic qualities.
- **CO-81:** Regulate the alteration of the natural landscape and terrain to ensure minimal visual disruption of existing settings.
- **CO-82:** Protect public views of designated Scenic Elements and Significant Ridgelines, canyon walls, geological formations, creeks, ridgelines, and waterfalls. Preserve and protect the viewshed and line-of-sight to these scenic resources.

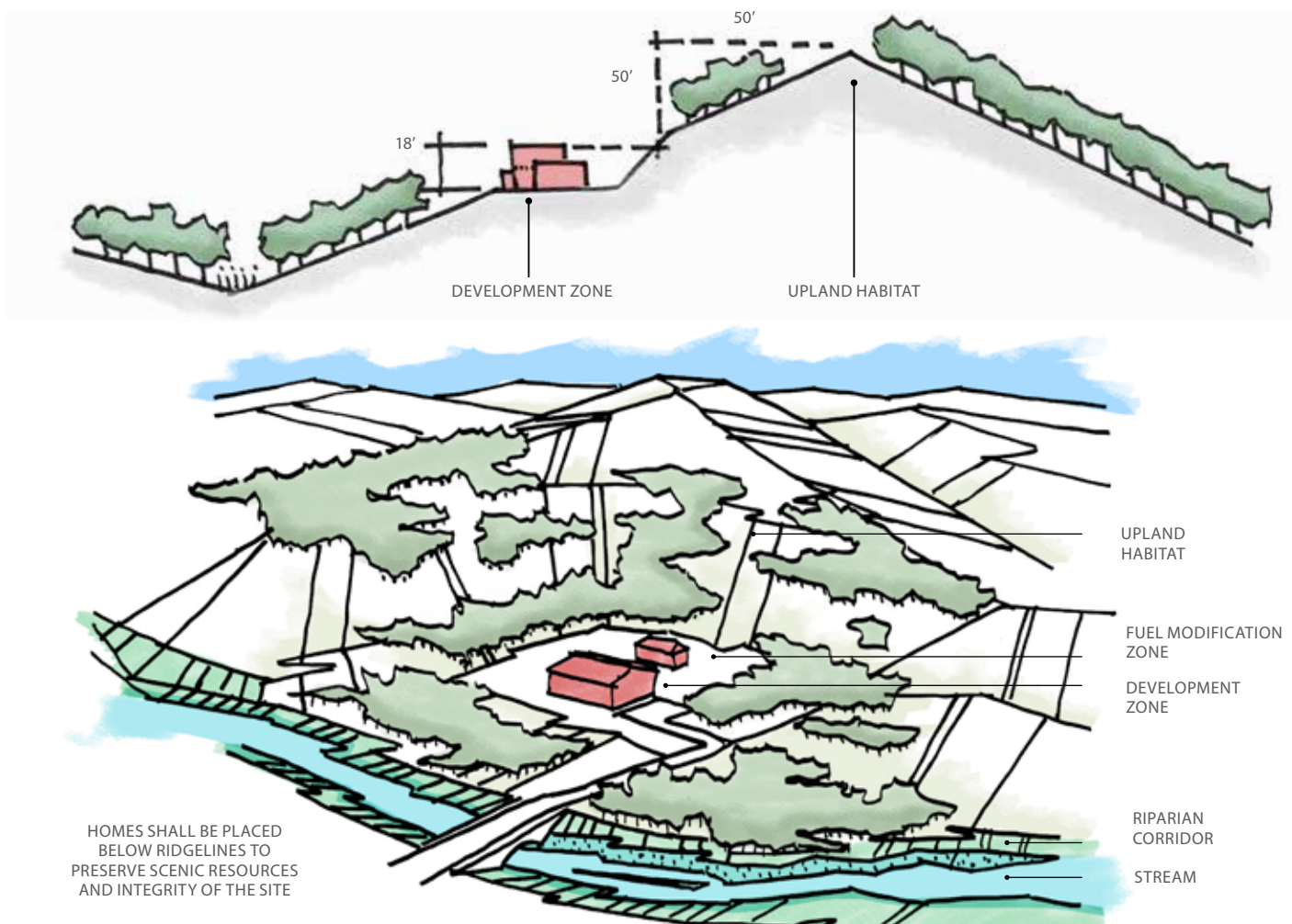


Illustration: Skidmore, Owings & Merrill

- **CO-83:** Prioritize avoidance of impacts to scenic resources through site selection and design alternatives over use of landscaping or building material screening.
- **CO-84:** Limit the extent of vegetation clearance to that required for fire safety, and where possible, site structures so that no vegetation clearance encroaches on adjacent properties; consider the size and siting of development to reduce the level of vegetation clearance needed.
- **CO-85:** Limit and design exterior lighting to preserve the visibility of the natural night sky and stars to the extent feasible and consistent with public safety.
- **CO-86:** Limit the height of retaining walls by using stepped or terraced retaining walls, with plantings in-between. Where feasible, long continuous walls shall be broken into sections or shall include undulations to provide visual relief.
- **CO-87:** Require wireless telecommunication facilities to be designed and sited in such a manner that they minimize impacts to visual resources and blend into the landscape. Such facilities shall be collocated where feasible. This may include requiring one taller pole rather than allowing multiple shorter poles. New wireless telecommunication facilities may be disguised as trees of a species that would likely be found in the surrounding area and that blend with the natural landscape when it is not feasible to co-locate on an existing pole.
- **CO-88:** Transition all overhead transmission lines and utility infrastructure underground to eliminate visual impacts along scenic routes and in scenic resource areas.
- **CO-89:** Prohibit the placement of new, and phase out any existing off-site advertising signs and onsite pole signs along designated scenic highways and the Ventura Freeway.
- **CO-90:** Public works projects along scenic routes that include hardscape elements such as retaining walls, cut-off walls, abutments, bridges, and culverts shall incorporate veneers, texturing, and colors that blend with the surrounding landscape.
- **CO-91:** Minimize impacts to visual resources from land divisions, including lot line adjustments, through design techniques such as but not limited to clustering.

TRAILS

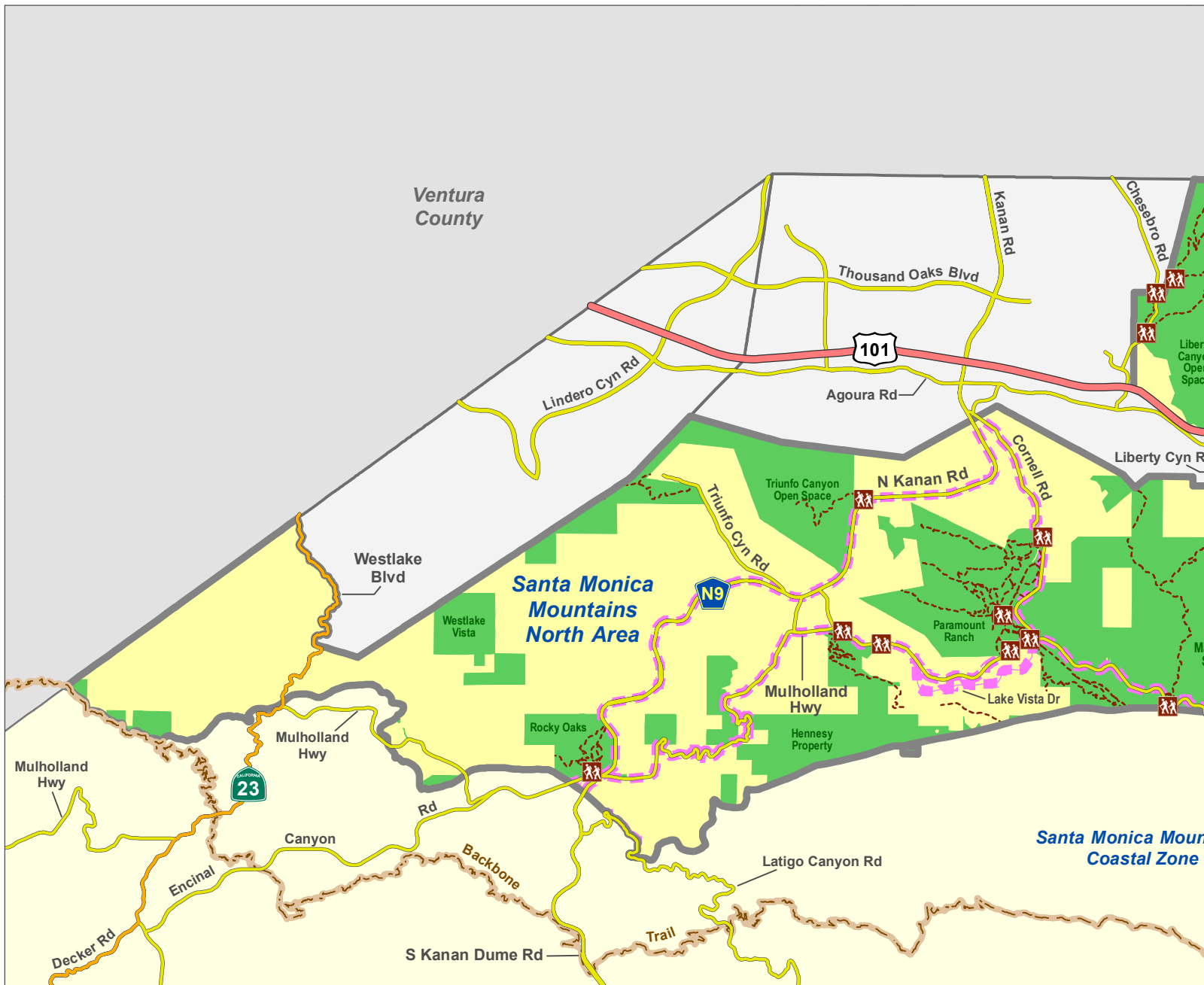
The Santa Monica Mountains offer the Los Angeles metropolitan area a wide range of public and private recreational opportunities. The Santa Monica Mountains are particularly well-suited for passive outdoor recreational experiences in a natural setting. The value of recreation close to the urban complex is immense. The Santa Monica Mountains area provides an opportunity to experience a recreation-oriented, outdoor lifestyle within the Los Angeles region. Several entities provide parks and recreational opportunities within the planning region, including the National Park Service, the California Department of Parks and Recreation, Santa Monica Mountains Conservancy, County of Los Angeles Department of Parks and Recreation, and area cities. Local organizations are also actively involved in the provision of regional recreation.

The cornerstones of the area's recreation opportunities are the existing federal and State parks, beaches, and trails. These areas and agencies' proposed acquisitions, linked by the scenic routes identified in this North Area Plan and a network of multi-use trails (hiking, mountain biking, and equestrian) should be integrated and connect throughout the Santa Monica Mountains National Recreation Area. Public recreation areas may be supplemented by compatible commercial recreation uses such as lodging, camps, and equestrian facilities, maximizing the resource-based recreational opportunities available.








Public agencies are currently working to expand these facilities to accommodate these needs in the future. Many trails, established through years of use, traverse public and private property, and include designated bikeways along public roads. A formal, comprehensive public trail system for hikers, mountain bikers, and equestrians is being designed and managed by public agencies to address and incorporate these trails and roads and to link them to various recreational facilities. A recognized system of trails and bikeways (Figure 4) in the Santa Monica Mountains will provide usable, safe access within and between recreation areas and parklands.

Expanding recreational amenities will increase the need for coordinated resource management necessary to protect sensitive habitats from overuse or degradation. Habitat







Santa Monica Mountains North Area



Recreational Elements

-  **Trail Head***
-  **Trail***
-  **Backbone Trail***
-  **Class II - Bike Path (Existing)****
-  **Class II - Bike Path (Proposed)****
-  **Class III - Bike Path (Proposed)****
-  **Parkland and Open Space*****

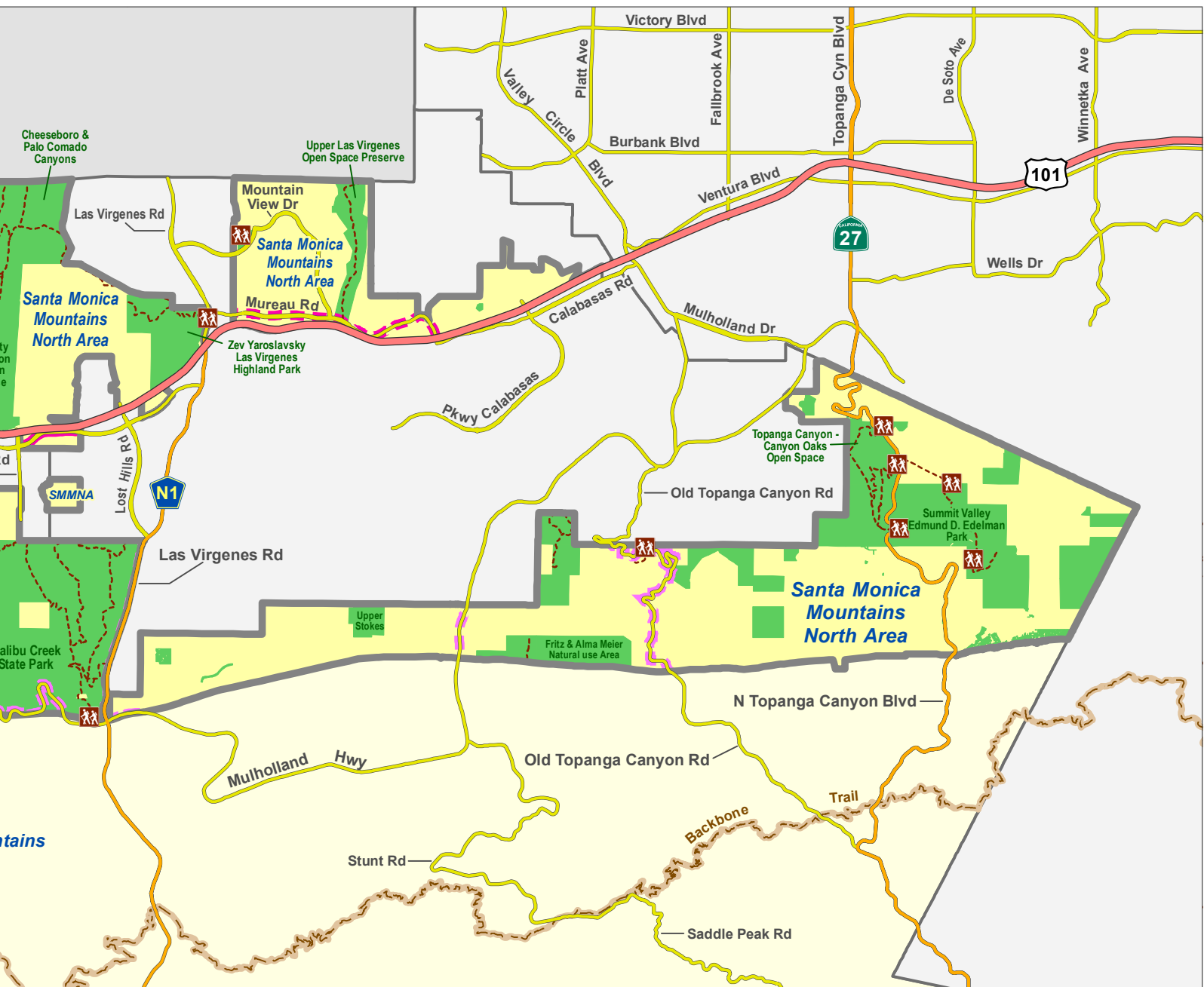
Base Layers

-  **Major Road**
-  **Highway**
-  **Freeway**
-  **Santa Monica Mountains North Area (SMMNA)**
-  **Other Unincorporated Area**
-  **Incorporated City**

Sources:

- * Santa Monica Mountains National Recreation Area Interagency Trails Management Plan.
- ** Los Angeles County Department of Public Works Bicycle Master Plan, adopted 2012.
- *** Los Angeles County (various departments) - derived and updated from former Thomas Bro. Land Types data.

Figure 4: Recreation



**Area
Mapped**



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protection in the Santa Monica Mountains should be ensured through an integrated recreation plan coordinated among responsible agencies and local organizations.

Existing Public Parklands and Trail Facilities

Parks

There are vast acres of public parkland within the North Area. Several entities provide parkland within the planning area, including the National Park Service, the California Department of Parks and Recreation, Santa Monica Mountains Conservancy, and area cities. The County of Los Angeles Department of Parks and Recreation does not currently operate any local or regional park facilities within the North Area.

Trails

The existing Santa Monica Mountains trail system is comprised primarily of regional and local trails operated by public and private agencies, as well as trails that extend onto private lands. Maintenance and often basic construction of trails protected through public ownership, prescriptive use, or easements are primarily carried out by volunteers.

The Santa Monica Mountains Area Recreational Trails (SMMART) Coordination Project, a consortium of public agencies and private concerns which includes the National Park Service (NPS), California Department of Parks and Recreation (CDPR), the Santa Monica Mountains Conservancy (SMMC), and the Santa Monica Mountains Trails Council, has proposed additions to the County's trails plan as well as new trail amenities such as trail camps to be considered by the park agencies.

In response to the information developed by the SMMART Project, the NPS, CDPR, and the SMMC have composed the Interagency Trail Management Plan, an integrated trail system for the Santa Monica Mountains National Recreation Area that aims to balance recreational access with resource protection. This system is intended to link area recreation facilities, to connect other local and regional trail networks, and to provide trail access between the mountains, the coast, and other open space and parklands. The system will include trails of varying lengths and degrees

of difficulty to accommodate people with a variety of skills and abilities, including the physically challenged, senior citizens, and families. The Backbone Trail, which crosses the Santa Monica Mountains from Ventura County to the City of Los Angeles, has recently been completed. A series of loop trails is planned for bicyclists, equestrians, and hikers. Overnight camps will be encouraged and established along longer trails to allow uninterrupted backpacking trips of several days' duration. The trail system should eventually connect with other major trails in the greater region, such as the Rim of the Valley Trail and the Pacific Crest Trail.

The Rim of the Valley Trail is within the State-designated Rim of the Valley Trail Corridor, stretching from Sierra Madre to Moorpark, and will link parklands and mountain open spaces encircling the San Fernando, Crescenta, western San Gabriel, Simi, and Conejo Valleys. The Rim of the Valley Trail will link to the Pacific Crest Trail and the Santa Monica Mountains Backbone Trail.

The 2,550-mile-long Pacific Crest Trail - a National Scenic Trail - passes through northern Los Angeles County mostly in the San Gabriel Mountains, Sierra Pelona Range, and mountains northeast of Pyramid Lake in the Angeles National Forest. The trail passes through intervening private lands before it crosses the western Antelope Valley into Kern County. Trails within the North Area should provide links to this major trail.

GOALS AND POLICIES

Trails

Goal CO-8:

Provide maximum public access and recreational opportunities for all people consistent with public safety needs and the need to protect public rights, rights of private property owners, and natural resources from overuse.

Policies:

- **CO-92:** Protect and where feasible expand or enhance as a resource of regional, State and national importance parklands and trails.

- **CO-93:** Encourage a full range of recreational experiences to serve local, regional and national visitors with diverse backgrounds, interests, ages, and abilities, including the transit-dependent and the physically challenged. Wherever appropriate and feasible, public facilities, including parking areas or facilities, shall be distributed throughout an area so as to mitigate against the impacts, social and otherwise, of overcrowding or overuse by the public of any single area.
- **CO-94:** Provide safe and accessible bikeways on existing roadways (see Map 4 Recreation) and support related facilities, where feasible, through the implementation of the adopted Bikeways Plan in the County General Plan
- **CO-95:** Coordinate with federal, State, and County park agencies, and other qualified public and private land conservation agencies to ensure that private land donations and/or public access dedications are accepted, developed, and managed for their intended use.

CULTURAL RESOURCES, TRIBAL CULTURAL RESOURCES AND PALEONTOLOGICAL RESOURCES

Indigenous peoples have lived in the Santa Monica Mountains and surrounding area for over 9,000 years. Local tribes included the Chumash in the western portions of the Santa Monica Mountains, the Fernandeno Tataviam in the northern portions, and the Gabrieliño-Tongva in the eastern portions toward the Los Angeles basin. Over time, these Native cultures, with distinct languages and histories, developed large villages in the Santa Monica Mountains with extensive maritime practices and inland trade routes which extended up and down the coast, West to the Channel Islands, and inland to Arizona.

Their legacies are visible in multiple historic sites in the North Area. There are more than 1000 archaeological sites within the Santa Monica Mountains National Recreation Area's boundaries. Malibu Creek was a significant interface site between the Chumash and the Gabrieliño-Tongva. Inside the park there is a Chumash village site, Humaliwo, as well as several historic structures. There is also a former Chumash village and cultural/historical center, Satwiwa, located about 5 miles away from the North Area in Ventura County.

The Santa Monica Mountains are rich in paleontological resources, tribal cultural resources and cultural resources, including resources important to Native Americans and cultural resources of early settlers. Many of these resources are found on lands under the management of the National Park Service, the California Department of Parks and Recreation, and the Santa Monica Mountains Conservancy. The stewardship and preservation of these resources in the Santa Monica Mountains are important for three main reasons:

- Increasing public use, growing pressures for development, and deterioration through age and exposure continue to place the Santa Monica Mountains' cultural resources, tribal cultural resources and paleontological resources at risk.
- It is in the public interest to preserve cultural resources because they are irreplaceable and offer cultural, educational, aesthetic, and inspirational benefits.
- The stewardship of cultural resources, tribal cultural resources and paleontological resources is necessary to deepen cultural awareness as well as to increase the public's understanding of the existing environment.

County development review procedures include consideration and protection of cultural resources, tribal cultural resources and paleontological resources. Mitigation measures are required where development is determined to adversely impact any such resource. Other groups are also concerned with the preservation of these resources. The National Park Service conducts ongoing research on the history and cultural heritage of the Santa Monica Mountains.

Paleontological Resources

Paleontological resources, or fossils, are the remains of ancient animals and plants, as well as trace fossils such as burrows, which can provide scientifically-significant information on the history of life on Earth. Paleontological resources in the Santa Monica Mountains include isolated fossil specimens, fossil sites, and fossil-bearing rock units. The oldest paleontological resources in the Santa Monica Mountains come from the Late Cretaceous Period and are found in the Chatsworth Formation. Ammonites, extinct

mollusks related to the chambered nautilus, have been collected from this Formation, as well as marine foraminifera, clams, snails, bryozoans, and shark teeth.

The Santa Monica Mountains have been the site of marine deposition for much of the Cenozoic Period (the last 65 million years). There are a number of Tertiary rock units in the Santa Monicas known to yield scientifically-significant paleontological resources, including the Modelo, Pico, and Topanga Formations. Unlike marine sediments, terrestrial sediments often do not contain fossils. This is because they are normally deposited immediately adjacent to the surface of the earth, an environment not conducive to fossil preservation.

Cultural Resources and Tribal Cultural Resources

Archaeological resources refer to any material remains of past human life or activities that are of archaeological interest, including, but not be limited to: pottery, basketry, bottles, weapons, weapon projectiles, tools, structures or portions of structures, pit houses, rock paintings, rock carvings, intaglios, graves, and human skeletal materials.

An estimated 40 percent of the land throughout the Santa Monica Mountains (including areas outside of the County's jurisdiction) has been surveyed for archaeological sites. The area contains many geologic elements and major plant communities that indicate the presence of archaeological resources. According to the National Park Service, there are thousands of known archaeological sites in the Santa Monica Mountains, one of the highest densities of any mountain range in the world. Collectively, these sites represent roughly 9,000 years of human use by native peoples.

The indigenous Chumash and Gabrieliño-Tongva peoples, two of the most populous local native cultures, have occupied land within the Santa Monica Mountains since prehistoric times. The Chumash people have inhabited the region for nearly 9,000 years, while the Gabrieliño-Tongva people moved into the eastern Santa Monica Mountains approximately 2,000 years ago.

The area also contains many recent historical artifacts dating back to the 1500s. From the 1500s to the late 1700s, exploration of California was initiated by explorers from Spain, Portugal and Mexico. During the Spanish Colonial period

from 1769 to 1822, Spain established a chain of Franciscan missions in California, including missions in San Gabriel, Ventura, Santa Barbara, and San Fernando. Around 1800, the Spanish Crown began granting land, including land in the Santa Monica Mountains, to retiring Spanish soldiers. Much of the land, known as a rancho, was used for cattle ranching and farming and was often worked by the Native Americans.

During the mid- to late-19th Century, the area was homesteaded by Americans looking for land, and large ranches were divided into smaller farms to open up opportunity for more families. With nearly 1,300 homestead claims in the Santa Monica Mountains, in addition to hundreds of structures in the mountains and in the adjacent foothills, there are numerous features that are considered to be of local historical significance, including houses, ranches, and barns. Some are significant for events that occurred there, while others are significant for the individuals who lived there or are important in terms of architectural history. Throughout the 20th Century, significant areas of the Santa Monica Mountains were developed for recreational and commercial uses.

Unfortunately, many of the known archaeological, paleontological, and historic cultural sites in the region have been disturbed to some extent by both human activity, such as development, occupation, and use, and natural occurrences, such as erosion that results from earthquakes, fire, and flood. In some instances, historic and prehistoric artifacts such as stone tools, antique nails, and equipment parts have been picked up or even destroyed by visitors or residents.

GOALS AND POLICIES

CULTURAL RESOURCES, TRIBAL CULTURAL RESOURCES

AND PALEONTOLOGICAL RESOURCES

Goal CO-9:

Preservation of the area's rich and diverse cultural resources, tribal cultural resources and paleontological resources.

Policies:

- **C0-96:** Protect and preserve cultural resources, tribal cultural resources and paleontological resources from destruction, and avoid impacts to such resources where feasible. Where avoidance is not feasible, minimize impacts to resources to the maximum extent feasible.
- **C0-97:** Regulate landform alteration to ensure minimal disturbance of known cultural resources and tribal cultural resources. New development on sites identified as archaeologically sensitive shall include onsite monitoring by a Secretary of Interior qualified archaeologist(s) and appropriate Native American consultant(s) of all grading, excavation, and site preparation that involve earthmoving operations.
- **C0-98:** Coordinate with appropriate agencies, South Central Coastal Information Center (SCCIC), Native American Heritage Commission, and local Native American tribes, to identify archaeologically-sensitive areas. Such information should be kept confidential to protect cultural and tribal cultural resources.
- **C0-99:** Implement appropriate mitigation measures for development within archaeologically-sensitive areas shall, designed in accord with guidelines established by the Secretary of the Interior's Standards for the Treatment of Historic Properties, the Society of Vertebrate Paleontology, or those agreed to as part of the AB 52 tribal consultation process.
- **C0-100:** Preserve and protect cultural resources and traditions that are of importance to Native Americans, including the Chumash and Gabrieliño-Tongva peoples.

3 SAFETY AND NOISE ELEMENT

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CHAPTER 3: SAFETY AND NOISE ELEMENT

INTRODUCTION

The Santa Monica Mountains are subject to serious hazards that require special attention to protect public health and safety. Wildfires, earthquakes, as well as mass wasting, flooding, and washed-out roads that often follow heavy winter rains have demonstrated how vulnerable the region is to natural and man-made hazards. Wildfires are a natural phenomenon in the Santa Monica Mountains and on nature's timetable are an essential process of the regional ecosystem. The region's natural drainage systems are subject to very high volumes of stormwater runoff. The Safety and Noise Element addresses the following issues:

- **Seismic and Non-Seismic Geologic Hazards;**
- **Noise Hazards**
- **Fire Hazards**
- **Flood Hazards**
- **Hazardous and Toxic Materials**

GUIDING PRINCIPLE

The guiding principle for protecting the public health and safety is:

The potential risk of death, injuries, property damage, and social and economic dislocation resulting from earthquakes, mass wasting events, floods, fires, and other hazards must be minimized. Development should avoid environmental hazards rather than attempt to overcome them.

A great deal of individual and public effort is directed toward minimizing or eliminating perceived risks, yet a completely risk-free environment cannot be achieved. All aspects of life involve a degree of risk, and some risk from environmental hazards must be tolerated. Development in the planning area must reflect the natural conditions in the Santa Monica Mountains that include environmental hazards.

SEISMIC AND NON-SEISMIC GEOLOGIC HAZARDS

Natural seismic and non-seismic events (Figure 5) in the Santa Monica Mountains present significant hazards to public health, safety, and welfare, and also to development. Earthquakes and slope movement events (commonly referred to as landslides) can be particularly devastating in an area like the Santa Monica Mountains, with its many narrow winding roads and often-difficult access at the best of times.

The effect of both seismic and non-seismic events in the Santa Monica Mountains is magnified by the region's geology and topography. The common rock types underlying the surface soil are poorly-cemented sedimentary rock and fine-grained or indurated (cemented) soil and bedrock formations. These common rock units are unstable, particularly in earthquakes and under wet conditions. Clay-rich soils found throughout the Santa Monica Mountains are subject to shrink-swell behavior, which has implications for the structural integrity of slopes, buildings, and foundations. In addition, a vast majority of the Santa Monica Mountains has slopes exceeding 25 percent. This steep topography exacerbates the instability of the underlying geology.

Seismic Geologic Hazards

Earthquakes pose a significant risk within the Santa Monica Mountains. Several fault systems border the North Area, including the Malibu-Santa Monica-Hollywood-Raymond Hill fault system to the south and the Simi-Northridge-Verdugo fault system to the north. The San Andreas Fault, though over 40 miles northeast of the North Area, has the potential - as it does in any part of the region - to cause significant damage in the Santa Monica Mountains. Primary hazards in the North Area associated with earthquakes are surface ruptures along fault lines and damage to structures due to seismically induced ground shaking.

Even with the moderately low development densities throughout much of the area and the requirement that new development comply with current building and safety codes, seismic hazards related to ground shaking are potentially significant because of their pervasive consequences. Ground shaking resulting from an earthquake, besides directly damaging structures, roadways, and utilities, could trigger landslides in unstable areas, endangering lives and property.

However, even in the absence of an earthquake, potentially significant hazards exist due to unstable slopes. Because of local groundwater and soil conditions, liquefaction is also a latent hazard in localized areas with high groundwater and sandy soils. Maps released by the California Geological Survey (CGS) depict areas with a potential for liquefaction and earthquake-induced landslides.

Non-seismic Geologic Hazards

The major non-seismic geologic hazards in the Santa Monica Mountains are slope movement events (including rock-falls, landslides, slumps, debris flows, and mudflows) and liquefaction. The Santa Monica Mountains are naturally prone to slope movement due to a combination of steep slopes and unstable geology. Human action can contribute directly to slope instability through such activities as grading, vegetation removal, increased soil saturation, and increased amounts of runoff from developed areas. Unusually high levels of water in the soil can trigger liquefaction and slumping. Human activity can increase the risk and severity of liquefaction and slumping through actions such as improper grading (e.g., cutting off the supporting toe of a slope or improperly compacting fill material), and by landscaping with vegetation not appropriate for the soils and slopes of the mountains (e.g., iceplant).

GOALS AND POLICIES

Seismic and Non-Seismic Geologic Hazards

Goal SN-1:

A built environment designed and engineered to minimize the potential for loss of life, physical injury, environmental disruption, property damage, economic loss and social dislocation due to seismic- and non-seismic-induced geologic activities.

Policies:

- **SN-1:** Assure stability and structural integrity, and neither create nor contribute significantly to erosion, geologic instability, or destruction of the site or surrounding area or

in any way require the construction of protective devices that would substantially alter natural landforms along ridgelines, bluffs or cliffs.

- **SN-2:** Size, design, and site new development to minimize risks to life and property from geologic hazard.
- **SN-3:** Permit new development on former landslide sites, unstable slopes, and other geologic hazard areas only where there is substantial evidence, provided by the applicant and confirmed by the Los Angeles County Department of Public Works, that the project provides an adequate factor of safety.
- **SN-4:** Prohibit new development in areas where it presents an extraordinary risk to life and property due to an existing or demonstrated potential public health and safety hazard.
- **SN-5:** In the placement of new development, emphasize avoiding areas susceptible to seismic and non-seismic geologic hazards, even when engineering solutions are available.
- **SN-6:** Prohibit grading and brushing in areas that have a slope of 50 percent or greater and limit grading in areas with a slope of over 25 percent.
- **SN-7:** Prohibit the construction of new structures for human occupation in unstable geologic areas.
- **SN-8:** Allow the remediation or stabilization of landslides or other slope instability that affect existing structures or that threaten public health or safety. Analyze alternative remediation or stabilization techniques to determine the least-environmentally-damaging alternative. Maximum feasible mitigation shall be incorporated into the project to minimize adverse impacts to natural resources.
- **SN-9:** Prohibit land divisions, including lot line adjustments, unless all proposed parcels can be demonstrated to be safe from flooding, erosion, and geologic hazards and will provide a safe, legal, all-weather access road(s), which can be constructed consistent with all policies of this North Area Plan.

NOISE HAZARDS

Noise is often defined as unwanted or undesired sound. The human environment contains a variety of noise sources that can affect the way people live and work and, generally, negatively impact the quality of life. Excessive noise levels are not only a potential annoyance but may cause disruption to physical health, psychological well-being, social cohesion, and property values. Excessive noise levels can also negatively impact wildlife. Studies have shown that interference caused by noise can be injurious to an animal's energy budget, reproductive success, and long-term survival.

Because noise travels farther in areas of vast open space, special considerations must be taken in order to adequately address noise in the North Area. While allowing for commercial uses and acknowledging existing noise contributors such as the Ventura Freeway and major circulation routes, the County aims to also protect the quiet, rural setting of the Santa Monica Mountains.

Standardized noise limits are determined and monitored by the Los Angeles Department of Public Health (DPH). Title 12 of the County Code contains the County Noise Control Ordinance, which was adopted by the Board of Supervisors to control unnecessary, excessive and annoying noise. It declared that County policy was to “maintain quiet in

those areas which exhibit low noise levels.” The Ordinance divides receptor properties into the categories shown in Table 2. The Ordinance permits consideration of different levels of ambient or background noise within the categories, or zones. The County Health Officer is authorized to issue abatement notices and citations for a misdemeanor when these regulations are violated.

The County commissioned a noise study of the North Area in September 2018. This noise study provides a baseline for ambient noise standards and the results determined that an L90 exterior noise level requirement would be the appropriate baseline metric for the North Area.

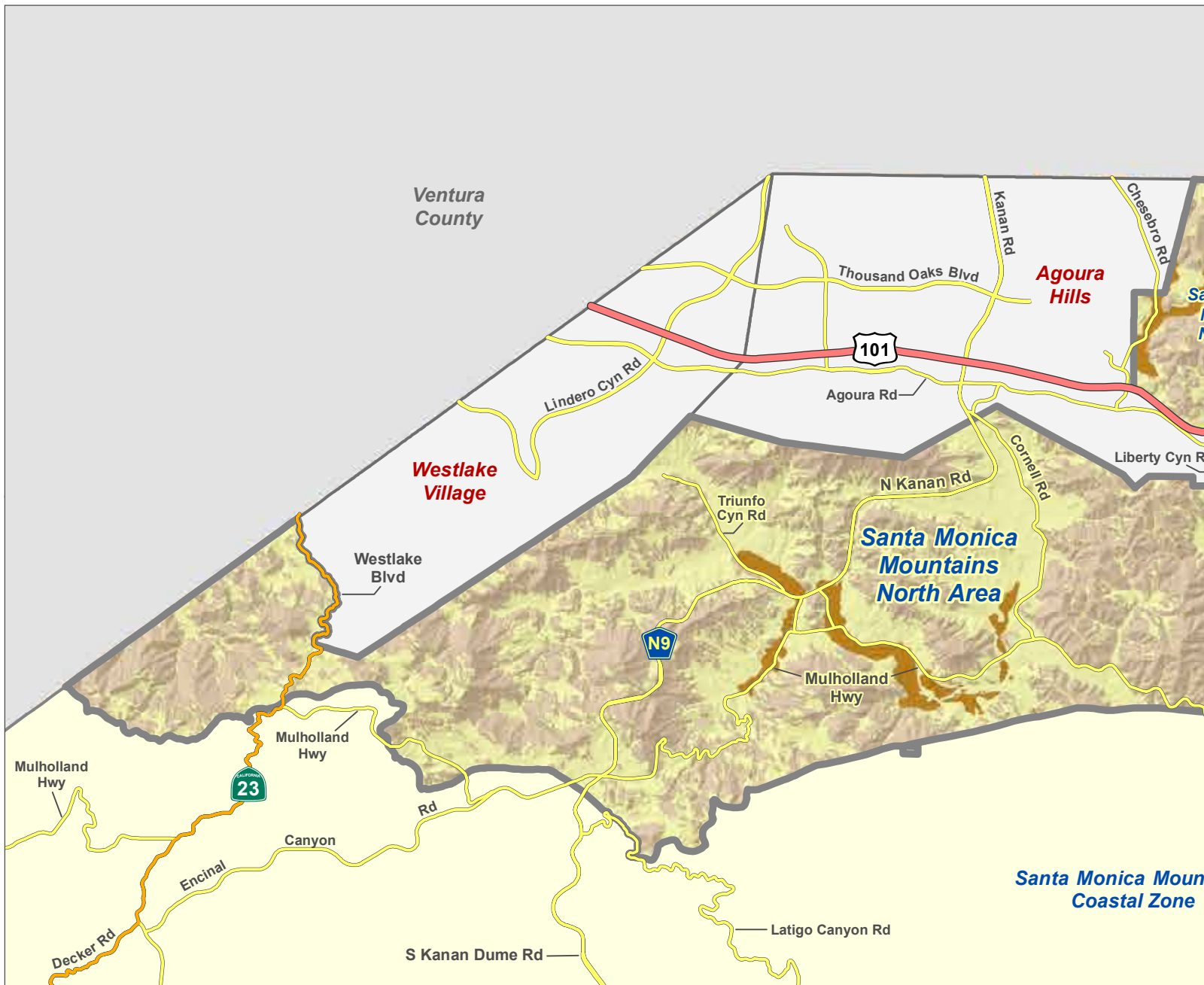
An L90 requirement measures the average ambient noise level that persists over 90 percent of a one-hour period as opposed to the existing L50 which measures the persistent noise level over 50 percent of a one-hour period. The L90 level gives a more holistic measurement of the noise that occurs throughout the duration of an event and the prolonged noise levels that may be disturbing surrounding residents and wildlife. In addition to the L50 level of 50 dBA for residential receptors, event facilities must also not exceed an L90 threshold of 45 dBA. Due to the existing above-average ambient noise conditions in the Topanga Canyon area, the L90 threshold shall be 50 dBA for the Topanga Canyon subarea.

TABLE 2: LOS ANGELES COUNTY EXTERIOR NOISE STANDARDS

Noise Zone	Designate Noise Zone Land Use (Receptor Property)	Time Interval	Exterior Noise Level L50 (dB)
I	Noise sensitive area, designated by Health Officer to ensure exceptional quiet	Anytime	45
II	Residential properties (zoned as such in the North Area Plan)	10:00 p.m. to 7:00 a.m. (nighttime)	45
		7:00 a.m. to 10:00 p.m. (daytime)	50
III	Commercial properties (zoned as such in the North Area Plan)	10:00 p.m. to 7:00 a.m. (nighttime)	55
		7:00 a.m. to 10:00 p.m. (daytime)	60
IV	Industrial properties (zoned as such in the North Area Plan)	Anytime	70

Source: Section 12.08.390 of Los Angeles County Code (a portion of the Noise Control Ordinance)

Santa Monica Mountains North Area



Geotechnical Hazards



Areas of Earthquake-Induced Landslide Potential *



Areas of Earthquake-Induced Liquefaction Potential *

* There are no Alquist-Priolo Earthquake Fault Zones or Fault Traces located within the Santa Monica Mountains North Area per the Official Alquist-Priolo Earthquake Fault Zones Map. Fault traces are defined as "areas where surface fault rupture previously has occurred, or where local topographic, geological, and geotechnical conditions indicate a potential for permanent ground displacements such that mitigation by avoidance as stated in Public Resources Code Section 2621.5 would be required." Source: California Department of Conservation, California Geological Survey

Base Layers



Freeway



Highway



Major Road



Santa Monica Mountains North Area



Other Unincorporated Area



Incorporated City

**Figure 5:
Seismic and Geotechnical Hazards**



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Dept. of Regional Planning
320 W. Temple St.
Los Angeles, CA 90012



Prepared by DRP GIS Section / October 2019

GOALS AND POLICIES

Noise

Goal SN-2:

Noise-sensitive lands and land uses, wildlife habitats, and public lands that are shielded from excessive mobile and stationary noise.

Policies:

- **SN-10:** Require development projects to demonstrate that: 1) no adverse noise effects on adjacent uses will occur from the project; 2) no adverse effects on the project will occur from adjacent influences; and 3) provisions of the County Noise Ordinance can be met by the project.
- **SN-11:** Promote interior noise reduction of residential structures, including those within 600 feet of major and secondary highways.
- **SN-12:** Ensure noise compatibility between differing uses in noise sensitive areas.
- **SN-13:** Establish zones in which minimum noise coinciding with resort, recreation and special activities is allowed during specific times.
- **SN-14:** Develop a plan for monitoring and enforcing noise where event facilities are located near sensitive receptors.
- **SN-15:** Restrict the development and use of private helicopter pads. Publicly owned and operated helicopter pads and stops may be allowed on public or private land where needed for emergency services, and consistent with all applicable policies of the North Area Plan. Locate new public helicopter pads to limit noise impacts on residential areas and public parklands.

FIRE HAZARDS

The Santa Monica Mountains are characterized by a Mediterranean climate where native vegetation is composed primarily of chaparral and coastal sage scrub plant communities that are both drought- and fire-adapted. In combination with extended drought periods, the density, structural arrangement, and chemical composition of chaparral make it one of the most volatile fuel types in the world. In fact, the Santa Monica Mountains and surrounding communities are considered to be one of the most fire-prone landscapes in North America. Dense contiguous fuels, steep topography, dry climatic conditions, drought, the autumn Santa Ana winds, and an extensive wildland-urban interface combine to exacerbate the high-fire conditions in the North Area leading to the designation the North Area as a Very High Fire Hazard Severity Zone (Figure 6), the most dangerous classification. Furthermore, development is typically scattered and access is often via narrow winding roadways, with structures that lack a defensible space. This is particularly a problem where homes have a single means of access. Fire Department communications reaffirm that ridgeline development is a particular concern, as the heat of wildfires actually pulls the fire uphill, consuming ridgeline structures while often sparing homes in the valley bottoms.

In its 1994 report to the Board of Supervisors, the Los Angeles County Wildfire Safety Panel stated that scattered rural development, heavy brush and trees, and steep inaccessible slopes combine with Santa Ana winds to make the Santa Monica Mountains “a true design for disaster.” It is in the Santa Monica Mountains, the Panel reported, that fires “have crisscrossed the terrain [so] that some residents have not only lost one home, but some sadly have lost three after rebuilding on the same site.” Indeed, the increase in property losses over the years due to wildfires in the Santa Monica Mountains is directly related to the increase in development.



Illustration: Skidmore, Owings & Merrill

GOALS AND POLICIES

Fire Hazards

Goal SN-3:

A built environment designed to avoid or minimize the potential for loss of life, physical injury, environmental disruption, property damage, economic loss, and social disruption due to wildland fires.

Policies:

- **SN-16:** Work with agencies including L.A. County Fire and L.A. County Agricultural Commissioner to ensure proper fire buffers through brush clearance and fuel modification in new and infill development.
- **SN-17:** Require fuel management plans to be submitted during the application stage.
- **SN-18:** Minimize vegetation removal for fuel management in the Sensitive Environmental Area(s) and high-sensitivity habitats.

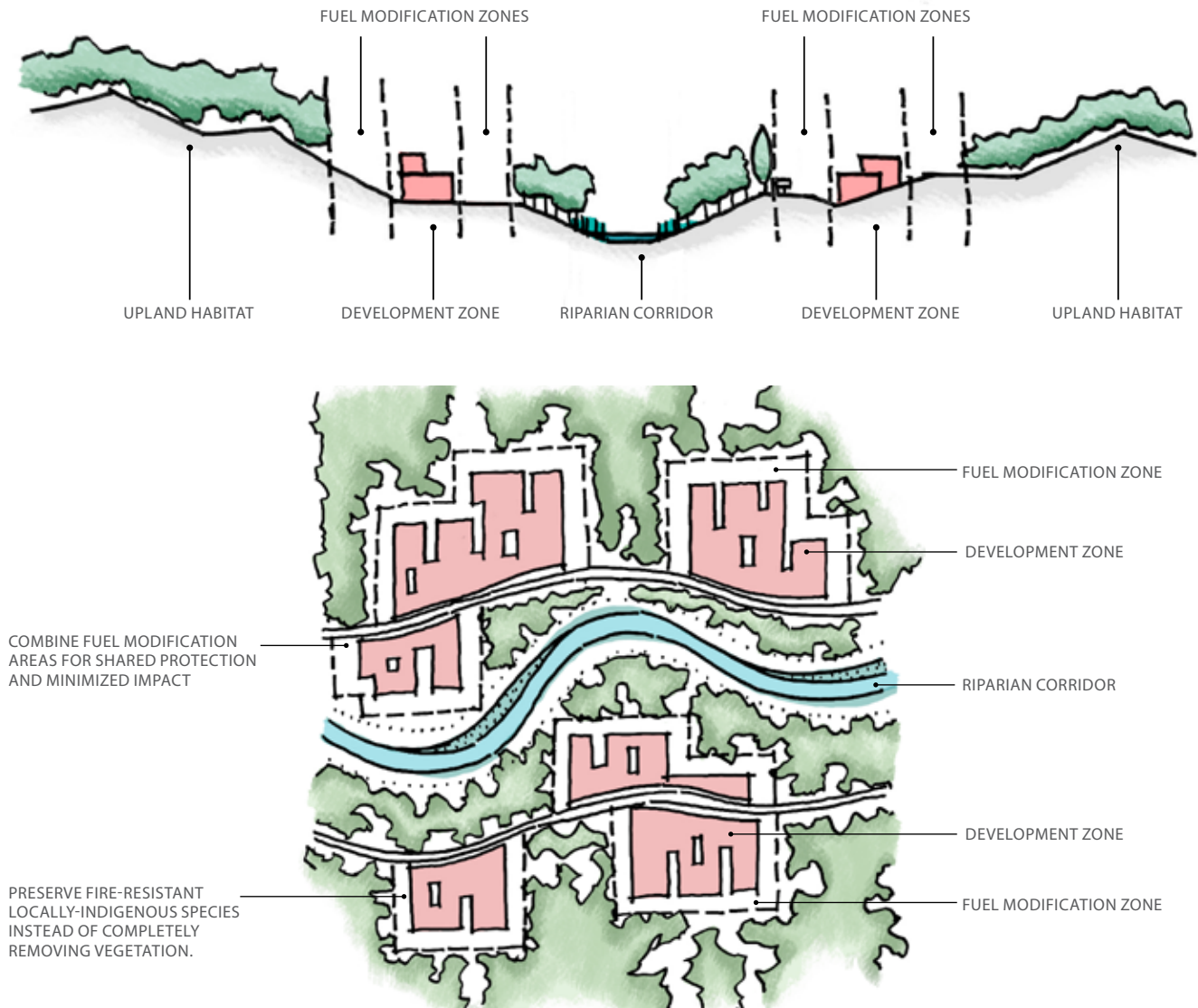


Illustration: Skidmore, Owings & Merrill

- **SN-19:** Design and site new development in a manner that minimizes the threat of loss from wildland fires while avoiding the need for excessive vegetation clearance.
- **SN-20:** Landscaping shall not extend into utility lines or block access to roads, water supplies or other emergency facilities.
- **SN-21:** Transition all overhead electrical transmission lines and supporting infrastructure underground to reduce fire risk.
- **SN-22:** Require that development sites and structures: be located off ridgelines and other dangerous topographic features such as chimneys, steep draws, and saddles; be adjacent to existing development perimeters; be located close to public roads; and, avoid over-long driveways.
- **SN-23:** Promote construction of new structures with appropriate fire-resistant features and building materials, including but not limited to: fire-resistant exterior materials, windows and roofing; and, eaves and vents that resist the intrusion of flame and burning embers.
- **SN-24:** Limit fuel modification to the minimum area necessary and utilize those programs that are most appropriate to the development site, including such strategies as preserving fire-resistant locally-indigenous species instead of completely removing vegetation.
- **SN-25:** Prohibit development in areas with insufficient access, water pressure, fire flows, or other accepted means for adequate fire protection.
- **SN-26:** Locate structures along a certified all-weather accessible road, which in some cases may consist of permeable surfaces, in a manner that provides firefighters adequate vehicle turnaround space on private properties. Where feasible, require that new development be accessed from existing roads.
- **SN-27:** Require that property owners adhere to the approved fuel modification plan for their property, and ensure that Fire Department personnel adhere to the approved fuel modification plan during annual field inspections for fuel modification or brush clearance.
- **SN-28:** Allow wildfire burn areas to revegetate naturally, except where re-seeding is necessary to minimize risks to public health or safety. Where necessary, utilize a mix of locally-indigenous native plant seeds collected in a similar habitat within the Santa Monica Mountains.
- **SN-29:** Discourage high density and intensity development within Very High Fire Hazard Severity Zones (VHFHSZ). Direct development to areas less at-risk for fire and climate change-related hazards.
- **SN-30:** Consider climate change implications in fire hazard reduction planning for the wildland-urban interface and Fire Hazard Severity Zones (FHSZs).

FLOOD HAZARDS

Natural drainage patterns include high water levels during storm conditions – a feature that should be given serious consideration in the use of, and improvements designed within, the Santa Monica Mountains and surrounding areas. Policies throughout the North Area Plan as well as standards and regulations of other agencies that will help minimize exposure to flood hazards are those related to slope modification, setbacks, on-site water retention and percolation, and runoff controls, as well as the amount and type of paving, grading, and fire clearance requirements. Potential flood hazards (Figure 6) within the jurisdiction of the North Area Plan are generally limited to canyon and valley bottoms.

In addition, although existing storm drain and flood control facilities generally have sufficient capacity to provide developed areas with adequate protection from flooding, localized areas within adjacent cities are in need of additional drainage improvements—primarily in those areas between improved concrete channels and natural drainages. Such deficiencies can, of course, have impacts beyond jurisdictional boundaries. Future development will be required to be designed not to create flooding problems and to provide adequate protection from flooding, while protecting stream courses and natural drainages; strategies employed shall be accomplished in a manner consistent with the environmental protection policies of this North Area Plan—typically without damage to the natural environment.

Generally, the need for new storm drain facilities to serve rural development within unincorporated areas is not great - although they must be provided where necessary. The low densities that have been planned and are recommended for the Santa Monica Mountains will generally not induce significant flooding impacts. Existing County building and safety codes are designed to be effective mitigation for potential flood hazards

GOALS AND POLICIES

Flood Hazards

Goal SN-4:

A built environment and flood management system that respects natural hydrological processes to minimize the potential for loss of life, physical injury, environmental disruption, property damage, economic loss, and social disruption.

Policies:

- **SN-31:** Prohibit construction which could impede storm flows within floodways, and avoid development within potential flood hazard areas.
- **SN-32:** Require protection of stream courses in their natural state, along with development designs that respect natural flows.
- **SN-33:** Require that adequate mitigation of flooding hazards is incorporated into proposed development projects so as to minimize levels of risk; such mitigation should also be consistent with the North Area Plan's environmental protection policies.
- **SN-34:** Provide adequate drainage and erosion control facilities from new development that convey site drainage in a non-erosive manner in order to minimize hazards resulting from increased runoff, erosion and other hydrologic impacts to streams.
- **SN-35:** Site, design and size all new development to minimize risks to life and property from flood hazard.
- **SN-36:** Coordinate inter-jurisdictional planning of storm drain improvements where these facilities cross municipal boundaries.
- **SN-37:** Develop master flood control and drainage plans on a watershed-by-watershed basis, develop comprehensive funding mechanisms that include contributions from both existing and future development on a fair share basis, and construct only those flood control and drainage facilities which are necessary after all on site measures have been implemented and which are consistent with the North Area Plan's environmental protection policies.
- **SN-38:** Manage flood waters on a watershed basis consistent with the best management practices (BMPs) designed by the Department of Public Works.
- **SN-39:** Promote natural environment and restoration of soil and vegetation cover to mitigate flood hazards.

HAZARDOUS AND TOXIC MATERIALS

The creation, use, storage, and transport of hazardous materials and waste is widespread in business, industrial, and residential settings. Residents may occasionally use pesticides, herbicides or rodenticides to protect crops and manage pests. Additionally, various types of herbicides may be used to remove non-native vegetation. Improperly managed hazardous materials and waste can pose such a serious threat to community safety that they are regulated through a combination of federal, State, and County laws. The transport of hazardous products along the Ventura freeway is of special concern. In the event of a Freeway closure, alternative routes may require vehicles to traverse mountain roads through environmentally sensitive areas.

Hazardous material leaks or explosions have the potential to affect large areas of the community. The Los Angeles County Fire Department responds quickly to accidents involving hazardous materials and wastes. First-response firefighters typically will secure, evacuate, and confine hazardous materials and hazardous waste spills until the arrival of the Newhall-based County Hazardous Materials Division.

Hazardous materials and wastes are present throughout the Santa Monica Mountains, but vary widely in terms of both quantity and type. Light industry, dry cleaners, and automotive service shops routinely utilize solvents and other toxic substances, and generate hazardous wastes that must be properly disposed of in compliance with strict federal and State regulations. Households also use and store

hazardous materials and wastes, including pressurized propane tanks. Homeowners need to be informed about the proper use, storage, and disposal of consumer goods containing hazardous substances. Development brings the unregulated use of materials such as pesticides, fertilizers, and household cleaners, increasing the amount of toxic materials in the ground and in water systems.

Currently, there are no active landfills operating in Los Angeles County which accept hazardous wastes. Hazardous wastes generated within the County are disposed of by transporting them to a Class I landfill (such as the Kettleman Hills facility) capable of handling all types of urban waste, including toxic and hazardous materials. The County-owned Calabasas Landfill located in the upper tributary canyons to Las Virgenes Creek, north of the Ventura Freeway, operated as a Class I facility prior to 1980, but now operates as a Class III facility, accepting only municipal solid waste and inert waste. All active areas of the landfill are now lined with plastic liners and gas collection systems to minimize the landfill's potential to contaminate downstream groundwater. Older areas of the landfill are unlined or lined with compacted clay.

GOALS AND POLICIES

Hazardous and Toxic Materials

Goal SN-5:

The transport, distribution, sale, use, storage, and disposal of hazardous material and hazardous waste in a manner that protects the health and safety of residents, workers, area visitors, and the natural environment.

Policies:

- **SN-40:** Prohibit new facilities that handle large amounts of hazardous and toxic materials.
- **SN-41:** Monitor through conditional approvals businesses handling, using, or storing more than threshold amounts of hazardous or toxic materials. Hazardous or toxic wastes may only be stored on a commercial site temporarily and must be disposed of as soon as possible.

- **SN-42:** Prohibit hazardous waste disposal facilities within the Santa Monica Mountains, due to the area's sensitive seismic and geologic characteristics.

Goal SN-7:

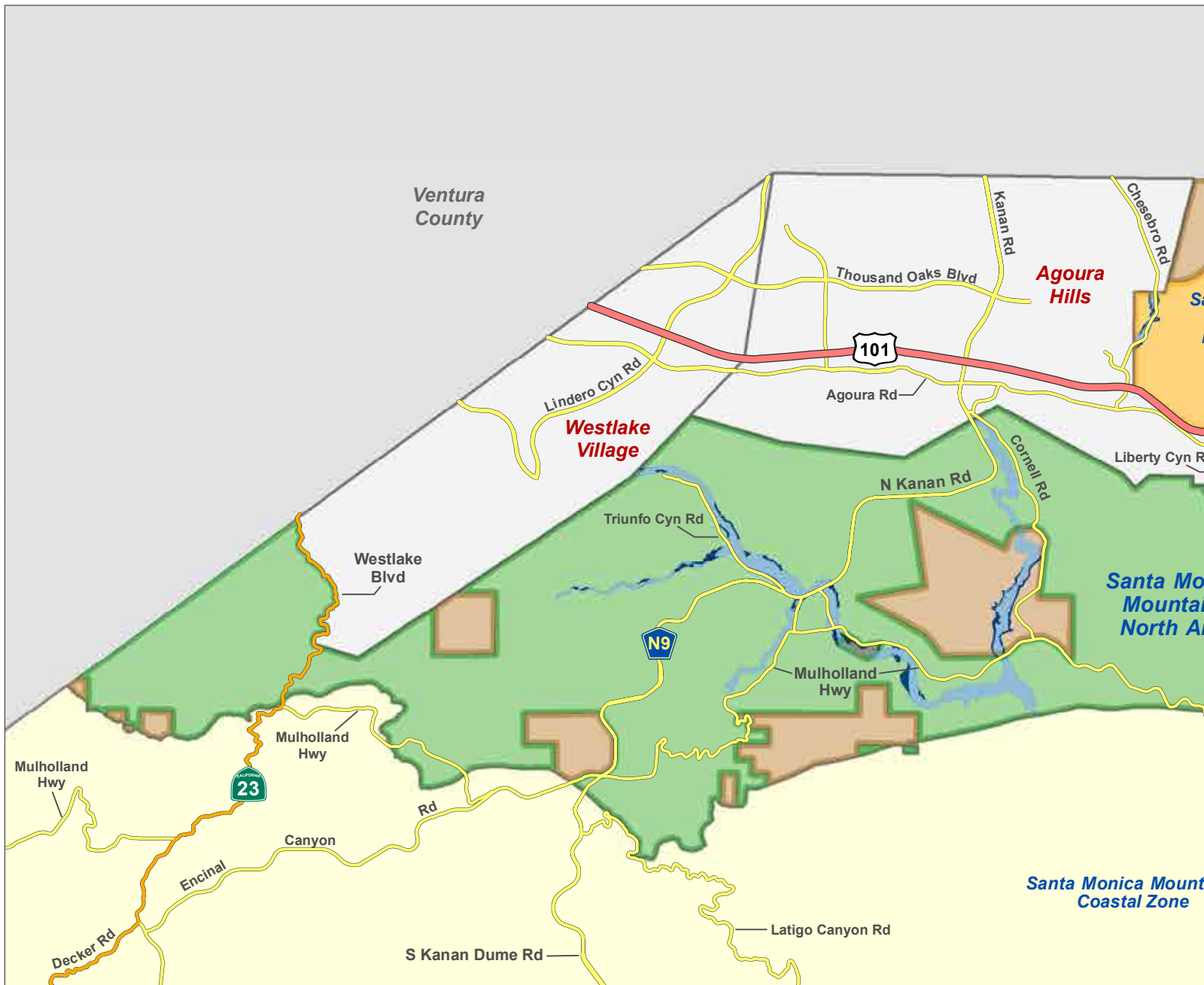
A land, air, and water environment with minimal cumulative impacts from the use of toxic and hazardous materials.

Policies:






- **SN-43:** Protect the area's residents, workers, and visitors from the risks inherent in the transport, distribution, use, and storage of hazardous materials and hazardous wastes, recognizing that the use of these materials is necessary in many parts of society.
- **SN-44:** Undertake more community-level hazardous waste drop-off events in the Santa Monica Mountains, and sponsor more community recycling centers.

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Santa Monica Mountains North Area



Hazards Layers

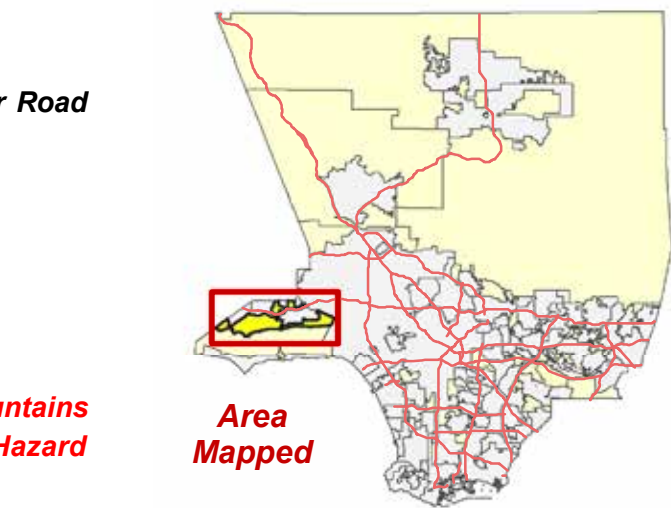
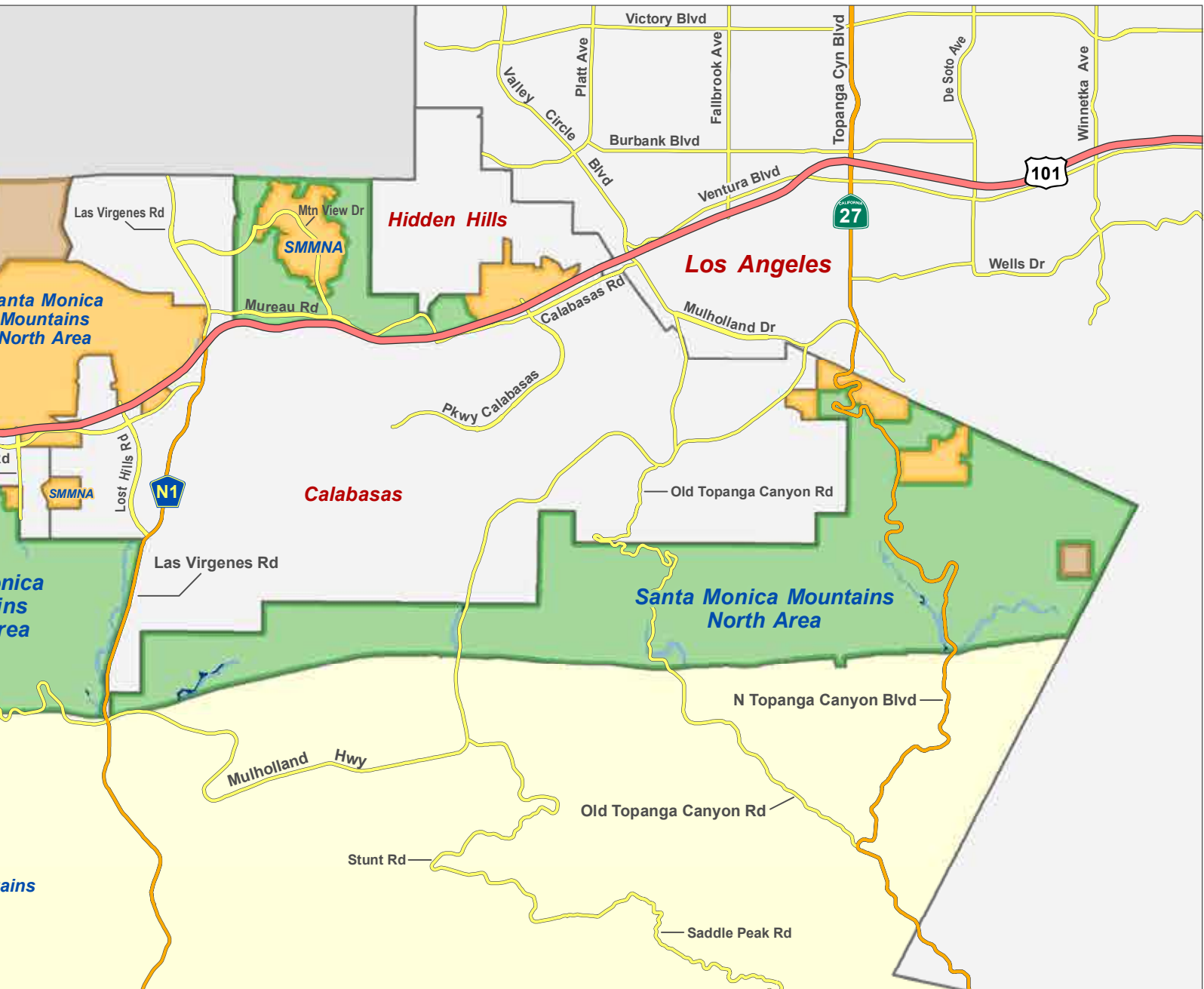
-  FEMA 100-Year Flood Plain
-  FEMA 500-Year Flood Plain
-  Federal Fire Hazard Responsibility Area
-  State Fire Hazard Responsibility Area
-  Local Fire Hazard Responsibility Area

Base Layers

-  Freeway
-  Highway
-  Major Road
-  Other Unincorporated Community
-  Incorporated City

Note: The entire extent of Santa Monica Mountains North Area is classified as a Very High Fire Hazard Severity Zone (VHFHSZ).

**Figure 6:
Hazards - Fire and Flood**



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Los Angeles, CA 90012



Prepared by DRP GIS Section / October 2019

4 LAND USE ELEMENT

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Dudleya pulverulenta (chalk lettuce)

Credit: Joseph Decruyenaere

CHAPTER 4: LAND USE ELEMENT

INTRODUCTION

The Santa Monica Mountains have a long history as a rural setting. Past uses include cattle ranching in the early 1800s, raising of livestock and crops, recreational equestrian uses, plant nurseries, and most recently, “hobby” vineyards. Although certain agricultural uses have been part of the community for about 200 years, some agricultural uses are not appropriate for the mountain environment of the Santa Monica Mountains. Much of the remaining undeveloped land is on steep slopes stabilized with abundant native vegetation. Clearing this steep land to plant crops not only requires extensive habitat destruction and soil disturbance, but compromises the stability of the slopes, thereby increasing risks to life, water quality and property. While the plan supports rural uses and does not eliminate existing, legally-established activities, the policies of this plan limit the type and intensity of land use practices allowed in the future to ensure maximum protection of natural resources.

New development in the North Area is constrained by topography, lack of and difficulty in providing infrastructure, and the presence of sensitive environmental resources, scenic resources, and natural hazards. This plan provides a framework within which new development may be undertaken, taking into consideration the protection of sensitive environmental, scenic, and other resources, public access, and the avoidance or mitigation of hazards.

The Land Use Element directs the general location, type, character, and degree of future development within the North Area by integrating environmental resource management, public health and safety goals, and quality-of-life issues. Specific development policies are primarily founded on the environmental opportunities and constraints that influence the availability of public services and accessible transportation routes, on the maintenance of the unique character of the area, and the understanding that activities within the area often have off-site impacts. The following sections address land use:

- **Development and Environmental Resources**
- **Pattern and Character of Development**
- **Livestock/Animals as Pets**
- **Agricultural Land Use**
- **Event Facilities**
- **Equestrian Uses**
- **Land Use Policy Map**

GUIDING PRINCIPLE

The guiding principle for managing land use and development is:

The pattern of land use within the North Area should:

- *Preserve public health, safety, and welfare;*
- *Preserve and protect significant environmental resources – including wildlife habitats and corridors, watersheds, drainages, and water quality;*
- *Recognize and avoid natural hazards;*
- *Protect distinct mountainous features including habitat, and scenic and visual qualities;*
- *Enhance recreational opportunities;*
- *Protect the integrity of existing rural communities; and*
- *Protect the unique cultural and social characteristics of the region's rural residential communities.*

If there is a conflict between a provision of the North Area Plan and a provision of any other County-adopted plan, resolution, or ordinance, and it is not possible for the development to comply with both the North Area Plan and such other plan, resolution or ordinance, the North Area Plan shall take precedence and the development shall not be approved unless it complies with the North Area Plan policy.

DEVELOPMENT AND ENVIRONMENTAL RESOURCES

The North Area Plan establishes a balance between the natural and manufactured environments. This balance is achieved through directing development into the most appropriate locations under conditions that protect the area's natural environment.

GOALS AND POLICIES

Open Space

Goal LU-1:

Land uses that reflect and are compatible with existing environmental resources and community character.

Policies:

- **LU-1:** Direct and site new residential, commercial, or industrial to existing developed areas able to accommodate it, or where such areas are not able to accommodate it, in other areas with adequate public services and where it will not have significant adverse effects, either individually or cumulatively, on natural resources.
- **LU-2:** Retain the area's natural setting, rural and semi-rural character, and scenic features.
- **LU-3:** Maintain areas of diverse natural topography which provide, through the preservation of large undeveloped areas, long-range vistas of open ridgelines and mountain slopes.
- **LU-4:** Prohibit development on Significant Ridgelines, following the CSD standards designed to protect ridgeline resources.
- **LU-5:** Preserve the physical connections between open space areas, natural habitats, public parklands, and activity centers.
- **LU-6:** Preserve ridgelines and open space areas that define and maintain the rural character of developed areas.

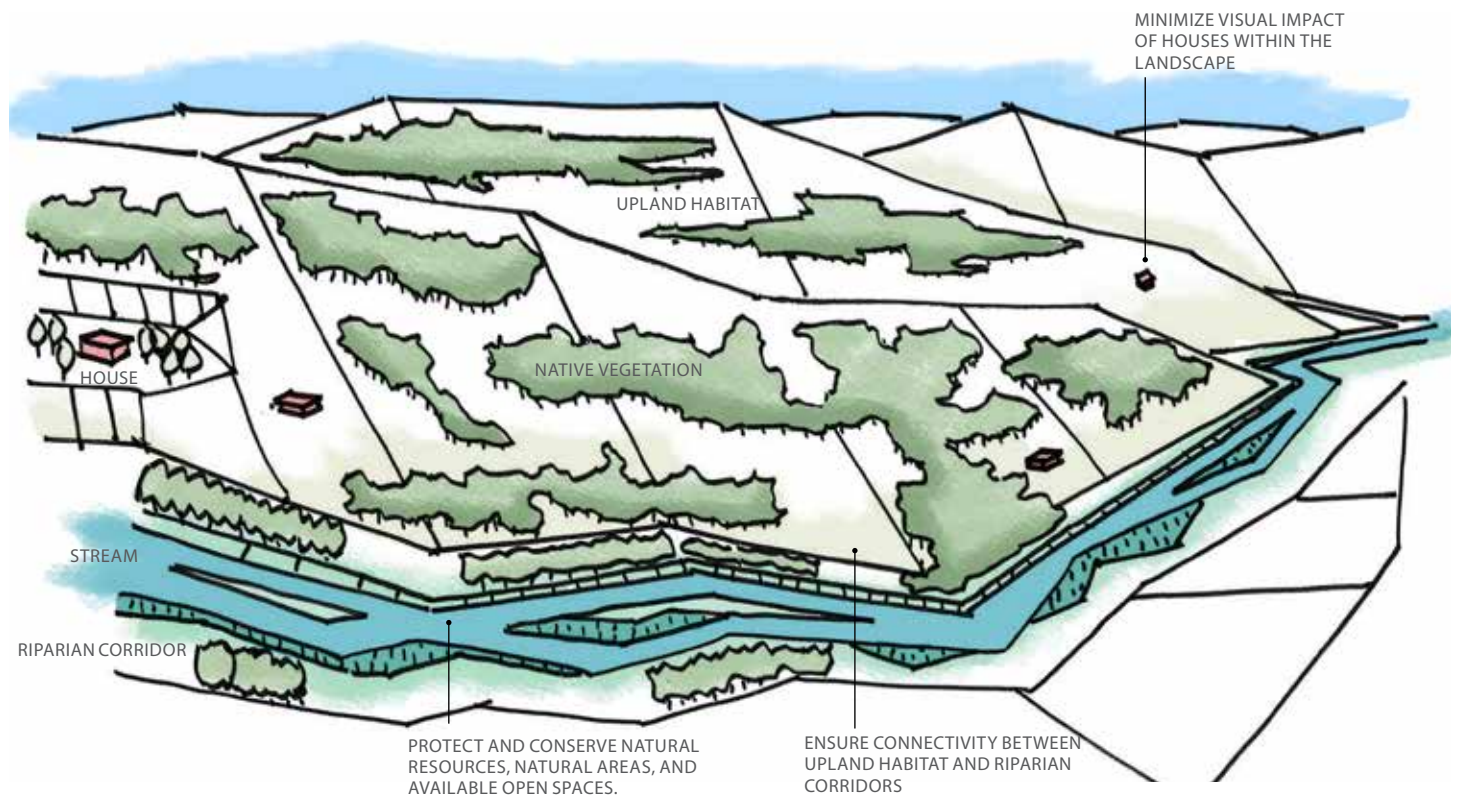


Illustration: Skidmore, Owings & Merrill

- **LU-7:** Mitigate the impacts of permitted development on neighboring jurisdictions; impacts shall not be exported to other jurisdictions.
- **LU-8:** Prohibit new industrial uses except on lots designated for such uses. Lawfully existing nonconforming industrial uses shall not be expanded.
- **LU-9:** Prohibit the use of hauled water as a source of potable water or irrigation for new development or agricultural uses.
- **LU-10:** Require that the extension of water, sewer, or utility infrastructure to serve development be located within legally existing roadways and road rights-of-way in a manner that avoids adverse impacts to natural resources to the maximum extent feasible. Such infrastructure shall be sized and otherwise designed to provide only for the approved development to avoid growth-inducing impacts.
- **LU-11:** Permit land divisions outside existing developed areas only in areas with adequate public services, where they will not have significant adverse effects, either individually or cumulatively, on natural resources, and will not create parcels that would be smaller than the average size of surrounding parcels.
- **LU-12:** Cluster development in land divisions, including building pads, if any, in order to minimize site disturbance, landform alteration, and removal of native vegetation, to minimize required fuel modification, and to maximize open space.
- **LU-13:** Subsequent development on a parcel created through a land division shall conform to all provisions of the approved land division permit, including, but not limited to, the building site location, access road/driveway design, and grading design and volumes.
- **LU-14:** Implement a Transfer of Development Credits (TDC) program that ensures that the individual and cumulative impacts of creating new lots within the Santa Monica Mountains North Area are minimized and mitigated through the retirement of an equivalent number of development credits from existing lots that meet the qualification criteria of the program.
- **LU-15:** Identify Transfer of Development Credits sending areas within the Santa Monica Mountains North Area that contain high-priority biological resources, rural, scenic and agricultural resource areas, and Very High Fire Hazard Severity Zones (VHFHSZ). Identify potential Transfer of Development Credits receiving areas county-wide, such as Transit Oriented Developments, infill sites, vacant parcels, and underutilized sites in urban areas that promote sustainable development and climate change-related risk reduction.

PATTERN AND CHARACTER OF DEVELOPMENT

While the previous section deals with directing development into the most appropriate locations under conditions which protect the area's natural environment, this section deals with the distribution of the various types of uses that make up the individual communities within the planning area, and the expected character of development. This section draws a distinction between areas that are suitable for urban/suburban development or expansion and those which are to be maintained as rural. Suburban development is limited by the Land Use Policy Map to locations within and surrounded by the region's cities, in areas which are proximate to other urban/suburban land uses, where essential services are available and few natural constraints are present. The character of rural communities is recognized and protected through control of development intensity and site design. In specific communities and settings, design review and standards are applied to one or more components of development projects. Areas classified by the North Area Plan as Rural are not to be encroached upon by inappropriate suburban development.

Despite significant physical constraints, the Santa Monica Mountains will continue to attract new residents and development will continue to occur. This section addresses the distribution of existing and future land uses that comprise the individual communities within the area, and the expected character of development.

GOALS AND POLICIES

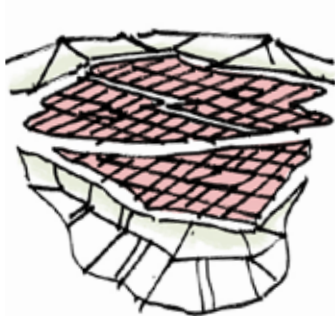
Pattern and Character of Development

Goal VI-2:

A pattern of rural land use that promotes social, environmental, and economic well-being while preserving the environmental resources and unique character of the land within the Santa Monica Mountains.

Policies:

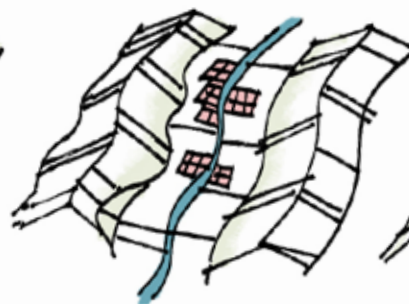
- **LU-16:** Maintain distinctions between suburban and rural lands identified on the Land Use Policy Map, and provide appropriate buffer areas and transition zones between suburban and rural areas.
- **LU-17:** Provide separate "suburban" and "rural" standards for infrastructure and public services.
- **LU-18:** In addition to maintaining low densities within rural areas, require the provision/protection of the features that contribute to rural character and rural lifestyles, including, but not limited to:
 - Retaining the natural terrain and vegetation in hillside areas, rather than creating large, flat pads with non-native landscaping;
 - Protecting natural vegetation, natural environmental features, and streams through standards such as adequate development setbacks;
- Landscaping with locally-indigenous species outside of Fuel Modification Zone A;
- Maintaining rural road sections without curbs, gutters, streetlights, or sidewalks;
- Providing opportunities for keeping equines where adequate space and suitable topography are available, and where consistent with all other policies of the North Area Plan;
- Limiting the types and locations of commercial development;
- Maintaining a natural physical setting comprised of large areas of undisturbed hillsides, oak woodlands, canyons, and riparian areas, and a visual character dominated by natural environmental features;
- Preserving the openness and scenic beauty of the area's natural environment;
- Preserving significant environmental features, incorporating open spaces into the design of new development, and requiring the dedication of open space in new development;
- Restricting night lighting and preserving dark skies, enhancing the visibility of stars and minimizing disturbance of wildlife;
- Requiring hillside residential development designs that feature natural rather than manufactured forms and using custom foundations;



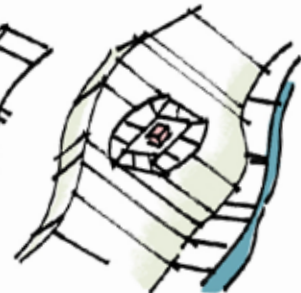
SUBURBAN DEVELOPMENT



SEMI-RURAL DEVELOPMENT



RURAL DEVELOPMENT



ISOLATED DEVELOPMENT

- Sizing houses and flat pad areas to be consistent with the natural setting; limiting features such as tennis courts and paved areas;
 - Protecting hilltops and ridgelines by prohibiting structures and limiting grading in those areas, where feasible;
 - Minimizing disturbance of landforms and biological resources by requiring buildings on hillsides to be constructed on multilevel pads where appropriate; and
 - Providing greater protection to resources than the minimum required by this Plan by offering incentives for limited types of proposed development. To encourage the concentration of development and the retirement of buildable parcels for the permanent protection of their habitat and open space values, limit the maximum approvable building site area for development.
- **LU-19:** In addition to considering the mass and scale of the entire development or structure, restrict the total square footage of and grading for rural structures to a size that maintains the area's open character, and is compatible with the open space characteristics of the surrounding hillsides. Within antiquated subdivisions, limit the mass, scale, and total square footage of structures and grading to a size which is compatible with the size of the parcel upon which the structure is placed to avoid a crowded appearance in the built environment.
 - **LU-20:** Require that new developments use architectural and siting features which are compatible with adjacent existing and planned developments, and include the following:
 - compatibility with prominent design features existing in the immediate area (i.e., trees, landforms, historic landmarks);
 - compatibility with existing structures; and

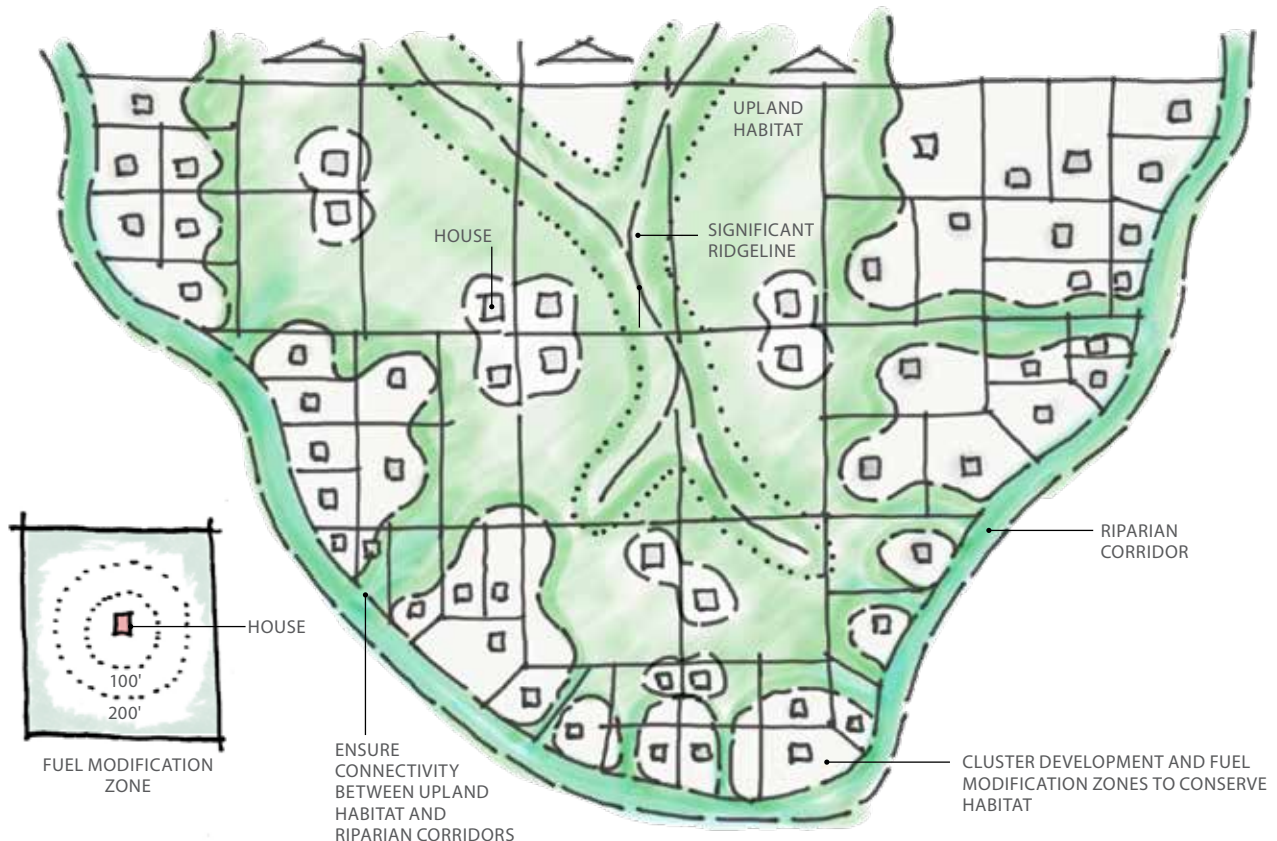


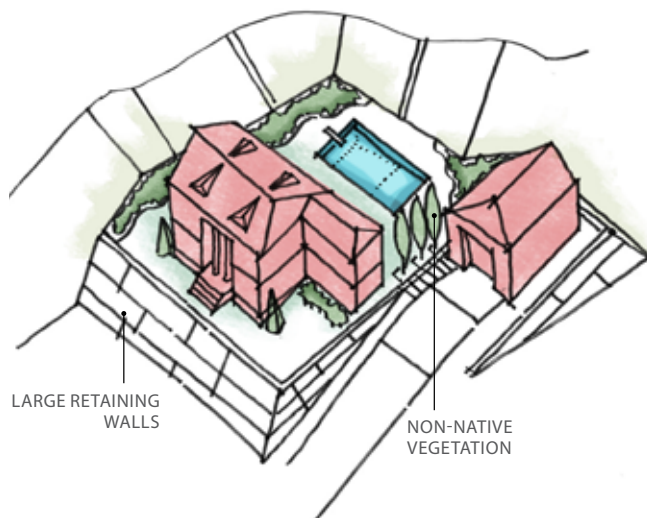
Illustration: Skidmore, Owings & Merrill

- the natural environment (i.e. hillsides, washes, native vegetation).
- **LU-21:** Require that new development preserve views from public parks, trails, and designated Scenic Routes. This includes preserving and enhancing views from public roadways which are oriented toward existing or proposed natural community amenities such as parks, open space, or natural features.
- **LU-22:** Require that new development preserve views of the ocean or Scenic Elements from public parkland, trails, Scenic Routes, and the principal permitted use on adjoining parcels. If there is a conflict between protecting views from public view areas and from private view areas, the protection of public views shall take precedence.
- **LU-23:** Cluster and concentrate development in one building site area on parcels to facilitate fire protection and to preserve and minimize impacts to natural resources and the area of disturbance.
- **LU-24:** Limit structure heights to ensure protection of scenic resources and compatibility with surrounding settings.
- **LU-25:** Limit the length of private access roads to the minimum necessary to provide access to the approved building site of a legal parcel. Temporary roads approved

for preliminary hydrologic or geologic testing shall be restored and not be considered an existing access road for subsequent development proposals.

- **LU-26:** Site and design development so as to: protect life and property; protect public lands, S1 and S2 habitat areas, dedicated open space, streams, scenic resources, public views, and other natural features and resources; maximize open space areas; and, minimize the overall vegetation clearance needed for fire protection.
- **LU-27:** Provide that residential and non-residential uses are buffered from each other through siting and design techniques and materials that are compatible with the existing community and surrounding natural environment.
- **LU-28:** Require open space areas in individual developments to connect trails, open space, and wildlife corridors wherever possible.
- **LU-29:** Limit exterior lighting, except when needed for safety. Require that new exterior lighting installations use best available dark skies technology to minimize sky glow and light trespass, thereby preserving the visibility of a natural night sky and stars and minimizing disruption of wild animal behavior, to the extent consistent with public safety.

NOT RECOMMENDED: HIGH-IMPACT DEVELOPMENT



 MASSING NOT COMPATIBLE WITH THE SCALE AND CHARACTER OF THE SURROUNDING HILLSIDES.

RECOMMENDED: LOW-IMPACT DEVELOPMENT



 STEPPED MASSING COMPATIBLE WITH THE SCALE AND CHARACTER OF THE SURROUNDING HILLSIDES.

Illustration: Skidmore, Owings & Merrill

- **LU-30:** Require the use of low-volume irrigation and locally-indigenous and drought-tolerant plant species in all development projects. Require the use of smart irrigation systems, and require the rapid repair of broken sprinkler systems. Prohibit the use of invasive species in all landscaping projects.
- **LU-31:** Concentrate commercial, office, and other higher-intensity uses along areas where appropriate, and ensure that each project has adequate access, can accommodate the traffic, is accessible to essential services, and contains appropriate site design features to enhance community character.
- **LU-32:** Require that commercial uses be designed to be compatible in scale and appearance with the existing community and surrounding natural environment. Require all new commercial and institutional development to be compatible with the rural character of the area and the surrounding natural environment to the maximum extent feasible.
- **LU-33:** Require all new commercial and institutional development to minimize adverse impacts on adjacent properties through careful use of arrangement of buildings, architectural design, and types of uses proposed. These impacts include, but are not limited to: noise, odors, fuel modification, maintenance of community character, and views.
- **LU-35:** Site, design, and operate facilities and related support structures to avoid, when possible, the visibility of the facility from public viewing areas, and to preserve the character of surrounding areas by protecting ridgelines by setting facilities below the ridge, and co-locating facilities, where feasible, to avoid proliferation of facilities.
- **LU-36:** Place support facilities underground, where feasible and where to do so would result in a lesser impact on scenic resources and public views, except where it would present or contribute to geologic hazards or if to do so would be more damaging to biological resources. Existing communication transmission lines should be relocated underground when they are replaced or when funding for undergrounding is available.

LIVESTOCK/ANIMALS AS PETS

Goal LU-4:

To allow the North Area community to retain its rural character by keeping animals and livestock on a small scale, while recognizing the necessity for wildlife movement and natural resource protection in the area.

Policies:

Goal LU-3:

A well-regulated communications network that serves the needs of the general public, limits negative impacts to the environment, and avoids contributing to visual blight.

Policies:

- **LU-34:** Limit the visual and safety impacts of wireless communications facilities to preserve the character and aesthetics of surrounding areas, through careful design, screening, and mitigation requirements. Encourage undergrounding of accessory equipment, co-locating, and clustering wireless communication facilities and structures, wherever possible, to help avert unnecessary proliferation of such facilities.
- **LU-37:** Work with North Area residents, local public agencies and stakeholder groups to protect livestock while allowing opportunities for wildlife movement.
- **LU-38:** Collaborate with other County, State and federal agencies in the North Area to develop the best enclosure practices for sheltering livestock and pets.
- **LU-39:** Manage the location of livestock and horses, and the collection/disposal of animal wastes in a manner that is protective of streams and natural drainages and the quality of water runoff and groundwater.
- **LU-40:** Require animal containment facilities and animal living quarters to utilize BMPs to minimize erosion and avoid sediment and pollutant impacts.
- **LU-41:** Limit the siting of confined animal facilities and the maximum number of livestock permitted on a site to that appropriate to parcel size, slope, proximity to sensitive habitat areas, and other unique site characteristics and

constraints. Facilities should be constructed of non-flammable materials and be clustered to the maximum extent feasible to minimize area disturbed and fuel modification.

- **LU-42:** Night lighting of facilities should be limited to necessary security lighting that is controlled by motion detectors and the Lumosity should be compatible with dark skies standards.

AGRICULTURAL LAND USE

Goal LU-5:

To create a balance between agricultural uses and conserving California's natural resources in a changing climate.

Policies:

- **LU-43:** Ensure and identify source of water supply, availability, and delivery for new development.
- **LU-44:** Strictly review the installation of new wells to protect potential groundwater overdraft and watershed impacts.
- **LU-45:** New agricultural uses should be sited in already disturbed areas, in the approved building site area, and/or in Fuel Modification Zones A or B, and are not permitted on slopes greater than 3:1.
- **LU-46:** Require, where feasible, the use of reclaimed water for any approved agricultural use.
- **LU-47:** Encourage the use of integrated pest management and use of least toxic methods of pest control.
- **LU-48:** Encourage organic or biodynamic farming practices.
- **LU-49:** Employ measures to minimize impacts to water quality for crop uses.

EVENT FACILITIES

The Santa Monica Mountains have become a popular backdrop for special events such as weddings, conferences, and retreats that seek a natural setting within the Los Angeles area. However, concerns such as limited road capacity, nuisance noise, wildfire preparedness, and habitat protection make it necessary to ensure that event facilities do not cause adverse impacts to the surrounding community.

GOALS AND POLICIES

Event Facilities

Goal LU-6:

To allow the use of event facilities for enjoyment and recreation in the Santa Monica Mountains in applicable zones, while adhering to policies regarding public safety, dark skies, noise and surrounding land uses.

Policies:

- **LU-50:** Establish an event facility use in the North Area Plan which will regulate and monitor potential impacts, such as noise, traffic, wildlife movement, and public safety issues, associated with special events.
- **LU-51:** Promote the collaboration of business owners in the area to address noise, traffic safety, and the cumulative impacts of operations.
- **LU-52:** Allow for a variety of uses including wedding venues, wineries, tasting rooms, festivals, and other special events while maintaining maximum accessibility and safety for residents of the North Area.
- **LU-53:** Ensure the necessary evacuation routes during emergencies can be accessed by residents and visitors to the North Area.

EQUESTRIAN USES

The Santa Monica Mountains have historically been home to various equestrian uses. The area is unique in that it contains a horse-friendly trail system and provides zones allowing horse keeping. The Santa Monica Mountains is one of a small number of areas in the Los Angeles basin which maintains a rural setting sought by equestrian community members.

Some equestrian activities which currently occur in the North Area include riding, riding lessons, training, boarding, as well as others. While the planning area has many distinct features that equestrian enthusiasts enjoy, there can be environmental issues. Improper management of horse waste may result in polluted runoff finding its way into streams and drainages in the Santa Monica Mountains. The goals and policies of this section promote the equestrian culture in the Santa Monica Mountains while minimizing the environmental impacts these activities may have on the region.

GOALS AND POLICIES

Equestrian Uses

Goal LU-7:

Create a balance between land use, equestrian activities, and environmental protection.

Policies:

- **LU-54:** Consistent with all resource protection policies of this North Area Plan, preserve the opportunity for horse-keeping in support of the equestrian-oriented tradition of the Santa Monica Mountains. Encourage the establishment of equestrian-friendly trailhead parking and staging areas to promote low-cost public access to trails.
- **LU-55:** Protect the rural character of the North Area and allow for keeping of horses in support of the equestrian-oriented tradition of the Santa Monica Mountains.
- **LU-56:** Allow for the limited boarding of horses by private individuals if it complies with all policies and provisions of the North Area Plan.
- **LU-57:** Manage the location of animal containment facilities, animal living quarters and associated equestrian structures in relation to sensitive biological habitats, including S1 and S2.
- **LU-58:** Manage the collection/disposal of animal wastes to protect streams/natural drainages/water runoff/groundwater.
- **LU-59:** Allow the development of new, and the retention of existing, private recreational facilities, including equestrian rental and boarding facilities, in areas where the character of such facilities dictates the need for such a setting and is compatible with surrounding land uses.
- **LU-60:** At the periphery of areas devoted to recreation, provide sufficient staging and parking areas at trail access points, including space to accommodate horse trailers where needed and appropriate: to ensure adequate access to the trails system, campgrounds, roadside rest, and picnic areas where suitable; to provide visitor information; and, to establish day-use facilities, where the facilities are developed and operated in a manner consistent with the policies of this Plan and compatible with surrounding land uses.

LAND USE POLICY MAP

The Land Use Policy Map (Figure 7) for the Santa Monica Mountains North Area Plan graphically depicts the general location, character, and intensity of development throughout the jurisdiction of the North Area Plan. The pattern and distribution of land uses are derived primarily from the consideration of environmental opportunities and constraints, the availability of public services and highway access, the maintenance of local community character, and development necessary to serve local and regional needs, including business, housing and recreational opportunities.

It is important to recognize that the maximum number of units possible overall on any parcel is established by the Land Use Map, not by the zoning designation. Land use policy and zoning have related, but different functions:

1. Land use policy establishes the basic category and intensity of use. Categories of use include Open Space, Agricultural, Residential, Commercial, and Public and Semi-public Facilities. Intensity of use is defined

in terms of lot coverage (or floor-area ratio) for commercial uses and density (units per acre) for residential uses. Residential density is the maximum number of dwelling units that can be created on any given parcel.

2. Zoning (Figure 8) sets the specific standards that must be observed in utilizing the land, including such factors as the minimum size of any lot created by a subdivision. Lots created by subdivision may be larger than the minimum size, and under certain circumstances they can be smaller providing the resulting density is consistent with the overall land use plan density. Once again, the land use policy establishes the total number of lots or units that can be created.

While the Land Use Map establishes the maximum number of units possible on a parcel, neither land use policy nor zoning standards are the sole determinants of the number of dwelling units appropriate for, or which may be approved for, a given parcel. The application of all other North Area Plan policies, in addition to the requirements of other regulatory agencies with jurisdiction over the property, may significantly reduce the number of units.

Open Space

The primary purpose of lands designated as Open Space is to provide areas for the preservation of environmental, historical, or cultural resources, recreation, and protection of the public health and safety. Uses consistent with the preservation of environmental, cultural, or historical resources, production of natural resources, and the protection of the public health and safety may be considered appropriate subject to applicable North Area Plan policies and ordinance provisions. Typical uses include equestrian activities, parks, nature preserves and sanctuaries, deed restricted private open space, streams, rivers and open drainage easements, trails, rural campgrounds and historical building sites. The following Open Space category is used on the Land Use Map:

OS-C (Open Space – Conservation)

The preservation of open space areas and scenic resource preservation in perpetuity. Applies to land that is legally dedicated for open space and conservation efforts.

OS-PR (Open Space – Parks and Recreation)

Open space recreational uses, such as regional and local parks, trails, athletic fields, community gardens, and golf courses.

The Open Space category may also include the following:

- Lands acquired and managed by private, non-profit organizations for habitat preservation and recreation uses. Includes private conservancy lands, private parks, nature preserves, wildlife habitats, and drainage easements. The principal permitted uses is passive, resource-dependent recreation.
- Public parks, including federal, State, and County parks, and beaches acquired by public agencies for habitat preservation and public recreation. The principal permitted use is resource-dependent recreation.
- Lands subject to recorded easements or deed restrictions for open space purposes, including, but not limited to, habitat preservation, scenic protection, trails and walkways, or flood hazard protection. Private lands deed restricted for habitat preservation and scenic protection generally do not allow public use. The principal permitted use is habitat preservation or passive, resource-dependent recreation consistent with the limitations established for the site by the terms of the applicable easement or deed restriction.

Rural Land

Lands designated Rural Land within the Santa Monica Mountains North Area Plan consist of those rolling hillside areas, steep slopes, and isolated remote mountain lands with difficult or no access. Rural Lands also include areas served by winding mountain roads which cannot accommodate substantial increases in traffic from new development. Permitted uses include low-density single-family housing, agriculture, equestrian uses, retreats, monasteries, private campgrounds, bed-and-breakfast lodging, low-intensity conference centers, public and private schools, water tanks, telecommunications facilities and other local-serving commercial and public facilities. Clustering of uses may be beneficial in helping to reduce disturbances to the topographic, vegetative and biological settings.

The Rural Land 2 and Rural Land 1 designations are intended to provide for low-density single-family detached housing in a setting consistent with the North Area Plan's

definition of 'rural' area. Clustering may be useful in providing community open space and protecting resources. Other uses that may be appropriate include: agriculture, equestrian uses, retreats, monasteries, private campgrounds, bed-and-breakfast lodging, low-intensity conference centers, public and private schools, telecommunications facilities, and other local-serving public facilities, including uses permitted by the underlying zone such as local-serving commercial. Existing permitted mobile home parks are deemed consistent with the category in which they are located and, in the event destroyed, may be rebuilt to existing densities, providing all other current policies—such as environmental protection – are incorporated into the rebuilt project; redevelopment of such sites to other uses including permanent housing must be consistent with the underlying land use category.

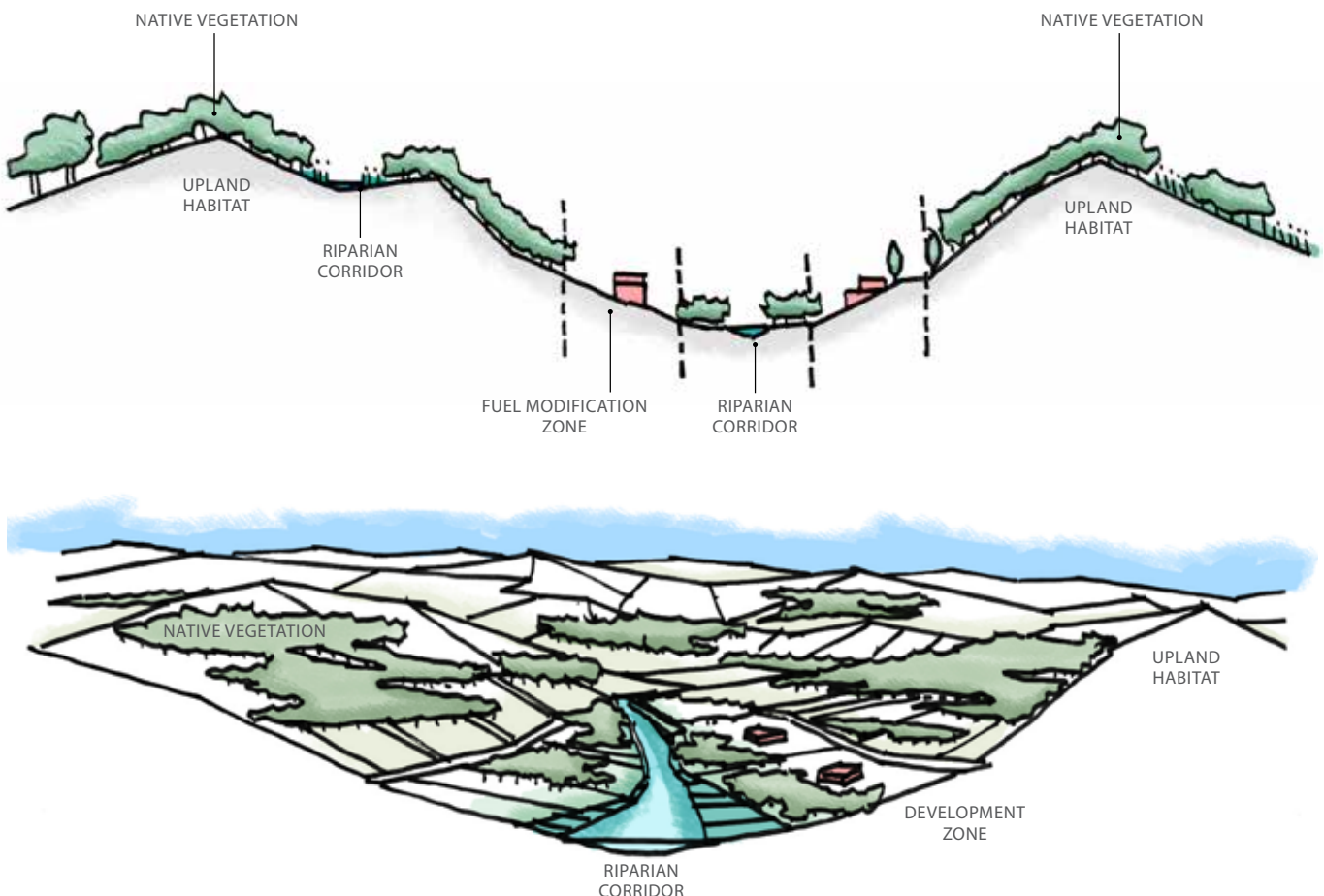


Illustration: Skidmore, Owings & Merrill

The following Rural Lands categories are used on the Land Use Policy Map:

RL20 (Rural Land 20)

Not to exceed a maximum residential density of one dwelling unit per 20 acres (1 du/20 ac).

RL10 (Rural Land 10)

Not to exceed a maximum residential density of one dwelling unit per 10 acres (1 du/10 ac).

RL5 (Rural Land 5)

Not to exceed a maximum residential density of one dwelling unit per 5 acres (1 du/5 ac).

RL2 (Rural Land 2)

Not to exceed a maximum residential density of one dwelling unit per 2 acres (1 du/2 ac).

RL1 (Rural Land 1)

Not to exceed a maximum residential density of one dwelling unit per 1 acre (1 du/1 ac).

Residential

The Residential land use categories are intended to provide for single-family detached and attached dwelling units, including large-lot estates, typical suburban tracts, small-lot single-family residences, and townhouses, as appropriate to the designated maximum density of land. Existing mobile home parks are deemed consistent with all Residential categories in which they are located and, in the event destroyed, may be rebuilt to existing densities-providing they incorporate all other current North Area Plan requirements; redevelopment of such sites to other uses including permanent housing must be consistent with the density specified by the underlying land use category.

Public and private schools may be found compatible with this category. The following Residential land use categories are used on the Land Use Policy Map:

H2 (Residential 2)

Not to exceed a maximum residential density of two dwelling units per acre (2 du/ac).

H4 (Residential 4)

Not to exceed a maximum residential density of four dwelling units per acre (4 du/ac).

H8 (Residential 8)

Not to exceed a maximum residential density of eight dwelling units per acre (8 du//ac).

Commercial

The Commercial categories provide areas for residents and visitors to obtain goods and services. These categories generally are located where such uses have existed historically or where they would be positioned to meet the needs of residents and visitors. The following Commercial land use categories are used on the Land Use Policy Map:

C (Commercial)

The primary purpose of areas designated as Commercial is to provide appropriately located areas for the general shopping and commercial service needs of area residents and workers, as well as the needs of highway users and tourists. Appropriate uses include a range of general commercial, including retail and personal service uses, specialty shops, offices, highway-oriented uses, financial institutions, motels, and art and studio facilities. Quiet, non-polluting light industrial uses such as those found in "high tech" business parks may also be located in areas designated Commercial. Maximum land use intensity of 0.5 floor area ratio (FAR).

CR (Commercial Recreation - Limited Intensity)

The primary purpose of areas designated as Commercial Recreation - Limited Intensity is to provide appropriately located areas for the establishment of low-intensity uses and facilities adjacent to areas generally designated as Mountain Lands or Rural Residential. Appropriate uses include restaurants, general stores, bed-and-breakfast lodging, private recreation of a commercial nature including fish ponds, equestrian facilities, club houses connected to a private recreation use, and visitor-serving uses for visitors to the recreation areas of the Santa Monica Mountains. Maximum land use intensity of 0.3 FAR.

Public and Semi-Public Facilities

The Public and Semi-Public Facilities identifies lands that are used for various types of public and community-serving facilities owned and operated by public agencies, special districts, non-profit organizations, and other entities.

P (Public and Semi-Public Facilities)

The primary purpose of areas designated as Public and Semi-Public Facilities is to provide appropriately located areas for the conduct of activities by public and quasi-public agencies, including landfills, probations camps, educational facilities, and public service facilities.

Transportation Corridor**TC (Transportation Corridor)**

The primary purpose of areas designated as Transportation Corridor is to provide areas for major transportation facilities. Principal uses include freeways, transit stations, and commuter and freight rail lines. The Ventura Freeway is the only such use shown on the Land Use Policy Map.

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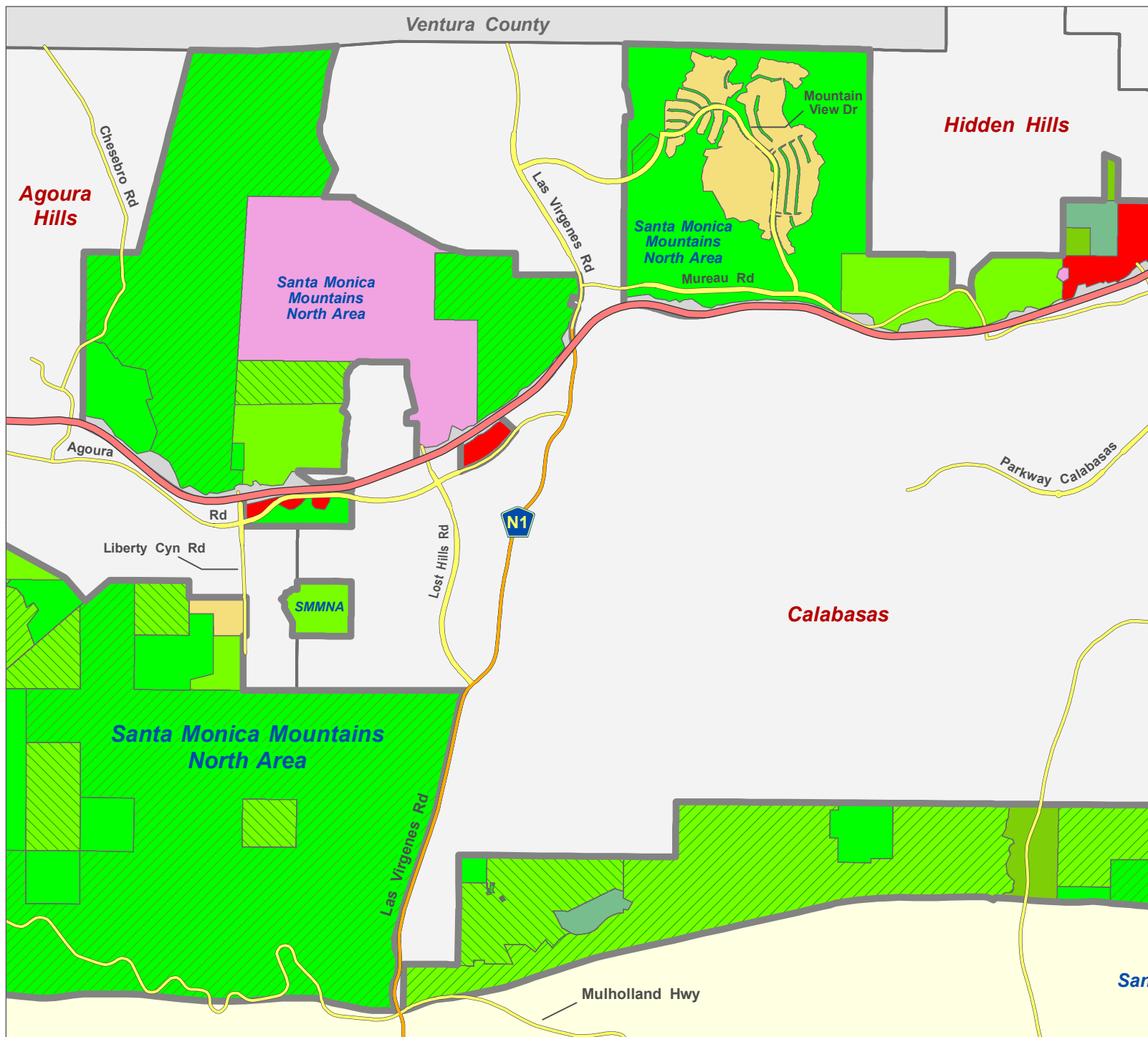
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Santa Monica Mountains North Area



Land Use Policy - Santa Monica Mountains North Area Plan

- C - Commercial
- H2 - Residential 2 (2 du/ac max)*
- H4 - Residential 4 (4 du/ac max)*
- H8 - Residential 8 (8 du/ac max)*
- OS-C - Open Space Conservation
- OS-PR - Open Space Parks
- P - Public and Semi-Public Facilities

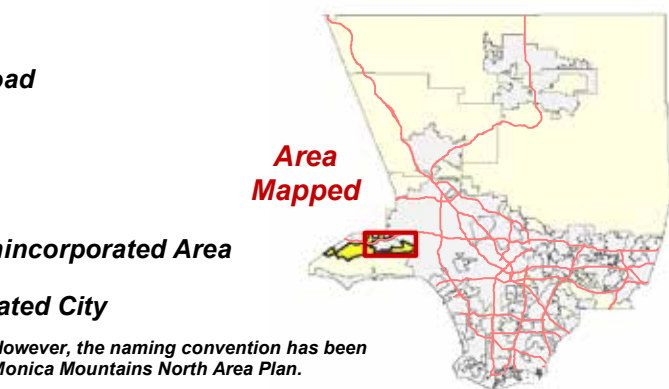
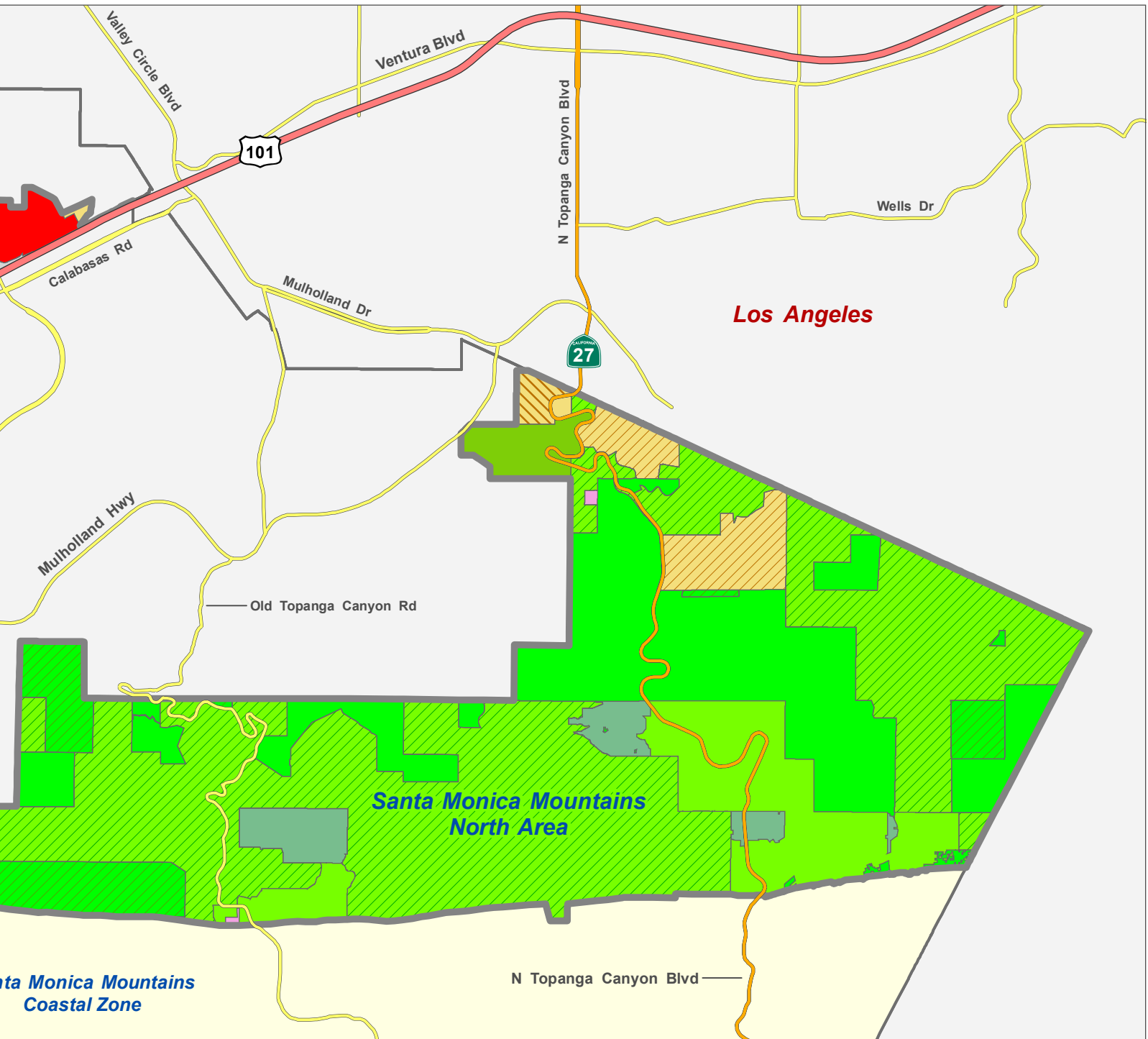
- RL1 - Rural Land 1 (1 du/ac max)
- RL2 - Rural Land 2 (1 du/2 ac max)
- RL5 - Rural Land 5 (1 du/5 ac max)
- RL10 - Rural Land 10 (1 du/10 ac max)
- RL20 - Rural Land 20 (1 du/20 ac max)
- TC - Transportation Corridor

* Land Use Categories H2, H4, and H8 are not present in the Los Angeles County 2035 General Plan. H2, H4, and H8 are updated to reflect current naming standards while maintaining existing densities from the 2000 Santa Monica Mountains North Area Plan.

Base Layers

- Major Road
- Highway
- Freeway
- Other Unincorporated Area
- Incorporated Area

**Figure 7:
Land Use Policy (Eastern Portion)**

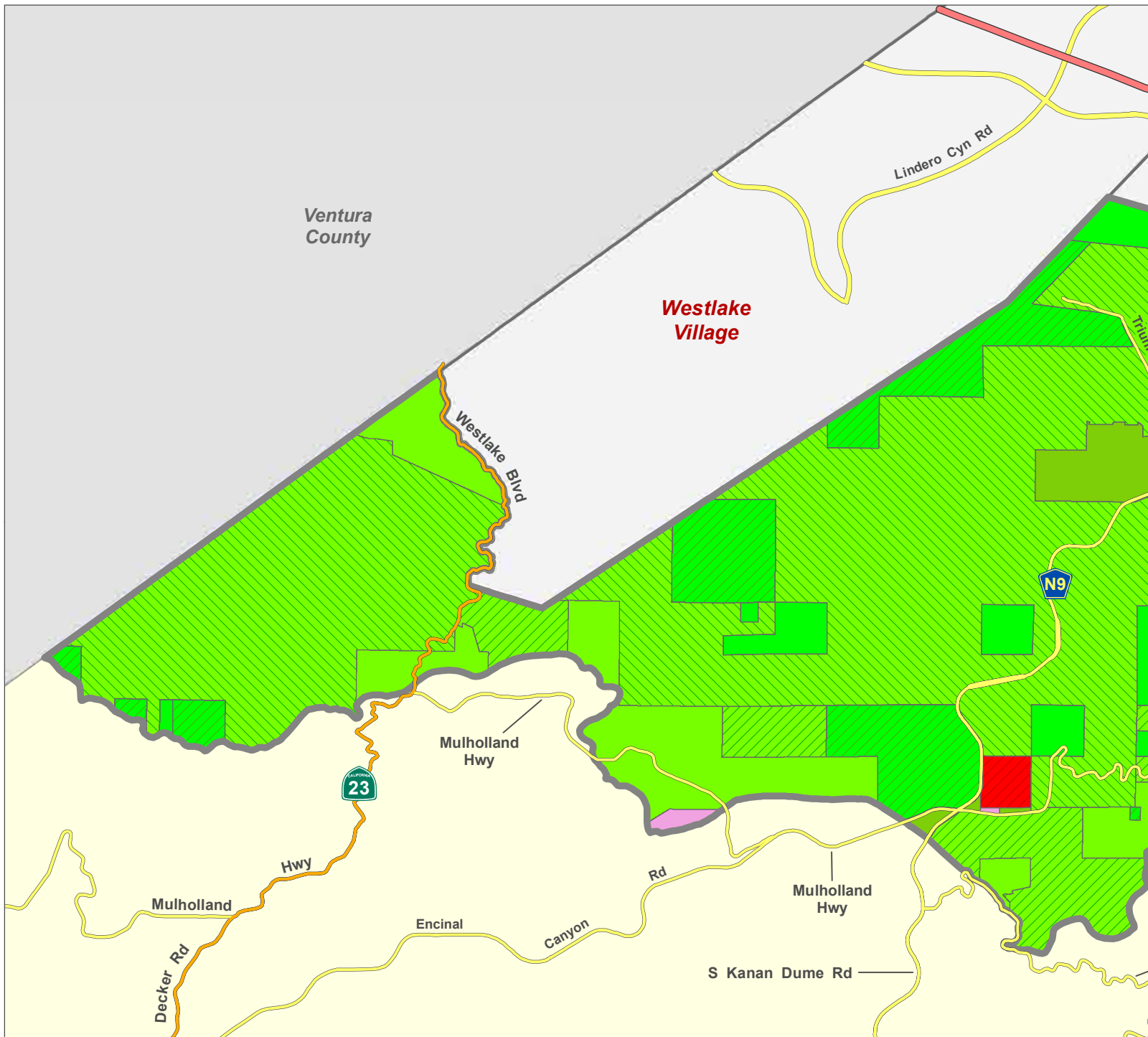


LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple St.
Los Angeles, CA 90012



Prepared by DRP GIS Section / November 2019

Santa Monica Mountains North Area



Land Use Policy - Santa Monica Mountains North Area Plan

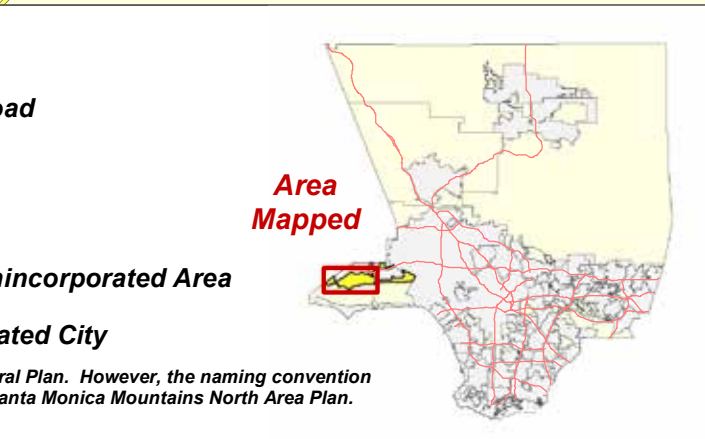
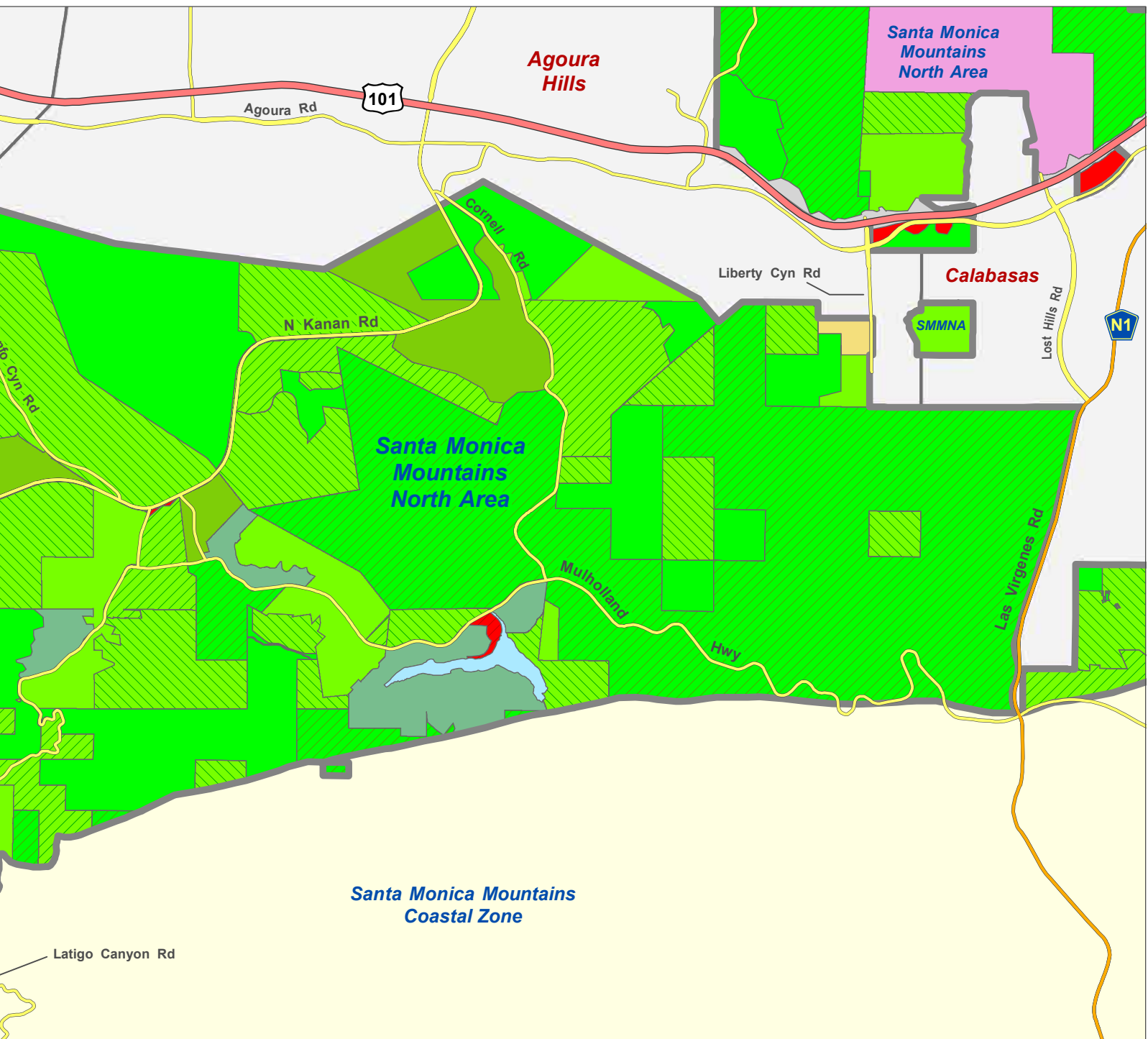
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|--|---------------------------------------|
| C - Commercial | RL2 - Rural Land 2 (1 du/2 ac max) |
| CR - Commercial Recreation - Ltd Intensity | RL5 - Rural Land 5 (1 du/5 ac max) |
| H2 - Residential 2 (2 du/ac max)* | RL10 - Rural Land 10 (1 du/10 ac max) |
| OS-C - Open Space Conservation | RL20 - Rural Land 20 (1 du/20 ac max) |
| OS-PR - Open Space Parks | TC - Transportation Corridor |
| P - Public and Semi-Public Facilities | W - Water |
| R1 - Rural Land 1 (1 du/ac max) | |

* Land Use Categories H2, H4, and H8 (where shown) are not present in the Los Angeles County 2035 General Plan. The map has been updated to reflect current naming standards while maintaining existing densities from the 2000 San

Base Layers

- Major Road
- Highway
- Freeway
- Other Unincorporated
- Incorporated

**Figure 7:
Land Use Policy (Western Portion)**

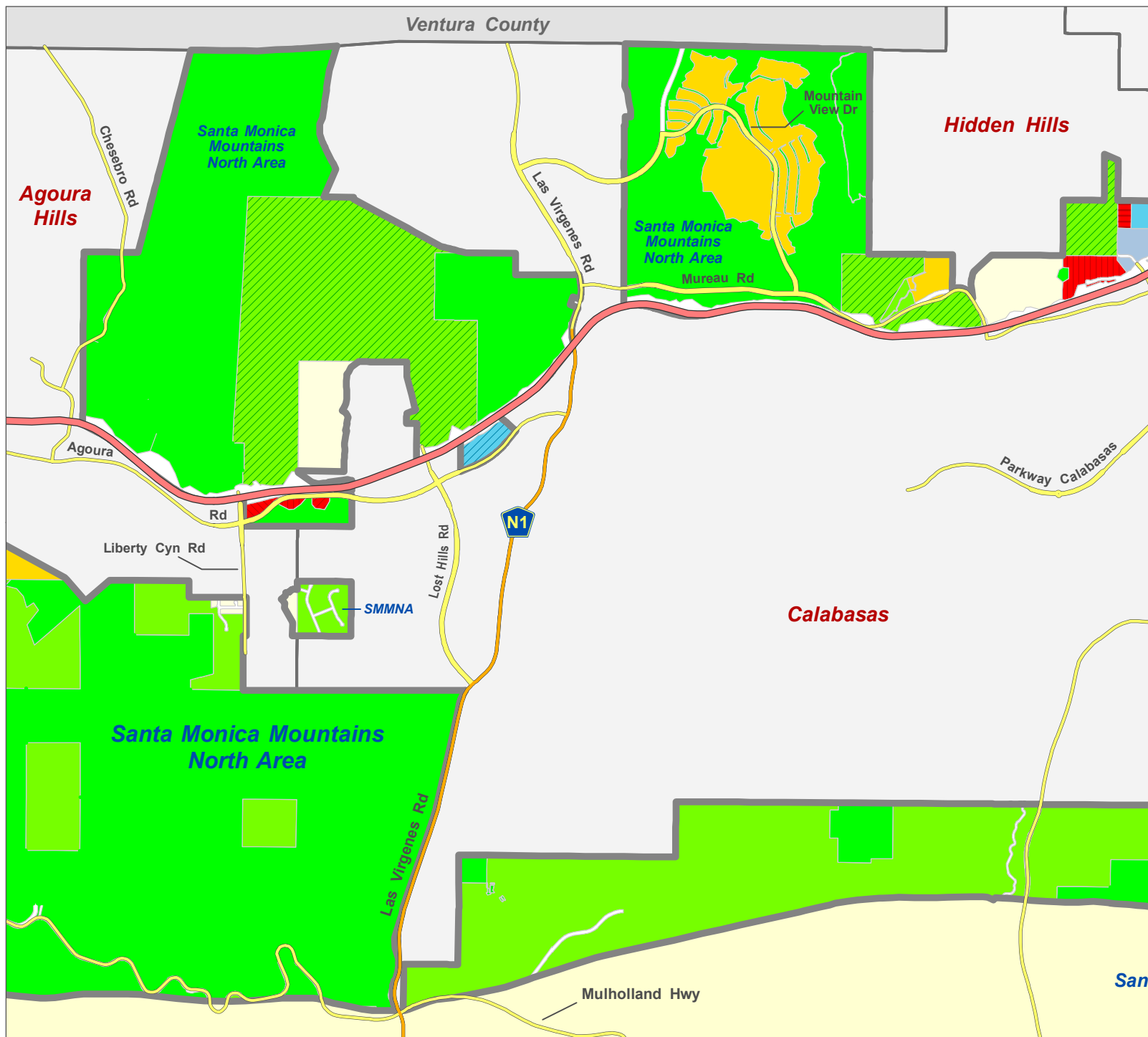


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Santa Monica Mountains North Area



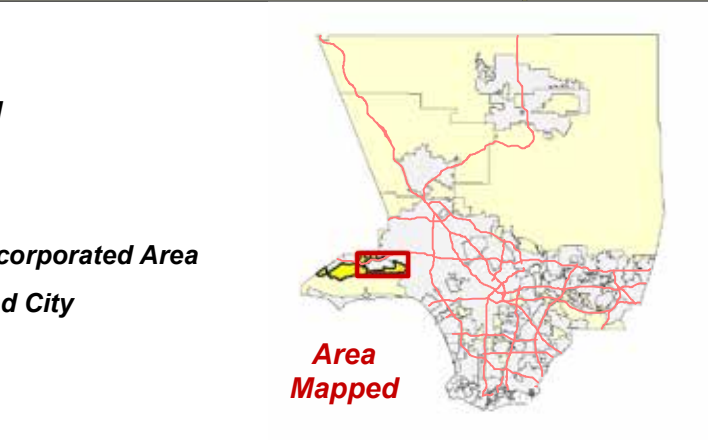
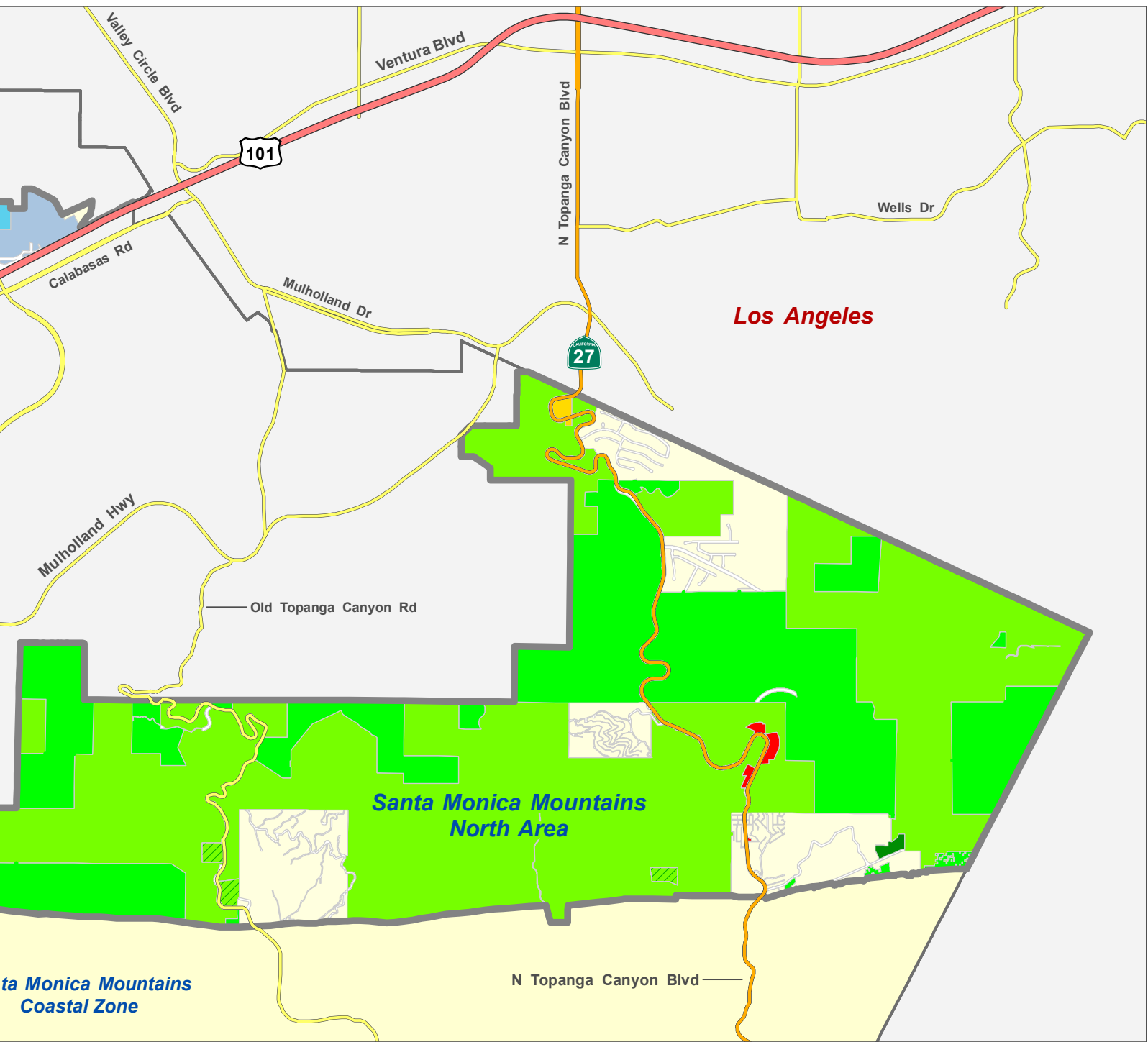
Zoning Categories - Santa Monica Mountains North Area Plan

- | | |
|---------------------------------------|---|
| R-1 - Single-Family Residence | C-R - Commercial Recreation |
| RPD - Residential Planned Development | CPD - Commercial Planned Development |
| A-1 - Light Agricultural | M-1 - Light Manufacturing |
| A-2 - Heavy Agricultural | M-2 - Heavy Manufacturing |
| C-2 - Neighborhood Business | MPD - Manufacturing--Industrial Planned |
| C-3 - General Commercial | O-S - Open Space |
| C-M - Commercial Manufacturing | R-R - Resort And Recreation |

Base Layers

- | |
|---------------------------|
| Major Road |
| Highway |
| Freeway |
| Other Unincorporated Area |
| Incorporated Area |

**Figure 8:
Zoning (Eastern Portion)**

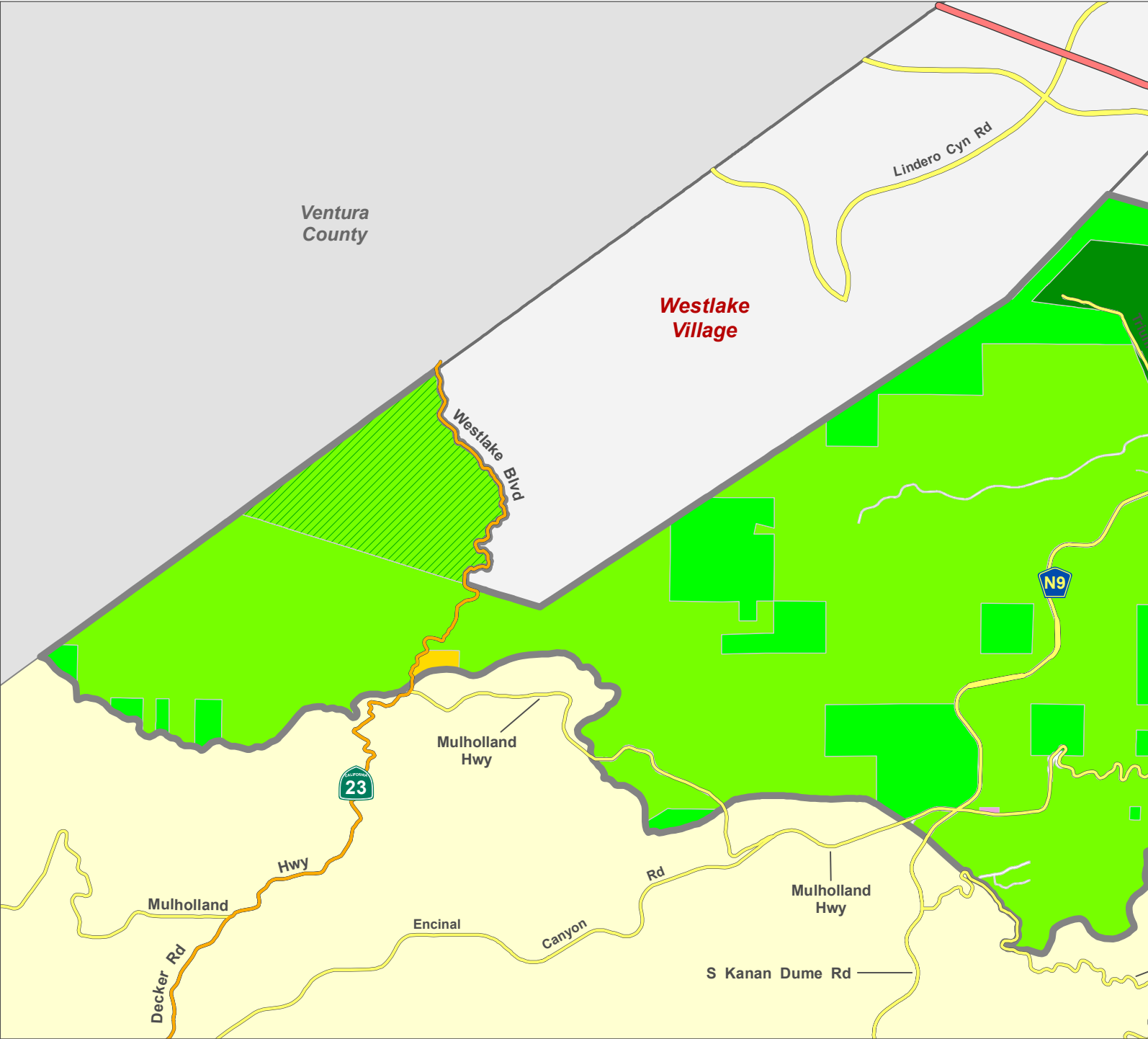


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320 W. Temple St.
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Santa Monica Mountains North Area



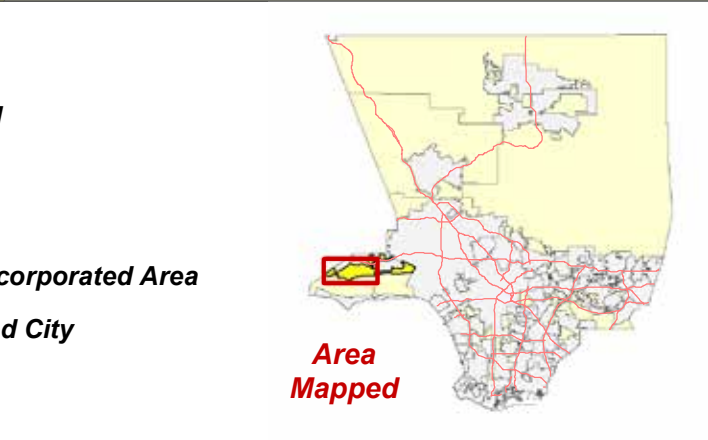
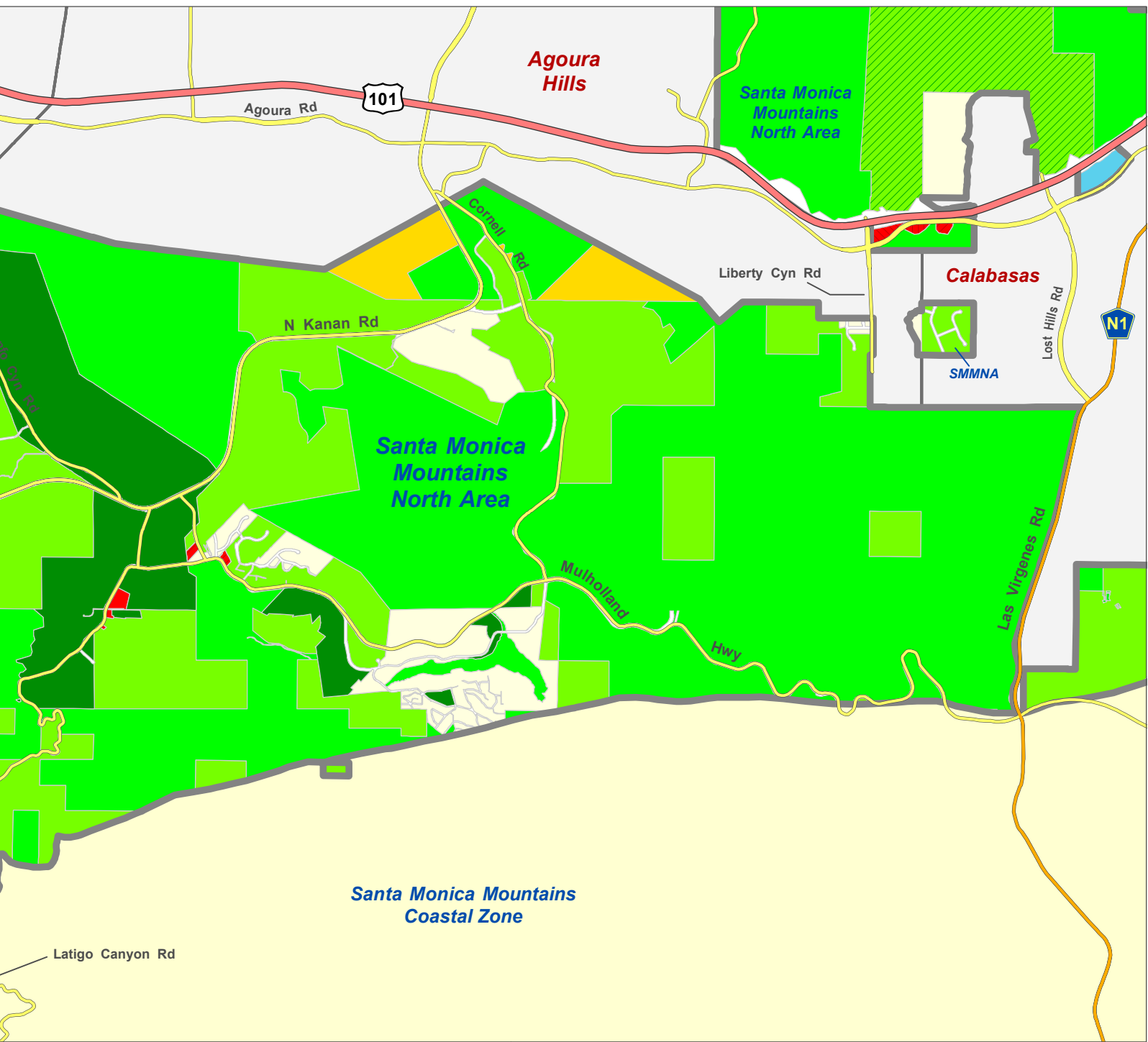
Zoning Categories - Santa Monica Mountains North Area Plan

- | | |
|---------------------------------------|---|
| R-1 - Single-Family Residence | C-M - Commercial Manufacturing |
| RPD - Residential Planned Development | CPD - Commercial Planned Development |
| A-1 - Light Agricultural | IT - Institutional |
| A-2 - Heavy Agricultural | MPD - Manufacturing--Industrial Planned |
| C-2 - Neighborhood Business | O-S - Open Space |
| C-3 - General Commercial | R-R - Resort And Recreation |

Base Layers

- | |
|---------------------------|
| Major Road |
| Highway |
| Freeway |
| Other Unincorporated Area |
| Incorporated Area |

**Figure 8:
Zoning (Western Portion)**



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5 CIRCULATION ELEMENT

Platanus racemosa (western Sycamore)
Credit: Joseph Decruyenaere

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CHAPTER 5: CIRCULATION ELEMENT

INTRODUCTION

The ability to move people and goods within an area is necessary if a community is to be a desirable place in which to live, work, shop, and recreate. This mobility, or the lack thereof, is both a result and a determinant of the location and intensity of development.

Roads are the primary determinant of an area's access, and represent a major dilemma for the North Area Plan. Traffic congestion from both periodic recreational visitors and weekday commuters often overloads sections of the Ventura Freeway and the area's roadway network, and creates potentially serious safety problems. Much of this congestion is due to through-traffic beginning and ending outside the planning area. Significant additional carrying capacity is needed on area roadways and highways to move traffic at desirable levels of service; however, to provide all such additional capacity in the North Area Plan would be environmentally destructive and disruptive to existing residential neighborhoods and rural communities. Transportation planning within the planning area cannot be expected to entirely resolve the problems that exist.

Several significant circulation and capacity problems currently constrain the carrying capacities of the Ventura Freeway and other regionally significant highways such as Malibu Canyon Road, Las Virgenes Road, Agoura Road, and Kanan-Dume Road. Many commuters traverse the Ventura Freeway through the corridor traveling to metropolitan Los Angeles. Because of serious traffic congestion problems in the San Fernando Valley and the Sepulveda Pass, a number of these commuters take a "Z" pattern route through the Santa Monica Mountains to use Pacific Coast Highway. Rural roads through the Santa Monica Mountains area are, therefore, also commuter routes to West Los Angeles and the South Bay. Recognizing the need to accommodate this pattern of travel is central to developing an effective circulation policy for the Santa Monica Mountains.

Physical and environmental constraints are significant deterrents to highway expansion throughout much of the planning area. Because of the mountainous topography within the boundary of – as well as surrounding – the North Area Plan, and the existence of unstable hillsides and sensitive environmental resources, costs for extending or constructing major new roadways is exorbitantly high, even

if physical and environmental mitigation could be provided. In recognition of the problems inherent in constructing, widening, or extending roadways through the area's natural terrain, policies have existed for the past 40 years limiting expansion of the area's existing roadway system.

Furthermore, the ability of local municipalities to influence the ultimate configuration of the interchanges and freeway ramps within the area is limited since modifications to these interchanges and ramps are primarily under the jurisdiction of the California Department of Transportation (Caltrans). Differences also exist between Caltrans and local municipalities with respect to what constitutes an acceptable peak hour Level of Service on the ramps at these interchanges, and funds for expansion of freeway bridges and interchange improvement are extremely limited.

To facilitate physical mobility in a manner consistent with the overall circulation needs of the region, this element of the Santa Monica Mountains North Area Plan addresses the following issues:

- **Balancing Roadway Capacity with Environmental Sensitivity**
- **Managing Roadway Carrying Capacity**
- **Transportation Alternatives**

GUIDING PRINCIPLE

The guiding principle for facilitating mobility is:

The area's roadway and transportation system is an integral part of community character. Facilities and programs to improve traffic flow and access must be implemented within a framework of preserving the natural environment and protecting the unique character of the individual communities within the North Area.

The transportation system in the Santa Monica Mountains needs improvement, but past experience has shown that road construction and maintenance have adversely impacted the area's natural beauty and environmental resources. Thus, the County, in cooperation with the Caltrans and the adjacent cities, will approach future transportation improvements based on the guiding principle.

BALANCING ROADWAY CAPACITY WITH ENVIRONMENTAL PROTECTION

It is clear that road construction and maintenance can significantly impact the environment. The development and improvement of roads often involve major landform modifications, which in the rugged terrain of the Santa Monica Mountains can result in erosion, siltation, and rockfall, impacting downstream waters and degrading scenic and other coastal resources.

The physical and environmental characteristics of the Santa Monica Mountains have largely precluded major improvements to the road network and the construction of additional roads. The North Area Plan seeks to improve circulation in and through the planning area, while protecting the environment, through transportation system management techniques. These tools focus on improvements within the existing right-of-way to make links and intersections operate more efficiently. Computerized signalization at intersections and synchronization of signals along a link can result in more efficient traffic movement. The flow of traffic can be improved by reducing interruptions to flow, such as controlling access to links from private driveways. Turn-out pockets and special purpose lane additions are other options available to make the existing system work more efficiently. The application of these techniques in lieu of road construction has the added value of assisting in implementing a central mandate of this North Area Plan – the protection of sensitive biological resources.

GOALS AND POLICIES

Circulation

Goal CI-1:

A transportation system consistent with the area's rural and scenic quality, environmental threshold carrying capacities, and planned growth.

Policies:

- **CI-1:** Maximize the capacity and operational efficiency of highways consistent with environmental protection and neighborhood preservation, without widening roadways to increase capacity.

- **CI-2:** Require all roadway maintenance and improvements to be accomplished in a manner protective of adjacent, streams, drainage courses, wildlife corridors, and other sensitive areas that may be impacted by such activity. Where feasible, roadway improvement projects should include drainage improvements to reduce erosion and polluted runoff.
- **CI-3:** Expand roadway system capacity only where environmental resources (habitats/linkages, viewsheds, trails, etc.), residential neighborhoods, and rural communities are adequately protected. Roadway widening to increase capacity shall be prohibited.
- **CI-4:** Prohibit the practice of side casting surplus fill material from road construction, maintenance, or repair. In emergencies, public agencies may temporarily store excess cut material on graded surfaces within rights-of-way using the most current BMPs to eliminate erosion into adjacent drainage courses. Ensure that landslide material is deposited in permitted landfills or sites with valid permits to accept fill.
- **CI-5:** Where appropriate, increase the capacity of existing major and secondary highways through the application of transportation system management technology within established rights-of-way and roadway widths by:
 - Minimizing the number of driveway access points by consolidating driveways and exploring other options to reduce uncontrolled access;
 - Minimizing or eliminating conflicting turning movements on links or at intersections;
 - Restricting on-street parking during peak travel periods where such restrictions will not adversely impact public access to parks; and
 - Employing traffic signal synchronization technology.
- **CI-6:** Improve roadway efficiency and highway access through redesign of road intersections and establishment of periodic passing, turnout, and acceleration/deceleration lanes, where appropriate.

- **CI-7:** Emphasize other transportation system management solutions, including improved public transit and non-motorized transportation, such as bicycles.
- **CI-8:** Ensure that all recreational easements and other recreational resources are protected during and after roadway construction, maintenance, and repair.
- **CI-9:** Maintain appropriate rural and mountain road standards, consistent with public safety requirements, for the rural portions of the Santa Monica Mountains. Require the use of the rural cross section as the default standard in the North Area.
- **CI-10:** Encourage the routing of through-traffic onto highways and designated arterial streets, while discouraging through-traffic in residential neighborhoods.
- **CI-11:** Analyze and require mitigation of the traffic impacts from projects that generate substantial amounts of “off-peak” traffic, in addition to the traditional roadway capacity analysis.
- **CI-12:** Limit the requirement for curbs, gutters, sidewalks, and streetlights to urban/suburban areas, unless required by public safety considerations.
- **CI-13:** Allow road and driveway improvements only where they provide legal access to: 1) existing, lawfully-developed parcels; or 2) legal parcels with all required permits.
- **CI-14:** Support Caltrans efforts to improve traffic flow and safety on Pacific Coast Highway, the 101 Freeway, the 405 Freeway, and on other State routes.

MANAGING ROADWAY CARRYING CAPACITY

Mulholland Highway had been the Santa Monica Mountains’ primary east-west regional traffic artery, with the cross-mountain roads serving as connecting links to Pacific Coast Highway. Completion of the Ventura Freeway in the 1970s served to connect large undeveloped blocks of land in Ventura County to employment centers in the San Fernando Valley and West Los Angeles. However, construction of the freeway also eliminated alternatives to the congested US 101. As a result, there has been an increase in traffic along the cross-mountain roads and Mulholland Highway, and

there is no convenient alternate route for local traffic and recreational users. Periodic highway tie-ups cause traffic to spill out onto the local roadway system, which is not designed to accommodate peak-hour through-traffic.

The County can work to improve the efficiency of the roadways through transportation system management tools, as demonstrated in the previous set of policies. However, the North Area Plan must address the other side of the equation – system demand. Through use of transportation demand management techniques, the County must assure that additional development will not significantly impact, and indeed may improve, the existing circulation system in the plan area.

GOALS AND POLICIES

Roadway and Carrying Capacity

Goal CI-2:

A safe and efficient roadway network that can accommodate projected traffic growth in a manner consistent with protecting environmental resources and existing neighborhoods.

Policies:

- **CI-15:** Maintain, and potentially enhance, the concentration of business and commercial uses in existing locations that continue to serve the local communities and reduce the length of vehicle trips.
- **CI-16:** Provide opportunities, such as park-and-ride lots, for local residents to car- or bus-pool to work thereby reducing the number of single-occupant vehicle trips.
- **CI-17:** Provide opportunities, such as centralized learning centers with computer access, to reduce the need to commute long distances to colleges and universities.
- **CI-18:** Improve roadways as appropriate to accommodate planned development and anticipated increases in recreational activities. Curbs, gutters, and sidewalks should only be used where deemed necessary for the safety of pedestrian and vehicular traffic by the Department of Public Works.

- **CI-19:** Limit the density and intensity of development in rural and mountainous areas to a level that can be accommodated by existing road capacity and without creating significant adverse impacts. Avoid any development in rural and mountainous areas that would require roadway widening to increase capacity. Road widening shall be allowed to protect public safety.
- **CI-20:** Analyze the traffic impacts of a proposed development by considering the project's system-wide effects, including effects on transportation alternatives and the potential for bottlenecks in the area's roadway system.
- **CI-21:** Require each new development causing cumulative circulation impacts to construct or fund its fair share of any necessary circulation system improvements or additions.
- **CI-22:** Where funding sources prove inadequate, establish assessment districts, impact fees and/or other equitable funding mechanisms to augment roadway funds.

TRANSPORTATION ALTERNATIVES

Alternatives to the private automobile - including carpooling, public transit, bicycles, walking, and telecommuting - are opportunities to lessen traffic impacts on the region's roadways, and are a higher priority than expanding the existing roadway system. The provision of transit alternatives by the various public and private transportation agencies in the region will also help to improve the accessibility of recreational opportunities and resources in the Santa Monica Mountains. Frequent and convenient transit service would make it easier for people to leave automobiles at home or at staging areas when visiting recreation areas and would reduce the impact of the automobile on the area's tranquil setting. Transit may also help to increase usage of lesser-known recreational facilities.



GOALS AND POLICIES

Transportation Alternatives

Goal CI-3:

Alternative travel modes to the single-occupant automobile for local, commuter, and recreational trips.

Policies:

- **CI-23:** Encourage transportation alternatives, including public transit service, staging areas, and park-and-ride lots, both within the region and from metropolitan Los Angeles to the area's major parks and recreation areas.
- **CI-24:** The extension of public transit facilities and services, including shuttle programs, to maximize public access and recreation opportunities shall be encouraged, where feasible.
- **CI-25:** Encourage the use of locally-based contractors, service providers, and laborers rather than those that need to travel long distances to work sites in the North Area Plan area.
- **CI-26:** Assist local employers in transporting employees from homes and worksites in the Santa Monica Mountains, thereby reducing the need for additional vehicle trips.
- **CI-27:** Work with surrounding cities and transit service providers to offer commuter bus services between inland communities and coastal cities.
- **CI-28:** Require new development to provide for public transportation needs on existing roadways, where appropriate, when acquisition and improvement activities occur. Cooperate with adjacent jurisdictions to develop and incorporate this and other public transit-friendly design features into new projects and other discretionary project applications.
- **CI-29:** Incorporate bike lanes and/or bike use signage into local road designs wherever feasible and safe.
- **CI-30:** Ensure that improvements to any roadway or trail containing a bikeway and/or trail do not adversely affect the provision of bicycle or trail use.
- **CI-31:** Support the region-wide expansion of alternative transportation methods, including rail lines, transit ways, bike paths, and rapid bus systems, where consistent with the policies of this North Area Plan.

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6 PUBLIC FACILITIES ELEMENT

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Juglans californica (California black walnut)

Credit: Joseph Decruyenaere

CHAPTER 6: PUBLIC FACILITIES ELEMENT

INTRODUCTION

The location and amount of new development are determined in part by the availability of public services and facilities, including water and sewer, public schools, fire and police services, and solid waste services. Supplying these services in the North Area is very costly and challenging due to the area's physical size, topography, and development patterns. Unlike urbanized areas where a higher density population can share costs, providing infrastructure and public services in rural and suburban areas is more expensive per household because costs must be distributed among fewer residents.

This element addresses the following public services:

- **Water and sewer services;**
- **Public schools;**
- **Fire and paramedic services;**
- **Police services; and**
- **Solid waste services.**

Additional services and facilities include parks and recreation (Conservation and Open Space Element) and transportation (Circulation Element). Further, private onsite wastewater treatment systems are addressed in the Water Quality section of the Conservation and Open Space Element.

The Public Facilities Element establishes policies that support the siting of new housing and other development in areas with adequate public services and facilities to avoid wasteful urban sprawl and leapfrog development.

GUIDING PRINCIPLE

The guiding principle to ensure the provision of adequate services and facilities is:

Public facilities should support existing and approved land uses, and are not intended to induce further development, consistent with environmental carrying capacities and the need to protect the unique character of existing communities.

Until the passage of Proposition 13 in 1978, most public facilities were constructed by public agencies as part of their capital improvement programs. These programs were instrumental in directing the location and timing of development. With the passage of Proposition 13, responsibility for constructing capital facilities has primarily been passed to individual development projects. Because public facilities are now largely constructed on a project-by-project basis, predicting the timing and location of new development as part of agency master planning efforts is more difficult. The absence of public facilities presents a constraint on new development.

The presence of existing infrastructure, however, does not justify developing land in a manner that is inconsistent with preserving significant environmental features, the unique character of existing communities, or public health and safety. New development must allow for environmental preservation; the provision of new infrastructure and services must be considered within this context.

WATER AND SEWER SERVICES

The Las Virgenes Municipal Water District (LVMWD) supplies all potable and reclaimed water to the general region, with the exception of the area east of Old Topanga Canyon Road, which is served by the Los Angeles County Waterworks District 29. Water, both potable and reclaimed, is distributed throughout the District by a network of underground water mains of varying sizes, with the central spine of the system generally paralleling the Ventura Freeway.

Although development in the area can be found in varied topography, such as valleys and steep hillsides, the LVMWD has few problems and constraints with delivering adequate water and water pressure to these areas. In some of the more remote areas and high elevations, extension of water facilities is possible, but would be extremely costly and could result in significant environmental impacts.

Water supply allocations to the LVMWD are received from the water wholesaler, the Metropolitan Water District. Supplies may vary, due largely to cyclical drought conditions. In approving new development, consideration should be given to the long-range assurance of water supply.

The LVMWD is also responsible for wastewater treatment and disposal services within the North Area Plan's boundaries. Local feeders are maintained by the County's Sanitation Districts, and are connected to the LVMWD's main trunk lines. Wastewater is conveyed through LVMWD trunk lines to the Tapia Water Reclamation Facility where the sewage receives tertiary treatment.

With the location of the Tapia Water Reclamation Facility near the base of the Malibu Creek Watershed, most wastewater from the study area reaches the facility by means of natural gravity flow. According to the LVMWD, no foreseeable system constraints or deficiencies should occur.

Although a majority of the study area is connected to sewers, septic systems serve most of the rural hillside areas. Previous development within the hillside areas has been largely scattered, thus requiring the use of onsite wastewater treatment systems (OWTS) as a practical matter. However,

although many OWTS employ state-of-the-art technologies, numerous septic tank failures have been reported in older systems within the mountain areas, often causing environmental damage to surrounding and downstream riparian areas. For some areas not served by sewers, assessment districts have been established and fees are being assessed to residents on OWTS for ultimate connection into the LVMWD trunk lines.

As new development occurs within these hillside areas, development may be clustered in order to preserve hillside and open spaces. This clustering of new units will promote the preservation of hillside and open space areas, but may require extension of sewer lines because of the size of clustered lots. Because individual clusters will be widely separated, the per unit cost for providing local sewage collection facilities may increase for these developments due to the relatively long distances that sewer lines will need to be run to connect to the LVMWD's trunk sewer system.



GOALS AND POLICIES

Water and Sewer Services

Goal PF-1:

Adequate water supplies and water and sewage disposal systems to support existing and future planned land uses.

Policies:

- **PF-1:** Coordinate the land development review process with the LVMWD (or Los Angeles County Water Works District 29) to ensure that adequate water supplies and adequate water and sewer infrastructure are available to support existing and planned development.
- **PF-2:** Minimize consumption of new water supplies through active water conservation programs and the use of reclaimed water – on site, wherever possible.
- **PF-3:** Encourage tertiary treatment of wastewater, which will help to improve effluent quality, while expanding the potential uses for reclaimed water.
- **PF-4:** Maximize the uses of reclaimed water and thereby reduce the need for exploiting domestic water supplies for purposes where potable water is not required.
- **PF-5:** Require proposed development projects to gain approval of design and financial arrangements from the LVMWD (or Los Angeles County Water Works District 29) for the construction of water and sewer facilities prior to recordation of tract maps (or issuance of grading or building permits, if a tract map is not involved). Strictly enforce these conditions of approval.
- **PF-6:** Require the use of reclaimed wastewater for golf courses, landscape irrigation, and other purposes, including the maintenance of public lands and fire breaks, where reclaimed water can be feasibly provided.
- **PF-7:** Provide for the expansion of existing community sewer systems in areas of demonstrated need.

- **PF-8:** Prohibit the construction of small "package" wastewater treatment plants, except in those specific areas where this is the desired long-term wastewater management solution.
- **PF-9:** In rural areas, avoid the build-out of clustered subdivisions where the cumulative effect of OWTS will negatively impact the environment, either by stream pollution or by contributing to the potential failure of unstable soils.

PUBLIC SCHOOLS

The North Area is served by the Las Virgenes Unified School District (LVUSD), the Los Angeles Unified School District (LAUSD), and the Santa Monica-Malibu Unified School District (SMMUSD). The LVUSD encompasses the central portion of the North Area Plan area, as well as much of the unincorporated Coastal Zone. A small area in the eastern portion of the North Area is within LAUSD boundaries. The Santa Monica-Malibu Unified School District includes a small portion of the western North Area.

Schools in the Santa Monica Mountains area have a reputation for offering education of exceptional quality, helping to make the North Area a desirable place in which to live. Not only is the quality of schools high in the area, but their location, nestled in the Santa Monica Mountains, provides an excellent opportunity to incorporate outdoor environmental education into school curriculum.

As the area population grows, school facilities will need to expand. The ability of the County and the school districts to coordinate land development with the need for additional schools is an important component of protecting quality of life for both existing and future area residents.

GOALS AND OBJECTIVES

Public Schools

Goal PF-2:

Adequate public school facilities to meet projected growth

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Policies:

- **PF-10:** Require development projects to pay the maximum school impact fees permitted by law.
- **PF-11:** Maintain a flexible policy toward school impact mitigation, accepting land dedication, facilities construction, and payment of fees, with appropriate mitigation as determined by the applicable school district.
- **PF-12:** Cooperate with school districts to:
 - Encourage the State legislature to maintain and amend as necessary, legislation that supports the financing of new school construction as needed for a growing population;
 - Identify the impacts of population and demographic changes, which may affect the need for new schools, may lead to school closures, may require the re-opening of closed schools or may lead to the decision that existing school sites be preserved for meeting future needs; and
 - Provide all State-required cooperative educational services to residents.
- **PF-13:** Cooperate with the school districts to reduce new school construction costs through cooperative agreements for the development of joint use school/park sites, joint school/community facilities, and joint school/library facilities.
- **PF-14:** Support the joint use of school/park sites and, where the law permits, use a portion of local park funds to purchase and construct the recreational portions of these joint sites.

FIRE AND PARAMEDIC SERVICES

The Santa Monica Mountains have been designated by the Los Angeles County Fire Department and the California Department of Forestry & Fire Protection (Cal Fire) as a Very High Fire Hazard Severity Zone, the most dangerous classification. Created by the County Fire Department, the Consolidated Fire Protection District (CFPD) is the primary provider of fire, paramedic, lifeguard, and fire inspection

services in the area. American Medical Response is the primary provider of ambulance services. The Ventura County Fire Department and the City of Los Angeles provide mutual aid within the area. In addition, the California Department of Forestry provides fire crews for severe and widespread fire emergencies.

Specialized services like hazardous materials, air rescue helicopter, air ambulance helicopter, and fire suppression helicopter are provided by the CFPD centrally. A helicopter responds to heavy trauma incidents when street congestion and/or other factors preclude timely response by ground-based units.

There are numerous challenges to providing adequate fire and paramedic service in the Santa Monica Mountains due to the large size of the service area, the relatively small number of streets, and traffic congestion. In some areas, emergency response takes longer due to greater travel times and congestion. Because the Ventura Freeway and Mulholland Highway are the only major east-west corridors in the area, these streets become congested with associated effects on response time.

It is also difficult to access certain communities. Many of the streets are narrow and are often lined with parked vehicles. The most challenging response involves isolated locations in areas where streets are unpaved and gates are locked. In remote areas, it may take as long as 30 minutes for the Fire Department to reach a victim and more time for a victim to be evacuated to a hospital.

Topanga Canyon is an especially challenging area to serve, because it takes 15 to 20 minutes for any back-up crews to reach an incident. The CFPD addresses this problem by staffing Station 69 in Topanga with personnel trained both as firefighters and paramedics, and by relying on on-call firefighters to respond to structure fires with a reserve engine. In addition, Malibu Lake and Old Topanga do not have fire stations within their communities. The CFPD is planning to build a fire station between Calabasas Highlands and Old Topanga in the future.

Another challenge is providing service in the Topanga and Malibu Creek State Parks to emergency medical services (EMS) incidents on remote hiking and mountain biking trails. In many instances, CFPD supplements service with helicopter crews to reach remote emergency incidents.

GOALS AND OBJECTIVES

Fire and Paramedic Services

Goal PF-3:

Adequate fire and paramedic services to meet existing and future demand.

Policies:

- **PF-15:** Continue to consult and coordinate with the Fire Department as part of the project review process.
- **PF-16:** Review new development for adequate water supply and pressure, fire hydrants, and access to structures by firefighting equipment and personnel.
- **PF-17:** Require, where appropriate, on-site fire suppression systems for all new development to reduce the dependence on Fire Department equipment and personnel.
- **PF-18:** Limit the length of private access roads to reduce the amount of time necessary for the Fire Department to reach residences and to minimize risks to firefighters.
- **PF-19:** Require clearly visible address signs during the day and night for easy identification during emergencies.
- **PF-20:** Facilitate the formation of volunteer fire departments and EMS providers.
- **PF-21:** Encourage clustering of development to provide for more localized and effective fire protection measures such as consolidated fuel modification and brush clearance, fire break maintenance, firefighting equipment access, and water service.
- **PF-22:** Limit the exposure of first responders, residents, and structures to fire risk within Very High Fire Hazard Severity Zones (VHFHSZ) and in the Fire Hazard Severity Zones (FHSZs) of the wildland-urban interface.

POLICE SERVICES

The Los Angeles County Sheriff's Department is the main provider of police services in the Santa Monica Mountains area. Specifically, the Sheriff's Lost Hills Station is the primary facility serving the unincorporated communities as well as the cities of Agoura Hills, Calabasas, Hidden Hills, Malibu, and Westlake Village. The California Highway Patrol (CHP) is responsible for providing traffic safety and service to the motoring public as they use highways in the unincorporated areas and freeways. The CHP also provides law enforcement assistance to the Sheriff's Department when situations exceed the limits of local resources.

The Sheriff's average response time to emergency incidents in the area ranges from five to seven minutes. Response times to certain parklands could be longer given their remoteness. A challenge in providing effective law enforcement service in the area relates to the often-confusing street layout and accessibility by patrol car over narrow, unimproved roads.

Future development would be required to examine the potential increase in demand for police services, in conjunction with subsequent environmental review. There may be some potential to aggravate the existing emergency access constraints should roadway conditions (e.g., traffic congestion) deteriorate.

GOALS AND OBJECTIVES

Police Services

Goal PF-4:

Adequate police services to meet local needs and provide a safe and secure environment for people and property.

Policies:

- **PF-23:** Continue to consult and coordinate with the Sheriff's Department and CHP as part of the environmental review process for projects subject to CEQA.
- **PF-24:** Support existing programs such as Neighborhood Watch and encourage expanded or new programs that focus on the elimination of crime, such as anti-graffiti programs.

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- **PF-25:** Support efforts to eliminate street racing activities, including the seizure and forfeiture of vehicles used in speed contests or in exhibitions of speed, to address the nuisance and unsafe conditions created by the use of vehicles in such activities.

SOLID WASTE SERVICES

Solid waste collection and hauling services are provided by private operators. All non-hazardous waste collected is disposed in the Calabasas Landfill. The landfill, which began operating in 1961, is owned by the County and operated by the Sanitation Districts of Los Angeles County under a joint powers agreement. The landfill accepts waste from the Santa Monica Mountains area as well as Thousand Oaks and western portions of the City of Los Angeles including Brentwood, Encino, and Granada Hills.

GOALS AND OBJECTIVES

Solid Waste Services

Goal PF-5:

Adequate solid waste services to meet existing and future demands without degrading the quality of the natural environment.

Policies:

- **PF-26:** Design all new buildings with proper facilities for solid waste storage, handling, and collection pickup.
- **PF-27:** Prohibit commercial and industrial land uses which generate large volumes of solid waste.
- **PF-28:** Require commercial and industrial uses that use hazardous materials to demonstrate proper transport, storage, and disposal of such materials in accordance with all local, State, and federal regulations.
- **PF-29:** Support measures for recycling of materials and financing mechanisms for solid waste reduction programs.

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Chapter 22.336 Santa Monica Mountains North Area Community Standards District

Sections:

22.336.010	Purpose
22.336.020	Definitions
22.336.030	District Map
22.336.040	Applicability
22.336.050	Application and Review Procedures
22.336.060	Biological Resource Standards
22.336.070	Community Wide Development Standards
22.336.080	Zone Specific Development Standards
22.336.090	Area Specific Development Standards
22.336.100	Modification of Development Standards
APPENDIX I	Criteria for Significant Ridgelines

22.336.010 Purpose

The Santa Monica Mountains North Area Community Standards District (“CSD”) is established to implement the goals and policies of the Santa Monica Mountains North Area Plan (“Area Plan”, or “NAP”) in a manner that protects the health, safety, and welfare of the community, especially the surrounding natural environment. The two planning documents direct what development may occur, where development may occur, and how development must be designed in the Santa Monica Mountains North Area.

22.336.020 Definitions

The following terms are defined solely for this CSD:

Animal Containment Facilities. Designated or fenced areas used to contain equines or livestock to a particular area such as corrals, paddocks, pastures, turnouts, and grazing areas that are usually used for riding, exercise, rehabilitation, or grazing.

Animal Living Quarters. Structures and confined areas in which animals regularly sleep overnight including, but not limited to, barns, stables, and stalls.

Bed and Breakfast Establishment. A single-family residence containing guest rooms used for short-term rental accommodations, which provides meals for guests of the facility.

Building Site Area. The approved area of a project site that is or will be developed, including building pad and all graded slopes, all structures, decks, patios, impervious surfaces, and parking areas.

Correlated Color Temperature (CCT). The specification of the color appearance of a light source, measured in Kelvin (K). CCT measures the “warmth” of a light source.

Disaster. An occurrence or event, either human-caused or by natural phenomena, that requires action by emergency response personnel to prevent or minimize loss of life or damage to property and/or natural resources. To qualify as a disaster, the destruction must be a result of a force or forces that were beyond the control of the subject property owners.

Exploratory Testing. Any activities such as drilling or excavation for the purpose of evaluating soil and/or hydrologic conditions, or geologic hazards to evaluate a site for allowable, potential development. This includes exploratory test holes for water wells, percolation testing for on-site wastewater treatment systems, the access road to the test site, and any other activity associated with evaluating a site for development.

Event Facility. A place of private or public assembly, either indoor or outdoor, that hosts functions which include, but are not limited to, weddings, receptions, wine clubs, banquets, anniversaries, meetings or conferences.

Gross Structural Area (GSA). The allowable residential floor area of the permitted development in square feet. The GSA includes the total floor area of all enclosed residential and storage areas (including internal stairs), but does not include vent shafts, external stairs or the first 400 square feet of floor area in garages or carports designed for the storage of automobiles. Cellars that are entirely below grade are excluded from GSA, as are crawl spaces or attics that do not qualify as habitable space.

Horse Boarding, Large. The maintenance and/or keeping of equines boarded with or without compensation as a primary use. Commercial boarding may include commercial training or riding of horses or other equines; or courses in horsemanship.

Horse Boarding, Small. The maintenance and/or keeping of equines owned by persons who are not owners or lessees of the lot or parcel upon which such actions are undertaken, boarded with or without compensation as an accessory use to a primary residential use.

Like-for-like Replacement. Replacement of structures that are in the same location, size, height, and bulk, and are covering the same building footprint as the previously existing legally-established structures.

Livestock. Any pig, pygmy pig, hog, cow, bull steer, sheep, goat, llama, alpaca, domestic fowl, or rabbit.

Riding Academies. Any establishment where horses are kept or maintained for the purpose of providing lessons or instruction in equestrianism, including but not limited to dressage and horse jumping.

Rural Inn. A facility containing guest rooms or cabins used for short-term rental accommodations, all of which have a separate entrance leading directly from the outside of the building, and which do not contain kitchen facilities.

S/P Ratio. The ratio of scotopic vision over photopic vision, each measured in lumens.

Stream. A topographic feature that at least periodically conveys water through a bed or channel having banks; this includes ephemeral streams, drainage courses, and watercourses having a surface or subsurface flow that supports or has supported riparian vegetation.

Vineyard. A plantation of grapevines that typically produces table grapes or grapes used in winemaking, except as otherwise delineated in this CSD.

Wetlands. An area of land that is inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and that under normal circumstances does support, a prevalence of vegetation typically adapted for life in saturated soil conditions, with delineations following guidelines defined in the United States Fish & Wildlife Service Classification of Wetlands and Deepwater Habitats of the United States.

Wild Animal. A nondomestic, exotic, or dangerous animal, including, but not limited to, the following: wild/domestic animal hybrids, other mammals, wildfowl, fish, and reptiles.

Wildlife-Permeable Fencing. Fencing that can be easily bypassed by all species of wildlife found within the Santa Monica Mountains, including but not limited to deer, coyotes, bobcats, mountain lions, ground rodents, amphibians, reptiles, and birds.

Wireless Communication Facility. A ground-mounted or structure-mounted antenna, with any necessary appurtenance, such as an equipment box, cabinet, pedestal or vault. The facility is used to send or receive radio frequency transmissions for mobile or fixed telephone or data transmission service to provide wireless telecommunication services to the public; as may be described in the Communications Act of 1934, as amended by the Telecommunications Act of 1996, or as otherwise authorized by the Federal Communications Commission.

22.336.030 District Map

The boundaries of this CSD are shown on Figure 22.336-A: Santa Monica Mountains North Area CSD Boundary, at the end of this Chapter.

22.336.040 Applicability

- A. General Applicability. Except as otherwise provided for in Subsections B and C below, the provisions of this ordinance shall apply to all projects that do not have a vested entitlement from the Department of Regional Planning prior to the effective date of this CSD.
- B. Prior Legal Grading. Any amount of legal grading that has occurred on a lot or in connection with a project, prior to January 6, 2005 (the effective date of the

- ordinance adding Sections 22.336.070.I.1 and I.5) shall not be counted toward the grading thresholds set forth in Sections 22.336.070.I.1 and I.5. Proof that such grading was legal shall be demonstrated to the Director at time of application for any relevant construction activity. Any grading on a lot, or in connection with a project or any subsequent project, which is undertaken at any time after January 6, 2005, other than grading completed for a project described in Subsection A, above, shall be counted cumulatively toward the grading thresholds set forth in Sections 22.336.070.I.1 and I.5.
- C. Coastal Zone Boundary. When lots are divided by the Coastal Zone boundary, the use of that portion of a lot within the Coastal Zone shall be consistent with the Santa Monica Mountains Local Coastal Program and Local Implementation Plan, and the use of that portion within the Santa Monica Mountains North Area shall be consistent with the NAP and this CSD.
 - D. Relation to Significant Ecological Areas. The Santa Monica Mountains North Area will remain within a designated Significant Ecological Area (SEA) as defined by the County General Plan and shall be regulated by the standards contained within this CSD.

22.336.050 Application and Review Procedures

- A. Additional Application Requirements. In addition to the procedures required by the Minor Conditional Use Permit (Chapter 22.160), Conditional Use Permit (Chapter 22.158), or Variance (Chapter 22.194), any discretionary application must include:
 - 1. One (1) land use map which indicates the uses established on every lot and parcel of land shown within a 700-foot radius, in lieu of the 500-foot radius requested in the Application Checklist;
 - 2. For all permits requiring notification by mail, the noticing radius shall be all parcels within a 700-foot radius from the subject parcel. In addition, if the 700-foot radius does not include a minimum of 15 parcels of real property, the radius shall be expanded until the owners of at least 15 parcels are included;
 - 3. Proof of water availability for new or expanded residential development or other new development that requires water use; and
 - 4. Proof of legal access for any new development that is not accessed directly from a public roadway.
 - 5. Biological review, as deemed applicable by Subsection 22.336.050.B.
- B. Biological Review. Applications deemed to require biological review must be filed and processed in compliance with the following requirements:
 - 1. Biological Inventory.

- a. Required for all ministerial review projects within habitat categories S2 and S3, unless a biological assessment per Subsection B.2 is otherwise required.
 - b. Application Materials Required.
 - i. A Biological Constraints Map (BCM) which identifies all sensitive biological resources on a parcel as defined by the most recent Department of Regional Planning Santa Monica Mountains North Area Biological Resources Assessment.
 - ii. A site plan which clearly displays each of the following:
 - (A) All of the proposed development, including on-site and off-site ground-disturbing activity or vegetation removal;
 - (B) Grading activity location, description, and quantities identified by cut, fill, import, export and when remedial and over-excavation is required;
 - (C) Areas to be re-vegetated or restored, including a plant identification list with the botanical and common names of all planting materials; and
 - (D) Location and square footage of decorative landscaping and crops, including proposed groundcover areas, shrub mass, and existing and proposed tree locations, for all common or open space areas not left in a natural state. Plant identification lists shall include botanical and common names of all planting materials;
 - (E) On-site open space preservation, as applicable; and
 - (F) Any trees on site as protected in Section 22.336.060.B (Trees).
 - c. Biological Inventory Consultation with the County Biologist.
 - i. All BCMS and other applicable application materials are to be reviewed by the Director in consultation with the County Biologist.
 - ii. A site visit shall be performed by the County Biologist to confirm the accuracy of BCM.
 - iii. If the biological inventory indicates the presence or potential for sensitive species or habitats, after consultation with the County Biologist, a further biological assessment may be required.
2. Biological Assessment.
- a. Required for all projects in Habitat Category S1, any projects in S2 and S3 habitat categories which require discretionary review, or

- ministerial review projects that the Director has determined to require further review of biological resources.
- b. Application Materials Required.
 - i. A Biological Constraints Analysis (BCA), prepared by a qualified biologist listed in the Significant Ecological Areas Technical Advisory Committee (SEATAC) Certified Biologist List maintained by the Department of Regional Planning, which assesses the biological resources on a project site and in the surrounding area. A comprehensive list of what should be included in the BCA is found in the BCA checklist to be maintained by the Department of Regional Planning.
 - ii. Biota report that assesses the impacts to biological resources and potential mitigation measures, in consultation with the County Biologist
 - c. Site Visit.
 - i. A site visit from the County Biologist is required to confirm the validity of the biological resources depicted on the BCM.
 - ii. The site visit must be completed in the spring, unless a different time of year is recommended by the County Biologist based on the likelihood of finding particular sensitive species.
 - d. Biological Assessment Review by SEATAC. SEATAC serves as an expert advisory committee that assists the Department in assessing a project's impact on biological resources within SEAs.
 - i. Rules and Procedure. The Director shall adopt rules and procedures necessary or convenient for the conduct of SEATAC's business as it relates to the Area Plan and CSD.
 - ii. All biological assessments shall be reviewed by the SEATAC and a recommendation forwarded to the appropriate decision-making body.
 - iii. SEATAC Review. SEATAC shall evaluate projects requiring a biological assessment as follows:
 - (A) Rule on the adequacy of the materials submitted for biological inventory, biological assessment, and biota report if applicable;
 - (B) Recommend redesign and/or mitigation measures to avoid, minimize, or mitigate impacts to biological resources; and
 - (C) Recommend a determination of the compatibility of the development project and Section 22.336.060 (Biological Resources), including consideration of the following:

- (1) The project's ability to comply with Section 22.336.060 (Biological Resources);
- (2) The project's ability to mitigate impacts to biological resources through open space preservation;
- (3) The project's ability to meet the findings of Section 22.102.080.D (Findings); and
- (4) The project's avoidance of disturbance to regional habitat linkages.

22.336.060 Biological Resource Standards.

A. Biological Resources.

1. Habitat Categories. The Biological Resources Map of the Santa Monica Mountains North Area Plan prioritizes habitat into four categories that are applicable community-wide: S1, S2, S3, and S4. The Biological Resources Map depicts the general distribution of habitat categories; however, the precise boundaries of the various habitat categories on properties shall be determined by substantial evidence and a site-specific biological inventory and/or assessment required by Subsection 22.336.050.B. At no point shall the Biological Resources Map be considered a complete representation of which habitat category exists on a parcel. A general summary of the habitat categories is as follows:
 - a. S1 Habitat: Habitat of limited distribution, particular rarity, or important habitat function. Habitat that supports the rarest and most sensitive resources often play essential roles in ecosystem function and is worthy of the highest-level conservation. Development shall be avoided unless no feasible alternatives exist.
 - b. S2 Habitat: Intact, but broadly distributed habitat. Habitat that supports intact native vegetation communities, and which may include some rare species, but is otherwise adequately conserved in the North Area. Development may occur in areas with S2 habitat provided avoidance and minimization measures are implemented.
 - c. S3 Habitat: Disturbed, non-native, and cleared habitat. Habitat that supports non-native and ruderal vegetation, disturbed, or cleared habitat that is expected to have lower habitat function than other natural habitats. Development will be less restricted in areas with S3 habitat.
 - d. S4 Habitat: Developed and agricultural lands. Land that supports existing residential or commercial development, other facilities, or agricultural practices. Development is least restricted in areas with S4 habitat.

2. Status of Habitat Categories.

- a. Effect of Fire. Areas burned by fire where there is evidence that the areas consisted of habitat meeting the definition of S1, S2, S3, or S4 habitat before the fire shall be afforded the protections of the applicable habitat category.
- b. Effect of Natural Disaster or Illegal Development. Any area mapped as S1, S2, or S3 Habitat shall not be deprived of protection as that habitat category on the basis that habitat has been damaged or eliminated by natural disaster (e.g., wildfire, flooding, etc.), or impacted by illegal development or other illegal means, including removal, degradation, or elimination of species that are rare or especially valuable because of their nature or role in an ecosystem.
- c. Physical Extent. Where the County finds that the physical extent of habitats on a project site is different than those indicated on the biological resources map, the County shall make findings as part of its review process regarding the physical extent of the habitat categories and detailed justification for any classification or reclassification of habitat categories on the project site.
- d. Habitat Recategorization. If an applicant believes that their property is categorized incorrectly, they may request that the habitat status of the property be reviewed by the Department of Regional Planning. Materials which may be submitted include, but are not limited to, historical photographs, current photographs, and previous and current biological reports for the subject property. All materials will be reviewed by the County Biologist and may require a site visit before final approval. If approved, the Biological Resources Map maintained by the Department of Regional Planning shall be revised and the property shall be afforded the habitat protections to which it belongs.
- e. Habitat Non-Designation. Any area not designated as a habitat category on the Biological Resources Map (Figure 2 of the NAP) that meets the criteria of a habitat category shall be afforded all the protection provided for that habitat category in the NAP.
- f. Legally-Established Exclusions. Areas occupied by existing, legally established structures, agricultural uses, and animal containment facilities are excluded from S1 and S2 habitat categories. Additionally, maintained fuel modification and brush clearance areas for existing, lawfully established structures are also excluded from S1 and S2 habitat categories, with the exception of the areas subject to the minimal brush clearance measures that are required in riparian or woodland habitats (e.g., removal of dead wood). In the latter areas, the habitat maintains its biological significance, rarity, and sensitivity and shall be accorded all the protection provided for the S1 and S2 habitat categories.

3. Permitting Requirement.

- a. All projects located entirely in S1 habitat and projects in S2 and S3 habitats which require a biological assessment shall require a Significant Ecological Area Conditional Use Permit.
- b. Projects in S2 and S3 habitats which require ministerial review that the Director has determined to require further review of biological resources shall require a Conditional Use Permit.
- c. Notwithstanding Subsection A.3 above, development of single-family residences located within S2 Habitat shall require a Minor Conditional Use Permit.

4. Development Standards for Habitat Categories.

- a. New development shall be sited in a manner that avoids the most biologically-sensitive habitat on-site in the following order of priority – S1, S2, S3, S4 – while not conflicting with other NAP or CSD policies. Priority shall be given to siting development in S4 habitat, and outside of all areas that contain undisturbed native vegetation. If it is infeasible to site development in S4 habitat areas, development should be sited in S3 habitat.
- b. If there is no feasible alternative that can eliminate all impacts to S1 habitat, then the alternative that would result in the fewest or least-significant impacts shall be selected. Any development that would result in impacts to S1 habitat that cannot be avoided through the implementation of siting and design alternatives shall require a Significant Ecological Area Conditional Use Permit, pursuant to Section 22.336.050 (Application and Review Procedures) and subject to payment of Habitat Impact Fees.
- c. The development standards for habitat categories described herein are in addition to the development standards required in the underlying zone unless superseded by provisions in this CSD.
- d. All development approved shall be designed to avoid protected trees in accordance with Subsection 22.336.060.B.
- e. Wetlands. The diking, filling, or dredging of open waters and wetlands shall be prohibited except where it has been demonstrated that there is no feasible less-environmentally-damaging alternative and mitigation measures have been provided to minimize adverse environmental effects, and shall be limited to the following uses:
 - i. Wetlands-related scientific research, wetlands-related educational uses, nature study, or other similar resource-dependent activities;
 - ii. Incidental public service purposes, including but not limited to, burying cables and pipes; and

- iii. Wetland restoration projects when the primary purpose is restoration of the habitat.
- f. Streams. Development shall be prohibited in streams, except where it has been demonstrated that there is no feasible less-environmentally-damaging alternative and where feasible mitigation measures have been provided to minimize adverse environmental effects. Such development shall be subject to mitigation fees, be consistent with Section 22.336.060, and be limited to the following uses:
 - i. Necessary water supply projects;
 - ii. Flood protection where no other method for protecting existing structures in the floodplain is feasible and where such protection is necessary for public safety or to protect existing development. Flood control measures shall not diminish or change any of the following: stream channel morphology, flow or infiltration capacity, or habitat values, including but not limited to fish passage. Channel redirection or hardening may be permitted only if all less-intrusive flood control efforts have been considered and have been found to be infeasible. Such less-intrusive measures shall include, but not be limited to, biostructures, vegetation, and soil bioengineering;
 - iii. Access roads, consistent with Section 22.336.070.B (Access Roads and Driveways); to a lawfully permitted use, only where all the following apply:
 - (A) There is no other feasible alternative to provide access to public recreation areas or approved development on a legal parcel;
 - (B) The stream crossing is accomplished by bridging;
 - (C) Bridge piers, columns, footings, abutments, and wing walls are located outside streambeds and banks, i.e. above the floodway and away from any flows;
 - (D) A shared bridge is used for providing access to multiple development sites;
 - (E) The bridge is the minimum size required to comply with Fire Department access development standards, and is designed to blend with the natural environment through the use of wood, stone, rocks, colored concrete, or similar materials for its construction;
 - (F) Removal of or other impacts to riparian vegetation are minimized to the greatest extent feasible;
 - (G) All feasible mitigation measures have been incorporated to minimize adverse environmental effects to the stream,

riparian habitat, and water quality. Mitigation for the removal of or permanent impacts to riparian habitat shall include, but not be limited to, restoration/enhancement of like habitat; and

- (H) Culverts may be utilized for the crossing of minor drainages lacking all of the following: streambed; streambanks; and riparian vegetation, and where the culvert is sized and designed to accommodate flow during a 100-year storm, maintain the geomorphic function of the natural channel, protect habitat, provide passage for wildlife, protect water quality, and convey flood flows.
- g. New development shall be clustered on site to the maximum extent feasible and the building site shall be limited, as required by Subsection 4.j below, to minimize impacts to natural habitat areas. All structures must be clustered within the approved building site area, except for animal containment facilities consistent with Subsection 22.336.070.E. The Director may determine that fewer structures are appropriate for a given site.
- h. New development shall be located as close as possible to existing roadways, services and other developments to minimize impacts to habitat areas.
- i. Where new development is approved in habitat categories S2, S3, S4, or partially within S1 habitat, the maximum allowable building site area (BSA) shall be up to 15,000 square feet based on parcel size, or 25 percent of the parcel size, whichever is less. For parcels one acre and larger, the allowable building site area shall be calculated as 10,000 square feet of BSA plus an additional 250 square feet of BSA per acre of parcel area, with a maximum total BSA of 15,000 square feet. The restriction of the building site area to less than the maximum may be required if the Director determines that a smaller building site area would serve to avoid impacts to native vegetation, substantially minimize grading associated with the project, reduce the need for manufactured slopes, or reduce the need for retaining features (e.g., walls) visible from scenic areas, public trails, and public right-of-way and lands. The building site area cannot contain any portion of the parcel with slopes of 25 percent or greater. Other provisions of this CSD, including but not limited to the tree protection requirements may also require a smaller building site area.
- i. For parcels located fully within S1 habitat, the maximum allowable building site area shall be 7,500 square feet, or 25 percent of the parcel size, whichever is less. The restriction of the building site area to less than the maximum may be

required if the Director determines that a smaller building site area would serve to avoid impacts to the S1 habitat.

- ii. The following development may be excluded from the total building site area:
 - (A) The area of one access driveway or roadway that does not exceed 20 feet in width and 300 feet in length, and is the minimum design necessary, as required by the Los Angeles County Fire Department (“Fire Department”);
 - (B) The area of one approved Fire Department turnaround that is the minimum design necessary to ensure safety and complies with Fire Department requirements, has the least impact to biological resources, and is not located within the approved building pad;
 - (C) Graded slopes exclusively associated with the access driveway or roadway and hammerhead safety turnaround indicated above;
 - (D) Grading necessary to correct hazardous geological conditions; and
 - (E) Fuel modification and off-site brush clearance area required by the Fire Department.
- iii. Any project that proposes a Building Site Area exceeding the development guidelines in Section 22.336.070.J shall require a Variance pursuant to Section 22.336.050.
- j. The allowable building site area may be increased for projects that qualify for participation in the incentive program set forth in Section 22.336.070.J.
- k. The allowable building site area may be increased for projects that comprise two adjoining legal lots, if the existing lots are merged into one lot and one consolidated building site is provided with one access road or driveway, but in no event shall the total building site area exceed 15,000 square feet. These projects cannot also make use of the incentive program set forth in Section 22.336.070.J.
- l. Development proposed in S1 habitat on a parcel with existing, legally established development shall be limited to the existing developed footprint of the parcel including fuel modification areas as set forth herein, and shall not increase fuel modification or brush clearance areas required by the Fire Department for the existing legal development.

- m. New development in S1 and S2 habitat shall be sited and designed to minimize removal of native vegetation, required fuel modification, brush clearance, habitat disturbance or destruction, removal or modification of natural vegetation, and irrigation of natural areas, while providing for fire safety.
5. Nesting Birds. Where vegetation removal and/or construction is proposed in potentially suitable habitat areas for nesting birds during bird nesting season (typically February through August), a series of nesting bird surveys shall be conducted by a qualified biologist. The surveys shall start no more than 30 days prior to construction, and the final survey shall conclude no less than three (3) days prior to construction. Surveys shall detect any active bird nests in the vegetation to be removed and any other habitat within 500 feet of the construction area to avoid the take of a nesting bird, as required under State (Fish & Game Code section 3503) and federal law (Migratory Bird Treaty Act). The last survey shall be conducted within (3) three days prior to the initiation of clearance/construction. Depending on the avian species present, a qualified biologist may determine that a change in the breeding season dates is warranted.
- a. If an active songbird nest is located, clearing/construction within 300 feet shall be postponed until the nest(s) is vacated and juveniles have fledged and there is no evidence of a second attempt at nesting.
 - b. If an active raptor, rare, threatened, endangered, or species of concern nest is found, clearing/construction within 500 feet shall be postponed until the nest(s) is vacated and juveniles have fledged and there is no evidence of a second attempt at nesting.
 - c. Limits of construction to avoid a nest shall be established in the field with flagging and stakes or construction fencing. Project personnel, including all contractors working on site, shall be instructed on the sensitivity of the area.
 - d. The project proponent shall provide the Department of Regional Planning the survey findings as well as documentation that all measures in compliance with applicable State and federal laws pertaining to the protection of native birds have been taken.
 - e. If a nest is found as a result of surveys and avoidance of activities is not feasible during the nesting season, a qualified biological monitor is required to be present on site during all grubbing and clearing of vegetation. The biological monitor shall ensure that these activities remain within the project footprint (i.e., outside the demarcated buffer) and that the flagging/stakes/fencing is being maintained, and to minimize the likelihood that active nests are abandoned or fail due to project activities. The biological monitor shall send weekly monitoring reports to the Department of Regional

Planning during the grubbing and clearing of vegetation, and shall notify the Department of Regional Planning immediately if project activities damage active bird nests.

6. Fencing and Walls.

- a. Wildlife-permeable fencing may be permitted in order to section off development features such as streets, trails, driveways, recreation areas, or animal keeping structures and where necessary for public safety or habitat protection or restoration. Such fencing shall be developed as follows:
 - i. Fences shall be of an open design and made out of materials that are visible to wildlife, such as wood rail, steel pipe, vinyl rail, PVC pipe, recycled plastic, or coated wire;
 - ii. The bottom edge of the lowest horizontal rail or board shall be no closer than 18 inches from the ground;
 - iii. Except where a different height is stated, the top edge of the topmost rail (either horizontal or vertical) or board shall be no higher than 42 inches from the ground;
 - iv. Fencing shall provide sufficient sight distance at driveways and intersections to the satisfaction of the Department of Public Works; and
 - v. Fencing materials shall not be designed with materials harmful to wildlife. Prohibited materials include, but are not limited to, spikes, glass, or razor/barbed wire. All hollow fence sign posts or posts with top holes, such as metal pipes or posts with open bolt holes, shall be capped and the bolt holes filled to prevent the entrapment of bird species.
- b. Non-wildlife-permeable fencing, walls or enclosures shall be permitted only within the approved building site area and outside of habitat categories S1/S2 except as otherwise permitted in this Chapter.
- c. The height and length of retaining walls shall be minimized. Retaining walls shall not exceed six feet in height and shall be constructed of materials, textures, veneers, and colors that are compatible with the surrounding landscape. Where feasible, long contiguous walls shall be broken into sections or shall include undulations to provide visual relief. Where more than one retaining wall is necessary, they shall be separated by a minimum three-foot horizontal distance; the area in front of and separating retaining walls shall be landscaped to screen them, unless otherwise screened by buildings. Terraced walls shall have a maximum cumulative height of 30 feet; no single wall may be over six feet in height.

7. **Wireless Communication Facilities.** Facilities shall not be sited in S1 unless they will be located on an existing or proposed utility pole in the public right-of-way. Facilities shall avoid or minimize impacts to S2 habitat areas and protected trees, consistent with all provisions of this CSD. If there is no feasible alternative that can eliminate all impacts, then the alternative that would result in the fewest or least-significant impacts shall be selected. Existing native vegetation shall be preserved where feasible, and disturbance of the existing topography of the site shall be minimized.
8. **Mitigation Ratios.** Mitigation is required for all impacts associated with development in S1 and S2 habitats, including encroachment of fuel modification zones and off-site brush clearance.
 - a. **Impacts to S1 Habitat.** Mitigation for unavoidable permanent impacts to S1 habitat shall be provided, at a minimum, through the restoration and/or enhancement of like habitat type, at the ratio of 3:1 square feet of habitat to impacted area.
 - b. **Impacts to S2 Habitat.** Mitigation for unavoidable impacts to S2 habitat shall be provided, at a minimum, through the enhancement of like habitat type, at the ratio of 2:1 square feet of habitat to impacted area.
 - c. **On-Site Mitigation.** Priority shall be given to on-site restoration or enhancement, unless there is not sufficient area of disturbed habitat on the project site, in which case off-site mitigation may be allowed.
 - d. **Off-Site Mitigation.** The County shall coordinate with other public agencies to establish priorities for off-site restoration and enhancement efforts, where appropriate in the Santa Monica Mountains, for proposed development projects lacking adequate on-site mitigation opportunities.
 - e. **Open Space Deed Restriction.** The area of habitat to be restored shall be permanently preserved through the recordation of an open space deed restriction that applies to the entire restored area. The open space deed restriction shall be recorded free of prior encumbrances other than tax liens at the time the project is approved.
 - f. **Mitigation Completion.** The habitat restoration and/or enhancement shall be carried out prior to or concurrently with construction of the approved development project. In any case, installation of vegetation and irrigation for the restoration and/or enhancement mitigation shall be complete prior to the issuance of certificate(s) of occupancy for any structure(s) approved in the required permit.
9. **Habitat Restoration.**

- a. Voluntary Restoration. Where a project consists solely of habitat restoration with the primary purpose to improve or enhance biological resources and habitat function that is not required as direct mitigation for an approved permit, a Restoration Permit shall be required.
 - b. Project-Related Restoration. Restoration shall comply with the requirements of the permit authorizing the project.
 - c. Unpermitted Habitat Removal. Where habitat has been removed or continually damaged without an approved required permit, a Restoration Permit and a mitigation as outlined in Subsection 8 above shall be required.
 - d. Habitat Restoration Plan. A plan that delineates the process of habitat restoration to return the habitat to a close resemblance of its condition prior to disturbance. A restoration plan shall be prepared by a biologist or restoration ecologist, and includes the following:
 - i. Description and map of the area proposed to be restored or enhanced;
 - ii. Description of restoration or enhancement activities, including incidental activities, and their timeline;
 - iii. An inventory of biological resources onsite, including an evaluation of existing and pre-disturbance habitat quality;
 - iv. Statement of restoration goals and performance standards;
 - v. Revegetation and restoration methodologies to be implemented; and
 - vi. Maintenance and monitoring provisions, including a monitoring period of no less than five years for individual restoration projects.
10. Habitat Impact Fees. The Department shall, at a future time, prepare a habitat impact fee study to determine appropriate fees to adequately compensate for adverse impacts to S1 or S2 habitat. After the habitat impact fee is implemented, project applicants may provide this fee amount to a mitigation sponsor, such as another government/public agency, as approved by the Department, in lieu of providing the required compensatory mitigation listed above. At such time that the Department conducts the habitat impact fee study, mitigation fees will be set for impacts within each habitat category.
- B. Trees. Except as otherwise permitted in Subsection 3 below, a person shall not cut, destroy, remove, relocate, inflict damage, or encroach into the protected zone of any tree species specified in a protected native tree list titled, "Protected Trees in the Santa Monica Mountains," which is to be maintained by the Department.

1. Definitions.

- a. "Encroachment", as used in this CSD, shall mean an intrusion, disturbance, or construction activity within the protected zone of a tree.
- b. "Protected zone", as used in this CSD, shall mean that area within the dripline of a tree and extending therefrom to a point at least five feet outside the dripline, or 15 (fifteen) feet from the trunk, whichever is greater.
- c. "Trim" or "Prune", as used in this CSD shall mean the cutting of or removal of any limbs, branches or roots of trees.

2. Protected Trees.

- a. Native Trees. Trees native to the Santa Monica Mountains North Area, as specified in a list held by the Department, shall be protected under the provisions of this Chapter if their trunk meets or exceeds the diameter listed in the "Protected Trees in the Santa Monica Mountains" document, measured at 54 inches above natural grade, except as otherwise outlined in this subsection.
- b. Oak Trees. Any tree or shrub of the oak genus (*Quercus sp.*), with a diameter of at least six (6) inches, as measured 54 inches above natural grade; any tree or shrub of oak genus having two or more trunks that measure a total of at least eight (8) inches in diameter at 54 inches above natural grade. Oak trees shall be subject to the protections, requirements and mitigation ratios of Chapter 22.174 – "Oak Tree Permits."
- c. Mitigation or Replacement Trees. Any tree that has been provided as a replacement tree required in accordance with a County-approved permit shall be protected under the provisions of this Chapter.
- d. Heritage Trees. A heritage tree located on a Native Tree List held by the Department is considered irreplaceable because of the tree's rarity, size, shape, and/or prominent location within a community or landscape and must have a single trunk that measures 36 inches or more in diameter or two trunks that collectively measure to 54 inches or more in diameter; or for trees with unnaturally enlarged trunks due to injury or disease (e.g., burls and galls), the tree must be at least 60 feet tall or 50 years old. Age shall be determined from historical accounts, photographs, or associations with historic structures; age shall not be determined by growth ring counts in cores taken from the edge to the center of the tree.
 - i. A Conditional Use Permit shall be required to remove any heritage tree.

- ii. Any application for development shall be accompanied by a signed statement by the property owner or authorized agent which discloses whether any trees of heritage size exist on the property and describes on the plans associated with the application the location of each such tree, its species, trunk size and drip line area.
- e. Historic Trees. A non-native tree(s) may receive protected status through designation as a historic tree. A non-native tree can be nominated to become a designated historic resource via discretionary review, subject to approval and the following requirements:
 - i. The tree has been identified as a historic resource by the County; or
 - ii. The tree is listed or determined eligible for listing in the California Register of Historic Resources and/or National Register of Historic Places; and
 - iii. The tree must be associated with events or person that made a significant contribution to the history of the County, California, or the nation, or the location of the tree is associated with a historically significant view or setting.
- 3. Tree Maintenance. Tree maintenance that is limited to removal of dead wood, trimming or pruning of branches not to exceed two inches in diameter and 25 percent of live foliage within a two-year period, and which does not adversely affect the health of the tree, shall not require permitting pursuant to Subsection 6. All tree maintenance shall be performed in a manner that ensures the continued health of a protected tree, in accordance with guidelines published by the National Arborists Association. Should excessive maintenance, trimming or pruning adversely affect the health of the tree, a Protected Tree Permit or Conditional Use Permit will be required as prescribed in this Chapter.
- 4. Tree Relocation(s). Tree relocations pose a potential danger to the health or survival rate of a tree. Any tree relocation in this CSD shall therefore be processed as a removal, and shall not be counted toward the required mitigation ratio for trees located in Subsection 11 below.
- 5. Bird Nesting. Any tree maintenance, encroachment or removal activities, or construction activities, near a tree suitable for nesting bird habitat shall follow all regulations located in Section 22.336.060.A.5.
- 6. Mitigation Ratios. The mitigation ratios for various impacts to protected trees are provided in Table 22.336-A (Protected Trees Mitigation Ratios). Mitigation ratios may be increased depending on the review type and any associated hearings. All mitigation trees shall be monitored for a period of seven years. If at any time during that period mitigation trees are destroyed as a result of natural disaster, any destroyed mitigation trees

must be replaced and the mitigation period shall continue from the date of the original approval.

TABLE 22.336-A: PROTECTED TREES MITIGATION RATIOS			
<i>Impact</i>		<i>Permit</i>	<i>Mitigation Ratio (Number of native replacement trees required to plant for every 1 tree impacted/removed)</i>
Pruning	Up to 25%; ≤ 2-inch branch diameter		
	More than 25%; > 2-inch branch diameter	Protected Tree Permit	
Encroachment	Up to 10% encroachment into protected zone; maximum 4 trees	Ministerial Site Plan Review	None
	11-30% encroachment into protected zone	Protected Tree Permit	2:1
	More than 30% encroachment into protected zone	Processed as Removal (see below)	
Removal	Removal of 1 protected tree (under heritage size), excluding oak trees	Ministerial Site Plan Review	
	Removal of 2 protected trees (under heritage size), excluding oak trees	Protected Tree Permit	2:1
	Removal of 3 or more protected trees (under heritage size), excluding oak trees	Conditional Use Permit	
	Removal of any protected tree with a trunk diameter of 36-54"	Conditional Use Permit	5:1
	Removal of heritage or historic tree(s)	Conditional Use Permit	10:1

7. Exemptions.

a. Emergency Tree Removals.

- i. An “emergency” tree removal shall be defined as a situation that requires an immediate response and which there is no time to apply for and obtain a Protected Tree Permit or Conditional Use Permit to remove.
 - ii. “Emergencies” include situations in which a protected tree within 200 feet of an existing structure or adjacent to an existing access way is an immediate threat to public safety, public property, or utilities. It also includes a tree that has been irretrievably damaged or destroyed due to catastrophic events such as flood, fire, wind, lightning, earthquake, landslide, drought, pests, or disease, as determined after visual inspection by a licensed forester with the County Fire Department – Forestry Division, where the continuing presence of the tree is an immediate danger to public safety. The Director may consider cases of emergency due to infestation or disease that threaten surrounding trees, in consultation with the Department Biologist and the County Fire Department – Forestry Division.
 - iii. Emergency situations shall be determined, verified and granted by the County Fire Department – Forestry Division in consultation with Department biologists.
 - iv. All emergency removals shall require a mitigation ratio of a 1:1 replacement of a replacement tree of the same species to that which was removed. A Zoning Conformance Review to verify the location of the replacement tree and documentation from the County Fire Department – Forestry Division of the emergency tree removal shall be submitted.
 - b. Public Utility Projects. A Zoning Conformance Review will first need to be obtained from the Department before the removal of any tree for emergency actions as defined in Subsection 7.a.i by a public utility necessary to protect or maintain essential components of an existing utility or transmission system.
8. Application Procedures for Protected Trees. The following types of review are required for specific impacts to protected trees:
- a. Oak trees (*Quercus sp.*), shall be subject to the application and permitting requirements of Chapter 22.174 “Oak Tree Permits” at the protected diameters described in Section 22.336.060.B.2.b, above.
 - b. A Ministerial Site Plan Review shall be required for the following impacts, and pursuant to all requirements of Chapter 22.226:
 - i. Encroachments of no more than 10% into each trees’ protected zone, up to four trees, in conjunction with the use of

- a single-family residence listed as a permitted use in the zone;
and
- ii. Removal of up to one protected tree listed in the “Protected Trees in the Santa Monica Mountains” list, excluding oak trees.
- c. A Protected Tree Permit shall be required for any of the following impacts, and pursuant to all requirements of Chapter 22.228:
 - i. Pruning or trimming of protected trees in excess of 25 percent of live foliage for one or more trees;
 - ii. Encroachments of up to 30% into a tree’s protected zone. Any encroachment of more than 30% into the protected zone of a tree shall be processed as a tree removal; and
 - iii. Removal of up to two protected trees. A removal of any native tree in the “Protected Trees in the Santa Monica Mountains” list with a trunk diameter of 36 inches at 54 inches above natural grade, shall require a Conditional Use Permit.
- d. A Conditional Use Permit shall be required for any of the following impacts, and pursuant to all requirements of Chapter 22.230:
 - i. More than two removals of any combination of native trees listed in the “Protected Trees in the Santa Monica Mountains” list;
 - ii. A removal of any native tree with a trunk diameter of 36 inches at 54 inches above natural grade; and
 - iii. Removal of any tree designated as a heritage tree or historic tree.
- e. Tree Standards as Part of Another Permit. Any encroachment or removal of a protected tree that is part of a larger project that requires a discretionary review permit (Protected Tree Permit or Conditional Use Permit) shall not require an additional permit for encroachment or removal. Instead, the encroachment or removal of a protected tree shall be considered as part of the discretionary review permit pursuant to all requirements of Section 22.336.050 (Application and Review Procedures).
- 9. Application Materials. In addition to the specific review type listed above, these additional application materials must be included for encroachments or removals of protected trees:
 - a. Proposed areas to be landscaped and/or irrigated, proposed construction, excavation, and/or grading. Where a change in grade is proposed, the change in grade within the protected zone of each plotted tree shall be specified;

- b. Proposed and existing land uses, location of all surface drainage systems;
- c. The location of all protected trees proposed to be removed and/or encroached within 200 feet of proposed construction, grading, landfill or other activity. Each tree shall be assigned an identification number on the plan, and a corresponding permanent identifying tag shall be affixed to the north side of each tree. These identifications shall be utilized in the tree report and for physical identification on the property where required. The protected zone shall be shown for each plotted tree;
- d. Location and size of all proposed replacement trees;
- e. Other development features which the Director deems necessary to process the application;
- f. A protected tree report prepared by a certified arborist, acceptable to the Director and County Forester, and certified to be true and correct, which describes each tree shown on the site plan, and shall contain the following information:
 - i. The name, address and telephone number during business hours of the preparer;
 - ii. Evaluation of the physical structure of each tree as follows:
 - (A) The circumference and diameter of the trunk, measured four and one-half feet (54 inches) above natural grade;
 - (B) The diameter of the tree's canopy, plus five feet, establishing the protected zone;
 - (C) Aesthetic assessment of the tree, considering factors such as but not limited to symmetry, broken branches, unbalanced crown, excessive horizontal branching; and
 - (D) Recommendations to remedy structural problems where required;
 - iii. Evaluation of the health of each tree as follows: Identification of insect pest and diseases, evaluation of vigor with health rating and recommendations to improve tree health;
 - iv. Prior to approval of a permit, the Director shall refer a copy of the applicant's tree report to the County Forester. In consultation with the County Biologist, the County Forester shall review said report for the accuracy of statements contained therein, and shall make inspections on the project site. Such inspections shall determine the health of all such trees on the project site and other factors as may be necessary and proper to complete the review; and

- v. The County Forester and/or County Biologist may at their option also suggest additional conditions for use by the hearing officer or the Director or Commission;
 - g. Identification of those trees shown on the site plan which may be classified as heritage or historic trees; and
- 10. Findings. In addition to the materials required for Type II and Type III reviews as listed in Division 9 of this Title, an application may be approved only if the following findings are made:
 - a. That any proposed construction will be accomplished without endangering the health of the remaining trees within the potential impact area of the development, or in the vicinity;
 - b. That the removal of the tree(s) proposed will not be contrary to or be in conflict with the intent and purpose of the protected tree permit procedure;
 - c. That the removal of the tree(s) proposed will not result in soil erosion through the diversion or increased flow of surface waters, or subsurface waters, which cannot be satisfactorily mitigated; and
 - d. The required action is necessary: (1) to allow reasonable economic or other enjoyment of the property; and (2) there is no other feasible design alternative that would avoid impact to the tree(s); and
 - e. That in addition to the above facts, at least one of the following findings apply:
 - i. That the removal of the tree(s) is necessary as the continued existence of the tree(s) at present location(s) impedes the planned improvement or proposed use of the subject property to such an extent that alternative development plans cannot achieve the same permitted density or the existing location of such tree(s) precludes the reasonable and efficient use of such property for a use otherwise authorized;
 - ii. That the condition of the tree(s) proposed for removal with reference to disease, pest or danger of falling is such that it cannot be remedied through preservation practices;
 - iii. That the removal of the tree(s) proposed will not be contrary to or be in conflict with the intent and purpose of the protected tree permit procedure; or
 - iv. That the tree(s) proposed for removal or relocation interferes with utility services or streets and highways, either within or outside of the subject property, and no reasonable alternative to such interference exists other than removal of the tree(s).
- 11. Additional Conditions Imposed. The Director, Hearing Officer or Commission, in approving an application for a Protected Tree Permit

shall impose such conditions as are deemed necessary to ensure that the permit will be in accord with the findings required by Subsection 10. These conditions may involve, but are not limited to, the following:

- a. The replacement of protected trees shall be required for all removals or relocation of protected trees. Replacement shall be with trees of a suitable type, size, number, location and date of planting. In determining whether replacement should be required, the Director, Hearing Officer or Commission shall consider but is not limited to the following factors:
 - i. The vegetative character in the surrounding area;
 - ii. The number of protected trees which are proposed to be removed in relation to the number of such trees currently existing on the subject property;
 - iii. The anticipated effectiveness of the replacement of protected trees, as determined by the tree report submitted by the applicant and evaluated by the County Forester and County Biologist;
 - iv. The development plans submitted by the applicant for the proposed construction or the proposed use of the subject property;
 - v. The relocation of trees approved for removal shall not be classified as a mitigation for replacement trees;
 - vi. Unless a more biologically appropriate species is identified by the County Biologist, required replacement protected trees shall be the same genus and species as their corresponding removed/encroached trees in the protected tree permit or CUP and follow mitigation ratios detailed in the next section. Each replacement tree shall be the smallest size likely to survive or larger, as determined by the County Biologist;
 - vii. Replacement trees shall be properly cared for and maintained for a period of seven years and replaced by the applicant or permittee if mortality occurs within that period;
 - viii. Where feasible, replacement trees should consist exclusively of native trees and certified as being grown from a seed source collected in Los Angeles or Ventura Counties; and
 - ix. Replacement trees shall be planted and maintained on the subject property and, if feasible, in the same general area where the trees were removed. The process of replacement of trees shall be supervised in the field by a certified arborist.
- b. A plan for preserving Protected Trees on the subject property during and after development, such as, but not limited to, the following requirements:

- i. The installation of chain-link fencing not less than four feet in height around the protected zone of trees shown on the site plan. Said fencing shall remain in place throughout the entire period of development and shall not be removed without written authorization from the Director or the County Forester;
 - ii. Where grading or any other similar activity is specifically approved within the protected zone, the applicant shall provide an individual with special expertise acceptable to the Director to supervise all excavation or grading proposed within the protected zones and to further supervise, monitor and certify to the County Forester the implementation of all conditions imposed in connection with the applicant's permit;
 - iii. That any excavation or grading allowed within the protected zone or within 15 feet of the trunk of a tree, whichever distance is greater, be limited to hand tools or small hand-power equipment;
 - iv. That the trees on the site plan be physically identified by number on a tag affixed to the north side of the tree in a manner preserving the health and viability of the tree. The tag shall be composed of a non-corrosive all-weather material and shall be permanently affixed to the tree. All tree locations shall be accurately depicted on the site plan;
 - v. That corrective measures for trees noted on the tree report as requiring remedial action be taken, including pruning, fertilizing and similar actions;
 - vi. That, to the extent feasible as determined by the Director, utility trenching shall avoid encroaching into the protected zone on its path to and from any structure; and
 - vii. At the start of grading operations and throughout the entire period of development, no person shall perform any work for which a protected tree permit is required unless a copy of the tree report, location map, fencing plans, and approved protected tree permit and conditions are in the possession of a responsible person and also available at the site.
12. Noticing. Noticing for the removal of any protected tree shall be required for all review types. Noticing shall be required for all parcels within a 1,000-foot radius of project site. If the 1,000-foot radius does not include a minimum of 15 parcels of real property, the radius shall be expanded until the owners of at least 15 parcels are included. Oak trees will be subject to the noticing requirements of Chapter 22.174 - "Oak Tree Permits".

13. Enforcement. In interpreting the provisions as they apply to this Chapter, each individual tree cut, destroyed, removed, relocated or damaged in violation of these provisions shall be deemed a separate offense.

22.336.070 Community-Wide Development Standards.

A. Prohibited Uses. The following uses are prohibited in all zones throughout the Santa Monica Mountains North Area Community Standards District:

- a. Cemetery, as defined in Title 22;
- b. Guest ranch, as defined in Title 22;
- c. Hotel, as defined in Title 22;
- d. Waste disposal facilities, as defined in Title 22;
- e. Wild animals;
 - i. The keeping of wild animals, either individually or collectively for private or commercial purposes shall be prohibited;
- f. Outdoor dance pavilions;
 - i. The establishment or expansion of any structure, portion of a structure, or designated outdoor area that is used as a primary or accessory use to host or accommodate special events not otherwise permitted by a license or conditional use permit, and the use of which often involves amplified music or other noise-generating uses, including weddings, parties, or other gatherings, shall be prohibited;
- g. Heliports, helistops, as defined in Title 22, and any site or facility that is used for the takeoff and landing of aircraft (commonly known as helipads and landing strips);
 - i. All heliports, helistops, helipads and landing strips shall be prohibited, with the exception of publicly-owned or operated helipads and helistops, which may be allowed on public or private land where needed for emergency services, and consistent with all applicable policies of the Santa Monica Mountains North Area Plan and Title 22. Any new public helipads needed for emergency services shall be located in a manner that limits noise impacts on residential areas and public parklands, minimizes alteration of the existing topography, and minimizes vegetation removal.

B. Access Roads and Driveways. These provisions apply to access roads that are wholly new, incorporate any portion of an existing access road, or require the widening, improvement or modification of an existing, lawfully constructed road to comply with Fire Department access development standards.

- a. No more than one access road or driveway with one hammerhead-type turnaround area providing access to the one approved development area may be permitted as part of a development permitted in Habitat

- Categories S2-S4 unless the Fire Department determines that a secondary means of access is necessary to protect public safety.
- b. An access road or driveway shall only be permitted concurrently with the use it is intended to serve, except for the approval of geologic testing roads pursuant to Section 22.336.070.G (Exploratory Testing).
 - c. Grading, landform alteration, and vegetation removal for access roads and driveways shall be minimized to the greatest extent feasible. The length of the one access road or driveway shall be the minimum necessary to provide access to the one approved building site area on a legal parcel. The alignment and design of the access road or driveway shall avoid impacts to S1 and S2 habitat, or if avoidance is not feasible, shall minimize such impacts. In no case shall new on-site or off-site access roads or driveways exceed a maximum of 300 feet or one-third the parcel depth, whichever is less, unless the County finds, based on substantial evidence, that a variance of this standard is warranted, in accordance with the requirements of Chapter 22.194 (Variance). In addition to the required findings set forth in Chapter 22.194 (Variance), findings shall be made that alternative building sites, access road, or driveway locations within the property or project have been considered and eliminated from consideration because each alternative was found to be physically infeasible, less protective of scenic resources or S1 and/or S2 habitat areas, or has the potential for substantial habitat destruction if any such alternative site or driveway location is used;
 - d. The width and grade of an access road or driveway and the size of the hammerhead turnaround approved shall be the minimum required by the Fire Department for that development project; and
- C. Bed and Breakfast Establishments. Bed and breakfast establishments on a lot having, as a condition of use, an area of not less than one acre, provided the facility maintains a residential character. In addition to the conditions imposed pursuant to Section 22.158.060 (Conditions of Approval), the following development standards shall be conditions of each grant, unless otherwise modified by the Hearing Officer:
- a. The facility shall be operated and maintained by the owner or lessee of the property, and it shall constitute the primary residence of the owner or lessee;
 - b. The facility shall contain no more than five guest rooms available for paying guests, which rooms shall be located within the primary residence and not in any accessory structures;
 - c. Stays for any paying guest shall not exceed 14 consecutive days and shall be not more than 30 days for such guest in any calendar year;
 - d. Kitchens and other cooking facilities shall be prohibited in any guest room within the facility;

- e. There shall be one on-site parking space, which may be uncovered, served by an all-weather driveway, for each guest room available for paying guests;
 - f. Serving or consumption of food or beverages, including alcoholic beverages, shall be restricted to residents and guests of the facility. No restaurant or similar activity that is open to the general public shall be permitted; and
 - g. One wall-mounted or freestanding sign shall be permitted, provided that such sign does not exceed six square feet in sign area or 12 square feet in total sign area respectively, and does not exceed a height of 42 inches measured vertically from ground level at the base of the sign.
- D. Development Moratorium for Non-Compliant Properties. When a cease-and-desist order, notice of violation, or CUP revocation has been issued or recorded for a property by any County agency, the Director may set the matter for a public hearing before the Commission to consider a five-year ban on filing any new application or acting upon any application for the subject property. In such case, all procedures relative to notification, public hearing, and appeal shall be the same as for a CUP. Following a public hearing, the Commission may place up to a five-year ban on filing any applications, but may exempt emergency permits and/or permits deemed by the Director as necessary for the subject property to address a violation, cease-and-desist order, or permit revocation on the property. If approved, the ban period shall commence from the date of the hearing. The Director shall record the terms of such ban in the office of the County Recorder.
- E. Equestrian Facilities.
- 1. Area requirements for equestrian facilities, which includes large and small horse boarding facilities and riding academies:
 - a. The minimum parcel size for equestrian facilities shall be one acre.
 - b. Parcels under one acre shall refer to Section 22.140.070 – “Animal Keeping, Noncommercial or Personal Use”.
 - c. The number of equines permitted per lot shall be limited to one per 5,000 square feet of lot area.
 - 2. Small horse boarding shall meet the following requirements:
 - a. Up to a maximum of 20 equines, including any equines owned by the owner or lessor of the property, may be permitted as small horse boarding.
 - b. Training of horses shall be limited to horses owned by the property owner or boarder. No commercial or business uses, including, but not limited to, training, riding of horses or other equines, trail riding, or courses in horsemanship are allowed except as otherwise permitted by this Chapter.

3. All existing, legally established equestrian facilities may continue operation under the development standards in place at the time of establishment, subject to compliance with the Best Management Practices (BMPs) outlined in Subsection E.5.g below. Equestrian facilities that are not in compliance with Subsection E.5.g shall be deemed as a legal non-conforming use.
 - a. All equestrian facilities must come into compliance with Subsection E.5.g within five years of the effective date of this CSD. To prove conformance the applicant shall show under a Ministerial Site Plan Review, and subject to the approval of the Director, compliance with the requirements set forth in Subsection E.5.g.
4. For any portion of a legal non-conforming equestrian facility undergoing an addition or expansion, the entirety of the existing and proposed structure and site will require review and approval pursuant to Subsection E.3 above, as well as code and permitting requirements.
5. All equestrian facilities must comply with the following requirements, except as otherwise described in Subsection E.3. above:
 - a. All animal living quarters shall be located not less than 35 feet from any street or highway or from any building used for human habitation;
 - b. Animal containment facilities, animal living quarters, and accessory structures are not permitted in S1 habitat area;
 - c. All animal containment facilities and animal living quarters shall be a minimum of 100 feet away from all S1 habitat areas. The facilities shall be a minimum of 100 feet from the outer edge of any riparian habitat or natural drainage course. If the minimum setback is not feasible for new or a proposed expansion of animal containment facilities for equines, the facility may apply for a Minor Conditional Use Permit subject to Section 22.336.050.B and must meet the buffering standards of Subsection E.6 below;
 - d. The siting and design of animal containment facilities and animal living quarters shall be consistent with the slope and habitat protection requirements of this CSD;
 - e. Fencing for all animal containment facilities shall be no more than six feet in height, unless required to be taller by Los Angeles County Animal Control or California Department of Fish and Wildlife, and shall be consistent with Section 22.336.060.A.6. However, fencing for the direct control and safety of animals, such as exercise pens, that do not exceed a 60-foot diameter may be non-wildlife permeable only where it is demonstrated, pursuant to a site-specific evaluation, that the layout and extent of the fencing will not significantly impede wildlife movement through a property or through the surrounding area;

- f. Submittal of and compliance with an animal waste management plan, including:
 - i. A scaled site plan depicting all animal containment facilities and animal living quarters, manure storage facilities, and vehicular access. The plan should also delineate all site drainage, adjacent or onsite watercourses and/or areas which hold or circulate water (i.e., lakes, ponds, pools, etc.);
 - ii. Volume of waste material generated per day. This includes manure, spilled feed, and used bedding; and
 - iii. The waste management plan must be in substantial compliance with Best Management Practices listed in Subsection g. below.
- g. Best Management Practices (BMPs).
 - i. Equestrian raising, training, breeding, and boarding operations shall use BMPs in a manner that avoids harm to other organisms, and protects air, soil, and water quality.
 - ii. The following BMPs shall be depicted on a site plan as well as implemented for all equestrian facilities:
 - (A) Runoff shall be diverted, with a berm or other such measure, around holding pens, waste storage or disposal areas, or areas containing compost, fertilizer, amended soil products, and any other byproducts of livestock activities;
 - (B) The roots and trunks of protected trees situated within existing animal containment facilities shall be protected from equine damage with loosely-fitted chain-link or plastic mesh fencing, pipe corral fencing, treated wood boxes, or other material deemed suitable by the Department Biologist. New or expanded animal containment facilities shall be sited outside of the protected zone of individual oak trees or other protected trees, consistent with the provisions of Section 22.336.060.B (Trees);
 - (C) Manure, waste, oils, chemicals, fertilizers, and other noxious materials shall be stored inside a structure or in a covered container with an impervious bottom surface and shall be stored away from any underground water source used for human consumption to the maximum extent possible. Stockpiling on the ground is not permitted. Waste shall be stored at least 100 feet from all S1 habitat, streams, and natural drainage courses;

- (D) Filter strips, natural vegetation, gravel, sand, or other similar materials shall be used along the periphery of corrals, pens, animal showers, and waste containment areas to absorb and treat runoff from animal facilities; and
 - (E) Sediment-holding ponds may incorporate phytoremediation techniques to assist in filtering runoff, such as bioswales or rain gardens.
 - iii. The following operational BMPs must be implemented by all equestrian facilities:
 - (A) Runoff, waste, and waste byproducts from animal containment facilities shall be regularly collected, contained on the parcel, and disposed of in an approved manner;
 - (B) Equestrian facilities shall not discharge sediment, animal waste, or polluted runoff onto any public road, adjoining property, or into any S1 habitat, S2 habitat or stream/drainage course;
 - (C) Stockpiled dirt shall be protected from wind and water erosion by using tarps and/or jute netting to cover the pile;
 - (D) No burning of waste or other materials shall be allowed;
 - (E) All manure, soiled bedding, and spilled feed shall be collected a minimum of once per week. Wet spots shall be dried as much as possible by raking and/or adding absorbent material. Manure deposited in wet areas should be collected immediately. Shady areas shall be cleaned daily;
 - (F) Maintain good air circulation and exposure to sunlight in animal containment areas. This will include weed abatement and removal of all refuse and waste materials as described above;
 - (G) Any additional measures that may be necessary to further control fly and other insect populations; and
 - (H) All operations shall have a contingency plan for equipment breakdown, adverse weather conditions, staffing absences, and other unforeseen circumstances.
- 6. Buffering standards for new and expanded animal containment facilities less than 100 feet from S1 habitat.
 - a. A buffer zone between S1 Habitat Area, drainage courses, streams, rivers, and an equestrian facility shall be established to mitigate any

potential impact. The buffer zone shall include native vegetation, bioswales, or other appropriate features as determined by the Department Biologist.

- b. Site design must demonstrate that all runoff and drainage will be directed away from S1 habitat, drainage courses, streams, rivers, and other sensitive receptors.
- c. Non-wildlife-permeable fencing shall not be allowed within 100 feet of S1 habitat.
- d. If the above standards cannot be met, a variance may be requested and a biological resources assessment must be completed and be reviewed by SEATAC prior to any decision by a decision-making body.

F. Event Facilities.

- 1. Permit Required. A Conditional Use Permit (CUP) is required to establish, maintain or operate an event facility. Permitted zoning for event facilities is listed in Section 22.336.080.
- 2. A property that is currently maintained as a single-family residence shall not be eligible to establish an event facility.
- 3. Amortization for Existing Outdoor Dance Pavilions and Event Venues. All properties that currently operate as outdoor dance pavilions or other event venues that have not received a discretionary permit for an event facility shall be considered non-conforming as of the effective date of this ordinance and must obtain a Conditional Use Permit to operate as an event facility. All outdoor dance pavilions are subject to the standards described in this Chapter and must reach compliance and obtain a Conditional Use Permit within three (3) years of the effective date of this ordinance, or else all event operations must be discontinued or removed by that date.
- 4. Development and Operational Standards.
 - a. Parcel Size. The minimum development site required shall be regulated by zone as defined in Section 22.336.080.
 - b. Maximum Occupancy.
 - i. The maximum number of attendees for any given event is limited to 200 persons including, but not limited to, any event staff, caterers, photographers, and vendors.
 - ii. The maximum number of persons permitted at an event venue may be increased or decreased at the discretion of the Hearing Officer or Regional Planning Commission.
 - c. Setbacks.

- i. An event facility shall be located no closer than 2,000 feet to another event facility, as measured between nearest respective parcel boundaries.
 - ii. All development and activity areas related to the event facility shall be set back not less than 150 feet from the edge of the right-of-way when located on scenic highways or on roads designated by the NAP as scenic routes.
 - iii. Any activity area that will include the use of outdoor amplified sound or music shall be setback not less than 100 feet from any property line.
 - iv. Existing trees, bushes, shrubs and other vegetation within such set back areas shall be protected and preserved in compliance with Section 22.336.060.
 - v. For those areas where the event facility would be visible from a property line or right-of-way, the setbacks specified above shall contain landscaping on all disturbed land.
- d. Parking Options and Transportation.
 - i. Unless adequately screened, parking must be designed so that headlights of parked cars are facing inward toward the property and are not directed onto adjacent properties or sensitive habitat.
 - ii. Parking areas should be selected to maximize the distance from adjacent residences.
 - iii. The applicant must submit a parking and transportation plan that demonstrates adequate parking or transportation is provided for all staff and guests so that traffic flow will not adversely impact the neighborhood. The parking and transportation plan may include any combination of the following:
 - (A) On-site parking in accordance with the requirements of Table 22.112.060-A for entertainment, assembly, and dining uses;
 - (B) Shuttle service that transports guests directly to/from nearby parking or accommodations within the area;
 - (C) Valet parking, which may include tandem parking spaces; and
 - iv. If on-site parking is provided for the event, management of vehicle ingress/egress shall use traffic controllers on the property and at nearest intersections to prevent on-street queuing.

- e. Access. The public and private roads providing access to the subject property meet necessary standards to provide safe and adequate access, or said standards have been amended by conditions of project approval to satisfy the access requirements. Consideration shall be given to the event facility's access to two means of access to a highway.
- f. Noise.
 - i. Event facilities shall abide by the ambient noise standards set forth in Subsection L.
 - ii. All outdoor amplified sound must cease at 8:00 pm nightly, unless otherwise modified by CUP.
 - iii. Layout for sound amplification systems shall ensure that all speakers are directed away from adjacent residences and any adjacent S1 habitat. The backside of all speakers shall be wrapped in sound attenuation blankets.
 - iv. Location of foot traffic corridors between event location, food and beverage services areas, restrooms, and parking areas should be selected to maximize the distance from adjacent residences.
 - v. Contact information for the on-site event supervisor(s) shall be available to residences within 2,000 feet of the event facility for questions or concerns during event operations. Calls should be returned within 30 minutes during the event, and within 24 hours before and after the event to answer questions and handle complaints. Documentation of the complaint and resolution shall be maintained and provided to the Department of Regional Planning when requested.
 - vi. Temporary sound abatement structures along site perimeters may be required if the Director determines that noise issues are persistent and avoidable. Sound abatement walls shall be a minimum of 10 feet in height and reduce noise to a minimum of 10 A-weighted decibels (dBA).
 - vii. Increased setbacks and site and building design shall be first implemented to reduce noise levels at the property line before construction of noise barriers is considered.
- g. Lighting.
 - i. This subsection shall employ the definitions listed within the Rural Outdoor Lighting District (Chapter 22.80).
 - ii. All exterior lighting shall have the light source fully shielded.
 - iii. No glare shall be visible when viewed from adjoining parcels and public rights-of-way.

- iv. Holiday lights are permitted, as long as they are not flashing or otherwise sequenced.
 - v. Any lighting within a temporary structure, such as a tent or canopy, is exempt, provided that the structure fully shields all lamps.
 - vi. Flood lights are prohibited.
 - h. Alcohol. Alcohol service shall comply with all Alcoholic Beverage Control (ABC) regulations.
 - i. Security.
 - i. A licensed private security company shall be contracted for all events with more than 50 attendees to ensure that staff are able to respond to security needs of the event and surrounding environment.
 - ii. Security duties may include ensuring compliance with noise standards, that no fire or flame exist on-site, and compliance with the event parking and transportation plan to prevent intoxicated drivers.
 - j. Sanitation. All event facilities must be equipped with permanent sanitation facilities to the satisfaction of the Department of Public Health.
 - k. Evacuation Plan. An evacuation plan approved by the Los Angeles County Fire Department and Sheriff shall be in place to safely evacuate all guests and staff members in the event of an emergency without inhibiting neighboring residents' ability to safely and quickly evacuate.
5. Additional Findings for Event Facility Conditional Use Permit. In addition to the conditions imposed pursuant to Section 22.158.060 (Conditions of Approval), the following shall be conditions of each grant, unless otherwise modified by the decision-making body:
- a. Parking and transportation plan must determine that adequate transportation is provided for all guests and that roadways are not unduly burdened if alternative transportation (e.g. shuttle service) is not provided; and
 - b. The facility shall be sufficiently designed or isolated so that noise from any event does not exceed ambient noise levels from the property line nearest to adjacent residences or S1 habitat area.

G. Exploratory Testing.

- 1. Property in any zone may be used for exploratory testing, provided that a Minor Conditional Use Permit has first been obtained and while such

permit is in full force and effect in conformity with the conditions of such permit.

- a. Access for exploratory testing shall use existing roads, or track-mounted drill rigs, where feasible. Where there is no feasible access, a temporary access road may be permitted when it is designed to minimize length, width, and total grading to that necessary to accommodate required equipment. All temporary roads shall avoid S1 habitat. All such temporary roads shall be restored to the maximum extent feasible, through grading to original contours, re-vegetating with locally-indigenous vegetation to the project site, and monitoring to ensure successful restoration.
- b. Grading for temporary roads necessary for geologic, hydrologic, or similar testing purposes shall be conditioned to restore and replant all graded areas to a natural condition if the site is not developed within one year of the issuance of the permit for the grading.
- c. Any disturbances incurred to soil or locally-indigenous vegetation (including S1-S3 habitat) as a result of exploratory testing shall be mitigated and restored according to requirements herein and according to any requirements of the Department of Public Works.
- d. Within 30 days from completion of exploratory testing, or immediately if heavy rain is forecasted, all disturbed areas shall be stabilized with temporary erosion control measures and seeded with locally-indigenous grass species to prevent erosion and instability. Full remediation of disturbed soil or locally-indigenous vegetation shall commence one year from the date of the issuance of the Minor CUP, if further development of the disturbed site in conjunction with an approved project has not occurred.
- e. Vegetation removal activities shall be conducted in a manner that protects existing vegetative root stock to facilitate revegetation of the disturbed areas.

2. All required restoration shall be completed to the satisfaction of the Director.

H. Farmers' Markets. No farmers' market or any portion thereof shall be allowed within S1 habitat area. Farmers' markets shall be located at least 25 feet away from mapped S1 area.

I. Grading.

1. An approved Conditional Use Permit (Chapter 22.158) shall be required for any grading on a lot, or in connection with any project, that exceeds 500 cubic yards of total cut plus total fill material. For purposes of computing the 500-cubic-yard threshold amount, grading necessary to establish a turnaround required by the Fire Department, but not the grading for any access road or driveway leading to such turnaround, shall be excluded.

2. All grading shall be performed in a manner that minimizes disturbance to the natural landscape and terrain through design features for the project such as, but not limited to;
 - a. Conforming to the natural topography;
 - b. Avoid placing development on slopes greater than 25 percent unless the outcome is biologically superior to all other siting locations;
 - c. Utilizing split-level or stepped pad designs on slopes;
 - d. Clustering structures;
 - e. Locating the project close to a legal and established street traveled by the public;
 - f. Reducing building footprints; and
 - g. Minimizing hardscape, and the height and length of cut and fill slopes and retaining walls.
3. Grading shall also be accompanied by other project features that maximize preservation of visual quality and rural community character through design features such as, but not limited to:
 - a. Use of landform grading techniques so that graded slopes blend with the existing natural terrain of the site and surrounding area; and
 - b. Use of locally-indigenous vegetation for concealment of the project. A list of locally-indigenous vegetation appropriate for the North Area shall be maintained by the Director.
4. A grading permit, when required, shall be obtained from the Department of Public Works before the commencement of any grading project.
5. Cut material may only be exported to an appropriate landfill or a site permitted to accept the material. An approved haul route shall be required for the offsite transport of 500 cubic yards or more of cut or fill material, or any combination thereof, subject to the following requirements:
 - a. The application shall contain statements setting forth the following information in addition to any requirements of Section 22.336.050:
 - i. The names and addresses of all persons owning all or any part of the property from which such material is proposed to be removed from and transported to;
 - ii. The names and addresses of the person or persons who will be conducting the operations proposed;
 - iii. The ultimate proposed use of the lot or parcel of land;

- iv. A map, showing in sufficient detail the location of the site from which such material is proposed to be removed, the proposed route over streets and highways, and the location to which such material is to be imported; and
 - v. Such other information that the County finds necessary to determine whether the application should be granted.
 - b. All hauling as approved under this section shall be restricted to a route approved by the Public Works Director; and
 - c. Compliance shall be made with all applicable requirements of other County departments and other governmental agencies.
6. Physical grading (earth-moving activities) shall be prohibited during the rainy season, defined as October 15 of any year through April 15 of the subsequent year, unless permitted pursuant to provisions of Subsections 1.7 or 1.8 below.
7. Approved grading shall not be initiated unless there is sufficient time to complete grading operations before the rainy season. If grading operations are not completed before the rainy season begins, due to unforeseen circumstances/delays, grading shall be halted and temporary erosion control measures shall be put into place to minimize erosion until grading resumes after April 15. However, the Director may permit grading to continue if it is determined that: (1) completion of grading would be more protective of sensitive environmental resources and would minimize erosion and sedimentation; and (2) BMPs designed to minimize or prevent erosion, sedimentation and polluted runoff are being implemented to a degree that would prevent significant water quality impacts or any significant disruption of habitat values within all habitat categories.
8. Grading during the rainy season may be permitted to remediate hazardous geologic conditions that endanger public health and safety, at the discretion of the Department of Regional Planning and the Department of Public Works.
9. Grading projects must be in accordance with all applicable regulations of Section 22.336.070.G (Exploratory Testing).
10. Grading in areas that have a slope of 50 percent or greater shall be prohibited, unless required for safety reasons or if it would be more protective of sensitive biological resources in all habitat categories. The remediation or stabilization of landslides or other slope instability that affects existing structures or that threaten public health or safety shall be allowed. Alternative remediation or stabilization techniques shall be analyzed to determine the least-environmentally-damaging alternative. Mitigation shall be incorporated into the project in order to minimize adverse impacts to natural resources.

11. Any amount of legal grading that has occurred on a lot or parcel of land, or in conjunction with a project, prior to the adoption date of this CSD, shall not be counted toward the grading thresholds set forth in Subsection I.1 above. Proof that such grading was legal (received all necessary permits that were required at the time grading took place) shall be demonstrated as part of a CUP application that includes grading. Any grading that has occurred on a property where it cannot be demonstrated that the grading received all of the necessary permits that were required at the time the grading took place shall be considered unpermitted, and counted cumulatively in the proposed grading amount and grading thresholds set forth in Subsection I.1 above, and analyzed for consistency with all policies and provisions of this CSD as part of the proposed project.
12. Grading shall utilize landform grading techniques to minimize alteration to natural landforms, minimize the visual transition from natural landforms to manufactured slopes, and present the appearance of a natural hillside. Cut and fill slopes shall be minimized by the use of retaining walls, where consistent with all other provisions of this CSD.
13. The temporary storage of construction materials for public projects or landslide material on road shoulders shall be managed using the most current BMPs to eliminate erosion into adjacent drainage courses, to protect air and water quality, and to minimize the spread of invasive plant species. Landslide material shall be deposited in permitted landfills or sites with valid permits to accept fill.
14. The County will monitor grading projects to ensure that grading conforms to approved plans. County inspectors may only modify approved grading plans at project sites to that which is necessary to address unanticipated conditions and to protect public health and safety. In-field grading modifications shall obtain an amendment to the permit and/or site plan that authorized the grading to ensure that modifications will not create adverse impacts that were not considered during a project's environmental review.

J. Incentive Program for Certain Development Actions.

1. Purpose and Intent. The purpose of offering incentives for certain actions associated with development in the Santa Monica Mountains North Area is to encourage voluntary actions that further the goals of the NAP.
2. Voluntary Action. The action taken by the applicant must be voluntary, and not required as part of a project alternative or mitigation measure or other obligation imposed or enforced pursuant to law, and must be formalized as a condition of approval.
3. Action by Applicant. Subject to the approval of the Director, actions that qualify for participation in the incentive program are:

- a. Retirement of all development rights on one or more lawfully created, buildable parcel(s) that total at least five acres in size, and contain habitat designated as S1 habitat (may also contain S2 habitat, but shall primarily contain S1 habitat), and located in the Santa Monica Mountains North Area.
 - b. Dedication of a permanent, irrevocable, nonexclusive ingress and egress easement for the purpose of providing access to publicly-owned open space, accepted by a receiving land conservation agency.
 - c. Dedication of a trail or trail easement across a segment of a public riding and hiking trail identified by the National Park Service trail map, and accepted by the County Parks and Recreation Department, or by a State or federal park and/or recreation agency, that submits a plan that indicates that the organization will open, operate, and maintain the easement in accordance with terms of the recorded trail easement. Recordation of the trail easement shall be required as a condition of approval of the CUP.
4. Incentives. Any one incentive listed below may be chosen for any one qualifying action, as specified below. Only one incentive may be taken.
 - a. An increase in the threshold for requiring a CUP from 500 cubic yards to 5,000 cubic yards of grading.
 - b. For the conservation of land, the project will be granted an increase in building site area up to the total maximum approvable area of 15,000 square feet in S3 or S4 habitat. This incentive is only available when an applicant voluntarily proposes and implements the retirement of all development rights on one or more lawfully-created, buildable parcel(s) located in the unincorporated Santa Monica Mountains (Coastal Zone or North Area) that is at least five acres in size and is comprised of at least fifty percent habitat designated as S1 or S2.
5. Recordation. Any action taken by an applicant as provided in Subsection 3 above must be recorded by the County Recorder and reported to the Assessor's office. Copies of the recorded documents, including any documents verifying that a dedication or easement has been received by a land conservation agency, shall be provided to the Director subsequent to planning approval as a requirement for issuance of a CUP.
6. Not all actions may be commensurate with each incentive. Therefore, the Director may reduce the incentive(s) chosen by the applicant to ensure that the public benefit obtained from a proposed action is commensurate with the incentive(s) conveyed to the applicant. However, in no case shall the incentive(s) exceed the maximums allowed in Subsection 4 above. Criteria to be used in the Director's evaluation of the benefit obtained from a proposed action shall include, but not be limited to:

- a. For Subsection J.3.a. above, greater benefit shall be given to the retirement of lots containing at least 50 percent S1 or S2 habitat and that are contiguous with publicly-owned open space or already-protected S1 and/or S2 habitat, and not isolated from other S1 and/or S2 habitat;
- b. For Subsection J.3.b. above, greater benefit shall be given to an easement that provides access to an existing public trail or an existing public campground; and
- c. For Subsection J.3.c. above, greater benefit shall be given to a trail dedication or trail easement that helps to complete the publicly-owned or accessible alignment of an already-existing public trail.

K. Local-Serving Commercial Uses.

1. Applicability.

- a. Local-serving commercial uses and associated buildings and structures that were lawfully established and in compliance with all applicable ordinances and laws prior to September 19, 2002, and which became non-conforming as a result of the adoption of Ordinance No. 2002-0062Z, are not subject to the provisions of Chapter 22.172 (Nonconforming Uses, Buildings and Structures). Such uses, buildings, and structures may continue indefinitely as long as the use does not change or as long as the use meets the criteria contained in Subsection K.1.b, below.
- b. A different local-serving commercial use may be allowed if the Director finds that the use has the same or a lesser parking requirement, occupant load, and occupancy classification, as described in Title 26 (Building Code) of the County Code, as the existing commercial use, and if no zoning permit would have been required for said different use pursuant to the provisions of this Title 22 in effect immediately prior to September 19, 2002.
- c. If a non-conforming local-serving commercial use described in Subsection K.1.a, above, is discontinued for a consecutive period of two years or longer, the right to operate such non-conforming use shall immediately terminate and any subsequent use of the lot shall be subject to the other provisions of this CSD, the other applicable provisions of this Title 22, and the Area Plan.

2. Changes Requiring Conditional Use Permit. An approved Conditional Use Permit (Chapter 22.158) shall be required for uses, buildings, and structures otherwise described in Subsection K.1.a, above, for:

- a. Any extension, expansion, or enlargement of the area of land, or the area within a building or structure requiring a building permit in or on which the use is conducted;

- b. Any alteration, enlargement of, or addition to a building or structure requiring a building permit in which the use is conducted; or
 - c. Any addition of land, buildings, or structures used in conjunction with the use, building, or structure in or on which the use is conducted.
- 3. Proof of Existing Use. In addition to the information required by Section 22.158.030 (Application and Review Procedures), the applicant for a Conditional Use Permit must provide proof that the use, building, or structure was lawfully established prior to September 19, 2002.
- 4. Substantiation of Consistency and Compatibility. In addition to the information required by Section 22.158.050 (Findings and Decision), the applicant for a Conditional Use Permit shall substantiate that the proposed expansion:
 - a. Except as relating to its status as a non-conforming use, business or structure, is consistent with the goals and policies of the Area Plan; and
 - b. Is a local-serving business use that is compatible with surrounding land uses.

L. Noise.

- 1. The daytime exterior noise level shall not exceed 45 dBA at a L90 measurement in any hour from 8:00 a.m. until 8:00 p.m. The nighttime exterior noise level shall not exceed 40 dBA at a L90 measurement in any hour from 8:00 p.m. until 8:00 a.m. Noise levels are considered a nuisance when they exceed these ambient noise levels when measured from the property line closest to the nearest residential receptor.
- 2. Outdoor amplified sound shall be prohibited between the hours of 8:00 p.m. and 8:00 a.m. within the North Area.
- 3. Where a new land use is proposed to be located within 2,000 feet of a land use with a lower ambient noise standard, the new use shall not exceed the ambient noise limits of the more sensitive use.
- 4. Due to the existing above-average ambient noise conditions in the Topanga Canyon area, the daytime exterior noise level shall not exceed 50 dBA at a L90 measurement in any hour from 8:00 a.m. until 8:00 p.m. for the Topanga Canyon subarea. Noise levels are considered a nuisance when they exceed this ambient noise level when measured from the property line closest to the nearest residential receptor.
- 5. Building construction noise is exempt from the ambient noise limit set forth in this section, but remains subject to Chapter 12.12 of Los Angeles County Code.

M. Outdoor Lighting. Permanent outdoor lighting, including street lights, shall be provided in accordance with the applicable provisions of Chapter 22.80 (Rural

Outdoor Lighting District). In addition, properties in the CSD are subject to the following standards:

1. Prohibited outdoor lighting. The following types of lighting are prohibited within this CSD:
 - a. Lighting around the perimeter of a parcel or for aesthetic purposes;
 - b. Lighting of access roads;
 - c. Lighting of equestrian pasture areas; and
 - d. Lighting of driveways, with the exception of:
 - i. Driveways that also operate as pedestrian walkways; and
 - ii. Drive aisles within approved commercial parking areas.
2. Lighting allowance.
 - a. All lighting must be fully shielded and directed downward.
 - b. Outdoor lighting shall be minimized and directed away from S1 and S2 habitat areas and adjacent residences.
 - c. Security lighting attached to the principally permitted structure and other permitted accessory structures shall be controlled by motion detectors and shall have a manufacturer's maximum output rating of no greater than 60 watts (600 lumens), or the equivalent.
 - d. Walkways used for entry and exit to permitted structures, including parking areas, on the site shall use the minimum lighting necessary. This lighting shall be limited to fixtures that do not exceed two feet in height, that are fully shielded, and have a manufacturer's maximum output rating of no greater than 60 watts (600 lumens), or the equivalent.
 - e. Lighting of equestrian arenas or round pens may only be allowed where it is demonstrated, pursuant to a site-specific evaluation and photometric analysis, that the lighting will cause no light trespass into any adjacent S1 and S2 habitat areas, including within 100 feet of S1 habitat areas.
3. Hours of Operation. Permanent and temporary outdoor lighting shall be turned off between the hours of 10:00 p.m. and sunrise every day, unless the use on the involved property operates past 10:00 p.m. in accordance with approved permits or entitlements, and then the outdoor lighting shall be turned off within one hour after the use's operation ends for the day. Notwithstanding the foregoing, if the use on the involved property requires outdoor lighting between 10:00 p.m. and sunrise every day for safety or security reasons, outdoor lighting shall be allowed during these hours, but only if:
 - a. Fully-shielded motion sensors are used to turn the outdoor lighting on after 10:00 p.m., and these sensors turn the outdoor lighting off

automatically no more than 10 minutes after the involved area has been vacated; or

- b. Where the use is commercial or industrial, at least 50 percent of the total lumen levels for the outdoor lighting are reduced, or 50 percent of the total number of outdoor light fixtures are turned off, between 10:00 p.m. and sunrise.

2. Exemption from Hours of Operation.

- a. Outdoor lighting shall be exempt from the hours of operation requirements of Subsection M.3, above, if such lighting:
 - a. Is required by Title 26 (Building Code) for steps, stairs, walkways, or points of ingress and egress to buildings; or
 - b. Is governed by an approved discretionary permit which specifically provides for different hours of operation.

3. Maximum Height.

- a. As contained in Chapter 22.80 (Rural Outdoor Lighting District), the maximum height for outdoor light fixtures is 20 feet and any lighting over 15 feet high is limited to a maximum output of 40 watts (400 lumens).
- b. Two feet for lighting of walkways used for entry and exit to permitted structures, including parking areas.
- c. The height of any new outdoor light fixture used for an outdoor recreational activity area, regardless of the zone, shall be the minimum height necessary to illuminate the activity area, but in no event shall exceed 40 feet.

4. LED Lighting. All LED lighting, with the exception of LED lighting associated with institutional uses, must meet the following requirements:

- a. Correlated Color Temperature (CCT) of less than 3000 K.
- b. An S/P ratio of less than 1.2.

5. Temporary Lighting:

- a. Any lighting within a temporary structure, such as a tent or canopy, may be exempt from Subsection M above with approved permits or entitlements, provided that the structure fully shields all lamps.
- b. Holiday lights are permitted, as long as they are not flashing or otherwise sequenced.
- c. No glare shall be visible when viewed from adjoining parcels and public rights-of-way.

N. Protective Enclosures for Outdoor Animals. Animal living quarters are required for all outdoor animals, such as animals kept as pets and livestock, except adult

equines, that cannot adequately protect themselves against predators native to the Santa Monica Mountains.

- O. Rebuilding after Disaster. In the instance of a catastrophic event(s) destroying structures throughout the Santa Monica Mountains, resulting in the declaration of a State of Emergency or Declaration of Disaster by the County or other relevant government entities, the following standards will facilitate the establishment of temporary housing for residents affected by the disaster and facilitate the process for rebuilding structures damaged or destroyed by the disaster while protecting the public health and safety of the residents within the declared emergency or disaster area.
1. Temporary Housing. Notwithstanding any contrary provisions in this Title 22, recreational vehicles as defined in section 18010 of the California Health and Safety Code, in addition to mobile homes and manufactured homes as defined in sections 18007 and 18008 of the California Health and Safety Code, respectively, shall be permitted as temporary housing subject to the following standards:
 - a. Temporary housing shall be permitted only on a lot or parcel of land where a legally-established single-family residence or legally-established employee housing was irreparably damaged or destroyed by disaster;
 - b. Within Significant Ecological Areas, temporary housing units shall be exempt from the permitting requirements listed in Section 22.102;
 - c. Any structure used as temporary housing may not exceed a maximum floor area of 1,000 square feet;
 - d. Temporary housing shall be located on the existing building site or graded area of the parcel on which the destroyed or damaged home or employee housing was located;
 - e. Temporary housing may only be occupied by the property owner(s) and household members who reside with them;
 - f. Temporary housing to replace employee housing shall be limited to employees who work on-site;
 - g. All structures used for temporary housing must contain sleeping, cooking, bathing, and sanitary facilities;
 - h. Temporary housing must be connected to a permanent source of potable water approved by the County;
 - i. Temporary housing must be connected to a wastewater disposal system approved by the County;
 - j. Temporary housing must be connected to an electrical source approved by the County;

- k. Where temporary housing is used to replace legally-established employee housing, more than one structure may be used. The temporary housing shall be designed to accommodate no more than the number of employees who lived on-site before the disaster;
 - l. In addition to the one-year length of temporary housing allowed pursuant to Section 22.246.080 of the County Code, the Director may grant a time extension for up to an additional three one-year time extensions for a maximum duration of four years; and
 - m. All temporary housing structures shall be removed within 24 hours of the expiration date listed on the temporary housing approval.
- 2. Rebuilding Damaged or Destroyed Structures. Notwithstanding Chapter 22.336 of the County Code, structures destroyed by disaster may be replaced and any development standard or regulation that prohibits or delays said reconstruction may be waived by the Director, subject to a Ministerial Site Plan Review and the following:
 - a. Replacement of a destroyed structure and waiver of development standards and regulations applies only to the reconstruction of structures that were legally-established prior to the disaster;
 - b. Structures irreparably damaged or destroyed by the disaster will be reconstructed as a like-for-like replacement and shall not exceed either the floor area, height, or bulk of the destroyed structure by more than 10 percent;
 - c. The height of a rebuilt structure shall not exceed the height maximum outlined by the underlying zone, CSD standard, or condition of approval, as applicable;
 - d. Structures located within the significant ridgeline protection area shall not be expanded, shall only be constructed as a like-for-like replacement, and shall not encroach further into the protected zone of the significant ridgeline;
 - e. Where a previous entitlement(s) that established the use occupying the destroyed structure remains valid and in full effect, the rebuilt structure(s) shall comply with any previous conditions of approval;
 - f. For use(s) that required a Conditional Use Permit at the time it was originally legally established, and no such Conditional Use Permit exists or has previously expired, then the use(s) must obtain a Conditional Use Permit prior to reconstruction or resuming operations.
 - g. Minor relocations of replacement structures may be authorized due to changes in topography or alteration of drainage features (e.g., creeks, streams, waterways, etc.) resulting from mudslides and other forms of debris flows, and consistent with other applicable standards and regulations in this urgency ordinance; and

- h. After completion of like-for-like reconstruction of structures destroyed in the disaster, all future development on-site will be subject to all applicable requirements within Title 22 of the County Code.
- 3. Waiver of Permitting Requirements. Notwithstanding Section 22.174 (Oak Tree Permits) of the County Code, activities related to demolition and reconstruction of structures eligible under this Subsection are not subject to the County's Oak Tree Permit requirements, subject to and except for, the following:
 - i. Waiver of applicability of Section 22.174 applies only to legally established structures located within the protected zone of an oak tree on the day the structure was destroyed by disaster;
 - ii. Structures to be reconstructed within the protected zone of a protected oak tree will be a "like-for-like replacement" of legally-established structures irreparably damaged or destroyed by disaster;
 - iii. Reconstruction does not result in new encroachments into the protected zone of subject oak tree or the removal of said tree;
 - iv. Subject oak trees shall be fenced off and protected during construction activities; and
 - v. Reconstruction activities that irreparably harmed oak trees shall be subject to Section 22.174, including, but not limited to, requiring a retroactive Oak Tree Permit and requirements to plant replacement oak trees at a ratio determined by the Hearing Officer.
- 4. Significant Ecological Areas. Notwithstanding Section 22.102 of the County Code, activities related to demolition and reconstruction of structures eligible under this Subsection are not subject to the Section 22.102, subject to and except for, the following:
 - i. Waiver of applicability of Section 22.102 applies only to legally established structures located within a significant ecological area on the day the structure was destroyed by disaster;
 - ii. Structures to be reconstructed within a significant ecological area will be a "like-for-like replacement" of legally-established structures irreparably damaged or destroyed by disaster; however, relocation of structures may be approved by the Director where no new impacts to the Significant Ecological Area will occur;
 - iii. Reconstruction does not result in new impacts to the significant ecological area; and
 - iv. Any sensitive biological resources shall be avoided and protected during construction activities.

5. Grading Standards.
 - a. Structures to be rebuilt shall not be subject to the standards of 22.336.060.I.6, which prohibit the commencement of grading operations during the rainy season (from October 15 through April 15). Said grading activities shall provide erosion control to the satisfaction of the Department of Public Works;
 - b. Notwithstanding Section 22.336.060.I, grading projects related to the rebuilding of structures destroyed by disaster shall abide by the following permitting requirement: Grading required for a like-for-like rebuild, that exceeds 5,000 cubic yards of total cut plus total fill material shall not require a Conditional Use Permit (Chapter 22.158) and shall instead be processed with a Site Plan Review. Only the minimum amount of grading required to prepare the lot for rebuilding the fire-damaged structures will be allowed. For purposes of determining the minimum amount of grading, justification by the project Soils Engineer, Geologist, and/or Civil Engineer will be required and be subject to verification by LA County Department of Public Works, Building and Safety Division.
 - c. Notwithstanding Section 22.336.060.I.5, a haul route for offsite transport of 1,000 or more cubic yards of cut or fill shall be permitted with a Site Plan Review.
6. Vineyard Standards. Applications requesting to re-establish vineyards destroyed by the 2018 Woolsey Fire shall comply with all applicable standards for new vineyards in Section 22.336.070.Y.
- P. Residential Uses within 500 Feet of Freeways. Multi-family residential uses are prohibited within 500 feet of a freeway.
- Q. Rural Inns. Rural inns shall replace the use “guest ranch” as otherwise allowed in Title 22 subject to the following requirements:
 - a. The lot or parcel of land containing the facility has, as a condition of use, an area of at least five net acres;
 - b. The facility maintains a rural appearance consistent with the outdoor character of the Santa Monica Mountains;
 - c. The facility does not exceed one guest room or cabin per acre, with a maximum limit of 40 guest rooms or cabins available for paying guests. Cabins may not contain more than one guest room;
 - d. Stays for any paying guest do not exceed 14 consecutive days and do not exceed 30 days for such guest in any calendar year;
 - e. Guest rooms or cabins within the facility do not contain kitchens and other cooking facilities;

- f. Each guest room or cabin available for paying guests has one on-site parking space, which may be uncovered, that is served by an all-weather driveway;
 - g. Serving or consumption of food or beverages, including alcoholic beverages, is restricted to guests of the facility. No restaurant or similar activity that is open to the general public is permitted;
 - h. The building site for the facility is no more than 20 percent of the net area of the lot or parcel of land containing the facility, unless the building site area is otherwise restricted pursuant to other applicable provisions of the CSD;
 - i. The facility does not contain conference facilities;
 - j. The facility has only one wall-mounted or freestanding sign, provided that such sign does not exceed six square feet in sign area or 12 square feet in total sign area respectively, and when installed does not exceed a height of 42 inches measured vertically from ground level at the base of the sign; and
 - k. In addition to the information required in the application by Section 22.336.050, the applicant shall submit an evacuation/emergency plan for approval by the Fire and Sheriff Departments. No development permit for a rural inn shall be issued without an evacuation/emergency plan approved by the Sheriff and Fire Departments.
- R. Scenic Resource Areas. Scenic resource areas include the scenic features identified in the Conservation and Open Space Element of the North Area Plan, and consist of the following:
- Significant ridgelines;
 - Scenic elements;
 - Scenic routes and all property within 200 feet of the edge of the right-of-way for scenic routes; and
 - All places on, along, within, or visible from scenic routes, public parklands, trails, beaches, or State waters that offer scenic vistas of the mountains, canyons, coastline, beaches, or other unique natural features.
1. Significant Ridgeline Protection.
- a. Ridgelines are defined as the line formed by the meeting of the tops of sloping surfaces of land. Significant ridgelines are ridgelines which, in general, are highly visible and dominate the landscape. The location of the significant ridgelines within this CSD, and the criteria used for their designation, are set forth on the official Santa Monica Mountains North Area Plan Significant Ridgeline Map, prepared and maintained by the Department, which is adopted by

reference as part of the ordinance establishing this CSD, and on Figure 22.336-B: Significant Ridgelines, at the end of this Chapter.

- b. The highest point of a structure that requires any permit shall be located at least 50 vertical feet and 50 horizontal feet from a significant ridgeline, excluding chimneys, rooftop antennas, and amateur radio antennas. Where there are no feasible alternative building sites below the ridgeline or where the only alternative building site would result in unavoidable adverse impacts to sensitive habitat areas, structures shall be limited to 18 feet in height to minimize visual impact and preserve the quality of the scenic area.
 - c. Structures located within the significant ridgeline protection area shall not be expanded and shall not encroach further into the protected zone of the significant ridgeline.
 - d. No part of a proposed structure shall block the view of a significant ridgeline from a scenic route or scenic resources.
1. Development Standards. Property in scenic resource areas shall be subject to the following development standards:
- a. New development shall be sited and designed to protect public views and to minimize adverse impacts on scenic resources to the maximum extent feasible.
 - b. If there is no feasible building site location on the proposed project site where development would not be visible from a scenic resource area, then the development shall be sited and designed to minimize impacts on scenic areas through measures that may include, but not be limited to:
 - i. siting development in the least visible portion of the site;
 - ii. breaking up the mass of new structures,
 - iii. designing structures to blend into the natural hillside setting;
 - iv. restricting the building maximum size,
 - v. reducing maximum height;
 - vi. clustering development;
 - vii. minimizing grading;
 - viii. incorporating landscape and building material screening elements; and
 - ix. berming, where appropriate.
 - c. Landscape or building material screening shall only be used when there is no feasible site selection or design alternative, including re-

- siting or reducing the height or bulk of structures, subject to Director approval.
- i. Landscape screening shall be required for structures that will be unavoidably visible from a scenic route, to help diffuse the visual impact of the structure.
 - ii. Trees, shrubs, flowers, and other landscaping that form a hedge or similar barrier serving the purpose of a wall shall not be placed so that they obscure views from scenic routes and shall comply with the height restrictions applying to fences and walls in Section 22.336.060.A.6.
 - d. New development shall incorporate colors and exterior materials that are compatible with the surrounding landscape. The use of highly reflective materials shall be prohibited, with the exception of solar panels. Solar energy devices/panels shall be sited on the rooftops of permitted structures, where feasible. If roof-mounted systems are infeasible, ground-mounted systems may be allowed only if sited within the building site area of permitted development. Wind energy systems are prohibited.
 - e. All buildings and structures within scenic resource areas shall not exceed a height of 18 feet above natural or finished grade, whichever is lower, excluding chimneys, rooftop solar panels, and rooftop antennas. Chimneys, rooftop solar, and rooftop antennas may extend a maximum of six feet above the permitted height of the structure.
 - f. Utilities shall be located underground where feasible.
 - g. All new access roads shall be paved with colored concrete to blend with the natural soil. The length of roads or driveways shall be minimized, except where a longer road or driveway would allow for an alternative building site location that would be more protective of scenic resources. Driveway slopes shall be designed to follow the natural topography, unless otherwise required by the Fire Department. Driveways that are within or visible from a scenic resource shall be a neutral color that blends with the surrounding landforms and vegetation.
 - h. Fences, gates, walls, and landscaping shall minimize impacts to public views of scenic areas, and shall be compatible with the character of the area. Fences, gates, and walls shall be designed to incorporate veneers, texturing, and/or colors that blend in with the surrounding natural landscape, and shall not present the appearance of a bare wall.
 - i. Only wood, wire, or wrought-iron style or similar open-type fences shall be permitted. Solid fences and walls,

except for retaining walls, shall be prohibited along the frontage of a scenic route.

- ii. Fences and walls located along the frontage of a scenic route shall comply with the provisions of Section 22.336.060.A.6.
 - i. Signs shall be sited and designed to minimize impacts to scenic resources. The placement of signs (except traffic control signs), utilities, and accessory equipment that would adversely impact public views to the ocean, parks, and scenic resources are prohibited. No pole sign along a scenic route may be replaced if it is removed, damaged, or destroyed for any reason.
 - j. Alteration of natural landforms shall be minimized by conforming to natural topography and using contour grading, and shall comply with the following standards:
 - i. The height and length of manufactured cut and fill slopes shall be minimized. A graded slope shall not exceed a height of 15 feet;
 - ii. Graded pads on hillsides having a natural slope of 15 percent or more shall be split-level or stepped pad designs. Cantilevers and understories shall be minimized and covered with materials that blend with the surrounding landscape; and
 - iii. Structures on the downslopes along Scenic Routes shall be set below road grade whenever feasible.
 - k. Preserve and, where feasible, restore and enhance individual native trees and native tree communities in areas containing suitable native tree habitat – especially oak, walnut, and sycamore woodlands – as important elements of the area’s scenic character.
 - l. Large areas of natural open space of high scenic value shall be preserved by clustering development and siting development in and near existing developed areas.
 - m. Structures shall not occupy more than 50 percent of the linear frontage of a parcel fronting on a scenic route.
 - n. Roof-mounted equipment shall not be visible from a scenic route, excluding solar energy devices. If there is no alternative location possible for the location of such equipment, such equipment shall be screened with materials that blend with the roof or background landscape.
2. Visual Resource Protection
- a. The length of roads or driveways shall be minimized, except where a longer road or driveway would allow for an alternative building site

- location that would be more protective of scenic resources. Driveway slopes shall be designed to follow the natural topography, unless otherwise required by the Fire Department. Driveways that are within or visible from a scenic resource shall be a neutral color that blends with the surrounding landforms and vegetation.
- b. Cut and fill slopes and other areas disturbed by construction activities shall be landscaped or revegetated prior to the beginning of the rainy season, unless the Department Biologist determines that another time would be more advantageous for the long-term success of the vegetation included in the landscaping/revegetation project. All such landscaping/vegetation shall include only native, drought-tolerant plant species that blend with the existing natural vegetation.
 - c. New development shall incorporate colors and exterior materials that are compatible with the surrounding landscape. The use of highly-reflective materials shall be prohibited, with the exception of solar panels.
 - d. Solar energy devices/panels shall be sited on the rooftops of permitted structures where feasible, to minimize site disturbance and the removal of native vegetation. If roof-mounted systems are infeasible, ground-mounted systems may be allowed only if sited within the building site area of permitted development. Wind energy systems are prohibited.
 - e. Limit the height of structures above existing grade to minimize impacts to visual resources. Within scenic areas, the maximum allowable height shall be 18 feet above existing or finished grade, whichever is lower. Chimneys, rooftop solar equipment and non-visually-obstructing rooftop antennas may be permitted to extend above the allowable height of the structure, but shall not extend more than six feet above the maximum allowable height.
 - f. Land divisions, including lot line adjustments, shall be designed to minimize impacts to visual resources by:
 - i. Clustering the building sites to minimize site disturbance and maximize open space;
 - ii. Prohibiting building sites on ridgelines;
 - iii. Minimizing the length of access roads and driveways;
 - iv. Using shared driveways to access development on adjacent lots where feasible;
 - v. Reducing the maximum allowable density in steeply sloping and visually sensitive areas; and
 - vi. Minimizing grading and alteration of natural landforms.

- g. All applications which require a discretionary permit review in the North Area shall be reviewed through site-specific investigation by County staff prior to any public hearing to determine whether the proposed project has the potential to cause adverse impacts upon scenic resources, as defined in the North Area Plan. Development shall be sited and designed to minimize impacts on scenic resources to the maximum extent feasible through measures that may include, but not be limited to: siting development in the portion of the site least visible from public viewing areas; breaking up the mass of new structures; restricting building size and height; designing the structure to blend into its setting; clustering development; minimizing grading; incorporating landscape screening elements; and, berming where such berming would be appropriate.
- h. In addition to the application materials required in Section 22.336.050, a visual analysis is required as part of this CSD and shall include the following:
 - i. Proposed structures shall be accurately indicated as to footprint, height and rooflines by story poles to delineate the height, bulk, and footprint of the proposed development;
 - ii. All proposed grading and the proposed location of access roads or driveways, including the centerline top of cut and toe of fill, shall be accurately indicated by stakes;
 - iii. Both poles and stakes shall remain in place for the duration of the approval process. The applicant may also be required to provide other visual aids such as photographs with superimposed structures;
 - iv. The above requirements may be waived by the Director if it is determined through on-site investigation, evaluation of topographic maps or photographic evidence, or by other means that there is no possibility that the proposed development will create or contribute to adverse impacts upon scenic resources.
- i. The installation of story poles shall comply with the following requirements:
 - i. If not already in place, story poles shall be erected at least 30 calendar days prior to the public hearing date. The applicant shall submit photographic evidence of the story poles erected on the property;
 - ii. Story poles shall remain in place until the project has been reviewed and the appeal period(s) has ended. If the project is appealed, the poles shall remain until the appeal(s) has been acted upon;

- iii. Story poles associated with an application that has been inactive for three months shall be removed until the application review returns to an active status;
- iv. Story poles shall be removed within seven calendar days after a final decision on a CUP has been made and the appeal process has been exhausted;
- v. Story poles shall be constructed of two-inch by four-inch lumber or other sturdy material. The poles must be able to withstand weather, and to this purpose, guy wires, support beams or other support measures may be used. Guy wires shall be strung with bright red or orange tape, one foot in length, spaced every six feet along the length of the wire to the ground to improve visibility of the wires;
- vi. Story poles shall be erected to delineate the most distant corners of a structure, roof ridgelines, chimneys, balconies, and accessory buildings;
- vii. The height of story poles shall indicate the final height of the building. Grading shall be accounted for in the height of the poles. The top two feet of poles shall be painted red or orange to better identify the height of the proposed structure. Bright red or orange tape shall be strung between poles at the top of the painted area to aid visibility;
- viii. An applicant shall submit a signed written statement by a licensed architect, engineer, or surveyor that the locations and heights of the poles are true and correct representations of the proposed structure; and
- ix. All story poles shall be erected safely and without putting the public at risk. If the story poles become unsafe at any time, they shall be repaired or removed immediately. The poles shall be removed immediately if determined by the County to be a public safety risk. The applicant shall notify the Department when the story poles are in place.
- j. In addition to the information required by Section 22.336.050, maps showing the existing topography of the subject property and project area, including all off-site improvement areas associated with the project shall be provided with an application for a discretionary review, to determine whether the development site is within a scenic resource area and to analyze potential adverse impacts to scenic resources. The following materials shall be submitted:
 - i. One copy of such map shall identify the locations of all drainage patterns, drainage courses and any other physical features which are customarily found on topographical maps prepared by the United States Geological Survey;

- ii. A separate copy shall delineate all property having a natural slope of 0 to 14.99 percent, 15 to 24.99 percent, 25 to 32.99 percent, 33 to 49.99 percent, and a natural slope of 50 percent or more. All slope values should be rounded to the nearest one-hundredth percent;
 - iii. A grading plan to a scale satisfactory to the Director indicating all proposed grading, including the natural and finished elevations of all slopes to be graded; and
 - iv. Such other information as the Director determines to be necessary for adequate evaluation. The Director may waive the filing of one or more of the above items if any item is deemed unnecessary for processing the application.
- S. Schools. A Conditional Use Permit (Chapter 22.158) shall be required for all schools, including trade or commercial schools.
- T. Signs. The following signs shall be prohibited:
 - 1. Signs employing any continuous or sequential flashing operation, including electronic reader boards and LED signage that employs crawling displays or flashing illuminations;
 - 2. Signs employing video components;
 - 3. New billboards.
- U. Street and Road Cross-Sections. Streets and roads shall be developed consistent with Figure 22.336-E: Standards for Street Width, except that depicted widths may be reduced by the Director of Public Works to minimize grading and alteration of the natural topography.
- V. Temporary Events.
 - 1. Notwithstanding Chapter 22.188 (Special Events Permits), temporary special events shall be limited to a maximum of six event days. Events days may take place individually for single events or in-tandem for multiple day events, subject to the following limitations:

TABLE 22.336-B: TEMPORARY EVENTS					
		<i>Small Events</i>	<i>Large Events</i>		
	<i>Max. # of Event Days Allowed Per Calendar Year</i>	<i>Max. # Event Days with no more than 100 Attendees</i>	<i>Max. # of Event Days with 101-2000 Attendees</i>	<i>Max. # of Attendees</i>	<i>Min. Lot Size Required</i>
Parcel does not have two means of access to a highway	6	6	-	-	-

Parcel has two means of access to a highway	6	3*	3	500	1 acre
				1,000	2 acres
				1,500	2.5 acres
				2,000	≥ 3 acres
*If a property does not wish to have its allowed three events with more than 100 attendees, the parcel may instead have up to six events of 100 or fewer attendees, not to exceed a total of six small events.					

2. Temporary Filming. Temporary filming locations may not exceed a total of 60 days in a calendar year, not including days for set up or break down. If filming occurs at a location for more than 60 days in a calendar year, a Conditional Use Permit must be obtained to be established as a permanent film set.

W. Transfer of Development Credit Program.

1. Establishment and Purpose. The Santa Monica Mountains contain thousands of undeveloped private parcels. Many of these parcels are undersized, have development constraints, and are located in sensitive environmental areas. Urban services in the Santa Monica Mountains, such as roads, water lines, and sewers, are limited and are not expected to expand. Continued development in the region will adversely impact the existing infrastructure and the environment; full build-out of all legal parcels would place unsustainable demands on these systems. The transfer of development credit program is established to mitigate the adverse cumulative effects of development in the Santa Monica Mountains by preventing an increase in the net amount of development that could occur, and by encouraging development in areas less constrained by small lot sizes, steep slopes, hazards, and sensitive resources. For each new lot created or legalized, an existing qualifying lot(s) sufficient to provide one transfer of development credit must be retired. Lots proposed for retirement in satisfaction of the transfer of development credit requirement must meet the criteria detailed below and all development potential must be retired by one of the processes described below, as determined by the Director, for the credit to be secured.
2. Lot Retirement Required.
 - a. Land divisions.
 - i. All land divisions as defined in Title 21 shall participate in the transfer of development credit program;
 - ii. One transfer of development credit shall be retired for each new parcel to be created or legalized (e.g., to divide one parcel into three parcels, two transfer of development credits must be retired; to divide a combination of three parcels into

four parcels, one transfer of development credit must be retired), ensuring that there is no net increase in the number of buildable lots in the Santa Monica Mountains North Area. The size of the new parcels is not a factor for purposes of the calculation;

- iii. One transfer of development credit shall be retired for each new residential unit created for a community apartment project or lease project.
 - b. All projects subject to this Subsection shall be conditioned upon the applicant submitting evidence that the required number of transfer of development credits have been obtained prior to the issuance of the permit. The condition of approval shall specify the total number of credits required to mitigate the impacts of the approved development.
3. Qualifying Criteria.
- a. Qualifying criteria for lots to be retired in donor areas as a condition of a tentative parcel/tract map that includes the approval of a new lot(s) created in an S3 or S4 habitat area. Lots in the donor areas may be retired subject to the following criteria:
 - i. One transfer of development credit shall be given for the retirement of the development potential on each lawfully created buildable lot that is served by an existing road and water main, and is not located in an area of landslide or other geologic hazard, with a sum total credit area of at least 1,500 square feet as determined by the credit area formula.

(A) Credit Area Formula:

$$\text{Credit Area} = (A/5) \times (50-S)/35$$

Where:

A = the area of the lot in square feet.

S = the average slope of the lot in percent. All slope calculations are based on natural (not graded) conditions, as calculated by the formula:

$$S = I \times L/A \times 100$$

Where:

S = average natural slope in percent.

I = contour interval in feet, at not greater than 25-foot intervals, resulting in at least five contour lines.

L = total accumulated length of all contour lines of interval "I" feet.

A = the area of the lot in square feet.

- (B) Where there is any question of geologic stability, the applicant must submit a geologic assessment that determines that the lot is buildable prior to credit area calculation.
 - (C) A credit area of 1,500 square feet qualifies for one transfer of development credit. The applicant can receive fractional credit. For instance, a credit area of 750 square feet would qualify for one-half transfer of development credit. A lot smaller than one acre cannot qualify for greater than one transfer of development credit.
 - (D) As an alternative to calculating the credit area formula, the required 1,500-square-foot credit area may be calculated on the basis of 500 square feet of credit area per rural village lot, provided that each lot exceeds 4,000 square feet in area, and is served by an existing road or water main within 300 feet of the property and is not located in an area of landslide or other geologic hazard.
- ii. One transfer of development credit shall be given for the retirement of the development potential on any combination of legal lots totaling at least one acre, regardless of current availability of road and water service to such lots.
- b. Qualifying criteria for lots to be retired in donor areas as a condition of a tentative parcel/tract map that includes the approval of a new lot(s) in S2 habitat areas. Existing, lawfully created lots that meet the following criteria may be retired: one transfer of development credit shall be given to any parcel, exceeding seven acres in size, where 100 percent of the parcel contains S2 habitat area.
4. Procedure.
- a. All projects subject to the transfer of development credit program shall submit the following information as part of the application:
 - i. A calculation of the number of transfer of development credit that need to be retired to accommodate the proposed project, pursuant to Subsection 2 of this section;
 - ii. A list by assessor's identification number of the donor lots proposed to be retired;
 - iii. A map showing the locations of the proposed donor lots;
 - iv. A discussion of how the donor lots meet the qualifying criteria for retiring lots in donor areas; and
 - v. Maps of a scale generally not less than one inch equals 10 feet (1"=10') showing the parcel and building site, existing topographic contours, and both slope and area calculations,

prepared by a Licensed Surveyor or Registered Professional Civil Engineer.

- b. As part of processing an application subject to the transfer of development credit program, the Director shall:
 - i. Verify the applicant's calculations for the number of lots to be retired;
 - ii. Verify that the proposed donor lots meet the lot retirement criteria; and
 - iii. Include, as a condition identified in the tentative parcel/tract map staff report, the precise number of lots to be retired should the permit be approved.
- c. Lot retirement process.
 - i. The applicant must submit evidence of the purchase of the number of legal lots or parcels within the prescribed donor areas necessary to meet the transfer of development credits for the project. The applicant need not purchase the lots or parcels outright, but may instead acquire only the right to extinguish the development potential as described below. The applicant shall provide evidence that the property owner of the donor lots authorizes participation in the transfer of development credit program;
 - ii. To generate a transfer of development credit, the potential for development must be permanently and irrevocably extinguished on all lots or parcels used for each credit. The right to a transfer of development credit shall be granted by the Director's determination that the applicant has submitted sufficient evidence that all of the following steps have been completed for either one of the following two methods:
 - (A) Open Space Easement Dedication and the Merging of the Retired Lot(s) with One or More Adjacent Developed or Buildable Parcel(s);
 - (1) The applicant shall provide evidence of the purchase of fee title or of development rights on one or more donor sites that have not been previously retired and recordation (free of prior liens, including tax liens, and encumbrances) of a valid dedication to a public entity of a permanent, irrevocable open space easement in favor of the People of the State of California over the entirety of the retired lot(s) that conveys an interest in the lot(s) and insures that future development on the lot(s) is prohibited and that restrictions can be enforced, the text of which has been approved by the Director. Recordation of

said easement on the donor site shall be permanent and irrevocable; and

- (2) The combination of the donor lot(s) (used to generate the credit) with 1) an adjacent lot that is already developed, or has not been previously retired under the TDC program or for any other purpose, or 2) with multiple contiguous parcels, at least one of which is developed or has not been previously retired; and in either case, all parcels to be combined must be in the same tax rate area, in common ownership, and free of all tax liens. The retired lot(s) and adjacent parcel(s) shall be recombined and unified, and shall henceforth be considered and treated as a single parcel of land for all purposes with respect to the lands included therein, including but not limited to sale, conveyance, lease, development, taxation or encumbrance. The permittee shall provide evidence that the combined parcels appear on a preliminary report issued by a licensed title insurance company as a single parcel (which may require the property owner re-conveying the combined property to him/her/itself, presumably via a quitclaim deed). The extinguishment of development potential and lot combination(s) shall be accurately reflected in the records of the County Tax Assessor.

(B) Open Space Deed Restriction and Transfer in Fee Title to a Public Entity.

- (1) The applicant shall provide evidence of the purchase of fee title or development rights on one or more donor sites that have not been previously retired or otherwise restricted, and the recordation of an open space deed restriction, recorded free of prior liens including tax liens and encumbrances which the Director determines may affect the interest being conveyed, that applies to the entirety of the donor site(s), that insures that the future development on the lot(s) is prohibited and that restrictions are enforceable; and
- (2) Evidence that fee title to the donor site(s) has been successfully transferred to a public entity acceptable to the Director after the recordation of the deed restriction listed above and that the document effectuating the conveyance has been

recorded with the Los Angeles County Recorder. The permittee shall provide evidence that the ownership transfer and the open space deed restriction appear on a preliminary report issued by a licensed title insurance company for the donor site(s);

- d. Upon receiving notification from the applicant that the lot retirement procedures have been completed, the Director shall verify that the development potential on the lots has been retired, that any additional conditions have been satisfied, and that the transfer of development credit condition on the applicant's tentative parcel/tract map has been satisfied.
- X. Vegetation Clearance. At no time shall clearing to bare earth, or practices that disturb the soil such as discing or tilling be acceptable methods of vegetation removal and/or maintenance within fuel modification or brush clearance areas.

Y. Vineyards.

1. Applicability.

- a. Any existing and lawfully established vineyard as of January 7, 2016, the effective date of the ordinance that added these vineyard requirements to this CSD, that meets the requirements set forth in Subsection V.2.a, below, shall be deemed a conforming vineyard.
- b. Notwithstanding the legal nonconforming use provisions in Chapter 22.172 (Nonconforming Uses, Buildings and Structures), this Subsection V.1.b shall regulate all legal nonconforming vineyards within this CSD. Any existing and lawfully established vineyard as of January 7, 2016 that does not meet the requirements set forth in Subsection V.2.a, below, shall be deemed a legal nonconforming use. Any vineyard which is a legal nonconforming use due to the requirements set forth in Subsection V.2.a, below, must be removed or made to conform, within five years of January 7, 2016. To prove conformance, the applicant shall show under a site plan review, and subject to the approval of the Director, compliance with the requirements set forth in Subsection V.2.a, below.
- c. All new vineyards and vineyard expansion applications as of January 7, 2016 shall require a Conditional Use Permit (Chapter 22.158) application. Notwithstanding Section 22.158.070 (All Zone Regulations Apply Unless Permit is Granted), any modification of development standards specified in Subsection V.2, below, shall be subject to Section 22.336.100.A.2 (Modification of Vineyard Standards).

2. Vineyard Requirements.

- a. All vineyards, regardless of size, including vineyards that are less than 4,356 square feet in size, must comply with the following requirements:
 - i. To the extent feasible, the vineyard shall use Integrated Pest Management (IPM) techniques to prevent and control pests in a manner that avoids harm to other organisms, air, soil, and water quality. Such techniques may include, but are not limited to, the following biological, cultural, and mechanical/physical controls used to prevent crop pests, weeds, and diseases:
 - (A) Soil and crop nutrient management practices;
 - (B) Sanitation measures to remove disease vectors, weed seeds, and habitat for pest organisms;
 - (C) Cultural practices that enhance crop health, including selecting plant species and varieties with regard to site-specific conditions and their resistance to prevalent pests, weeds, and diseases;
 - (D) The application of biological, botanical, or mineral inputs;
 - (E) The augmentation or introduction of predators or parasites of the pest species, the importation of which shall be approved by the United States Department of Agriculture and be completed in compliance with all other applicable federal, State, and local laws and requirements;
 - (F) The development of habitat for natural enemies of pests;
 - (G) Mulching with fully biodegradable materials;
 - (H) Mowing or mechanical cultivation of weeds or hand weeding; and
 - (I) The implementation of measures to minimize sharpshooter populations, including the removal of diseased vines as soon as detected, and the use of yellow sticky traps to monitor sharpshooter populations in the vineyard, and extending up to areas within 200 feet of riparian habitat.
 - ii. The vineyard shall: conserve water; reduce water loss to evaporation, deep percolation, and runoff; remove leachate efficiently; and minimize erosion from applied water by implementing a managed drip-irrigation micro-sprinkler or similar type of non-aeration watering system that includes all of the following:

- (A) Irrigation scheduling;
 - (B) The efficient application of irrigation water;
 - (C) The efficient transport of irrigation water;
 - (D) Management of drainage water; and
 - (E) The use of rain barrels and reclaimed water or “gray water,” where feasible.
- iii. At the end of each calendar year, a comprehensive water report shall be prepared and submitted to the Director that includes total water used at the vineyard throughout the year.
 - iv. An erosion control/water quality plan that complies with the conditions in this Subsection V.2.iv. shall be submitted. Such plan shall be approved by DPW, and a covenant evidencing the approved plan shall be recorded with the Registrar-Recorder/County Clerk. The conditions required for the erosion control/water quality plan are that:
 - (A) Planting areas shall be designed utilizing the water quality design elements of low-impact development pursuant to Chapter 12.84 (Low Impact Development Standards) in Title 12 (Environmental Protection) of the County Code, so that runoff from the planting areas, from both irrigation and stormwater, is treated or retained onsite. Site-specific water quality measures may include, but are not limited to, the installation or implementation of:
 - (1) Biofiltration areas such as bioswales;
 - (2) Bioretention facilities;
 - (3) Constructed wetlands;
 - (4) Dry wells;
 - (5) Extended detention basins;
 - (6) Infiltration basins;
 - (7) Infiltration trenches;
 - (8) Sand filters;
 - (9) Stormwater planters;
 - (10) Tree-well filters;
 - (11) Vegetated swales or filter strips;
 - (12) Wet ponds; or
 - (13) Any combination of the above.

- (B) Planting areas shall implement temporary and/or permanent measures as appropriate to minimize the transport of sediment to or from the site and to control erosion to prevent water quality degradation from sediment discharge. Site-specific erosion control measures may include, but are not limited to, the installation or implementation of:
 - (1) Active treatment systems;
 - (2) Biofilter bags;
 - (3) Check dams;
 - (4) Compost blankets;
 - (5) Compost socks and berms;
 - (6) Earth dikes and drainage swales;
 - (7) Fiber roles;
 - (8) Geotextiles and mats;
 - (9) Gravel bag berms;
 - (10) Hydraulic mulch;
 - (11) Hydroseeding;
 - (12) Sandbag barriers;
 - (13) Sediment basins;
 - (14) Sediment traps;
 - (15) Silt dikes;
 - (16) Silt fences;
 - (17) Slope drains;
 - (18) Soil binders;
 - (19) Storm drain inlet protection;
 - (20) Straw mulch;
 - (21) Strawbale barriers;
 - (22) Streambank stabilization;
 - (23) Velocity dissipation devices;
 - (24) Wood mulching; or
 - (25) Any combination of the above.
- v. Permanent vegetation shall be planted or resident vegetation shall be maintained between vineyard crop rows for ground cover. The species of vineyard ground cover shall foster

cycling of resources. Common barley (*Hordeum vulgare*) and certified disease-free and weed-free woodchips are acceptable ground cover. The species of vineyard ground cover shall be non-invasive and appropriate to the site as determined by the Director. The grower shall seek advice from an appropriate cover crop specialist for site-specific recommendations.

- vi. Hedgerows, shrubs, and grasses with native and, if appropriate, non-native flowering plants shall be maintained throughout the property to preserve habitat for wildlife and pest predators. Natural nesting sites and perches shall be maintained.
 - vii. No clearing to bare earth or use of practices that disturb the soil such as disking or tilling shall be allowed.
 - viii. Runoff from the vineyard shall be diverted, with a berm or other such measure, around the vineyard's storage or disposal area for waste, crop residues, waste by-products, fertilizers, oils, soil amendments, and any other agricultural products or materials utilized in the planting and growing of crops, to prevent contamination of surface waters.
 - ix. Waste and waste byproducts from the vineyard must be contained, and if feasible, reused on the area on which crops are grown until disposed of in a manner that does not negatively impact natural resources.
 - x. Waste, compost, oils, chemicals, manure, fertilizers, and other similar materials for the vineyard shall be stored: (1) in a sealed area, either inside a structure or in a covered container with an impervious bottom surface; and (2) at least 200 feet away from any stream/natural drainage course, or any underground water source used for human consumption.
 - xi. For access roads and driveways to the vineyard, anti-dust strategies that do not rely on water applications or increase the amount of impervious surface shall be implemented. These strategies shall include, but not limited to, the application of appropriate non-toxic materials along roadways, such as gravel, sand, porous paving materials, and mulches.
 - xii. No burning shall be allowed in the vineyard.
 - xiii. The vineyard's total amount of hazardous materials used, stored, and/or generated shall be monitored, tracked, and recorded.
- b. All new vineyards, pending vineyards, and vineyard expansions, regardless of size, including vineyards that are less than 4,356

square feet, shall not be planted on a slope with a slope ratio greater than 3:1 (33 percent slope).

- c. *Additional Conditional Use Permit Requirements.* In addition to the requirements above in Subsections Y.2.a and Y.2.b, above, vineyards requiring a Conditional Use Permit (Chapter 22.158) shall also comply with the following:
- i. The vineyard shall be prohibited on significant ridgelines as defined in Subsection R.1, above, and shall comply with the siting requirements for structures requiring a permit under Subsection R.2, above. Any modification sought from this Subsection Y.2.c.i must comply Section 22.336.100.A.2 (Vineyard Modifications);
 - ii. The vineyard shall not exceed a maximum of two acres in size per lot;
 - iii. Any vineyard located in a Significant Ecological Area, as shown in Figure 9.3 of the General Plan, shall comply with the requirements of Chapter 22.102 (Significant Ecological Areas);
 - iv. To the extent feasible, the vineyard shall be sited within the approved building site area and/or the associated irrigated fuel modification zone, which is typically 100 feet from such structure;
 - v. To the extent feasible, the vineyard shall not be visible from a scenic highway (as depicted in Figure 9.7, Scenic Highways Map, of the General Plan) or the Backbone Trail (as depicted in Figure 10.1, Regional Trail System Map, of the General Plan). If no feasible location on the proposed project site exists where the vineyard would not be visible from a scenic highway or the Backbone Trail, the vineyard shall be sited and designed to minimize its impacts on the scenic highway and/or the Backbone Trail. These mitigation measures may include, but not limited to, siting the vineyard in the least visible portion of the site, designing the vineyard plantings to blend into the natural hillside setting, restricting the vineyard size, minimizing grading for the vineyard, incorporating landscape and screening elements into the vineyard design, and where appropriate, berming at the vineyard. The preferred mitigation measures in this Subsection are site selection and design alternatives, rather than landscape screening or berming;
 - vi. The vineyard shall not be located in or within 200 feet of an area containing S1 habitat:
 - (A) Where a stream exists on or adjacent to the property containing the vineyard, a buffer shall be maintained at

least 200 feet in width from the outer edge of the bank of the stream, unless a canopy of riparian vegetation associated with the stream is present, and then the buffer shall be measured from the outer edge of the canopy. Vegetation removal, vegetation thinning, or the planting of non-native or invasive vegetation shall not be permitted within any such buffer, unless required for fire suppression. Banks of streams shall maintain native vegetation adjacent to the water way;

- vii. All vineyards shall comply with the wildlife-permeable vineyard fencing requirements outlined below:
 - (A) The fencing material shall be of wood or an alternative material that gives the appearance of wood, such as wood composite or recycled material.
 - (B) The fencing shall not contain barbed material, such as spikes, barbs, or razor blades.
 - (C) The maximum height of the fence shall be 48 inches, measured from the ground.
 - (D) The fencing material shall not incorporate wire mesh netting or chicken wire that prevents ingress by wildlife.
 - (E) The bottom edge of the fencing shall be no higher than 18 inches from the ground.
- viii. Notwithstanding any other fencing requirement in this CSD, non-wildlife-permeable fencing may only be used to surround the immediate area of buildings on the site, and may extend no further than the outer edge of the fuel modification setback zone for such buildings, typically 20 feet, as required by the Fire Department. Such non-wildlife-permeable fencing shall be installed solely for safety purposes and shall be no more than six feet in height. Vineyard plantings may be permitted within these non-wildlife-permeable fenced areas, provided that all other applicable requirements set forth at Subsection V.2 (Vineyard Requirements) are met.
- ix. The vineyard development shall not result in the damage, removal, and/or encroachment into the protected zone of an oak tree;
- x. All grading, landform alteration, and vegetation removal for access roads and driveways for the vineyard shall be minimized to the greatest extent feasible. The length of the one access road or driveway shall be the minimum necessary to provide access to the vineyard. The alignment and design of the access road or driveway shall avoid any impact to sensitive habitats, and if such avoidance is not feasible, shall

minimize and mitigate any such impact. In no case shall a new on-site or off-site access road or driveway exceed a maximum of 300 feet or one-third the lot depth, whichever is less, unless the review authority finds, based on substantial evidence, that a modification of this standard is warranted, in accordance with Chapter 22.194 (Variance). In addition to the required findings set forth in Chapter 22.194, if the review authority finds that a modification of this requirement is warranted, the review authority shall make findings that alternative access roads or driveways have been considered and eliminated from consideration because the alternatives were found to be: physically infeasible; less protective of scenic resources, sensitive habitat areas, or other natural resources; and/or have the potential for substantial habitat destruction if any such alternatives were used.

- xi. The vineyard Conditional Use Permit (Chapter 22.158) application shall, in addition to the requirements in Chapter 22.158:
 - (A) Provide expected annual water usage for irrigation of the vineyard as well as for on-site operations related to vineyard production;
 - (B) Indicate the water source proposed for the vineyard and whether a new or deeper well will be needed. If a new or deeper well is needed, the applicant shall provide the depth of the well, its projected flow rate, and any anticipated impacts from the well to the surrounding region;
 - (C) Provide a visual simulation of the vineyards as seen from the nearby public roads, parks, and trails;
 - (D) Include a site-specific survey, conducted by a qualified biologist, to identify, characterize, and delineate habitat types present at the site as well as any special status plant or animal species at the site. The survey shall include an assessment of how the proposed vineyard development may impact habitat function and/or connectivity. Vineyards shall be sited and designed to avoid or minimize any impact to, or removal of, sensitive and rare species and habitat areas, as determined by the site survey; and
 - (E) Provide proof of legal access for any new development associated with the vineyard that is not accessed directly from a public right-of-way.

- Z. Trash Enclosures. Commercial and industrial uses must lock trash bins lids or secure the bin within a locked enclosure.

22.336.080 Zone-Specific Development Standards

A. Zone A-1.

1. Permitted Uses. In addition to the uses specified in Chapter 22.16 (Agricultural, Open Space, Resort and Recreation, and Watershed Zones), property in Zone A-1 may be used for the following uses with a Site Plan Review:
 - Small horse-boarding, subject to the standards for equestrian facilities contained in Section 22.336.070.E.
2. Uses Subject to Permits. In addition to the uses specified in Chapter 22.16 (Agricultural, Open Space, Resort and Recreation, and Watershed Zones), property in Zone A-1 may be used for the following uses provided a Conditional Use Permit (Chapter 22.158) has first been approved, and while such permit is in full force and effect in conformity with the conditions of such permit:
 - Bed and breakfast establishments, subject to the standards contained in Section 22.336.070.C.
 - Event facilities, limited to no more than 24 events per year, minimum lot size 10 acres and must have two means of access to a highway, subject to the standards contained in Section 22.336.070.F.
 - Large horse-boarding, subject to the standards for equestrian facilities outlined in 22.336.070.E.
 - Rural inns, subject to the standards outline in 22.336.070.Q.

B. Zone A-2.

1. Permitted Uses. In addition to the uses specified in Chapter 22.16 (Agricultural, Open Space, Resort and Recreation, and Watershed Zones), Property in Zone A-2 may be used for the following uses with a Site Plan Review.
 - Large horse-boarding, subject to the standards for equestrian facilities outlined in 22.336.070.E.
 - Small horse-boarding, subject to the standards for equestrian facilities outlined in 22.336.070.E.
 - Riding academies, subject to the standards for equestrian facilities outlined in 22.336.070.E.
2. Uses Subject to Permits. In addition to the uses specified in Chapter 22.16 (Agricultural, Open Space, Resort and Recreation,

and Watershed Zones), property in Zone A-2 may be used for the following uses provided a Conditional Use Permit (Chapter 22.158) has first been approved, and while such permit is in full force and effect in conformity with the conditions of such permit:

- Bed and breakfast establishments, subject to the standards and conditions outlined in Subsection 22.336.070.C.
- Event facilities, number of events determined by CUP, subject to the requirements listed in section 22.336.070.F.
- Rural inns, subject to the standards outline in 22.336.070.Q.

C. Commercial and Industrial Zones.

1. Commercial Uses Subject to Permits. Where property in a commercial zone is not located in the commercial land use category of the Area Plan, an approved Conditional Use Permit (Chapter 22.158) shall be required for any commercial use otherwise permitted in the base zone. Notwithstanding the above, no Conditional Use Permit shall be required for a change of an existing commercial use to a new commercial use having the same or lesser parking requirement and occupant load and having the same occupancy classification as described in Title 26 (Building Code) of the County Code, unless such new use is subject to permit in the basic zone.

Additionally, properties in the commercial zones may be used for the following use, in addition to the uses specified in Chapter 22.20 (Commercial Zones), provided a Conditional Use Permit (Chapter 22.158) has first been obtained, and while such permit is in full force and effect in conformity with the conditions of such permit:

- Event facilities, number of events determined by CUP, subject to the requirements listed in Subsection 22.336.070.F.
2. Industrial Uses Subject to Permits. In addition to the uses specified in Chapter 22.22 (Industrial Zones) as requiring a Conditional Use Permit, any industrial use listed as permitted, accessory or as requiring a Ministerial Site Plan Review application, shall be subject to a Conditional Use Permit.
 3. Additional Findings.
 - a. In addition to the findings required by Section 22.158.050 (Findings and Decision), the Hearing Officer shall find that any commercial use subject to a Conditional Use Permit is local serving and is compatible with surrounding land uses located within 1,000 feet.
 - b. In addition to the findings required by Section 22.158.050 (Findings and Conditions), the Hearing Officer shall find that any proposed industrial use in an industrial zone is a quiet,

non-polluting light industrial use and is compatible with surrounding land uses located within 1,000 feet.

4. Maximum Allowable Floor Area Ratio. The floor area ratio (FAR) for all buildings on a lot of land shall not exceed 0.5. Cellar floor space, parking floor space with necessary interior driveways and ramps thereto, or space within a roof structure penthouse for the housing of operating equipment or machinery shall not be included in determining the floor area ratio.
5. A building or structure in a commercial zone shall not exceed a height of 35 feet above grade, excluding signs that are permitted by Chapter 22.114 (Signs), chimneys, and rooftop antennas.

D. Zone O-S.

1. Uses Subject to Minor Conditional Use Permit. In addition to the uses specified in Chapter 22.16 (Agricultural, Open Space, Resort and Recreation, and Watershed Zones), property in Zone O-S may be used for the following uses provided a Minor Conditional Use Permit (Chapter 22.160) has first been approved, while such permit is in full force and effect in conformity with the conditions of such permit, and in compliance with Section 22.16.060.C.1 and C.3 (Additional Regulations for Zone O-S):
 - Marinas, small boat harbors, docks, piers, boat launches, and similar recreational facilities.
 - Large horse-boarding, subject to the standards for equestrian facilities outlined in 22.336.070.E.
 - Riding academies, subject to the standards for equestrian facilities outlined in 22.336.070.E.

E. Zone R-R.

1. Permitted Uses. In addition to the uses specified in Chapter 22.16 (Agricultural, Open Space, Resort and Recreation, and Watershed Zones), property in Zone R-R may be used for the following uses with a Site Plan Review.
 - Large horse-boarding, subject to the standards for equestrian facilities outlined in 22.336.070.E.
 - Small horse-boarding, subject to the standards for equestrian facilities outlined in 22.336.070.E.
 - Riding academies, subject to the standards for equestrian facilities outlined in 22.336.070.E.
2. Uses Subject to Minor Conditional Use Permit. In addition to the uses specified in Chapter 22.16 (Agricultural, Open Space, Resort and Recreation, and Watershed Zones), property in Zone R-R may be used for the following uses provided a Minor Conditional Use

Permit (Chapter 22.160) has first been approved, and while such permit is in full force and effect in conformity with the conditions of such permit:

- Adult residential facilities, serving six or fewer persons.
- Group homes for children, serving six or fewer persons.
- Residences, single-family.

3. Uses Subject to Permits.

- a. In addition to the uses specified in Chapter 22.16 (Agricultural, Open Space, Resort and Recreation, and Watershed Zones), property in Zone R-R may be used for the following uses provided a Conditional Use Permit (Chapter 22.158) has first been approved, and while such permit is in full force and effect in conformity with the conditions of such permit:

- Bed and breakfast establishments, subject to the standards and conditions outlined in Subsection 22.336.070.C.
- Rural inns, subject to the standards outline in 22.336.070.Q.
- Event facilities, number of events determined by CUP, minimum lot size 10 acres, subject to the requirements listed in Section 22.336.070.F.
- Rodeos, one acre minimum lot size.

- b. In addition to the findings required by Section 22.158.050 (Findings and Decision), the Hearing Officer shall find that such proposed bed and breakfast establishment or single-family residence is compatible with surrounding resort and recreation land uses located within 1,000 feet.

4. A building or structure in Zone R-R shall not exceed a height of 35 feet above grade, excluding signs that are permitted by Chapter 22.114 (Signs), chimneys, and rooftop antennas.

5. For properties in Zone R-R located within the Commercial Recreation-Limited Intensity land use category of the Santa Monica Mountains North Area Plan, the floor area ratio (FAR) for all buildings on a lot of land shall not exceed 0.3. Cellar floor space, parking floor space with necessary interior driveways and ramps thereto, or space within a roof structure penthouse for the housing of operating equipment or machinery shall not be included in determining the floor area ratio.

6. Setbacks.

- a. Front Yard. 20 feet from property line.
- b. Side Yard. 5 feet from property line.

- c. Rear Yard. 15 feet from property line.

22.336.090 Area Specific Development Standards

A. Topanga Canyon Area.

1. Purpose. The Topanga Canyon Area is established to implement policies related to antiquated subdivision development contained in the Area Plan in order to address development on small lots in hillside and other areas that lack adequate infrastructure or are subject to the potential hazards of fire, flood, or geologic instability, and to preserve important ecological resources and scenic features found in this area.
2. Area Boundary. The boundaries of the Area are as shown on Figure 22-336-E: Topanga Canyon Area, at the end of this Chapter.
3. Definition. For the purposes of this Subsection B, "small lot subdivision" includes all land within TR. 3944, TR. 8545, TR. 8674, TR. 9287, and TR. 9346. "Small lot subdivision" also includes those portions of TR. 6131, TR. 9385, and all Records of Survey and Licensed Surveyor's Maps in Section 5, Township 1 South, Range 16 West, San Bernardino Base and Meridian, located north of the Coastal Zone boundary. Lots created by a parcel map are exempt from these provisions.
4. Development Standards.
 - a. Fences and Walls. The construction and/or replacement of fences and walls exceeding three and one-half feet in height which are located either within required front yards, or within required corner side or required rear yards where closer than five feet to any highway line is authorized subject to obtaining approval of a CSD Modification according to Section 22.336.100.B and subject to the following standards:
 - i. Height. No fence or wall shall exceed six feet in height, inclusive of any architectural feature, fixture, and/or support element attached to or part of the fence or wall.
 - ii. Transparency.
 - i. At least 70 percent of the fence or wall area above three and one-half feet in height shall be open and non-view obscuring. The open and non-view-obscuring area above said three and one-half feet must be evenly distributed horizontally along the entire length of the fence or wall and comply with all of the following provisions:
 - (a) No slats or other view-obscuring materials may be inserted into, placed in front of or behind, or affixed to such fences and walls;

- (b) Vertical support elements shall be a minimum of five feet apart; and
 - (c) Non-support vertical or horizontal fence elements shall have a maximum diameter of two inches.
 - iii. Materials. All portions of new or replacement yard fences and walls shall be constructed of stone, brick, rock, block, concrete, wood, stucco, tubular steel, wrought iron, or a combination of these materials. Either recycled or composite materials, each with the appearance and texture of wood, may also be used. Chain link, wire, and highly reflective materials are prohibited. Fence and wall materials shall have at least one of the following features:
 - i. Non-combustible construction;
 - ii. Ignition resistant construction meeting the requirements of the California Office of the State Fire Marshall's SFM Standard 12-7A-4 parts A and B;
 - iii. Heavy timber construction; or
 - iv. Exterior fire-retardant treated wood construction.
 - iv. Colors. Only earth tone or neutral colors that are similar to the surrounding landscape shall be used.
 - v. Fences and walls located between five feet from the highway line and the interior boundary of the required corner side yard or required rear yard, and retaining walls wherever located are subject to the provisions of Sections 22.110.070 (Fences and Walls), 22.110.180 (Modifications Authorized), and Section 22.336.090.B (Topanga Canyon Area).
- b. Landscaping.
- i. Trees, shrubs, vines, flowers, and other landscaping forming a barrier or obstructing views in the same manner as a fence or wall, shall not exceed three and one-half feet in height if located within 10 feet of a highway line.
 - ii. Invasive non-native species are prohibited from use in all landscaping areas.
- c. Additional Standards. The construction of residential units on a lot of less than one acre within a small lot subdivision shall be subject to the following development standards:
- i. For the construction of residential units on a lot of 5,000 square feet or more, the maximum gross structural area shall be equal to 20 percent of the area of the lot. Construction of

residential units on a lot of less than 5,000 square feet shall be subject to the following slope intensity formula:

- (A) The maximum allowable gross structural area of a residential unit to be constructed on a building site shall be determined by the following formula:

$$\text{GSA} = (\text{A}/5) \times [(\text{50}-\text{S})/35] + 500$$

Where:

A = the area of the building site in square feet. The building site is defined by the applicant and may consist of all or a designated portion of the one or more lots comprising the project location. All permitted structures must be located within the designated building site.

S = the average slope of the building site in percent as calculated by the formula:

$$\text{S} = \text{I} \times \text{L}/\text{A} \times 100$$

Where:

S = average natural slope in percent.

I = contour interval in feet, at not greater than 25-foot intervals, resulting in at least five contour lines.

L = total accumulated length of all contour lines of interval "I" in feet.

A = the area of the building site in square feet.

- (B) All slope calculations shall be based on natural, not graded conditions. Maps of a scale generally not less than one inch equals 10 feet (1"=10'), showing the building site and existing slopes, prepared by a licensed surveyor or registered professional civil engineer, shall be submitted with the application. If slope is greater than 50 percent, enter 50 for S in the GSA formula.
- i. The maximum allowable GSA as calculated above may be increased as follows:
- (A) Add 500 square feet or 12.5 percent of the total lot area, whichever is less, for each lot which is contiguous to the designated building site, provided that such lot is combined with the building site, and all potential for residential development on such lot is permanently extinguished.
- (B) Add 300 square feet or seven and one-half percent of the total lot area, whichever is less, for each lot in the vicinity of (e.g., in the same small lot subdivision) but not

contiguous with the designated building site, provided that such lot is combined with other developed or developable building sites and all potential for residential development on such lot is permanently extinguished.

- ii. The floor area requirement for single-family residences contained in Section 22.140.580.C (Minimum Floor Area) shall not apply.
 - iii. All residences approved in small lot subdivisions by the slope intensity formula shall be subject to an improvement condition requiring that any future additions or improvements to the property shall be subject to an additional review by the Director.
 - iv. The provisions of Sections 22.110.030 (Accessory Buildings), 22.110.080.B.1 (On Partially Developed Blocks) and 22.110.080.B.3 (On Sloping Terrain) shall not apply.
5. Procedural Requirements. Notwithstanding Section 22.160.070 (All Zone Regulations Apply Unless Permit is Granted), any modifications of development standards, except for fences, walls, and landscaping pursuant to Subsections B.4.a and B.4.b, above, shall be considered only through Chapter 22.194 (Variance).

B. Malibou Lake Area.

- 1. Purpose. The Malibou Lake Area establishes development standards to help mitigate the impacts of cumulative residential development on existing historical lots with limited street access in a high fire hazard area.
- 2. Area Boundary. The boundaries of the Area are as shown on Figure 22.336-C: Malibou Lake Area, at the end of this Chapter.
- 3. Development Standards.
 - a. Off-Street Parking. Each single-family residence shall have automobile parking spaces, conveniently accessible to the street and to the residence served, as follows:
 - i. At least two covered, standard-size automobile parking spaces; or
 - ii. At least two uncovered, standard-size automobile parking spaces. These spaces may be located in required front, side, and rear yards only if they constitute a driveway to the covered parking.
 - b. Street Access.
 - i. A minimum 20 feet of paved roadway width to Crags Drive shall be provided to the property and constructed to the satisfaction of the Department of Public Works, or to a lesser width as determined by the Fire Department.

- ii. All access easements through or abutting the property shall be paved a minimum of 10 feet from the centerline and constructed to the satisfaction of the Department of Public Works.
 - c. Lot Coverage. Buildings and structures shall cover no more than 25 percent of the area of a lot, except to the extent necessary to allow a residence of up to 800 square feet of floor area, in which case such residence shall be permitted to cover more than 25 percent of the area of a lot only to the extent that it otherwise complies with the provisions of this Title 22.
 - d. Yards and Setbacks. The provisions of Sections 22.110.030 (Accessory Buildings), 22.110.040 (Accessory Structures and Equipment), 22.110.050 (Distance Between Buildings), 22.110.080.B through D (Required Yards), 22.110.090 (Projections into Yards) and 22.110.180 (Modifications Authorized) shall not apply to new construction.
4. Application of Development Standards. The development standards contained in Subsection C.3, above, concerning off-street parking, street access, and lot coverage, are applicable to the construction of residential units, as well as to additions made to existing residential units where the cumulative area of all additions made to the units after February 28, 1993, adds at least 200 square feet to the GSA as defined in Section 22.336.020.B (Definitions). "GSA" means the floor area of the permitted development expressed in square feet, as existing on February 28, 1993.
5. Accessory Uses. The establishment of the following new accessory uses is prohibited, notwithstanding the general authority of Section 22.18.030 (Land Use Regulations for Zones R-A, R-1, R-2, R-3, R-4, and R-5) or superseding Title 22 regulation:
- a. Detached guest houses on the same lot as the primary residence; and
 - b. Attached guest houses.

22.336.100 Modification of Development Standards

A. Modifications Authorized.

1. Modification of Significant Ridgeline Standards. Where structures on a lot cannot meet the standards prescribed by Section 22.336.070.R.1.b, above, a Variance (Chapter 22.194) shall be required. In addition to the required findings set forth in Section 22.194.050 (Findings and Decision), findings shall be made that:
- a. Alternative sites within the property or project have been considered and eliminated from consideration based on physical

- infeasibility or the potential for substantial habitat damage or destruction if any such alternative site is used; and
- b. The proposed project maintains the maximum view of the applicable significant ridgeline through the use of design features for the project such as, but not limited to, minimized grading, reduced structural height, clustered structures, shape, materials, and color that allow the structures to blend with the natural setting, and use of locally indigenous vegetation for concealment of the project, as described on the list referenced in Section 22.336.070.I.3.b. The Director shall maintain a list of appropriate landscaping materials required to satisfy this provision. Avoidance of impacts to scenic resources through site selection and design alternatives is the preferred method over landscape or building material screening. Landscape or building material screening shall not substitute for project alternatives including re-siting or reducing the height or bulk of structures.
2. Modification of Vineyard Standards. Except for access road and driveway modifications as provided for in Section 22.336.070.Y.2.a.xi, all other modifications of the requirements set forth in Section 22.336.070.Y.2 (Vineyard Requirements) shall be considered through a Variance (Chapter 22.194) application. In addition to the Variance application, any modification to Section 22.336.070.Y.2.c.i, shall be subject to the additional findings set forth in Subsection A.1, above.
 3. Modification of Equestrian Facilities Standards. Modification of any development standards contained in Section 22.336.070.E, shall be considered through a Variance (Chapter 22.194) application. A Biological Resources Assessment must be completed and be reviewed by SEATAC prior to any decision by a decision-making body.
 4. Modification of Topanga Canyon Area Specific Development Standards.
 - a. Modification of the development standards specified in Sections 22.336.090.B.4.a and 22.336.090.B.4.b shall be subject to a CSD Modification application in compliance with Subsection B, below. The CSD Modification application shall also include findings that the proposed modifications will not create a safety hazard and will not impair views of scenic resources and the application shall contain the following information:
 - i. A scaled site plan showing the proposed landscaping, fence or wall location, setbacks, and fence or wall height measurements; and
 - ii. A scaled elevation drawing of the proposed landscaping, fence or wall showing measurements of all fence or wall elements, including fence or wall height, and all proposed materials and colors.

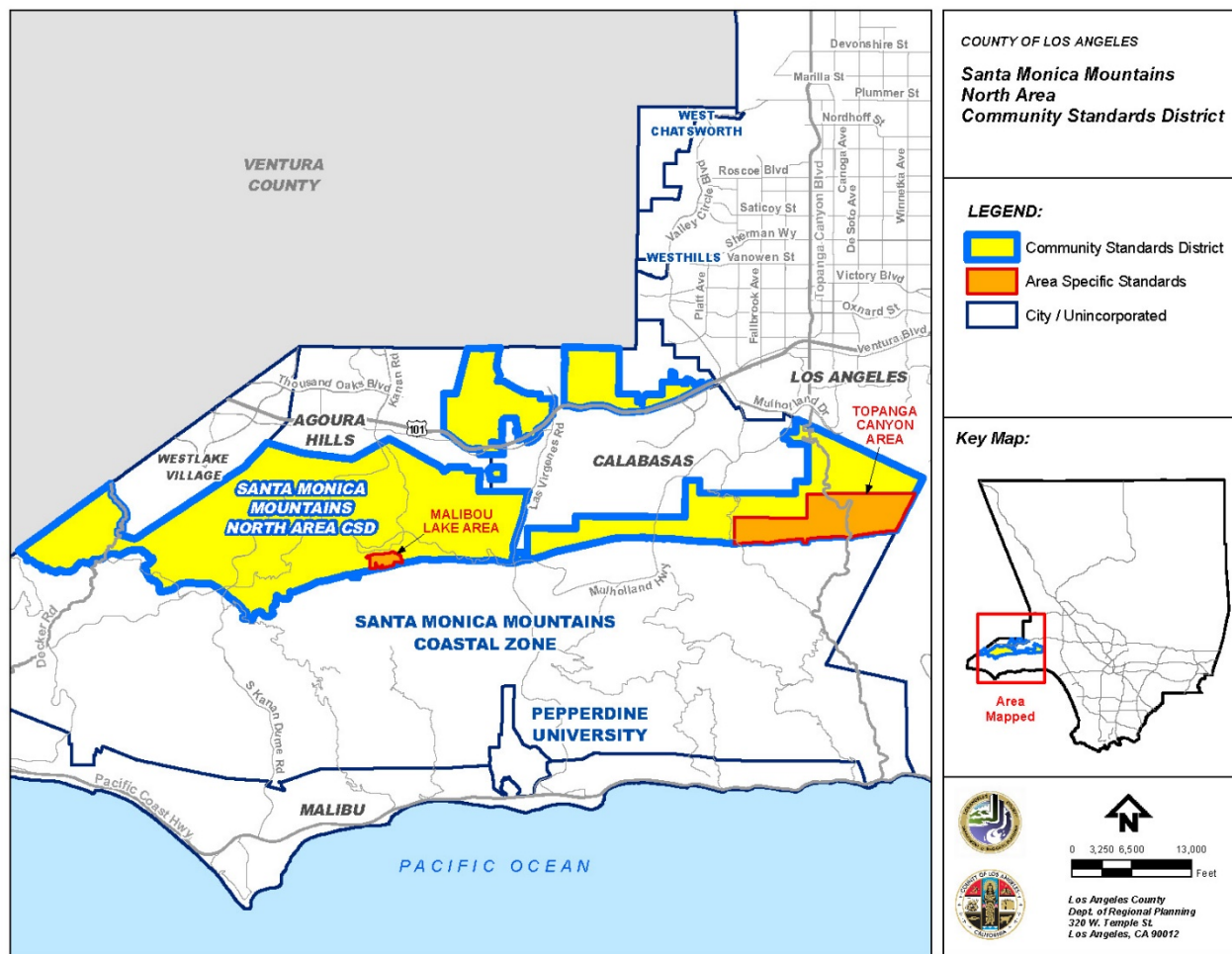
5. Modification of Malibou Lake Area Specific Development Standards.
 - a. Any modification of the development standards contained in Section 22.336.090.C.3, concerning parking, street access, and lot coverage, shall be considered for residences through the Conditional Use Permit procedure (Chapter 22.158). In making a determination upon the application, the Hearing Officer or Regional Planning Commission shall find, in addition to the requirements of Section 22.158.050 (Findings and Decision), that:
 - (A) The modification is necessary for the preservation and enjoyment of a substantial property right possessed by owners of other property in the community;
 - (B) The modification will not create an adverse safety impact in the surrounding community;
 - (C) The modification will not be materially detrimental or injurious to the property or improvements in the vicinity of the property; and
 - (D) The modification will not adversely affect or be in conflict with the General Plan, including the Area Plan.
 - b. Modification to yard or setback regulations required by this Title 22 may be granted pursuant to a Yard Modification (Chapter 22.196) application and this Subsection A.5.b.
 - i. The application shall comply with all noticing requirements as required by Chapter 22.196 (Yard Modifications). Such noticing shall also be sent to:
 - (A) All "occupant(s)" of properties within the notification radius, where the mailing address of a property owner on the above list is different from the address of the neighboring property; and
 - (B) Such other persons as the Director deems appropriate whose property could be affected by the application request.
 - ii. Findings and decision shall be made in compliance with Section 22.196.030 (Findings and Decision) and Subsection A.5.a., above.
 - iii. Notwithstanding Section 22.222.270.A, a Yard Modification which is not used within the time specified in the conditions, or, if no time is specified, within one year after the granting of the yard modification, becomes null and void and of no effect except that the Hearing Officer may extend such time for a period of not to exceed one year, provided an application

requesting such extension is filed prior to such expiration date.

B. Modification of Specific CSD Standards.

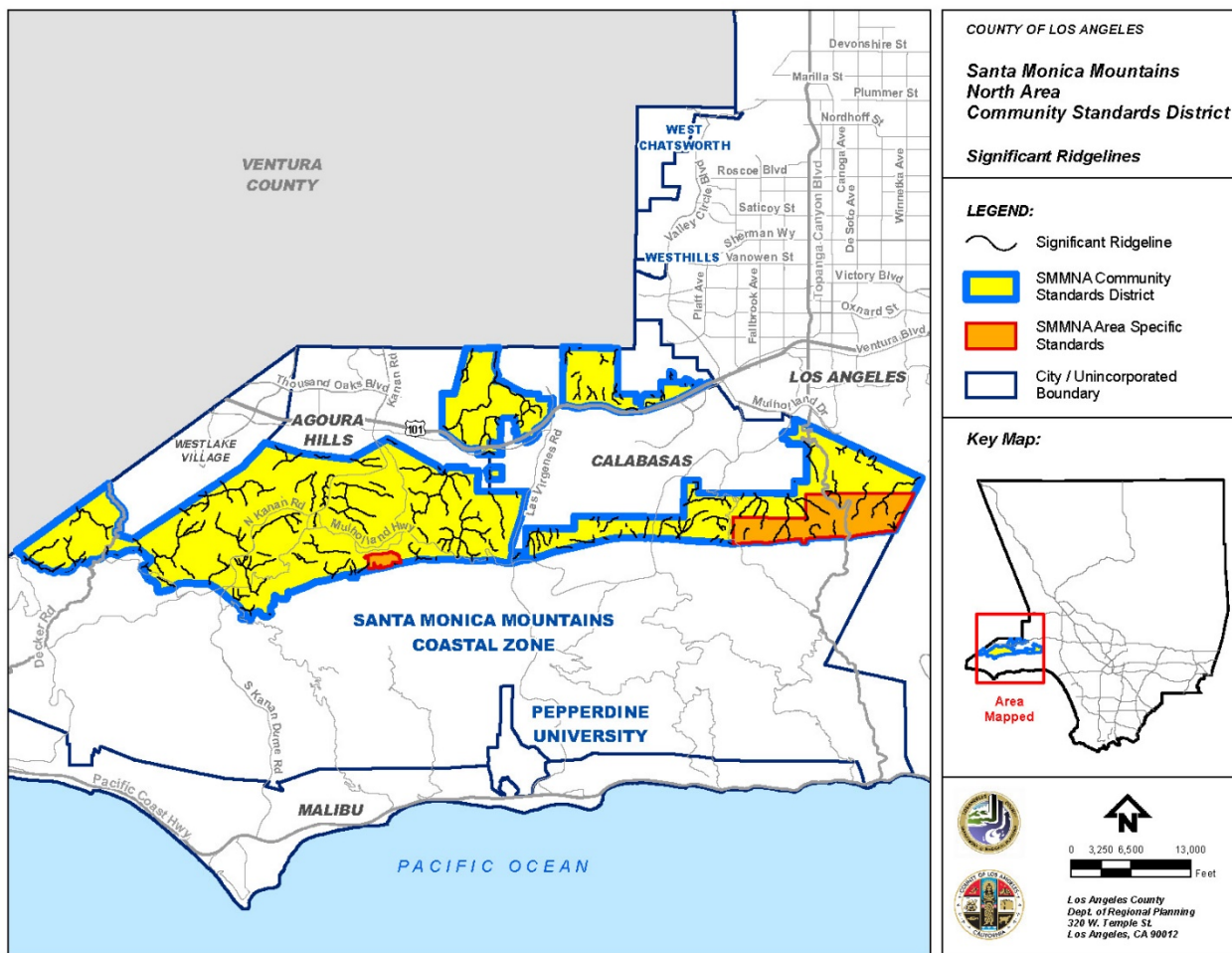
1. Applicability. Modification of the development standards specified in Subsection A.5, above, shall be subject to a CSD Modification application, in compliance with this Subsection B.
2. Application and Review Procedures.
 - a. Application Checklist. The application submittal shall contain all of the materials required by the CSD Modification checklist.
 - b. Type II Review. The application shall be filed and processed in compliance with Chapter 22.228 (Type II Review – Discretionary) and this Subsection B.
3. Findings and Decision.
 - a. Common Procedures. Findings and decision shall be made in compliance with Section 22.228.050 (Findings and Decision), and include the findings in Subsections B.3.b, below.
 - b. Findings.
 - i. The use, development of land, and application of development standards are in compliance with all applicable provisions of this Title 22.
 - ii. The use, development of land, and application of development standards, when considered on the basis of the suitability of the site for the particular use or development intended, is so arranged as to avoid traffic congestion, provide for the safety and convenience of bicyclists and pedestrians, including children, senior citizens, and persons with disabilities, insure the protection of public health, safety and general welfare, prevent adverse effects on neighboring property and is in conformity with good zoning practice.
 - iii. The use, development of land, and application of development standards is suitable from the standpoint of functional developmental design.

FIGURE 22.336-A: SANTA MONICA MOUNTAINS NORTH AREA CSD BOUNDARY



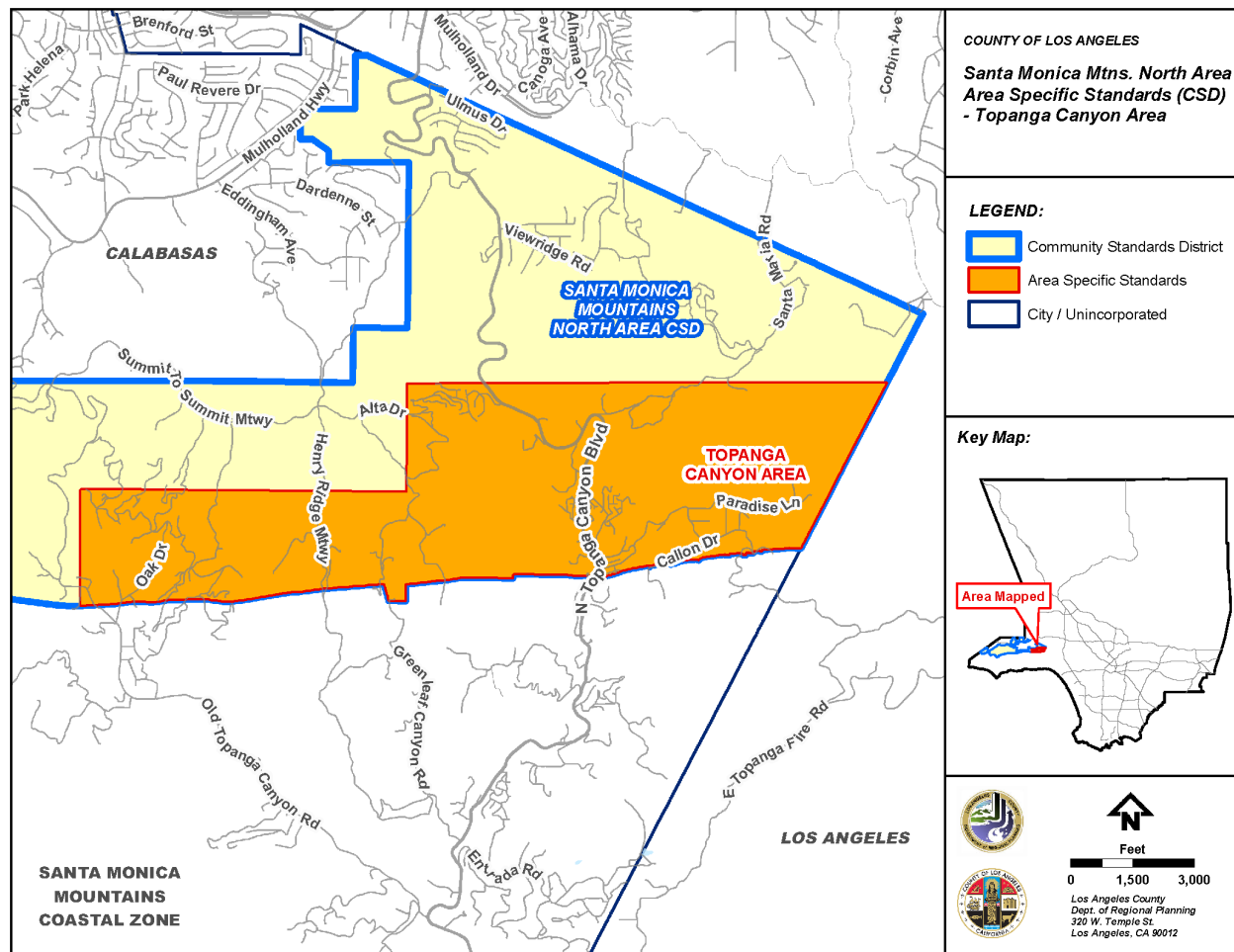
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FIGURE 22.336-B: SIGNIFICANT RIDGELINES



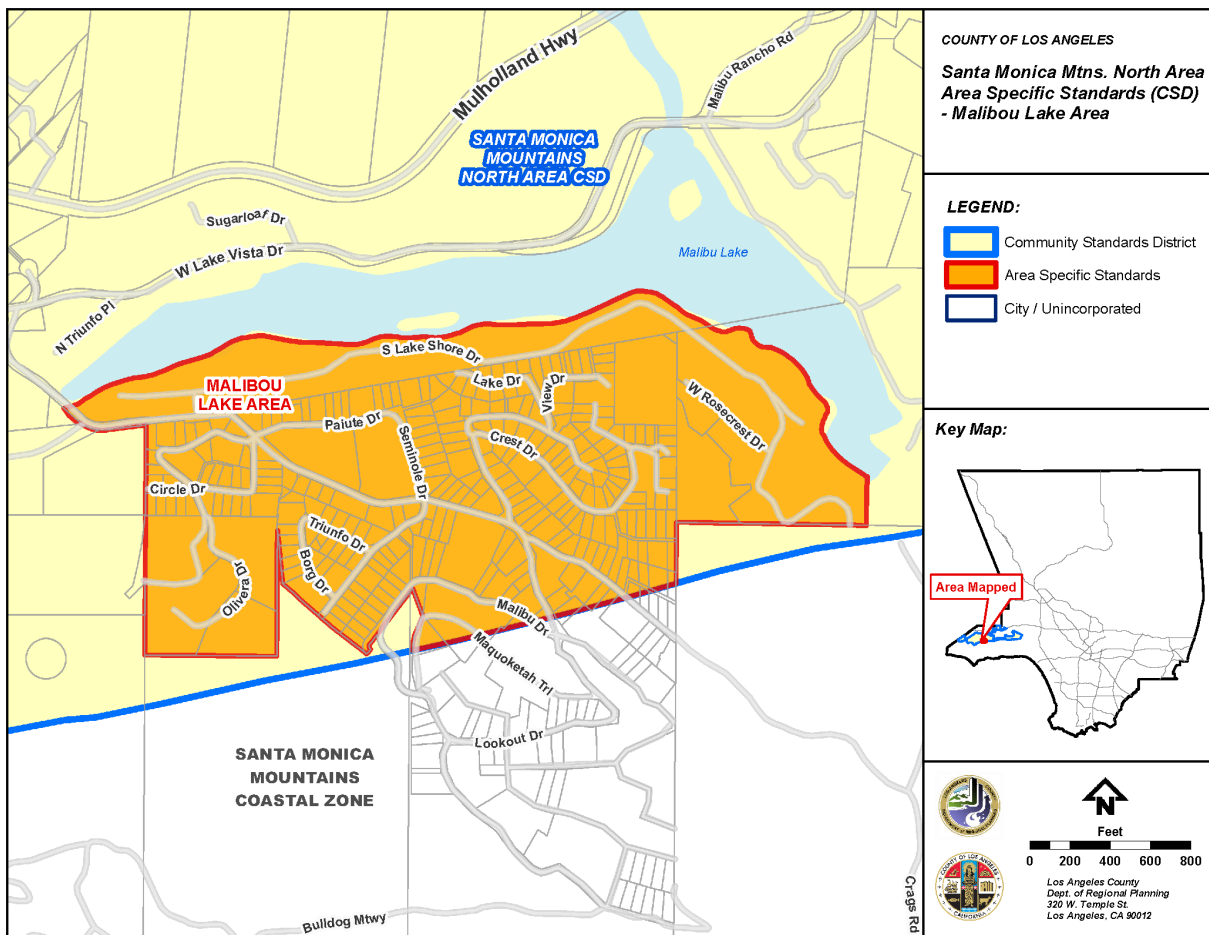
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FIGURE 22.336-C: TOPANGA CANYON AREA



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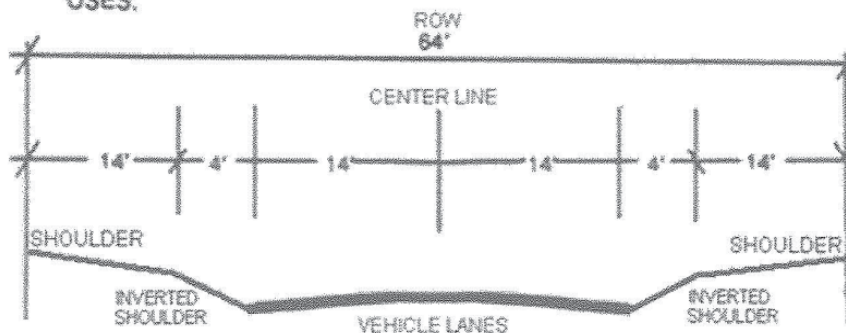
FIGURE 22.336-D: MALIBOU LAKE AREA



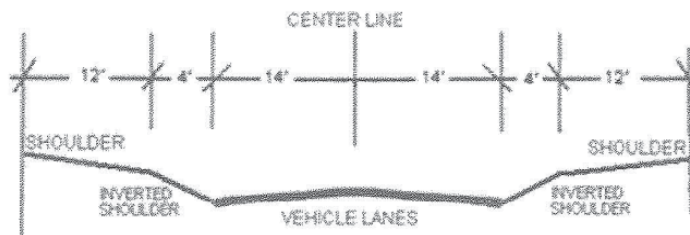
.\\OTHERMAP_SERIES\\supp_distmap_documents\\Supp_Dist_CSD_SMM\\NAP_SUBAREA_Malibou_Lake

Figure 22.336-E Standards for Street Width

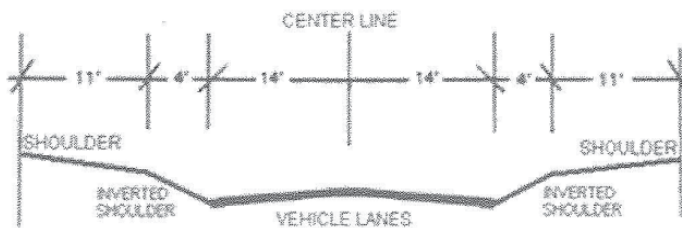
1. RESIDENTIAL ENTRANCE STREETS FROM HIGHWAYS, THRU COLLECTOR STREETS, SECTION AND QUARTER-SECTION LINE COLLECTOR STREETS, AND STREETS ADJACENT TO SCHOOLS AND MULTIPLE RESIDENTIAL USES.

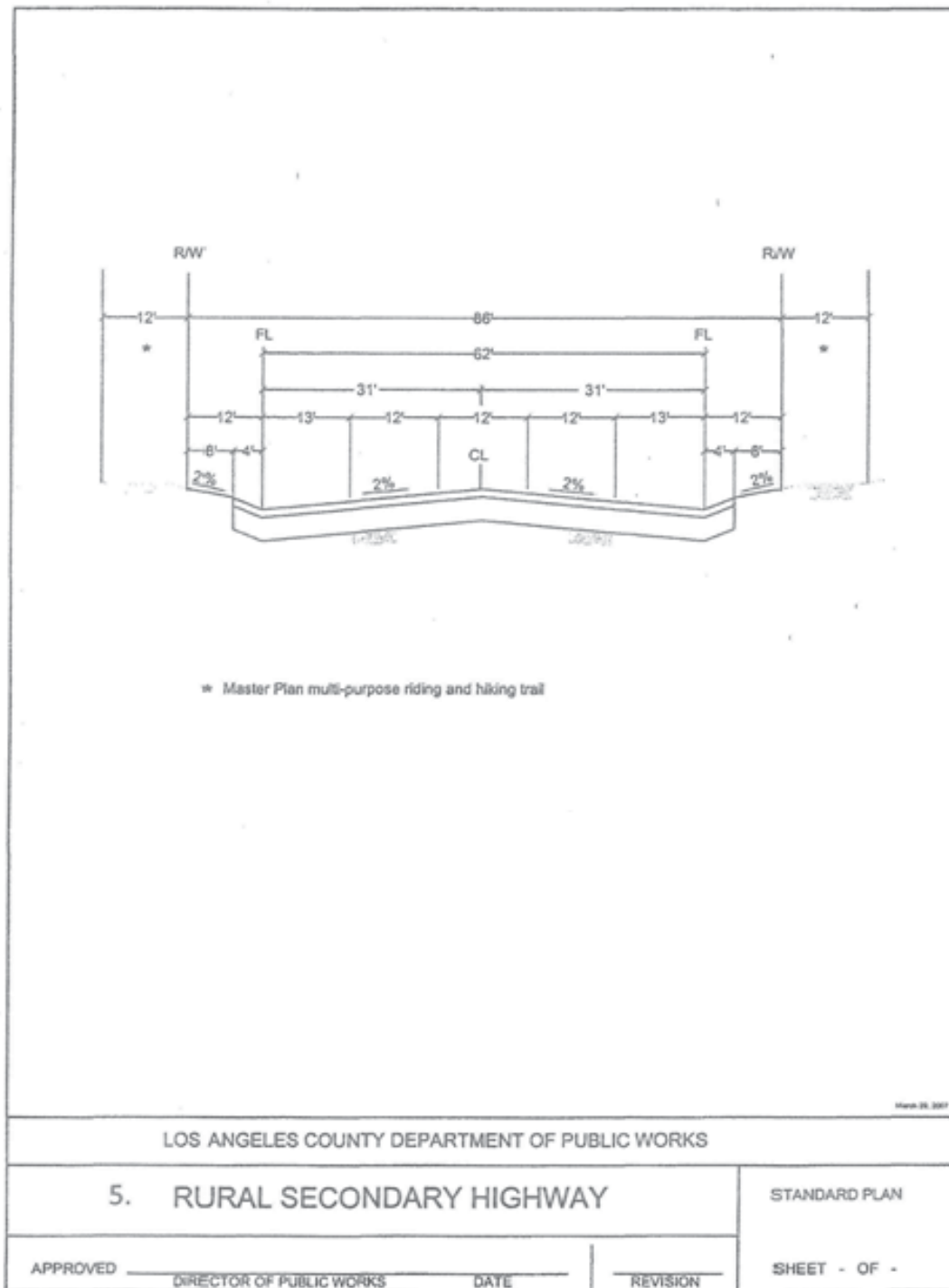


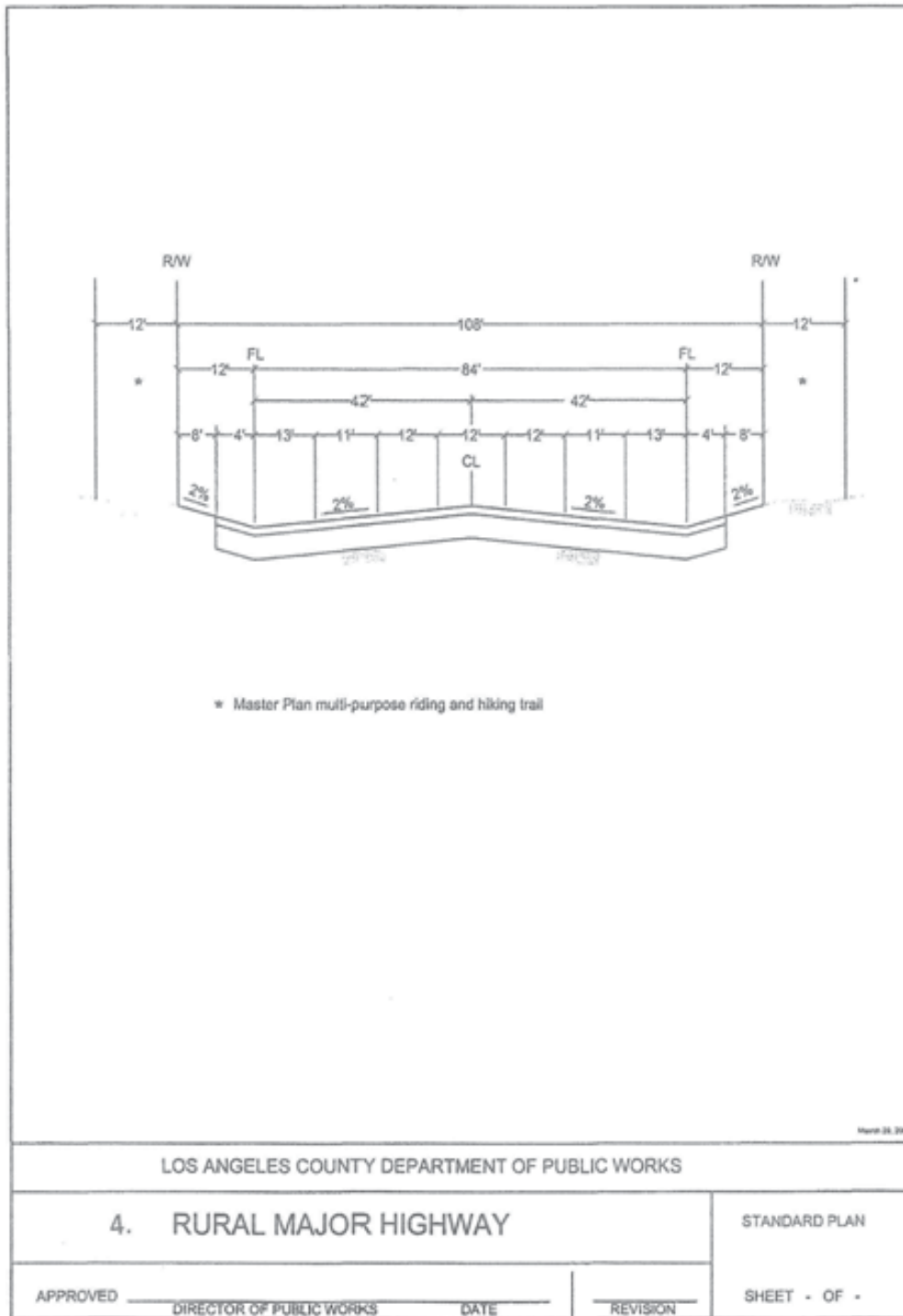
2. INTERIOR COLLECTOR STREETS, CUL-DE-SAC STREETS MORE THAN 700 FEET IN LENGTH, AND LOOP OR OTHER LOCAL STREETS MORE THAN 1,400 FEET IN LENGTH : ONE OR TWO FAMILY RESIDENCES.



3. INTERIOR LOCAL STREETS, CUL-DE-SAC STREETS HAVING A LENGTH OF 700 FEET OR LESS, LOOP OR OTHER LOCAL STREETS HAVING A LENGTH OF 1,400 FEET OR LESS.







APPENDIX I

Criteria for Significant Ridgelines

The designation of the significant ridgelines within the Santa Monica Mountains North Area Community Standards District is based on the following criteria:

- **Topographic complexity:** Ridges that have a significant difference in elevation from the valley or canyon floor. Generally, these ridges are observable from any location on the valley floor, from a community, or from a public road. Geologic conditions in the Santa Monica Mountains North Area make this a common condition.
- **Near/far contrast:** Ridges that are a part of a scene that includes a prominent landform in the foreground and a major backdrop ridge with an unbroken skyline. This includes a view into a valley from a public road or viewpoint located at a higher altitude, such as along the valley rim or a pass. Often, layers of ridges are visible into the distance, such as when looking west from Topanga Canyon Boulevard over Henry Ridge to Saddle Peak, and from Mulholland Highway looking east toward Cornell and Malibu Lake. This contrast can be experienced viewing an entire panorama or a portion of a panorama from an elevated point.
- **Cultural landmarks:** Ridges that frame views of well-known locations, structures, or other places, which are considered points of interest in the Santa Monica Mountains North Area. These landmarks include Paramount Ranch, Peter Strauss Ranch, and Malibu Lake.
- **Uniqueness and character of a specific location:** Peaks and their buttressing ridges. This is represented by ridges that frame rocky outcroppings, other unique geological features, and areas of extraordinary natural beauty, such as Ladyface Mountain and Saddle Rock. Ridges that frame Malibu Canyon-Las Virgenes Road—a state-designated County scenic highway—Mulholland Highway, Kanan Road, Topanga Canyon Boulevard, and other scenic routes are also included.
- **Existing community boundaries and gateways:** Ridges and surrounding terrain that provide the first view of predominantly natural, undeveloped land as a traveler emerges from the urban landscape. These lands introduce visitors to the visual experiences they will encounter in the Santa Monica Mountains North Area. Community boundaries and gateways include the surrounding ridges that provide a skyline and boundary to the rural communities found in the North Area. Examples include the ridges viewed from the Ventura Freeway traveling west from Calabasas, and the ridges along Triunfo and Lobo Canyons.

YOU ARE INVITED!

August 16, 2017

6:30 p.m.



Join Los Angeles County Regional Planning in a conversation about the Santa Monica Mountains North Area Plan! **We want to hear from you!**

We will have a community meeting to gather input on the draft of the Santa Monica Mountains North Area Plan and the Community Standards District update. The meeting will be open-house style with County staff available to receive input and comment cards. We look forward to seeing you at the meeting on:

MEETING DATE:

August 16, 2017

Location:

Malibou Lake Mountain Club
29033 Lake Vista Drive
Agoura Hills, CA 91301

Time: 6:30 pm

For more information please contact Los Angeles County
Regional Planning at (213) 974-6465 or (213) 974-6422

E-MAIL: SMMNorthArea@planning.lacounty.gov

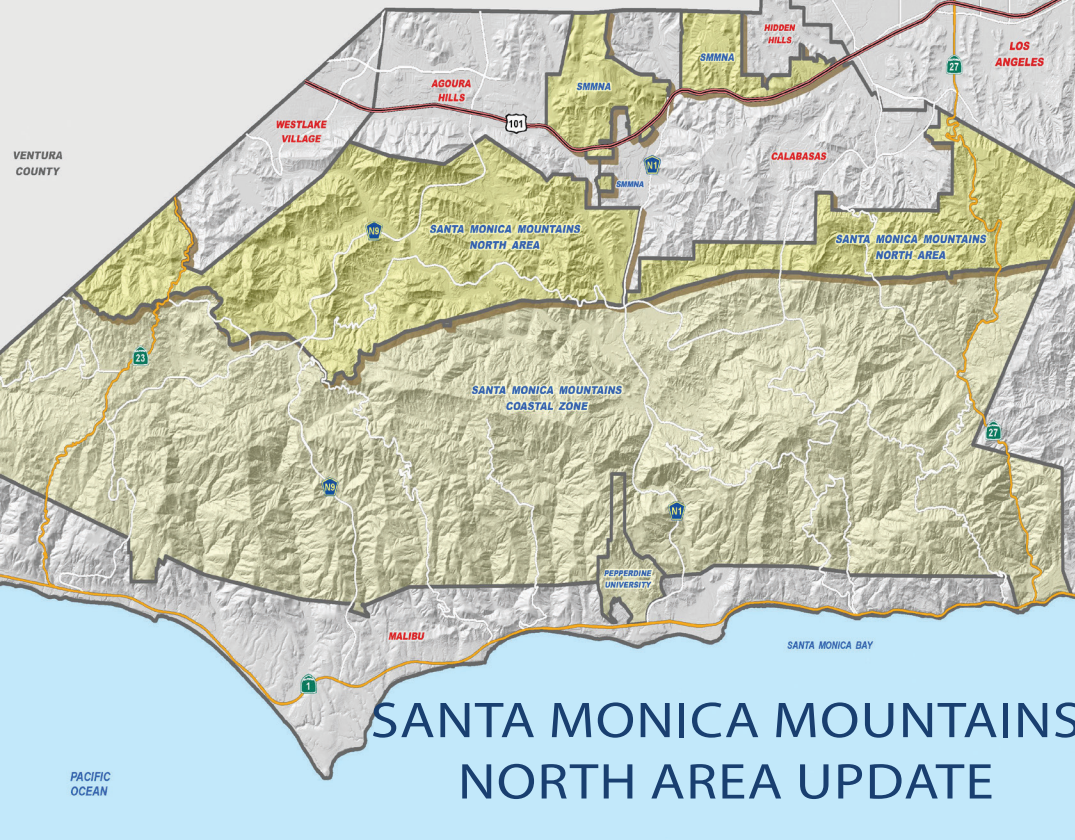
or VISIT OUR WEBSITE AT: <http://planning.lacounty.gov/smmnap>

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YOU ARE INVITED!

Open House Meetings

October 25, 2018

November 14, 2018

SANTA MONICA MOUNTAINS NORTH AREA UPDATE



The Los Angeles County Department of Regional Planning has prepared a draft update of the Santa Monica Mountains North Area Plan (SMMNAP) and Community Standards District (CSD) and will host Open House meetings to discuss the updates and proposed changes. The County will be accepting comments on the draft North Area Plan and CSD at these Open House meetings and via e-mail or mail through the end of November 2018.

The Draft SMMNAP and CSD is available for review at www.planning.lacounty.gov/smmnap and hard copies are available for review at the Los Angeles County Topanga and Agoura Libraries. The County will be accepting comments on the draft North Area Plan and CSD at these Open House meetings and via e-mail or mail through the end of November 2018.

MEETING DATES:

Thursday, October 25, 2018, 6:00- 7:30 PM

Hosted by the Las Virgenes Homeowner's Federation

Las Virgenes Municipal Water District, Board Room

232 Las Virgenes Road

Calabasas, CA 91302

Meeting Agenda

6:00 pm-7:30 pm Special Presentation of SMMNAP/CSD Update

7:30 pm-9:00 pm Regular Meeting of the LVHF

Wednesday, November 14, 2018, 5:30- 7:00 PM

Hosted by the Topanga Town Council

Topanga Library Meeting Room

122 N Topanga Canyon Boulevard

Topanga, CA 90290

Meeting Agenda

5:30 pm-7:00 pm Special Presentation of SMMNAP/CSD Update

7:00 pm-8:00 pm Regular Meeting of the Topanga Town Council

To submit comments or for more information:

E-mail: SMMNorthArea@planning.lacounty.gov or mail comments to:

Community Studies Section

L.A. County Dept. of Regional Planning, Room 1352

320 W. Temple Street Los Angeles, CA 90012

You can reach us at (213) 974-6465 or (213) 974-6422

or visit our website at <http://planning.lacounty.gov/smmnap>



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SANTA MONICA MOUNTAINS NORTH AREA UPDATE

YOU ARE INVITED!

Open House Meeting

April 3, 2019



The Los Angeles County Department of Regional Planning has prepared a draft update of the Santa Monica Mountains North Area Plan (NAP) and Community Standards District (CSD) and will host an Open House meeting to discuss the updates and proposed changes. The meeting is meant to substitute for the November 14, 2018 meeting at Topanga Library, which was cancelled due to the Woolsey Fire. The same information that will be presented at this meeting was intended for the November 2018 meeting, including draft documents since October 1, 2018.

The Draft SMMNAP and CSD is available for review at www.planning.lacounty.gov/smmnap and hard copies are available for review at the Los Angeles County Topanga and Agoura Libraries. The County will be accepting comments on the draft North Area Plan and CSD at this Open House meeting and via e-mail or mail through April 18, 2019.

MEETING DATE:

Wednesday, April 3, 2019, 6:00 PM- 7:30 PM

Topanga Library Meeting Room
122 N Topanga Canyon Boulevard
Topanga, CA 90290

Meeting Agenda

6:00 pm-7:00 pm Presentation of SMMNAP/CSD Update

To submit comments or for more information:

E-mail: SMMNorthArea@planning.lacounty.gov or mail comments to: Community Studies Section
L.A. County Dept. of Regional Planning, Room 1362
320 W. Temple Street
Los Angeles, CA 90012

You can reach us at (213) 974-6422 or (213) 974-0307
or visit our website at <http://planning.lacounty.gov/smmnap>



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Santa Monica Mountains North Area Update

YOU ARE INVITED!

Date:

Thursday

September 19, 2019

Time:

6:00 - 7:30 p.m.

Join Los Angeles County Department of Regional Planning in a conversation about the Santa Monica Mountains North Area Plan! **We want to hear from you!**



We are hosting a community meeting to gather feedback on the final drafts of the Santa Monica Mountains North Area Plan and the Community Standards District update. The meeting will be open-house style with County staff available to discuss the document contents and receive community input on the final drafts.

Meeting Date:

Thursday - September 19, 2019

Time:

6:00 - 7:30 p.m.

Location:

Las Virgenes Municipal Water District
4232 Las Virgenes Rd
Calabasas, CA 91302

For more information: Los Angeles County Regional Planning

Telephone: (213) 974-6422

Email: SMMNorthArea@planning.lacounty.gov

Visit our website at: planning.lacounty.gov/smmnap

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**LOS ANGELES COUNTY
DEPARTMENT OF REGIONAL PLANNING**

Appendix 2

EIR Scoping

Appendix 2-1

Summary of Comments Received During Scoping Period

Summary of Comments Received During Scoping Period

Comment Period: August 1 through August 31, 2018

Environmental Analysis for Santa Monica Mountains North Area Plan
and Community Standards District Update

Aesthetics

- Concern with events and wineries bringing additional light pollution.
- Concern with graffiti and vandalism in the area, and how this will affect the “rural” character.
- How is viewshed impact of vineyards calculated and what is the impact on EIR findings? (MCVGGA)¹
- What process is used for quantifying complaints regarding vineyard viewshed? (MCVGGA)
- Commenter states see through fencing should be implemented in a “Scenic Area.” If adjacent to year-round creek, incorporate “pool security” safety features. (CPO)
- Commenter opposes solid fencing adjacent to “Blue Line Streams.” (CPO)
- Concern with ongoing violation of Dark Sky Ordinance; enforce ordinance and issue violations.
- Concern with lighting in Town of Agoura that violates Local Agoura Municipal Code Ordinances.

Agricultural Resources

- Concern with environmental impact to nearby wineries.
- Provide analysis of different horticulture type effects on the environment. (RCDSMM)
- Concern grapevines are restricted in Santa Monica Mountains. (MCVGGA; public comments)
- Request analysis of environmental impact of grapevines, including comparison with other agricultural practices (Include documentation from agricultural specialist ensuring LA County Board of Supervisors has accurate information on vineyard water usage, water runoff and watershed pollution potential, brushfire prevention, and hillside erosion control). (MCVGGA; public comments)
- What is the environmental impact of vineyard tasting rooms in the Santa Monica Mountains Recreational Area? (MCVGGA; public comments)
- Commenter notes concern with accurate assessment of vineyard impact for Draft EIR and details importance of providing accurate impact information. (MCVGGA)
- Concern with potential loss of oxygen availability due to reduction on vineyard area, request oxygen-generating ability of grapevines versus native vegetation. (MCVGGA)
- How do the vineyards in the 3rd Supervisorial District compare to data collected from vineyards within the Coastal Zone but in other LA County districts? (MCVGGA; public comments)
- Commenter states the North Area is considered an American Viticulture Area, grape growing region.
- Commenter opposes conversion of habitat into agriculture area.
- Concern grapevines are not permitted in the Coastal Zone. Request for clearer grape policies.
- Request environmental analysis of grapevine agriculture.
- Commenter states Vineyard Ordinance protects 16,223 additional acres than Santa Monica Mountains National Recreation Area.
- Request grapes be a permitted agriculture practice in North Area. Grapes grown in North Area use drip irrigation with no excess run off or downstream pollution and water use is 1/10th to 1/15th the water use of other crops (e.g. avocados, citrus or nuts).

¹ The following acronyms are used herein: **CDFW** = California Department of Fish and Wildlife; **CNPS** = California Native Plant Society; **CPO** = Cornell Preservation Organization; **IHHA** = Indian Hills Homeowners Association; **MCVGGA** = Malibu Coast Vintners and Grape Growers Alliance; **MLCA** = Malibu Lakeside Community Association; **NAHC** = California Native American Heritage Commission; **PRISMM** = Protectors and Residents in the Santa Monica Mountains; **RCDSMM** = Resource Conservation District of the Santa Monica Mountains; **SCAG** = Southern California Association of Governments; **SCAQMD** = Southern California Air Quality Management District; **VCAPCD** = Ventura County Air Pollution Control District; **VCWPD** = Ventura County Watershed Protection District; and **VPA** = Vasa Park Association.

Air Quality

- Commenter recommends use of California Environmental Quality Act Air Quality Handbook in 1993 for guidance when preparing air quality analyses. (SCAQMD)
- Commenter encourages use of CalEEMod land use emissions software as it incorporates up-to-date state and locally approved emission factors and methodologies for estimating pollutant emissions from typical land use development. (SCAQMD)
- Commenter recommends review of the Guidance Document for Addressing Air Quality Issues in General Plans and Local Planning in 2005 when making local planning and land use decisions. (SCAQMD)
- Compare the emission results in Draft EIR to the South Coast Air Quality Management District Air Quality Significant Thresholds. (SCAQMD)
- Request calculating localized air quality impacts and comparing results to localized significance thresholds (LST's). (SCAQMD)
- Identify potential adverse air quality impacts and sources of air pollution that could occur, including from construction, demolition, and indirect sources. (SCAQMD)
- Compare air quality impacts to SCAQMD's regional air quality CEQA thresholds to determine significance. (SCAQMD)
- Request mobile source health risk assessment (if increase in vehicular trips) including heavy-duty diesel-fuel vehicles. (SCAQMD)
- Commenter notes if SMMNAP creates significant air quality impacts, all mitigation measures must go beyond what is required by law to minimize/eliminate impacts. (SCAQMD).
- Include all feasible mitigation measures if there are significant impacts and describe design features that mitigate air quality impacts. (VCAPCD).
- Evaluate all regional local air quality impacts, including reactive compound and nitrogen oxide emissions. (VCAPCD)
- Include in air quality assessment: consistency with air quality plan, odors affecting substantial amount of people, public exposure to high pollutant concentrations, and potential increase of criteria pollutants. (VCAPCD)
- Concern with additional air pollution from vehicles and traffic associated with special events.

Biological Resources

- Analyze areas within SMMNAP that presently or with enhancement could safely facilitate wildlife movement across freeway to access available undeveloped habitat. (CDFW)
- Commenter opposes development on or conversion of wetlands to uplands, all wetlands should be retained and afforded substantial wetland setbacks to maintain wildlife populations. (CDFW)
- Include mitigation measures to compensate for impacts to mature riparian corridors and should compensate for loss of function or value or a wildlife corridor. Wetland delineation of a stream and associated riparian habitats should be included in Draft EIR. (CDFW)
- Must provide written notification to CDFW for activities occurring in streams and/or lakes that will obstruct the natural flow, or change the bed, channel, or bank, or use material from stream and/or lake. Fully identify the potential impacts to the stream or riparian resources and provide adequate avoidance, mitigation, monitoring, and reporting commitments for issuance of the Lake and Streambed Alteration Agreement. (CDFW)
- Concern with adverse impacts to species protected by California Endangered Species Act (CESA), request taking appropriate measures to obtain a take permit from CDFW prior to beginning project. Early consultation with CDFW is encouraged. (CDFW; oral comments)
- Mitigation measures including relocation, salvage, and/or transplantation for rare, threatened, or endangered species is not supported. (CDFW)

- Restoration and revegetation plans should be completed by individuals with expertise in southern California ecosystems and native plant revegetation techniques. Each plan should follow CDFW's outline. (CDFW)
- Concern with vineyards utilizing too much native habitat.
- Include information on the regional setting that is critical to an assessment of environmental impacts should place special emphasis on resources that are rare or unique to the region (CDFW).
- Include assessment of special status plants and natural communities following CDFW's updated protocol. (CDFW)
- Include current inventory of biological resources, rare, threatened and endangered species, and other sensitive species with each habitat type on site and within potential effect area. Acceptable species-specific survey procedures should be developed in consultation with CDFW and USFS. (CDFW)
- Include proximity of extraction activities near water table and include impacts to nearby habitat if supported by groundwater. Discuss mitigation measures proposed to lessen potential impacts. (CDFW)
- Provide discussion of indirect project impacts on biological resources, including evaluation of impacts on wildlife corridor/movement areas. (CDFW)
- Analyze general and specific plans for impact on similar plant communities and wildlife habitats. (CDFW)
- Include mitigation measures to protect Rare Natural Communities, of both regional and significance, from adverse impacts. (CDFW)
- Include mitigation measures to protect sensitive plants, animals, and habitats from impacts. Mitigation measures should encourage avoidance and reduction of impacts. For unavoidable biological impacts, on-site habitat restoration and enhancement should be discussed in detail. If not feasible, off-site mitigation should be addressed. (CDFW)
- Include mitigation measures to protect targeted habitat values from direct and indirect negative impacts. Address the following issues: restrictions on access, proposed land dedications, monitoring and management programs, control of illegal dumping, water pollution, human intrusion, etc. (CDFW)
- CDFW will require nesting bird measures to protect birds during construction and vegetation clearing. Weekly bird surveys for nesting birds shall occur if construction is necessary during breeding season. (CDFW)
- Include detailed heritage and historic tree language when discussing non-native trees. (RCDSMM)
- Evaluate mitigation of native trees to allow for preservation of sublegal-size trees and other incentives for landowners to restore trees, sensitive species, and habitats. (RCDSMM)
- Request preservation of Oak and Sycamore trees. (MLCA)
- Request protection for Scrub Oaks. (MLCA)
- Request mitigation for oaks removed under an emergency permit. (MLCA)
- Request focus on protecting and preserving Significant Ecological Area, associated wildlife corridors, watersheds, and sub-watersheds. (CNPS)
- Request minimal native vegetation removal. (CNPS)
- Include native plant surveys/botanical studies from California Native Plant Biologists and require studies be completed during appropriate time of year (winter/spring). (CNPS; oral comments)
- Include weed management plan. (CNPS)
- Commenter opposes solid fencing, impedes wildlife corridors. (CPO)
- Include arborist recommendation when wrapping oak trees. (CPO)
- Include several agencies before a heritage oak or protected oak is removed. Request no native oaks or heritage oak trees shall be removed without certified arborist present. (CPO)
- Request emergency oak tree permit not be issued without approval from agencies. (CPO)
- Concern with illegal removal of oak trees, encourages education to public to prevent illegal removal of oak trees. (CPO)

- Establish native and heritage tree program, including documentation and mapping. Maximum protection afforded for native oaks, sycamores, black walnuts, and native shrubs. (CNPS)
- Provide discussion of potential conflicts and resolutions for zoning areas of projects near natural areas.
- Concern with impact to tree and plant species in the North Area, request to maintain the number of oak trees.
- Commenter states North Area is home to many endangered species, request consideration to wildlife movement connections, and request careful planning of area.
- Request replacement of plants in S1 if negatively impacted.
- Concern with seasonal evening migrations occurring in corridor. Coyote Pack would frequent area in the evenings, commenter states no longer present in area.
- Commenter states identification of species for basis of EIR include non-native, invasive species, and non-endangered species.
- Brush clearance for new development should not extend past property line to minimize habitat destruction.
- Development should not occur where it will block wildlife connectors.
- Commenter states support for protection of native, heritage, and historic trees and nesting birds and small horse boarding in A-1.
- Commenter list species witnessed on private property Agoura Hills: Coyotes, Raccoons, Deer, Rattlesnakes, Skunks, Scorpions, Squirrels, Tarantulas, Tarantula Hawks, Blue Belly Lizards, Possums, other types of Snakes, and many varieties of birds including, Blue Jays, Hawks, Vultures, Humming Birds, Crows, and the African Parrots, and many more.
- Concern with habitat disturbance and destruction in area.
- Request preservation of wild and wildlife areas, and limited building and development.
- Request for mitigation measures individuals could participate in, including native planting, habitat development, etc.
- Commenter states support for protection of native, heritage, and historic trees and nesting birds and small horse boarding in A-1.
- Concern with new FAA Los Angeles Airport Airline Metroplex routes and impact on noise and local wildlife in the North Area.
- For water infiltration systems, property owners should be allowed to hand-trench around oak trees as it protects trees from the effects of climate change by putting more water in the ground, controlling erosion, building soil, entices trees to grow deeper roots, and provides greater resilience against fires. Property owners should be allowed to dig under oak trees for this reason.
- Consider use of rodenticides on wildlife. Prohibit use of toxic pesticides and herbicides.

Climate Change and Greenhouse Gas

- Analysis should consider combined impacts of climate change; i.e. destructive fires have occurred from climate change over development.

Cultural, Paleontological, and Tribal Cultural Resources

- Request preservation of Chumash history in the North Area.
- NAHC recommends consultation with all California Native American tribes as early as possible to avoid inadvertent discoveries and to protect tribal cultural resources. (NAHC)
- Recommend CHRIS archaeological records search for SMMNAP area. (NAHC)
- If archaeological inventory search is required, preparation of final report is also required. (NAHC)
- Request NAHC be contacted for a Sacred Lands File search and Native American Tribal Consultation List of appropriate tribes for consultation. (NAHC)
- NAHC requires provisions in the mitigation monitoring reporting program including for identification and evaluation of inadvertently discovered archaeological resources, disposition of recovered cultural

items that are not burial associated in consultation with culturally affiliated Native Americans, and treatment and disposition of inadvertently discovered Native American human remains. (NAHC)

- In areas of identified archaeological sensitivity, a certified archaeologist and a culturally affiliated Native American should monitor all ground-disturbing activities. (NAHC)

Cumulative Impacts/Projects

- Do not allow massive developments in the North Area such as *Cornerstone* and *Agoura Village*. The developers stated that these developments would bring in 20,000 car trips per day.
- City of Agoura Hills has a mixed-use development on Agoura Road and Kanan Road with over 225 housing units.
- Intersection of Agoura Road and Kanan Road is already a traffic problem. *Fitness Center* on Agoura Road will create more problems.
- The *FAA Metroplex project* must be considered in the analysis. It has substantially increased airplanes overhead, and increased noise, in the area.

Geology and Soils

- Request analysis of environmental impact of grapevines, including comparison with other agricultural practices (Include documentation from LA County Board of Supervisors with information on vineyard water usage, water runoff and watershed pollution potential, brushfire prevention, and hillside erosion control). (MCVGGA)

Hydrology and Water Quality

- Include impacts to drainage and water table. Applicable mitigation measures should be included. (CDFW)
- Impacts from increased impervious area required to be mitigated to less than significant (as imposed by the County of Los Angeles Public Work guidelines). (VCWPD)
- Request updated policies to CSD require runoff from proposed sites tributary to Ventura County be released at flow rate lower than undeveloped flow rate (to avoid adverse impact downstream in peak, velocity, or duration). Apply Los Angeles County or local standard (whichever is most restrictive). (VCWPD)
- Request drainage report, including VCWPD elements, for proposed development to ensure impacts of increased impervious area are mitigated to less than significant. (VCWPD)
- What data has been collected related to water runoff from vineyards located in the 3rd Supervisorial District? How does this data compare to other LA County Districts? (MCVGGA; public comments)
- Request analysis of environmental impact of grapevines, including comparison with other agricultural practices (Include documentation from LA County Board of Supervisors with information on vineyard water usage, water runoff and watershed pollution potential, brushfire prevention, and hillside erosion control). (MCVGGA)
- Request Los Angeles County devote resources to watershed management. (CNPS)
- Commenter states grape plants use less water than roses.
- Commenter requests consideration of facilitation of infrastructure corridors to ensure water security for owners, residents, and wildlife in Henry Ridge.
- Protect watershed; it cannot endure further damage from fertilizers and unchecked grading and soils.

Land Use and Recreation

- Request building regulations similar to those the California Coastal Commission has on coastal side to preserve native vegetation. (CNPS)
- New development should only be allowed within existing small communities of Santa Monica Mountains, with permanent native vegetation boundary to preserve rural and agricultural history and include building codes to prevent urbanization. (CNPS)

- Include limits on additional vineyard planting, already 200+ established vineyards. (CNPS)
- Evaluate benefits of incentivizing development/upgrade of existing properties so existing property upgrades are encouraged through regulatory review. (RCDSMM)
- Will benefits of winery inspired tourism impact in the Santa Monica Mountains Recreation Area be compared with any attributable impact on environment? Commenter notes Santa Monica Mountains attracts many visitors. (MCVGGA)
- Include clear components of potential vineyard “ban,” put in context with regulations in other Supervisorial Districts in LA County. (MCVGGA)
- Impact of vineyards should be compared with impacts from event spaces and Airbnb rentals. (MCVGGA)
- How do the vineyards in the 3rd Supervisorial District compare to data collected from vineyards within the Coastal Zone but in other LA County districts? (MCVGGA; public comments)
- Evaluate benefits of County-organized market for Transfer of Development Credits so existing developed areas can benefit from purchase of undeveloped and non-conforming lots in certain areas. (RCDSMM)
- Commenter states new regulations should address Hillside development, population, noise and traffic. (IHHA)
- Commenter requests more information on how short-term rentals can be regulated and/or banned due to issues with parking, evacuation, and noise. (MLCA)
- The North Area Plan should consider limiting development. Homes are too large on top of Piuma road.
- Request consideration of overnight camping in Backbone Trail.
- Consider forbidding “illegal dance venues.”
- Request review of federal law when analyzing impacts to recreation and private facilities in the Santa Monica Mountains.
- Santa Monica Mountains are a recreation area with the National Park Service, California State Parks, and Santa Monica Mountains conservancy. Area includes equestrian uses - address in EIR.
- Request North Area not be permitted to hold large events.
- Concern with too many visitors in the North Area.
- Commenter encourages preservation of open lands.
- Commenter states objection to proposed policy prohibiting short-term rentals for less than 30 days. Homeowners have a right to rent a portion of their home or property.
- Concern with restriction on renting rooms in Malibou Lake Area.
- Concern with potential prohibition of short-term rentals.
- Consider guidelines on short-term rentals to a maximum of 30 days.
- Commenter states North Area does not need additional development.
- Commenter states North Area has an agricultural district which varies from coastal area.
- Concern with impact to “Rural” lifestyle.
- Concern with preventing future development in area and effect on North Area.
- Properties adjacent to public lands should not be permitted for brush clearance.
- Concern with reduction in open space in North Area.
- Concern proposed hotel will bring additional traffic and safety concerns (*Note: this project is in the City and not the County jurisdiction*).
- Concern grapevines are not permitted in the Coastal Zone.
- Request preservation of wild and wildlife areas, and limited building and development.
- Request grapes be a permitted agriculture practice in North Area.
- Request for mitigation measures individuals could participate in and observe supported through development process to build sustainable and ecologically sensitive buildings in place of grandfathered structures.

- Concern with new planning standards and effect of “value” on the land.
- Commenter states “working to combat mass development.”
- What are the impacts to the Santa Monica Mountains National Recreation Area? (CNPS)
- Commenter opposes suggested policy limiting the number of events allowed and use of shuttles in area. (VPA)
- Don’t hurt the “little guy” by making regulations over restrictive; allow flexibility and ability to appeal restrictions. Add a people’s ombudsman to help cut through the red tape.
- Triunfo Creek Vineyards are a good neighbor, maintain the facility, and monitor noise; the vineyard provides recreational opportunities to the area. Triunfo Creek Vineyards has been issued Dance Pavilion Permits and has complied with these permits.
- We do not need new regulations we need enforcement and compliance.
- There are no standards for dance pavilions and there are no inspections to ensure compliance. Regulation of commercial outdoor wedding venues is needed such as limit number of facilities, number of guests, limit number that can operate simultaneously, and limit noise from these venues.
- Will revised changes to the SMMNAP-CSD replace existing ordinance such as will the tree provisions replace the Oak Tree Ordinance?
- Do not allow more residential uses in the RR zone.
- Allow single family homes to be expanded by 1,000 square feet or 25%, whichever is greater.

Noise

- Commenter states new regulations should address Hillside development, population, noise and traffic. (IHHA)
- Concern with noise from events at vineyards including dance pavilions. Noise is heard from these venues every weekend and after 10 pm.
- Concern with additional noise pollution from nearby events and increased traffic.
- Concern with current noise regulations and baseline ambient noise, request updated standards and reduce permitted increase to “2 dba or 2 ½ above ambient.”
- Do not allow amplified sound from 8 pm to 8 am for special events (e.g. weddings). Establish an efficient mechanism for issuing violations and enforcement of requirements.
- Concern with new FAA Los Angeles Airport Airline Metroplex routes and impact on noise and local wildlife in the North Area.

Population and Housing

- Review demographic and growth forecasts provided by Southern California Association of Governments Region Wide Forecast estimates. (SCAG)
- Concern with increased housing in Triunfo area, stating issue has gotten worse and County has not addressed.
- Commenter states new regulations should address Hillside development, population, noise and traffic. (IHHA)
- Describe effect of the SMMNAP update on housing stock and future development; describe number of homes that have been built in the North Area and signed-off for occupancy. Describe effect of EIR and Plan/CSD would have on number of homes built in the area.

Public Services, Utilities, and Service Systems

- Request consideration of on-site wastewater treatment regulation to encourage existing systems over new systems. (RCDSMM)
- Request Los Angeles County create formula to apply to new development that determines the initial and long-term maintenance costs to infrastructure. (CNPS)
- What protections are being afforded Malibu Canyon? (CNPS)
- Concern with oversight/regulation of dance pavilions for safety reasons.

- Concern with safety and gang violence in the North Area.
- Concern with safety when fire lanes are blocked.
- Concern with law enforcement in area, how will it be enforced?
- Concern proposed hotel will bring additional safety concerns and pose danger to local homes.

Transportation and Traffic

- Encourage the use of a side-by-side comparison of Southern California Association of Government's 2016 Regional Transportation Plan/ Sustainable Communities Strategies (RTP/SCS) goals with discussions of the consistency, non-consistency or non-applicability of the goals and supportive analysis in a table. (SCAG)
- Commenter recommends review of final EIR for Southern California Association of Government's 2016 Regional Transportation Plan/ Sustainable Communities Strategies (RTP/SCS) for guidance. (SCAG)
- Commenter recommends North Area Plan update shall incorporate multi-modal and complete streets transportation elements to promote alternative car use. (Caltrans)
- Sound walls (or equivalent) shall be implemented in zoning and guidelines for residential development near large roadways. (Caltrans)
- Caltrans seeks to work with County to develop projects with safer connectivity for pedestrians and bicycles. (Caltrans)
- Recommend planning for improvement of alternative transportation such as transit stops, bus bays, etc. to accommodate traffic flow. (Caltrans)
- Request evaluation of future development for access problems, VMT and service needs. (Caltrans)
- Request for addition of scope or binding regulation for limiting traffic in area. (IHHA)
- Commenter states new regulations should address Hillside development, population, noise and traffic. (IHHA)
- Request consideration of new housing developments near Agoura Road and Kanan Road when completing traffic study. (PRISMM)
- Request protections of Kanan Road as a Scenic Highway in LCP are reflected in North Area Plan. (PRISMM)
- Concern with additional cars/traffic from events and nearby facilities, such as weddings, near Triunfo Canyon.
- Request for mitigation to address entry/exit points in North Area in case of an emergency.
- Concern with impacts to emergency vehicles during times with high traffic.
- Concern with effects to and current traffic and ingress/egress, including with new developments, in North Area.
- Commenter states vineyards contribute to additional traffic.
- Request traffic study be completed during the weekend due to additional traffic from event facilities.
- Concern with lack of adequate parking, request better enforcement or "No Parking" signs.
- Concern with excessive speeding near wildlife crossings and equestrians.
- Concern with retail vendors on Kanan Road, increase in safety and traffic concerns.
- Concern with safety and traffic of two lane Kanan Road.
- Concern increase in traffic will interfere with public access to beach through Topanga, Las Virgenes Road, and Kanan Road.
- Concern proposed hotel will bring additional traffic and interfere with access to the Santa Monica Mountains and ocean.
- Concern with collisions and traffic from Las Virgenes and Malibu Canyon, commenter suggests consideration of toll road.
- Concern with car crashes due to street racing on Piuma Road.

Wildland Fire and Hazards

- Concern with land management planning documents governing wildfire risk reduction practices by various entities may lack adequate impact analysis, and avoidance or mitigation measure for biological resources. Sensitive species can be adversely impacted by wildfire risk reduction activities. (CDFW)
- Request fully describe if the County will authorize the fire department, private residences or their agents to conduct brush clearing in the SMMNAP area, and if brush clearing activities may disturb special status species and vegetative communities. (CDFW)
- Request to include preconstruction surveys, avoidance, and mitigation measure for brush clearing activities within SMMNAP area. (CDFW)
- Request to include evaluation of alternatives to reduce impacts from brush clearing, including targeted thinning, placement of walls, and structural/building features. (CDFW)
- Request mandating fire safe California native horticultural practices for new development. (CNPS)
- Request analysis of environmental impact of grapevines, including comparison with other agricultural practices (Include documentation from LA County Board of Supervisors with information on vineyard water usage, water runoff and watershed pollution potential, brushfire prevention, and hillside erosion control). (MCVGGA)
- Request native habitat protection from invasive species due to increased fire risk.
- Concern with fire danger in the area, request additional brush management policies.
- Commenter notes lack of brush management plan to control fires.
- Commenter states vineyards act as fire breaks, request analysis of vineyards as natural fire breaks.
- Request defensible fuel breaks in the North Area for fire safety.
- Concern with vineyard “1000-foot wells” and their effect on neighboring wells and fires.
- Concern with preventing future development, due to poor weed abatement there is increase in wildfire danger.
- Require new development to provide own fire defense and site area for fire susceptibility.
- Concern with private property owners’ ability to defend against wildfires in Santa Monica Mountains.
- Concern with smoking in area and uneducated visitors in “High Fire Danger Zone.”
- Concern with potential impacts for forest fires from street racing on Piuma Road.
- How will the proposed Plan/CSD updates affect the current Fuel Modification Regulations?
- Will proposed regulations require an increase in fire insurance rates?

General EIR Comments

- Draft EIR should include discussion of purpose and need for, and description of proposed project, including all staging areas and access routes for construction. (CDFW)
 - Include discussion of impacts from lighting, noise, human activity, exotic species, and drainage. (CDFW)
 - Request to develop cumulative effects analysis. (CDFW)
 - If permit is required from South Coast Air Quality Management District (SCAQMD), SCAQMD shall be identified as a responsible agency. (SCAQMD)
 - Provide analysis of successful LCP elements. (RCDSMM)
- Commenter states concern with environmental consulting firm’s ability to correctly address impacts of vineyards. (MCVGGA)
- Concern with necessity of further protections in North Area.
- Request additional effort from City and County in implementing North Area Guidelines.
- The draft North Area Plan and CSD should have been issued along with the Notice of Preparation (NOP). Also, the NOP did not disclose the probable environmental effects and there is no indication that an Initial Study was prepared for the project.

- The scoping meeting was not conducted properly as it was divided into two sessions as the room could not accommodate all attendees at one time.

Alternatives

- Include a range of feasible alternatives to ensure that alternatives to the project are fully considered and evaluated. (CDFW)
- Alternatives should avoid or minimize impacts to sensitive biological resources, including wetlands. Alternative locations should be evaluated in areas with lower resource sensitivity when appropriate. (CDFW).
- Commenter notes if SMMNAP creates significant air quality impacts, adequate discussion and consideration of alternatives that lessen impacts shall occur. (SCAQMD)

Issues Not Related to EIR

- Incentivize “good environmental stewardship.” (RCDSMM)
- Commenter requested tax write off and community education to prevent illegal removal of oak trees. (CPO)
- Commenter provides fire evacuation information regarding Vasa Park Association and surrounding community. (VPA)
- Request for certified arborist to provide Sycamore Tree trimming on Vasa Park property. (VPA)
- Commenter states area needs protection from social and economic supporters of development. (IHHA)
- Commenter provides information regarding EIR process and expresses discontent with public use of funds to address the EIR scope if there are no improvements to traffic, noise and population increase. (IHHA)
- Request for community level assessment to be an added tax. (CNPS)
- Commenter states the public benefits from winery tourism. (MCVGGA)
- Request for review of additional possible agriculture practices in North Area.
- Commenter states wineries are major asset to area.
- Commenter states need for Native American history museum in Los Angeles.
- Commenter requests exemption from brush clearing requirement on personal property.
- Commenter states rental space is good use for elders and raising children.
- Commenter states North Area should be consistent with Sacramento regarding housing crisis.
- Request for more convenient scoping meeting location.
- Request for appellate process to address violations on property.
- Commenter states County adds restraints for residents attempting to build private roads.
- Request for protection of private property owners from excessive visitor use.
- Concern updating North Area Plan will reduce property values by half.
- Commenter states unable to receive insurance on private property.
- Request for renewable energy be added to older buildings.
- Commenter states comments requested for North Area Plan updates should not occur before proposed update is released.
- Request appeals process for LCP habitat categories on property.
- Request review of vineyard applications County has received for the North Area versus those that have been implemented.
- Concern decision making by Department of Regional Planning is based on outdated studies.
- Airline traffic (FAA Metroplex Project) has increased in the North Area, which brings added noise to the area.

Appendix 2-2

Notice of Preparation



Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director

NOTICE OF PREPARATION OF A DRAFT ENVIRONMENTAL IMPACT REPORT AND PUBLIC SCOPING MEETING

DATE: August 1, 2018

PROJECT TITLE: Environmental Impact Report for the Santa Monica Mountains North Area Plan and Community Standards District Update

PROJECT LOCATION: The Santa Monica Mountains North Area includes 33 square miles of unincorporated Los Angeles County lands from the US 101 freeway corridor south to the coastal zone boundary. The North Area includes portions of the Santa Monica Mountains National Recreation Area administered by the National Park Service, California State Park lands, and other protected areas.

The County of Los Angeles, Department of Regional Planning ("County"), as the lead agency pursuant to the California Environmental Quality Act ("CEQA"), intends to prepare a Program Environmental Impact Report ("EIR") for updates to the Santa Monica Mountains North Area Plan and North Area Community Standards District. The County has prepared this Notice of Preparation ("NOP") to provide responsible agencies, trustee agencies, and other interested parties with information describing these updates (project), provide notice that an EIR will be prepared, identify the project's potential environmental effects, and ***to solicit your input on the scope and content of the EIR.***

PROJECT LOCATION AND ENVIRONMENTAL SETTING

The Santa Monica Mountains (SMM) North Area is in the western portion of Los Angeles County and includes privately-owned and publicly-owned lands. The project area encompasses 30-square miles of unincorporated lands generally bounded by Ventura County and the City of Westlake Village to the west, Ventura County and local cities in Los Angeles County to the north, the City of Los Angeles to the east, and the coastal zone portion of the Santa Monica Mountains to the south (see figure). The US 101 Freeway is the major transportation corridor that provides regional access to the North Area.

The SMM North Area generally consists of five varying land types: urbanized areas, rural residential, ranches, vineyards, and open space. This planning area supports large blocks of undisturbed open space separating urban development along the US 101 Freeway from protected open space in the Santa Monica Mountains. Approximately 35 percent of the North Area consists of conservation and park lands.

The mountainous topography and limited road system has shaped development in the North Area. Many of the residential communities occur in or near park lands or natural areas supporting biological resources. The project area supports a wide variety of sensitive plants and wildlife, unique geologic features, important wildlife linkages, and aquatic features. Several state and federally listed species, as well as numerous California Species of Special Concern and rare plants, are in the North Area.

PROJECT SUMMARY

The County is proposing comprehensive updates to the policies of the SMM North Area Plan ("SMMNAP") and to development standards in the SMM North Area Community Standards District ("CSD"). The SMMNAP is a component of the County's General Plan with focused objectives and policies for the SMM North Area. The CSD implements the policies of the SMMNAP and includes development standards that

are specific to the North Area. The updates are proposed to address concerns that have developed since the adoption of the SMMNAP in 2000, to strengthen existing environmental resources policies, and to identify policies and standards that continue to support the community's rural and semirural lifestyle. In addition, the County is updating the SMMNAP and CSD to be in alignment on many of the environmental protection policies in the recently certified Santa Monica Mountains Local Coastal Program ("LCP"). Land use regulations and environmental protections in the coastal zone and in the SMM North Area should be consistent for these two areas within the Santa Monica Mountains. Lastly, some of the SMMNAP policies adopted in 2000 have not been implemented in the North Area CSD, including development standards for signs, vegetation management, and water resources protections; these issues will be addressed in the proposed updates.

Proposed Policies and Development Standards

The County conducted public meetings with community members and met with the equestrian community to receive input on issues to be addressed in the SMMNAP-CSD Update. Based on the input received, the County identified the following key areas that will be addressed in the update.

Habitat Protection

- Adopt habitat protection categories and policies/development standards to protect sensitive biological resources, but allow for continued development within the North Area. The County conducted a biological assessment of the SMM North Area to document the key biological resources and establish habitat categories for resource protection. These categories are summarized below:
 - **S1** = rare/very sensitive habitat, development limited to resource dependent development only
 - **S2** = sensitive habitat, development must avoid and minimize impacts to habitat
 - **S3** = disturbed habitat, development less restricted
 - **S4** = previously developed land, development permitted

Equestrian Standards

- Allow small horse boarding by right in A-1 zones
- Require best management practices (BMPs) such as runoff diversion, waste management and wrapping oak tree trunks
- Require vested legally-established equestrian facilities to comply with BMPs

Expanded Tree Protections

- Require a Protected Tree Permit to remove or encroach on a native tree species
- Establish Heritage Tree Protections that allow species that add value to the landscape or ecosystem to be registered and afforded the same protections as smaller native trees (trunk size more than 36 inches in diameter)
- Establish a Historic Tree policy/standard to address trees that are culturally or historically significant to the area or on a list of Historic Places
- Add policy/standard for protection of nesting birds that covers tree removal and/or construction near trees during bird nesting season, also add requirements during non-bird nesting season

Special Events (including dance pavilions)

- Add regulations that address noise, traffic, lighting, emergency evacuation, and breakdown and setup times
- Define and add Special events as a use allowed in specific zones as either a primary or accessory use
- Explore need for new ambient noise level for the North Area in coordination with County Public Health Department

Short-Term Rentals

- Establish policy/standard for prohibiting rental of rooms for less than 30-day stays to discourage home-sharing and “Airbnb”-type uses

Other Policies and Standards

- Add application review procedures including need for biological studies if development is in an area with sensitive biological resources
- Add policies/development standards for scenic resource areas, scenic routes, visual resources, significant ridgelines, outdoor lighting and grading, as examples.

POTENTIAL ENVIRONMENTAL EFFECTS OF THE PROJECT

The County has determined that an EIR will be required to satisfy environmental review for the proposed project. Therefore, as allowed under CEQA Guidelines Section 15060(d), the County has not prepared an Initial Study and will instead begin work directly on the EIR. The EIR will focus on the potentially significant effects of the project, discuss any effects found not to be significant (CEQA Guidelines Section 15128) and will assess the direct, indirect, and cumulative impacts, as well as growth-inducing effects. The EIR will include an evaluation of the following environmental issues:

- | | |
|-----------------------------------|---------------------------------|
| ■ Aesthetics | ■ Noise |
| ■ Air Quality | ■ Population and Housing |
| ■ Cultural Resources | ■ Public Services |
| ■ Geology and Soils | ■ Recreation |
| ■ Greenhouse Gas Emissions | ■ Transportation and Traffic |
| ■ Hazards and Hazardous Materials | ■ Tribal Cultural Resources |
| ■ Hydrology/Water Quality | ■ Utilities and Service Systems |
| ■ Land Use and Planning | |

PUBLIC REVIEW PERIOD

The scoping comment period for the NOP begins on Wednesday August 1, 2018 and ends on Friday August 31, 2018. Please submit all written comment letters no later than 5 pm on August 31, 2018.

Please send by mail to the following address:

Anita D. Gutierrez, MPL, AICP | Supervising Regional Planner
Community Studies West Section
Los Angeles County Department of Regional Planning
320 W. Temple Street, 13th Floor | Los Angeles, CA 90012

For email submittal of your comment letter, send to: smnortharea@planning.lacounty.gov

Any comments provided should identify specific topics of environmental concern and your reason for suggesting the study of these topics in the EIR. ***All written comment letters/emails will be included in an appendix in the Draft EIR and the contents considered in the preparation of the EIR.***

PUBLIC SCOPING MEETING

The County will conduct a public scoping meeting to solicit oral and written comments from interested parties on the scope and content of the EIR. All interested parties are invited to attend the scoping meeting to assist in identifying issues to be addressed in the EIR.

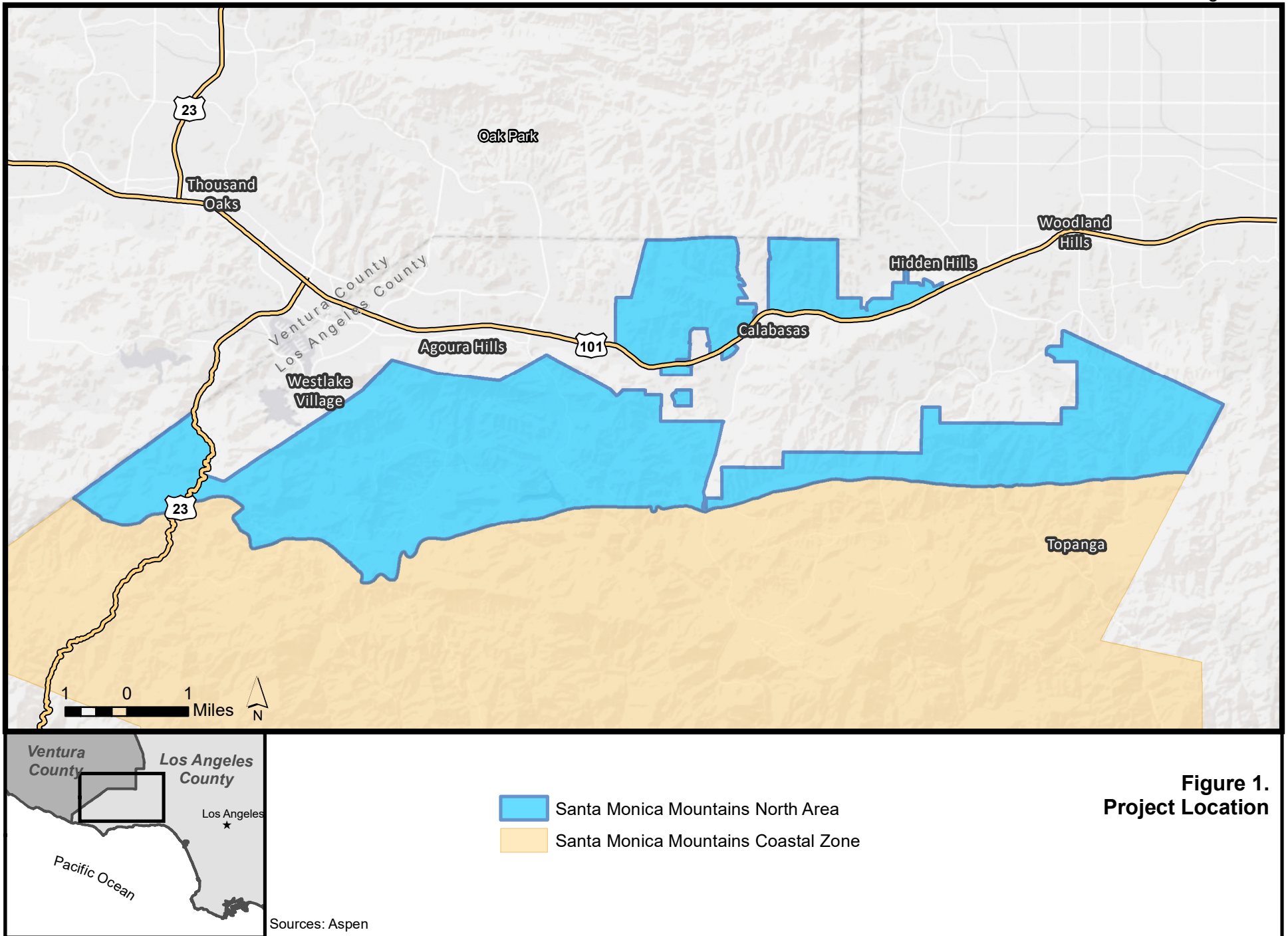
The scoping meeting will include a brief presentation of the proposed updates to the SMMNAP-CSD to be addressed in the EIR, a summary of the EIR process, and will provide attendees with an opportunity to provide input to the scope and content of the EIR. The scoping meeting will be held on August 21, 2018

from 6:00 p.m. to 7:30 p.m. For the convenience of property owners and residents in the North Area, the scoping meeting will be held at:

Los Angeles County Field Office - Calabasas
26600 Agoura Road
Calabasas, California, 91302
(213) 974-6465

PROJECT WEBSITE

For more information and to stay informed on the progress of the EIR and updates to the SMMNAP and CSD, please visit the project website at: <http://planning.lacounty.gov/smmnap>



Appendix 2-3

Public Notices

Jerry Brown, Governor



STATE CLEARINGHOUSE

SUMMARY

OF

POSTINGS

July 16 – 31, 2018

CEQA Daily Log

Documents Received during the Period: 07/16/2018 - 07/31/2018

SCH Number	Title / Lead Agency / City--County / Description	Document Type	Ending Date
<u>Documents Received on Friday, July 27, 2018</u>			
2018071065	Santa Monica Mountains North Area Plan and CSD update Los Angeles County Calabasas, Agoura Hills, Los Angeles, City of--Los Angeles The County is proposing comprehensive updates to the policies of the SMM North Area Plan ("SMMNAP") and to development standards in the SMM North Area Community Standards District ("CSD").	NOP	08/27/2018
2018072065	10th and O Street Office Building Project General Services, Department of Sacramento--Sacramento The project would demolish the existing surface parking and construct a new office building with approx. 488,000 gsf of office space, max. height of 150-feet, occupancy of approx. 2,000 staff, plus limited parking. Project purpose is to consolidate/upgrade regional State office space. It is anticipated that staff occupying the new office building would be legislative staff, staff from other leased space in the region, and/or from one or more other State-owned buildings slated for eventual renovation/upgrade. The project may also include ground-level commercial space and would be connected to the State's Central Plant for heating/cooling. IN accordance with State policy, the building would be zero net energy (ZNE) facility.	NOP	08/27/2018
2018072068	3005 Democracy Way Mixed-Use Development Project Santa Clara, City of Santa Clara--Santa Clara The project would demolish the existing office buildings and establish a new mixed-use neighborhood that provides a transit-oriented "live, work, play, and shop" environment. The project would include up to 6.15 M gsf of residential uses, 3.65 M gsf of office buildings, 400,000 gsf of retail/community amenities, 300,000 gsf of hotel facilities, and 110,000 gsf of educational facilities. In total, the project would include up to 10.61 M gsf of uses. Parking would be provided in subsurface and structured parking facilities. Up to 8 acres of publicly-accessible and 8 acres of private parks/open spaces would be provided. The project would also provide new pedestrian/vehicular entrances and roadway networks, upgraded/expanded infrastructure, a new electrical substation, and improvements to the Hetch Hetchy ROW.	NOP	08/27/2018
2018071066	Kings Canyon Expressway, Segment 1 - Excess Lands Caltrans #6 Sanger--Fresno Caltrans proposes to sell parcel DD 82947-01-02 (APN 313-082-48T) and to disclose information on parcel DD 83441-01-01 (APN 314-043-07T). While both parcels are on the Cortese List, Fresno County determined the leaks at each site were remediated and closed each case. Caltrans has determined the parcels were unlikely to have hazardous waste contamination or residual contamination and were approved for disposal/relinquishment. Although parcel DD 83441-01-01 was sold to the current property owner in Nov 2017, upon re-evaluation of the CE prepared for the parcel, Caltrans determined that an IS should be prepared to adequately satisfy the requirements of the CEQA.	Neg	08/27/2018



Los Angeles County
Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director

August 1, 2018

TO: Registrar-Recorder/County Clerk

FROM: **Anita Gutierrez, AICP** 
Supervising Regional Planner
Community Studies West Section

**NOTICE OF PREPARATION (NOP) – DRAFT ENVIRONMENTAL IMPACT REPORT
(EIR) FOR SANTA MONICA MOUNTAINS NORTH AREA PLAN UPDATE AND
COMMUNITY STANDARDS DISTRICT (CSD) UPDATE**

SANTA MONICA MOUNTAINS NORTH AREA PLAN UPDATE
PLAN NUMBER: RPPL2017-005966

SANTA MONICA MOUNTAINS CSD UPDATE
PROJECT NUMBER: 2017-005967

POSTING INSTRUCTIONS

Please post the provided Notice of Preparation of a Draft EIR for the time period listed below:

START DATE: Wednesday August 1, 2018
END DATE: Friday August 31, 2018

PAYMENT OF FILING FEES

Please process payment of posting/filing fees for the Notice of Availability of a Draft EIR for the above-referenced project via Journal Voucher to the Department of Regional Planning.

The billing code is as follows: Customer Code: 5023

\$75.00 Registrar-Recorder processing fee

Total Billing Fee: \$ 75.00

Any billing questions can be directed to **Karen Chin** at (213) 974-6489 and for questions regarding the attachments, please contact **Luis Duran** at (213) 974-6465 or via email at LDuran@planning.lacounty.gov, Monday through Thursday from 7:30 AM to 5:30 PM. Our offices are closed on Fridays.

AJB:KC:AG:LD



Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director

LOS ANGELES COUNTY CLERK

JUL 30 2018

ORIGINAL FILED

NOTICE OF PREPARATION OF A DRAFT ENVIRONMENTAL IMPACT REPORT AND PUBLIC SCOPING MEETING

DATE: August 1, 2018

PROJECT TITLE: Environmental Impact Report for the Santa Monica Mountains North Area Plan and Community Standards District Update

PROJECT LOCATION: The Santa Monica Mountains North Area includes 33 square miles of unincorporated Los Angeles County lands from the US 101 freeway corridor south to the coastal zone boundary. The North Area includes portions of the Santa Monica Mountains National Recreation Area administered by the National Park Service, California State Park lands, and other protected areas.

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The County conducted public meetings with community members and met with the equestrian community to receive input on issues to be addressed in the SMMNAP-CSD Update. Based on the input received, the County identified the following key areas that will be addressed in the update.

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- Add policies/development standards for scenic resource areas, scenic routes, visual resources, significant ridgelines, outdoor lighting and grading, as examples.

POTENTIAL ENVIRONMENTAL EFFECTS OF THE PROJECT

The County has determined that an EIR will be required to satisfy environmental review for the proposed project. Therefore, as allowed under CEQA Guidelines Section 15060(d), the County has not prepared an Initial Study and will instead begin work directly on the EIR. The EIR will focus on the potentially significant effects of the project, discuss any effects found not to be significant (CEQA Guidelines Section 15128) and will assess the direct, indirect, and cumulative impacts, as well as growth-inducing effects. The EIR will include an evaluation of the following environmental issues:

- | | |
|-----------------------------------|---------------------------------|
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| ■ Air Quality | ■ Population and Housing |
| ■ Cultural Resources | ■ Public Services |
| ■ Geology and Soils | ■ Recreation |
| ■ Greenhouse Gas Emissions | ■ Transportation and Traffic |
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| ■ Land Use and Planning | |

PUBLIC REVIEW PERIOD

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Please send by mail to the following address:

Anita D. Gutierrez, MPL, AICP | Supervising Regional Planner
Community Studies West Section
Los Angeles County Department of Regional Planning
320 W. Temple Street, 13th Floor | Los Angeles, CA 90012

For email submittal of your comment letter, send to: smmnortharea@planning.lacounty.gov

Any comments provided should identify specific topics of environmental concern and your reason for suggesting the study of these topics in the EIR. ***All written comment letters/emails will be included in an appendix in the Draft EIR and the contents considered in the preparation of the EIR.***

PUBLIC SCOPING MEETING

The County will conduct a public scoping meeting to solicit oral and written comments from interested parties on the scope and content of the EIR. All interested parties are invited to attend the scoping meeting to assist in identifying issues to be addressed in the EIR.

The scoping meeting will include a brief presentation of the proposed updates to the SMMNAP-CSD to be addressed in the EIR, a summary of the EIR process, and will provide attendees with an opportunity to provide input to the scope and content of the EIR. The scoping meeting will be held on August 21, 2018

from 6:00 p.m. to 7:30 p.m. For the convenience of property owners and residents in the North Area, the scoping meeting will be held at:

Los Angeles County Field Office - Calabasas
26600 Agoura Road
Calabasas, California, 91302
(213) 974-6465

PROJECT WEBSITE

For more information and to stay informed on the progress of the EIR and updates to the SMMNAP and CSD, please visit the project website at: <http://planning.lacounty.gov/smmnap>

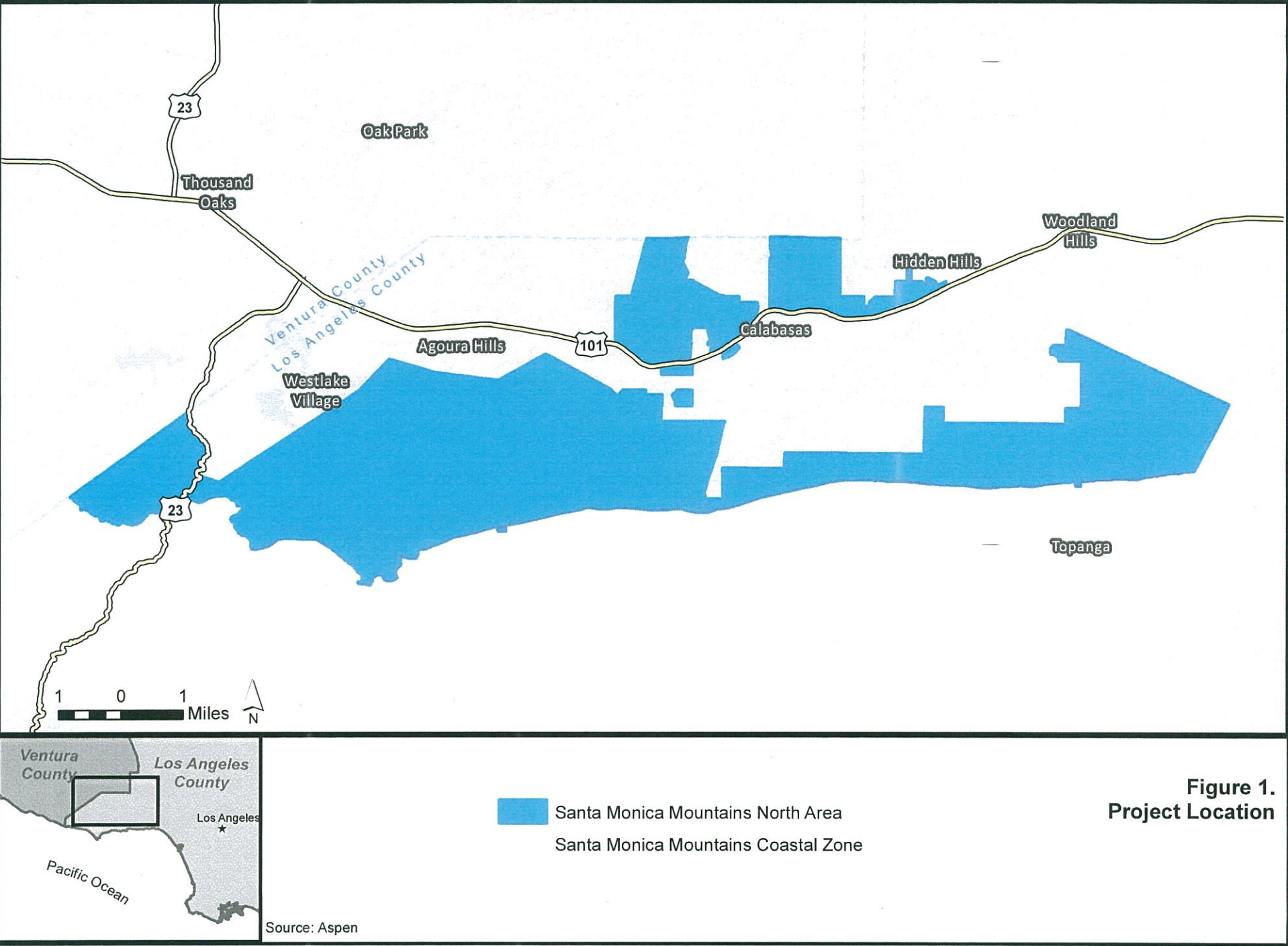


Figure 1.
Project Location

Dean C. Logan
Los Angeles County Registrar / Recorder
12400 Imperial Highway, Norwalk, CA
(800)201-8999

BUSINESS FILINGS REGISTRATION

NORWALK DEPARTMENT HEADQUARTER

Cashier: D. ATKINS



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Monday, July 30, 2018 8:51 AM

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NoP - County Posting Fee 2018186681	1	\$0.00

Total **\$0.00**

Total Documents: 1

Customer payment(s):

THE MALIBU TIMES

3864 Las Flores Canyon Road
Malibu, California 90265
(310) 456-5507

PROOF OF PUBLICATION (2015.5 C.C.P.)

STATE OF CALIFORNIA,
COUNTY OF LOS ANGELES,

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above-entitled matter. I am the principal clerk of the printer of the

The Malibu Times

a newspaper of general circulation, printed and published Every Thursday

in the City of Malibu
County of Los Angeles, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the County of Los Angeles, State of California, under the

date of December 1, 1988,

Case Number C704330; that the notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, to-wit:

8/2

all in the year 2018.
I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at Malibu

California, this 2nd day of August, 2018.

Haley Davis
Signature

This space is for the County Clerk's Filing Stamp

Proof of Publication of

CNS-3157760#

NOTICE OF PREPARATION OF A DRAFT ENVIRONMENTAL IMPACT REPORT AND PUBLIC SCOPING MEETING

DATE: August 1, 2018

PROJECT TITLE: Environmental Impact Report for the Santa Monica Mountains North Area Plan and Community Standards District Update Plan Number: RPPL2017005966, RPPL2017005967

PROJECT LOCATION: The Santa Monica Mountains North Area includes 33 square miles of unincorporated Los Angeles County lands from the US 101 freeway corridor south to the coastal zone boundary. The North Area includes portions of the Santa Monica Mountains National Recreation Area administered by the National Park Service, California State Park lands, and other protected areas.

The County of Los Angeles, Department of Regional Planning (County), as the lead agency pursuant to the California Environmental Quality Act (CEQA), intends to prepare a Program Environmental Impact Report (EIR) for updates to the Santa Monica Mountains North Area Plan (SMMNAP) and North Area Community Standards District (CSD). The County has prepared this Notice of Preparation (NOP) to provide responsible agencies, trustee agencies, and other interested parties with information describing these updates (project), provide notice that an EIR will be prepared, identify the project's potential environmental effects, and **to solicit your input on the scope and content of the EIR.**

PROJECT LOCATION AND ENVIRONMENTAL SETTING: The Santa Monica Mountains (SMM) North Area is in the western portion of Los Angeles County and includes privately-owned and publicly-owned lands. The project area encompasses 30-square miles of unincorporated lands generally bounded by Ventura County and the City of Westlake Village to the west, Ventura County and local cities in Los Angeles County to the north, the City of Los Angeles to the east, and the coastal zone portion of the SMM to the south (see figure). The US 101 Freeway is the major transportation corridor that provides regional access to the North Area.

PROJECT SUMMARY: The County is proposing comprehensive updates to the policies of the SMMNAP and to development standards in the SMM North Area CSD. The SMMNAP is a component of the County's General Plan with focused objectives and policies for the SMM North Area. The CSD implements the policies of the SMMNAP and includes development standards that are specific to the North Area. The updates are proposed to address concerns that have developed since the adoption of the SMMNAP in 2000, to strengthen existing environmental resources policies, and to identify policies and standards that continue to support the community's rural and semirural lifestyle. In addition, the County is updating the SMMNAP and CSD to be in alignment on many of the environmental protection policies in the recently certified SMM Local Coastal Program. Land use regulations and environmental protections in the coastal zone and in the SMM North Area should be consistent for these two areas within the SMM. Lastly, some of the SMMNAP policies adopted in 2000 have not been implemented in the North Area CSD, including development standards for signs, vegetation management, and water resources protections; these issues will be addressed in the proposed updates.

POTENTIAL ENVIRONMENTAL EFFECTS OF THE PROJECT: The County has determined that an EIR will be required to satisfy environmental review for the proposed project. Therefore, as allowed under CEQA Guidelines Section 15060(d), the County has not prepared an Initial Study and will instead begin work directly on the EIR. The EIR will focus on the potentially significant effects of the project, discuss any effects found not to be significant (CEQA Guidelines Section 15128) and will assess the direct, indirect, and cumulative impacts, as well as growth-inducing effects. The EIR will include an evaluation of the following environmental issues: Aesthetics, Air Quality, Cultural Resources, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology/Water Quality, Land Use and Planning, Noise, Population and Housing, Public Services, Recreation, Transportation and Traffic, Tribal Cultural Resources, Utilities and Service Systems.

PUBLIC REVIEW PERIOD: The scoping comment period for the NOP begins on Wednesday August 1, 2018, and ends on Thursday August 31, 2018. Please submit all written comment letters no later than 5:00 p.m. on August 31, 2018.

Please send by mail to the following address:

Anita D. Gutierrez, MPL, AICP, Supervising Regional Planner, Community Studies West Section, Los Angeles County Department of Regional Planning, 320 W. Temple Street, 13th Floor, Los Angeles, CA 90012.

For email submittal of your comment letter, send to: SMM-NorthArea@planning.lacounty.gov

Any comments provided should identify specific topics of environmental concern and your reason for suggesting the study of these topics in the EIR. **All written comment letters/emails will be included in an appendix in the Draft EIR and the contents considered in the preparation of the EIR.**

PUBLIC SCOPING MEETING: The County will conduct a public scoping meeting to solicit oral and written comments from interested parties on the scope and content of the EIR. All interested parties are invited to attend the scoping meeting to assist in identifying issues to be addressed in the EIR.

The scoping meeting will include a brief presentation of the proposed updates to the SMMNAP-CSD to be addressed in the EIR, a summary of the EIR process, and will provide attendees with an opportunity to provide input to the scope and content of the EIR. The scoping meeting will be held on **August 21, 2018, from 6:00 p.m. to 7:30 p.m.** For the convenience of property owners and residents in the North Area, the scoping meeting will be held at: Los Angeles County Field Office - Calabasas, 26600 Agoura Road, Calabasas, CA 91302 - (213) 974-6465

Project Website: For more information and to stay informed on the progress of the EIR and updates to the SMMNAP and CSD, please visit the project website at: <http://planning.lacounty.gov/smmnap>

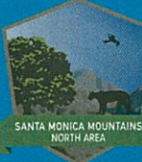
8/2/18
CNS-3157760#
MALIBU TIMES



YOU ARE INVITED!

EIR Scoping Meeting

August 21, 2018
6:00 p.m - 7:30 p.m.



The Los Angeles County Department of Regional Planning is currently preparing an update to its Santa Monica Mountains North Area Plan (NAP) and Community Standards District (CSD). The update will include new goals and regulations for development in the Santa Monica Mountains North Area community. An Environmental Impact Report (EIR) will be prepared for the NAP and CSD update.

The County, as the lead agency pursuant to the California Environmental Quality Act (CEQA), will hold a public scoping meeting to solicit oral and written comments from interested parties on the scope and content of an EIR. Copies of the Notice of Preparation (NOP) are available for review at www.planning.lacounty.gov/smmnap and at the Topanga Public Library. The County will also conduct further outreach to receive comments on the draft of the North Area Plan and CSD in Fall 2018.

MEETING DATE: Tuesday, August 21, 2018

Location:

Los Angeles County Calabasas Field Office
26600 Agoura Road, #100
Calabasas, CA 91302

Time: 6:00 P.M. - 7:30 P.M.

For more information please contact Los Angeles County Regional Planning at (213) 974-6465 or (213) 974-6422
E-MAIL: SMMNorthArea@planning.lacounty.gov
or VISIT OUR WEBSITE AT: <http://planning.lacounty.gov/smmnap>

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<https://www.facebook.com/LACDRP>



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Los Angeles, CA 90012





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Santa Monica Mountains North Area EIR Scoping Meeting - 8/21/2018

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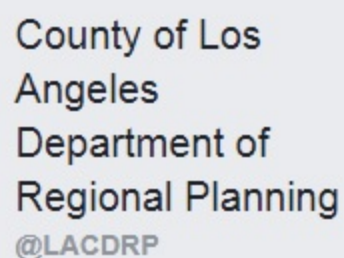
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AVCSD
- Event – 23 Aug 05:55 PM
Pat Hachiya
- AVCSDs Project Schedule and Timeline
AVCSD
- REMINDER: Santa Monica Mountains North Area EIR Scoping Meeting
Pat Hachiya
- East San Gabriel Valley Area Plan
Norman Ornelas Jr
- AVCSD Update: August 9, 2018
AVCSD
- Newsletter – Aug 6
Pat Hachiya
- AVCSD Update: August 2, 2018
AVCSD
- Update – 25 Jul 02:25 PM
Richard Marshalian
- Santa Monica Mountains North Area EIR Scoping Meeting
Pat Hachiya ☒

« 1 2 3 4 5 »

Selected Promotions

- Santa Monica Mountains North Area EIR Scoping Meeting
Pat Hachiya ☒



Info and Ads

#SantaMonicaMountains North Area Plan & CSD Notice of Preparation

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TONIGHT! Santa Monica Mountains North Area Community Meeting regarding EIR Notice of Preparation

The Los Angeles County Dept of Regional Planning is currently preparing an update to its Santa Monica Mountains North Area Plan (NAP) and Community Standards District (CSD). The update will include new goals and regulations for development in the Santa Monica Mountains North Area community. An Environmental Impact Report (EIR) will be prepared for the NAP and CSD update.

Notice of Preparation (NOP) outlining the scope and content of the EIR is out for public comments! Submit written comments between 8/1 - 8/31 or give oral comments at the EIR Scoping meeting on 8/21 from 6:00 - 7:30 pm.

Find out more info and read the NOP here: bit.ly/2O2NCg9




For questions, contact us at (213) 974-6425 or SMMNorthArea@planning.lacounty.gov



YOU ARE INVITED!

EIR Scoping Meeting

August 21, 2018
6:00 p.m - 7:30 p.m.



The Los Angeles County Department of Regional Planning is currently preparing an update to its Santa Monica Mountains North Area Plan (NAP) and Community Standards District (CSD). The update will include new goals and regulations for development in the Santa Monica Mountains North Area community. An Environmental Impact Report (EIR) will be prepared for the NAP and CSD update.

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LA County Planning
@LACDRP

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1,756

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1

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LA County Planning @LACDRP · Aug 1

Welcome Adonis! 🐾 Verdugo Mountains is a Significant Ecological Area (#SEA)! SEAs are officially designated areas within #LACounty with irreplaceable biological resources. Find out more about SEAs here: bit.ly/2ExKIRi



LAist @LAist

Meet Adonis, the new mountain lion in town. He's kind of a big deal laist.com/2018/07/31/mee...

💬 ↺ 2 ❤ 2 ✉



LA County Planning @LACDRP · Aug 1

#SantaMonicaMountains North Area Plan & CSD Notice of Preparation (NOP) for EIR is out for public comments! Submit written comments btw 8/1-8/31 or give oral comments @ Scoping meeting on 8/21 from 6-7:30pm. Find out info & read the NOP here: bit.ly/2O2NCg9 @SheilaKuehl

💬 ↺ ❤ 2 ✉



LA County Planning @LACDRP · Jul 31

Who doesn't love #avocados? What about with Raspberry Cake for dessert? Imagine the #foodcoma possibilities with an #urbangarden in @CountyOfLA. Learn more: bit.ly/2dxs8tM #urbanag @LACAssessor #NationalAvocadoDay #NationalRaspberryCakeDay

Appendix 2-4

Scoping Meeting (August 21, 2018)



Agenda

Introduction and Meeting Purpose

SMM North Area Plan and CSD Updates

California Environmental Quality Act (CEQA) Process

Public Comments

Conclude Meeting



Purpose of Scoping

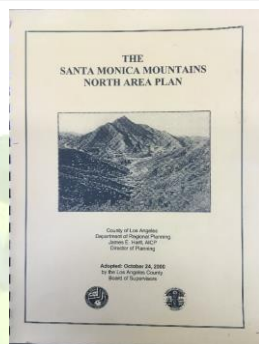
Required by CEQA for projects of area-wide importance

Opportunity for agencies and public to provide input and comment on the scope of the EIR

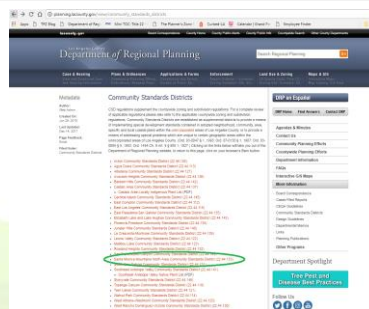
Opportunity to provide input on project alternatives, evaluation methods, etc.



Existing North Area Plan and CSD



-NAP adopted in October 2000



-CSD adopted 2002

-Amended in 2005, 2007, 2010 and 2015



Plan and CSD Updates

Comprehensive updates to policies of North Area Plan and to development standards in Community Standards District

Need for Updates:

- To address concerns that have arisen since adoption of 2000 SMMNAP
- To strengthen environmental resources policies
- To identify standards that support rural and community lifestyles
- To be in alignment with recently adopted LCP



Plans and CSD Updates

Held multiple community meetings to receive input

Proposed updates include:

- Habitat Protection -- *biological assessment*
- Equestrian Standards -- *community input*
- Expanded Tree Protections -- *community input*
- Special Events -- *community input and noise studies*
- Short-Term Rentals Policy/Standards -- *community input*
- Other Policies/Standards to address area resources

Will continue to receive input prior to finalizing updates



California Environmental Quality Act (CEQA)

CEQA applies to projects that require discretionary approval

Plan/CSD amendments considered a “project” under CEQA

Lead Agency

- County of Los Angeles Department of Regional Planning

County has determined that an EIR is needed to address changes to the North Area Plan and CSD



EIR Impact Analysis

Impacts are based on changes to the environment compared to existing conditions

CEQA requires the analysis to focus on “significant” impacts

Measures may be required to reduce or avoid significant impacts

Social and economic impacts are not considered significant

Alternatives are generally evaluated in less detail than the proposed project



Potential Impacts

Aesthetics	Hydrology/Water Resources
Air Quality	Land Use and Recreation
Biological Resources	Noise
Cultural Resources	Transportation/Traffic
Geology and Soils	Tribal Cultural Resources
GHG/Climate Change	Utilities and Service Systems
Hazards	Other: Cumulative and Growth Inducing Impacts



Alternatives

EIR Alternatives must:

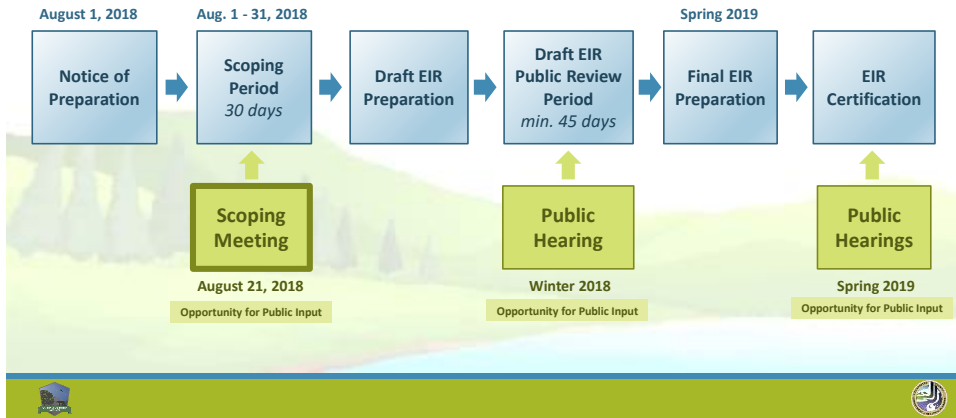
- Meet project objectives
- Be feasible
- Reduce one or more significant impacts

Required to Consider No Project Alternative

- What other alternatives should be evaluated?



EIR Process and Schedule



Comments

Focus comments on environmental concerns that may result from Plan/CSD updates

Suggested Areas to comment on:

- Scope and content of EIR
- Local environmental knowledge
- Issues that need evaluation or how issues are evaluated
- Feasible alternatives to the Plan/CSD updates
- Mitigation measures to avoid or reduce impacts



Comment Form

Public and Agency Comments



Where to Submit Written Comments

Comments are due August 31, 2018

Fill out comment form and **submit form at this meeting** (or mail/email)

Mail comments to:
Anita Gutierrez, MPL, AICP
Community Studies West Section
Los Angeles County
Department of Regional Planning
320 W. Temple Street, 13th Floor
Los Angeles, CA 90012

Email comments to:
smmnortharea@planning.lacounty.gov

For more information on progress of EIR and updates to SMMNAP and CSD, visit:
<http://planning.lacounty.gov/smmnap>

Thank you for participating!



Notes for August 21, 2018 Scoping Meeting

EIR for the Santa Monica Mountains North Area Plan and Community Standards District
County of Los Angeles, Department of Regional Planning

Speakers:

Larry Brown	Pascaline Derrick	Jim Forbes
Peter Banner	Tom Bates	Martha Fritz
Ruth Gerson	Dan Fredman	Paul Grisanti
George Colman	Don Schmidt	Zennon Ulgate-Crow
Debra Healy	John Gooden	Beth Palmer
Mary Ann Rush	Cecilia Soto-Loftes	Brian Boudreau
John Cavanaugh	Leah Culberg	Paul Cohen
Snody Dodson	Steve Gilbard	
Ali Zadeh	Carlos Lluch	

Summary of Comments:

- Analysis needs to consider combined impacts of climate change; destructive fires have occurred from climate change and over development
- The North Area Plan should limit development
- Consider status of overnight camping in Backbone Trail
- Rural lifestyle is important to area; do not include policies that are excessive and destroy this lifestyle
- The area is a National Recreation Area and not residential area; wineries are a major asset to area
- Need to look at short-term rentals; ban them. If no ban then have guidelines on short-term rentals such as limiting use to less than 30-days
- Event facilities near Truinifo Canyon add too many extra people to the area; we have 2000 cars every weekend..
- Stop illegal dance venues; housing has doubled in Triunfo area and problem has gotten worse – County has not addressed
- Carefully plan for the North Area as this area is the “last frontier” in Los Angeles County. Home to endangered animals such as red-legged frog and Mountain Lions
- Certain plants only grow in the North Area. Save the oak trees in the area – “witness” trees – where Native Americans have lived.
- History of the area is important; save Chumash history of the area. Noted Agoura Knoll. Los Angeles needs a Native American Museum.
- Need exits out of the area in case of an emergency, in case of danger.
- Traffic effects emergency vehicles when trying to escape.
- North Area does not need big development as it affects traffic, and they would have egress issues as it stands now.
- We need protect native habitat from invasive plants such as Spanish broom; need to eliminate as they are a big fire danger. We need to plan for it growing in because of fire damage.
- Vineyards are taking too much native habitat.
- For any biological studies, require botanical studies from CA Native Plant Biologists and require the studies to be completed at the appropriate time of year.
- Fire danger is a critical concern, if we have more danger then more loss of life.
- Farm owner has received notes from the fire department to clear brush on his farm. He feels he should be exempt from the requirement as it affects his operations.
- Residents do not like the restrictions on renting of rooms in Malibou Lake area.
- Rental space is good use for aging people and helps to rise children in the home.

- County puts plants above people. In S1 areas need to replace plants if impacted. Helped develop tree ordinance.
- Do not have brush management plan to control fire.
- Commenter believes that vineyards serve as fire breaks. History of areas includes vineyards since 1840.
- North Area (Saddleback-Malibu) is a National Recreation Area and an agricultural district. Experience in the hills is different from coastal areas. Difference between event facilities and vineyards.
- North Area needs to be consistent with Sacramento with regard to the housing crisis in California.
- Need to consider federal law when looking at impacts such as the Santa Monica Mountains Recreational Area and address private facilities in recreation area.
- Fire safety – need defensible fuel breaks in the North Area.
- North Area considered an AVA (American Viticultural Area) – area for wine grape-growing region.
- Need to look at how many applications the County has received for vineyard applications versus how many have actually been implemented.
- Vineyards are natural fire breaks.
- EIR should consider what other agriculture can be in the SMM North Area (such as cannabis and tomatoes), without onerous restrictions.
- Grapes take up less water than roses. Vineyard serves as a fire break.
- If not allowed to grow grapes then add policies that make sense.
- Need better location for meetings.
- Vineyards (Saddlerock Ranch) bring lots of traffic and have events every weekend. Sometimes music goes later than 11 pm.
- The vineyards have 1,000-foot wells, and these wells affect neighboring wells. This also effects fires.
- Additional traffic on Kanan Road (from Truinfo) because of event facilities. Should perform traffic studies only weekends not during the week.
- For profit event centers bring noise and light pollution; defective code.
- Vineyards are known fire breaks.
- Recognize value of equestrian uses in the area.
- “National Recreation Area”, but should not be valid to host these large special events as part of recreation.
- With regard to agriculture, should be able to plant grapes because they take 1/7th the amount of water in comparison to walnuts and avocados.
- Concerned with prohibition of short-term rentals that will update or replace the current ordinance.
- County needs to fight the developments Corner Stone, Agoura Village West, and Agoura Village East because they will be traffic and other impacts to the North Area

Video Part 2

- Truinfo Canyon Road. Number of people in area swells from 300 to 2000 when special events occur. Wedding venues began in 2012 and got worse in 2015. These events were not anticipated in the zoning.
- Need mitigation to address single point of ingress and egress.
- Dance pavilions do not have inspections or oversight. They are like the “ghost ship” in Oakland.
- Measurable readings of sound in the mid 30s events go up to the 50s but regulations do reflect current noise in the community so do not help the community.
- County audiologists are trying to get baseline ambient noise for the area; need to reduce permitted increase to 2 dba or 2 ½ dba above ambient.
- Take a look at how we can switch to protect private property owners, protecting them from excessive visitors use.
- Conflict – can’t keep letting everyone in to view area, not balanced because of too many visitors.
- Reasoning behind LCP, to make consistent with LCP will reduce property values by half - Government taking more property.

- Concerned with safety and gang violence; a lot more tagging in the area. Really not the rural area we all want it to be.
- Creation of LCP habitat categories preclude all use from property owners. Need appeals process on whether an area is a specific habitat category or not without having to proceed through the entire application process and be denied.
- Allow renewable energy such as solar to be added to old buildings.
- We should have the proposed plan and CSD updates before we make comments regarding CEQA/environmental, seems premature to make comments before we evaluate the updates.
- Farm owner – can't get insurance policy for property. Need fire and brush management policies.
- Lands were previously completely grazed and this provided brush management. Now, as more public open space is dedicated, there are no brush management policies and this creates danger for area. Required to clear 200 feet as part of brush management, but we need more – public agencies need to have oversight over other public agencies.
- County makes it difficult for residents to create private roads which may connect through valleys or canyons, and this adds to the problem of ingress/egress and dead-ends in case of fire emergencies.
- Would be good to have an appellate process regarding violations on property.



Scoping Comments

Scoping Process – EIR for the Santa Monica Mountains
North Area Plan and Community Standards District Update
County of Los Angeles, Department of Regional Planning



Date: 8-21-18 Name: Alicia González
Telephone Number: 818-620-4483 Affiliation (if any): MNVCA
Address: 25736 Dark Creek Rd
City, State, Zip Code: Monte Nido CA 91302-2107
Email: aliciagonzalez@mac.com Prefer paperless (email) notification? ☒ Yes ☐ No
Comment: creation of a viable and enforceable
Short-Term Rental Ordinance. increased enforce-
ment (w/ accompanying community/resident
outreach & education) of existing Ordinances
for example: Dark Skies, Oak Tree Preservation,
Wildlife permeable fencing, etc.

[Signature]

*PLEASE PRINT. Your name, address, and comments become public information and may be released to interested parties if requested.

Please either deposit this sheet at the sign-in table before you leave today; fold, stamp, and mail; or email to smnortharea@planning.lacounty.gov. Include additional sheets if needed. **COMMENTS MUST BE RECEIVED BY AUGUST 31, 2018.**



Scoping Comments

Scoping Process – EIR for the Santa Monica Mountains
North Area Plan and Community Standards District Update
County of Los Angeles, Department of Regional Planning



Date: Aug 21, 2018 Name: Shannon Ggem
Telephone Number: 213 999 9907 Affiliation (if any):
Address: 2060 E Lakeshore Dr
City, State, Zip Code: Aguirre, CA 91301
Email: shannonggem@gmail.com Prefer paperless (email) notification? ☐ Yes ☐ No

Comment:

Please ensure that through the NAP
the watershed is protected-
it simply cannot endure further abuses
from fertilizers + unchecked grading + bare soils

Please ensure enforcement abilities for
pollutants near the creeks

Short term rental increased fire dangers
need to be considered

Heritage tree protection is so important

Scenic resources + Ridgelines are
critical during this increased development
pressure.

*PLEASE PRINT. Your name, address, and comments become public information and may be released to interested parties if requested.

Please either deposit this sheet at the sign-in table before you leave today; fold, stamp, and mail; or email to
smnortharea@planning.lacounty.gov. Include additional sheets if needed. COMMENTS MUST BE RECEIVED BY AUGUST 31, 2018.



Scoping Comments

Scoping Process – EIR for the Santa Monica Mountains
North Area Plan and Community Standards District Update
County of Los Angeles, Department of Regional Planning



Date: 8/21/2018 Name: Tim Davis
Telephone Number: 310-457-7529 Affiliation (if any): ✓
Address: 1846 Seminole Drive
City, State, Zip Code: Malibu Lake CA 91301
Email: time.ggonzalez@gmail.com Prefer paperless (email) notification? ☐ Yes ☐ No
Comment: _____

I am against LA County making it
illegal to rent a guesthouse, studio, or room
in our home, whether it be short term
or long term rental.

But I find it draconian in the case
of long term rentals.

How is it that the county can deem
long term rentals in our neighborhood
illegal?

I have the right to rent a portion of my
home. That is fundamental to private
property rights. The County should not
be getting involved in regulating my ability
to earn extra income, if I chose to do
so.

I have been told that the ordinance only
applies to select areas of unincorporated LA
County, which is a further mis-use of
the county's authority.

The ordinance that prohibits long term rentals in our
neighborhood should be immediately rescinded. *Thank you*

*PLEASE PRINT. Your name, address, and comments become public information and may be released to interested parties if requested.

Please either deposit this sheet at the sign-in table before you leave today; fold, stamp, and mail; or email to
smnortharea@planning.lacounty.gov. Include additional sheets if needed. **COMMENTS MUST BE RECEIVED BY AUGUST 31, 2018.**



Scoping Comments

Scoping Process – EIR for the Santa Monica Mountains
North Area Plan and Community Standards District Update
County of Los Angeles, Department of Regional Planning



Date: 8/21/18 Name: Anonymous
Telephone Number: Affiliation (if any):
Address: Cragg Rd. Malibu Lake. 91301
City, State, Zip Code:
Email: Prefer paperless (email) notification? ☐ Yes ☐ No

Comment:

MALIBU LAKE RESIDENT - NORTH AREA PLAN

- Opposition to Air BNB in our neighborhood.
NO 30 DAY minimum, as it will never
be fully enforced, and people will continue
to rent. Opinion. Should not be allowed
at all in our specific community,
our streets are too small, not enough
parking.
- NO street vending on Kanan Rd in
the canyons and mountains. There is
too many cars, for such a dangerous road,
people pulling over, and getting back in
traffic. Simply too dangerous.
- Permits for ~~hike~~ large Hike groups
Buses from other PAs at LA, meet
up groups sometimes by the hundreds
load up the trails.
- more signs at the trail heads and on the
trails. No smoking.

*PLEASE PRINT. Your name, address, and comments become public information and may be released to interested parties if requested.

Please either deposit this sheet at the sign-in table before you leave today; fold, stamp, and mail; or email to smmnortharea@planning.lacounty.gov. Include additional sheets if needed. COMMENTS MUST BE RECEIVED BY AUGUST 31, 2018.

- Enforcement for the constant motorcycles in
Malibu Creek State Park. Typically even



Scoping Comments

Scoping Process – EIR for the Santa Monica Mountains
North Area Plan and Community Standards District Update
County of Los Angeles, Department of Regional Planning



Date: 8/21/18 Name: GEORGE COLMAN
Telephone Number: 818 889-6727 Affiliation (if any):
Address: 5676 COLONY DR
City, State, Zip Code: Agoura Ca 91301
Email: gcolman@SPEFIRM.COM Prefer paperless (email) notification? ☒ Yes ☐ No

Comment:

① if implemented as stated 10/18 will it be retro to existing filed plans and projects (Cornerstone sent back for EIR review AND ~~AVE~~ which filed plans + "old" EIR)

② AIRBNB / Aparitel - Since rural + semi rural area need to BAN or create guidelines - some homes free to do whatever; mixed use such as Cornerstone + AVE should restrict Aparitel - RAMPANT IN West Hollywood - already not invested

③ - Concern that Calabasas + Agoura fully ⁱⁿ community willingly ignoring original NAA when ~~that~~ considering their own plans + need more forceful outreach over local cities + governments

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Please either deposit this sheet at the sign-in table before you leave today; fold, stamp, and mail; or email to smnortharea@planning.lacounty.gov. Include additional sheets if needed. **COMMENTS MUST BE RECEIVED BY AUGUST 31, 2018.**



Scoping Comments

Scoping Process – EIR for the Santa Monica Mountains
North Area Plan and Community Standards District Update
County of Los Angeles, Department of Regional Planning



Date: 8/21/18 Name: * Robert T. Lance
Telephone Number: * 818 346 5338 Affiliation (if any): * Westhills Homocomers ASS.
Address: * 6716 DARYN DR.
City, State, Zip Code: * WESTHILLS, CA 91307
Email: * rtlance82@gmail.com Prefer paperless (email) notification? ☒ Yes ☐ No
Comment: 15 Westhills, the unincorporated area west of
Valley Circle & north of Kittvidge in the North
AREA PLAN? IF NOT shouldn't it be.

Please respond.

Bob Lance

*PLEASE PRINT. Your name, address, and comments become public information and may be released to interested parties if requested.

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The Santa Monica Mountains National RECREATION Area is just that – a RECREATION AREA. Within this area the National Park Service, the California State Parks, and the Santa Monica Mountains Conservancy are the land stewards of this RECREATION AREA. They strongly support the varied recreational uses that residents and visitors enjoy here.

The Equestrian community is a major stakeholder because prior horsemen have been here for hundreds of years before anyone in this room was even born. The old ranches and farms supported thousands of cattle, thousands of horses, and thousands of sheep. If it wasn't for those people keeping their large landholdings, the people today would not have the enormous swaths of land now called parklands. In deference to that history of this area, you must admit that the land they used with their livestock certainly survived, including the old oak trees, and that legacy is what we enjoy today.

In your recent flyer about the August 16, 2017 meeting, you said that, “the goal of the SMMNAP and CSD update is to PROTECT the equestrian heritage that is part of the fabric and way of life of the Santa Monica Mountains.” I trust that your goal is sincere, and that you will not require equestrians to pawn their way of life for their horses.

The heritage of horses is just as important today as in prior years by now providing Recreation for thousands of people. Equestrians are a major partner in the recreational aspects of this area. There is a group of horseback riders patrolling the mountains on most weekends as members of the Mounted Volunteer Patrol to help visitors; and that is administered through the collaboration of the three main public land agencies. Additionally, we are strong partners with the public agencies in caring for the resources here; and that is evidenced by the equestrians who work to help maintain trails by pruning branches, repairing the trail tread, moving rocks to stabilize sloping areas, adding water bars for runoff and other physical activities to help maintain trails.

However, the treatment in recent times that many equestrians have had to endure in order to keep their horses at home has been nothing short of discriminatory, financially devastating, and emotionally heartbreaking. Many have been forced to spend thousands of hard-earned dollars to change corrals, fences, hillsides, and other property issues to accommodate their horses. And many have been refused any option to change their properties to allow horses. This draconian attitude sets up equestrians to have to constantly defend their way of life. That is not in keeping with the County's Plan to PROTECT equestrians.

It is common knowledge that this National Recreation Area serves visitors coming here to enjoy different types of Recreation - using trails, campgrounds, trail camps, and other visitor serving facilities. Yet, many residents get very upset by activities of visitors, and many residents create impediments to the recreational use of the visitor serving facilities.

I believe that a condition should be inserted into the NAP that all residential property should be required to have the sellers and buyers be noticed during the time of sale that this is a National RECREATION Area, where visitors will be utilizing the public facilities such as trails, campgrounds, wineries, and other visitor serving facilities. This perspective is in relation to the Right-To-Farm Law which is already in effect.

In 2016, I was among the group who were the first to ride their horses on the entire 68-mile Backbone Trail right after it was completed and designated a National Recreation Trail by the Department of the Interior. More Equestrians want to ride that trail, and we need to be considered important Recreation stakeholders in these mountains. We want Recreation to remain a major issue in your considerations.

Los Angeles County NEEDS to PROTECT RECREATION.

Ruth Gerson, President, Recreation & Equestrian Coalition



County of Los Angeles, Department of Regional Planning

Please either deposit this sheet at the sign-in table before you leave today; fold, stamp, and mail; or email to smmnortharea@planning.lacounty.gov. Include additional sheets if needed. **COMMENTS MUST BE RECEIVED BY AUGUST 31, 2018.**

For the first time ever, the combined impacts of "climate change" and "over development" caused wildfires that could not be controlled. Casualties were unprecedented. Like Berlin after the bombing, nothing was left standing with entire concrete communities burned to the ground as far as the eye can see. When you combine these two factors, "climate change and over development" what you get is the the hottest July day ever recorded and the most destructive fires in California history. Last year's Santa Barbara fire was the largest ever in California but since then, that record has been broken several times, and in fact, the largest fire in California history is burning right now as we speak. In the Santa Rosa fire alone close to 5000 families lost their homes, more than 43 human beings lost their lives and so did countless pets, livestock and wild animals.

MORE THAN 130 COMMERCIAL STRUCTURES also burned in that fire and coincidentally, one of them was The Hilton Hotel which burned all the way to the ground, leaving nothing but a footprint. Now we are told that developers want to put A Hilton Hotel right in the middle of our own fire corridor on the South East corner of Kanan and Agoura Road which is subject to the NAP, not to mention a second hotel across the street on the South West corner at the foot of Lady Face Mountain also subject. They have no means whatsoever of mitigating potentially deadly gridlock.

Agoura is known as "the gateway to the Santa Monica Mountains" but our canyons are also "the gateway to everywhere" from LAX to Santa Barbara for many commuters and it is common for there to be a continuous line of cars from PCH all the way to the 101. When a fire breaks out in those canyons after developers add another 20,000 cars a day, residents and motorists will be trapped.

The North Area Plan is all about protecting the Santa Monica Mountains. Nothing you can do will protect them more than dedicating all of the powers available to the county to preventing excessive development, both commercial and especially residential in these mountains. We cannot allow this City or other cities to look at prospective development with the same eyes and consciousness as they did ten or fifteen years ago. We have learned is that it's a whole new ballgame". I never want to hear another child say "come and get me grandpa" and then find out he burned to death, when "simply standing up to money" might have prevented it.

Larry Brown, 27528 Country Glen Rd (818) 257-0090

A handwritten signature in black ink, appearing to read 'Larry Brown', with a large, stylized initial 'L' and a long, sweeping horizontal stroke extending to the right.

Appendix 2-5

Scoping Comment Letters/Emails

Comment Letters and Emails Received during Scoping Period

Name	Letter Date
Agency Comment Letters	
California Native American Heritage Commission Gayle Totton, Associate Governmental Program Analyst	8/8/2018
Ventura County Air Pollution Control District Nicole Collazo, Air Quality Specialist	8/15/2018
South Coast Air Quality Management District Daniel Garcia, Program Supervisor	8/22/2018
California Department of Fish and Wildlife Erinn Wilson, Environmental Program Manager	8/23/2018
Ventura County Watershed Protection District Nathaniel Summerville, Engineer	8/27/2018
California Department of Transportation Miya Edmonson, IGR/CEQA Branch Chief	8/30/2018
Resource Conservation District of the Santa Monica Mountains Clark Stevens, Executive Officer	8/30/2018
County of Ventura Resource Management Agency Denice Thomas, Planning Programs Manager	8/30/2018
Southern California Association of Governments Ping Chang, Action Manager, Compliance and Performance Monitoring	8/31/2018
Organization Comment Letters	
Recreation & Equestrian Coalition, Ruth Gerson*	8/21/2018
Protectors and Residents in the Santa Monica Mountains, Rae Greulich	8/28/2018
California Native Plant Society, Snowdy Dodson	8/28/2018
Cornell Preservation Organization, Colleen Holmes	8/28/2018
Malibu Coast Vitners and Grape Growers Alliance, Dan Fredman	8/30/2018
Indian Hills Homeowners Association, Terry Ahern	8/30/2018
Triunfo Creek Vineyards, Nichelle O'Brien	8/31/2018
Vasa Park Association, Larry Klein	8/31/2018
Malibu Lakeside Community Association, Debbie Larson	8/31/2018
Brookview Ranch, Tom Knapp	8/31/2018
Private Citizen Comment Letters	
Jen Hippiechic	8/1/2018
Andrea Josephson	8/1/2018
Richard Breene	8/20/2018
Alicia Gonzalez*	8/21/2018
Shannon Gem*	8/21/2018
Tim Davis*	8/21/2018
Anonymous*	8/21/2018
George Colman*	8/21/2018
Robert T. Lancet*	8/21/2018
Larry Brown*	8/21/2018
Mark Lupfer	8/21/2018
TF	8/21/2018
TF	8/23/2018
Ed Corridori	8/25/2018
Laurent O'Shea	8/27/2018
William Margolin	8/27/2018
John Gooden	8/30/2018

Environmental Analysis for SMMNAP-CSD Update
APPENDIX 2-5 SCOPING LETTERS/EMAILS

Name	Letter Date
Sarah Priest	8/30/2018
Adam Shaw	8/30/2018
Caroline	8/30/2018
Daniel Von Wetter	8/30/2018
Caroline Solomon	8/30/2018
Tim Davis	8/30/2018
John Krieger	8/30/2018
Joanne Ventresca	8/30/2018
Karen Simonton	8/30/2018
Carolyn Brandon	8/30/2018
Illece Buckley Weber	8/30/2018
Rhonda Zucker	8/30/2018
Ray Stewart	8/30/2018
Kieran Healy	8/30/2018
Debbie Healy	8/30/2018
James Forbes	8/30/2018
Steve Gilbard	8/30/2018
Mallinder	8/30/2018
Nick Lorenzen	8/30/2018
Carrie Carrier	8/31/2018
Steve Bernal	8/31/2018
Jacqui Lorenzen	8/31/2018
Bill Carrier	8/31/2018
Vera Stewart	8/31/2018
William Humphrey & Lisa Schram	8/31/2018
Deke Williams	8/31/2018
Michael Stewart	8/31/2018
Kristi Schoenrock	8/31/2018
Isaiah Seay	8/31/2018
Danny Margolis	8/31/2018
Albert Scola	8/31/2018
Hugh Robertson	8/30/2018
Susan Johnson	8/31/2018
Steve Schultze	8/31/2018
Ralph Bracamonte	8/31/2018
Chris Deleau	8/31/2018
Kathi and Andy Carlson	8/31/2018
RT	8/31/2018
Sigifredo Diaz	8/31/2018
Ray Stewart	8/31/2018
Hovert Beman	8/31/2018
Tom Colsen	8/31/2018
Laura Gilbard	8/31/2018
Steve Gilbard	8/31/2018
Martha Fritz	8/31/2018
Leah Culberg	8/31/2018
Bonnie Geisler	8/31/2018
Courtney Javier	8/31/2018
Annie Harb	8/31/2018

Name	Letter Date
Lindell Lummer	8/31/2018
David	8/31/2018
Jonathan Baeza	8/31/2018
Hugh Robertson	8/31/2018

Note: *These letters were submitted at the public scoping meeting on August 21, 2018 and are found in Appendix 2-4 of this EIR.

NATIVE AMERICAN HERITAGE COMMISSION

Cultural and Environmental Department
1550 Harbor Blvd., Suite 100
West Sacramento, CA 95691
Phone (916) 373-3710



August 8, 2018

Anita Gutierrez
Los Angeles County
320 West Temple Street
Los Angeles, CA 90012

Also sent via e-mail: smmnortharea@planning.lacounty.gov

RE: SCH# 2018071065, Santa Monica Mountains North Area Plan and CSD Update Project, Cities of Calabasas, Agoura Hills, and Los Angeles; Los Angeles County, California

Dear Ms. Gutierrez:

The Native American Heritage Commission has received the Notice of Preparation (NOP) for Draft Environmental Impact Report for the project referenced above. The California Environmental Quality Act (CEQA) (Pub. Resources Code § 21000 et seq.), specifically Public Resources Code section 21084.1, states that a project that may cause a substantial adverse change in the significance of an historical resource is a project that may have a significant effect on the environment. (Pub. Resources Code § 21084.1; Cal. Code Regs., tit.14, § 15064.5 (b) (CEQA Guidelines Section 15064.5 (b)). If there is substantial evidence, in light of the whole record before a lead agency, that a project may have a significant effect on the environment, an environmental impact report (EIR) shall be prepared. (Pub. Resources Code § 21080 (d); Cal. Code Regs., tit. 14, § 15064 subd. (a)(1) (CEQA Guidelines § 15064 (a)(1)). In order to determine whether a project will cause a substantial adverse change in the significance of a historical resource, a lead agency will need to determine whether there are historical resources with the area of project effect (APE).

CEQA was amended significantly in 2014. Assembly Bill 52 (Gatto, Chapter 532, Statutes of 2014) (AB 52) amended CEQA to create a separate category of cultural resources, “tribal cultural resources” (Pub. Resources Code § 21074) and provides that a project with an effect that may cause a substantial adverse change in the significance of a tribal cultural resource is a project that may have a significant effect on the environment (Pub. Resources Code § 21084.2). Please reference California Natural Resources Agency (2016) “Final Text for tribal cultural resources update to Appendix G: Environmental Checklist Form,” <http://resources.ca.gov/ceqa/docs/ab52/Clean-final-AB-52-App-G-text-Submitted.pdf>. Public agencies shall, when feasible, avoid damaging effects to any tribal cultural resource. (Pub. Resources Code § 21084.3 (a)). **AB 52 applies to any project for which a notice of preparation or a notice of negative declaration or mitigated negative declaration is filed on or after July 1, 2015.** If your project involves the adoption of or amendment to a general plan or a specific plan, or the designation or proposed designation of open space, on or after March 1, 2005, it may also be subject to Senate Bill 18 (Burton, Chapter 905, Statutes of 2004) (SB 18). **Both SB 18 and AB 52 have tribal consultation requirements.** If your project is also subject to the federal National Environmental Policy Act (42 U.S.C. § 4321 et seq.) (NEPA), the tribal consultation requirements of Section 106 of the National Historic Preservation Act of 1966 (154 U.S.C. 300101, 36 C.F.R. § 800 et seq.) may also apply.

The NAHC recommends **lead agencies consult with all California Native American tribes** that are traditionally and culturally affiliated with the geographic area of your proposed project as early as possible in order to avoid inadvertent discoveries of Native American human remains and best protect tribal cultural resources. Below is a brief summary of portions of AB 52 and SB 18 as well as the NAHC's recommendations for conducting cultural resources assessments. **Consult your legal counsel about compliance with AB 52 and SB 18 as well as compliance with any other applicable laws.**

AB 52

AB 52 has added to CEQA the additional requirements listed below, along with many other requirements:

1. Fourteen Day Period to Provide Notice of Completion of an Application/Decision to Undertake a Project: Within fourteen (14) days of determining that an application for a project is complete or of a decision by a public agency to undertake a project, a **lead agency** shall provide formal notification to a designated contact of, or tribal representative of, traditionally and culturally affiliated California Native American tribes that have requested notice, to be accomplished by at least one written notice that includes:
 - a. A brief description of the project.
 - b. The lead agency contact information.
 - c. Notification that the California Native American tribe has 30 days to request consultation. (Pub. Resources Code § 21080.3.1 (d)).
 - d. A "California Native American tribe" is defined as a Native American tribe located in California that is on the contact list maintained by the NAHC for the purposes of Chapter 905 of Statutes of 2004 (SB 18). (Pub. Resources Code § 21073).
2. Begin Consultation Within 30 Days of Receiving a Tribe's Request for Consultation and Before Releasing a Negative Declaration, Mitigated Negative Declaration, or Environmental Impact Report: A **lead agency** shall begin the consultation process within 30 days of receiving a request for consultation from a California Native American tribe that is traditionally and culturally affiliated with the geographic area of the proposed project. (Pub. Resources Code § 21080.3.1, subds. (d) and (e)) and prior to the release of a negative declaration, mitigated negative declaration or environmental impact report. (Pub. Resources Code § 21080.3.1(b)).
 - a. For purposes of AB 52, "consultation shall have the same meaning as provided in Gov. Code § 65352.4 (SB 18). (Pub. Resources Code § 21080.3.1 (b)).
3. Mandatory Topics of Consultation If Requested by a Tribe: The following topics of consultation, if a tribe requests to discuss them, are mandatory topics of consultation:
 - a. Alternatives to the project.
 - b. Recommended mitigation measures.
 - c. Significant effects. (Pub. Resources Code § 21080.3.2 (a)).
4. Discretionary Topics of Consultation: The following topics are discretionary topics of consultation:
 - a. Type of environmental review necessary.
 - b. Significance of the tribal cultural resources.
 - c. Significance of the project's impacts on tribal cultural resources.
 - d. If necessary, project alternatives or appropriate measures for preservation or mitigation that the tribe may recommend to the lead agency. (Pub. Resources Code § 21080.3.2 (a)).
5. Confidentiality of Information Submitted by a Tribe During the Environmental Review Process: With some exceptions, any information, including but not limited to, the location, description, and use of tribal cultural resources submitted by a California Native American tribe during the environmental review process shall not be included in the environmental document or otherwise disclosed by the lead agency or any other public agency to the public, consistent with Government Code sections 6254 (r) and 6254.10. Any information submitted by a California Native American tribe during the consultation or environmental review process shall be published in a confidential appendix to the environmental document unless the tribe that provided the information consents, in writing, to the disclosure of some or all of the information to the public. (Pub. Resources Code § 21082.3 (c)(1)).
6. Discussion of Impacts to Tribal Cultural Resources in the Environmental Document: If a project may have a significant impact on a tribal cultural resource, the lead agency's environmental document shall discuss both of the following:
 - a. Whether the proposed project has a significant impact on an identified tribal cultural resource.
 - b. Whether feasible alternatives or mitigation measures, including those measures that may be agreed to pursuant to Public Resources Code section 21082.3, subdivision (a), avoid or substantially lessen the impact on the identified tribal cultural resource. (Pub. Resources Code § 21082.3 (b)).

7. Conclusion of Consultation: Consultation with a tribe shall be considered concluded when either of the following occurs:
- The parties agree to measures to mitigate or avoid a significant effect, if a significant effect exists, on a tribal cultural resource; or
 - A party, acting in good faith and after reasonable effort, concludes that mutual agreement cannot be reached. (Pub. Resources Code § 21080.3.2 (b)).
8. Recommending Mitigation Measures Agreed Upon in Consultation in the Environmental Document: Any mitigation measures agreed upon in the consultation conducted pursuant to Public Resources Code section 21080.3.2 shall be recommended for inclusion in the environmental document and in an adopted mitigation monitoring and reporting program, if determined to avoid or lessen the impact pursuant to Public Resources Code section 21082.3, subdivision (b), paragraph 2, and shall be fully enforceable. (Pub. Resources Code § 21082.3 (a)).
9. Required Consideration of Feasible Mitigation: If mitigation measures recommended by the staff of the lead agency as a result of the consultation process are not included in the environmental document or if there are no agreed upon mitigation measures at the conclusion of consultation, or if consultation does not occur, and if substantial evidence demonstrates that a project will cause a significant effect to a tribal cultural resource, the lead agency shall consider feasible mitigation pursuant to Public Resources Code section 21084.3 (b). (Pub. Resources Code § 21082.3 (e)).
10. Examples of Mitigation Measures That, If Feasible, May Be Considered to Avoid or Minimize Significant Adverse Impacts to Tribal Cultural Resources:
- Avoidance and preservation of the resources in place, including, but not limited to:
 - Planning and construction to avoid the resources and protect the cultural and natural context.
 - Planning greenspace, parks, or other open space, to incorporate the resources with culturally appropriate protection and management criteria.
 - Treating the resource with culturally appropriate dignity, taking into account the tribal cultural values and meaning of the resource, including, but not limited to, the following:
 - Protecting the cultural character and integrity of the resource.
 - Protecting the traditional use of the resource.
 - Protecting the confidentiality of the resource.
 - Permanent conservation easements or other interests in real property, with culturally appropriate management criteria for the purposes of preserving or utilizing the resources or places.
 - Protecting the resource. (Pub. Resource Code § 21084.3 (b)).
 - Please note that a federally recognized California Native American tribe or a nonfederally recognized California Native American tribe that is on the contact list maintained by the NAHC to protect a California prehistoric, archaeological, cultural, spiritual, or ceremonial place may acquire and hold conservation easements if the conservation easement is voluntarily conveyed. (Civ. Code § 815.3 (c)).
 - Please note that it is the policy of the state that Native American remains and associated grave artifacts shall be repatriated. (Pub. Resources Code § 5097.991).
11. Prerequisites for Certifying an Environmental Impact Report or Adopting a Mitigated Negative Declaration or Negative Declaration with a Significant Impact on an Identified Tribal Cultural Resource: An environmental impact report may not be certified, nor may a mitigated negative declaration or a negative declaration be adopted unless one of the following occurs:
- The consultation process between the tribes and the lead agency has occurred as provided in Public Resources Code sections 21080.3.1 and 21080.3.2 and concluded pursuant to Public Resources Code section 21080.3.2.
 - The tribe that requested consultation failed to provide comments to the lead agency or otherwise failed to engage in the consultation process.
 - The lead agency provided notice of the project to the tribe in compliance with Public Resources Code section 21080.3.1 (d) and the tribe failed to request consultation within 30 days. (Pub. Resources Code § 21082.3 (d)).

This process should be documented in the Cultural Resources section of your environmental document.

The NAHC's PowerPoint presentation titled, "Tribal Consultation Under AB 52: Requirements and Best Practices" may be found online at: http://nahc.ca.gov/wp-content/uploads/2015/10/AB52TribalConsultation_CalEPAPDF.pdf

SB 18

SB 18 applies to local governments and requires **local governments** to contact, provide notice to, refer plans to, and consult with tribes prior to the adoption or amendment of a general plan or a specific plan, or the designation of open space. (Gov. Code § 65352.3). Local governments should consult the Governor's Office of Planning and Research's "Tribal Consultation Guidelines," which can be found online at: https://www.opr.ca.gov/docs/09_14_05_Updated_Guidelines_922.pdf

Some of SB 18's provisions include:

1. **Tribal Consultation:** If a local government considers a proposal to adopt or amend a general plan or a specific plan, or to designate open space it is required to contact the appropriate tribes identified by the NAHC by requesting a "Tribal Consultation List." If a tribe, once contacted, requests consultation the local government must consult with the tribe on the plan proposal. **A tribe has 90 days from the date of receipt of notification to request consultation unless a shorter timeframe has been agreed to by the tribe.** (Gov. Code § 65352.3 (a)(2)).
2. **No Statutory Time Limit on SB 18 Tribal Consultation.** There is no statutory time limit on SB 18 tribal consultation.
3. **Confidentiality:** Consistent with the guidelines developed and adopted by the Office of Planning and Research pursuant to Gov. Code section 65040.2, the city or county shall protect the confidentiality of the information concerning the specific identity, location, character, and use of places, features and objects described in Public Resources Code sections 5097.9 and 5097.993 that are within the city's or county's jurisdiction. (Gov. Code § 65352.3 (b)).
4. **Conclusion of SB 18 Tribal Consultation:** Consultation should be concluded at the point in which:
 - a. The parties to the consultation come to a mutual agreement concerning the appropriate measures for preservation or mitigation; or
 - b. Either the local government or the tribe, acting in good faith and after reasonable effort, concludes that mutual agreement cannot be reached concerning the appropriate measures of preservation or mitigation. (Tribal Consultation Guidelines, Governor's Office of Planning and Research (2005) at p. 18).

Agencies should be aware that neither AB 52 nor SB 18 precludes agencies from initiating tribal consultation with tribes that are traditionally and culturally affiliated with their jurisdictions before the timeframes provided in AB 52 and SB 18. For that reason, we urge you to continue to request Native American Tribal Contact Lists and "Sacred Lands File" searches from the NAHC. The request forms can be found online at: <http://nahc.ca.gov/resources/forms/>

NAHC Recommendations for Cultural Resources Assessments

To adequately assess the existence and significance of tribal cultural resources and plan for avoidance, preservation in place, or barring both, mitigation of project-related impacts to tribal cultural resources, the NAHC recommends the following actions:

1. Contact the appropriate regional California Historical Research Information System (CHRIS) Center (http://ohp.parks.ca.gov/?page_id=1068) for an archaeological records search. The records search will determine:
 - a. If part or all of the APE has been previously surveyed for cultural resources.
 - b. If any known cultural resources have been already been recorded on or adjacent to the APE.
 - c. If the probability is low, moderate, or high that cultural resources are located in the APE.
 - d. If a survey is required to determine whether previously unrecorded cultural resources are present.
2. If an archaeological inventory survey is required, the final stage is the preparation of a professional report detailing the findings and recommendations of the records search and field survey.
 - a. The final report containing site forms, site significance, and mitigation measures should be submitted immediately to the planning department. All information regarding site locations, Native American human remains, and associated funerary objects should be in a separate confidential addendum and not be made available for public disclosure.

- Please contact me if you need any additional information at gayle.totton@nahc.ca.gov.

Gayle Totton

cc: State Clearinghouse

VENTURA COUNTY
AIR POLLUTION CONTROL DISTRICT
Memorandum

TO: County of Los Angeles

DATE: August 15, 2018

FROM: Nicole Collazo

SUBJECT: Request for Review of Notice of Preparation of a Environmental Impact Report for Santa Monica Mountains North Area Plan and Community Standards District Update (RMA #18-012)

Air Pollution Control District staff has reviewed the subject Notice of Preparation (NOP) for the environmental impact report (EIR), which will address concerns that have developed since the adoption of the Santa Monica Mountains North Area Plan (SMMNAP) in 2000. The County of Los Angeles is proposing comprehensive updates to the policies of the SMMNAP and to development standards in the SSMNA Community Standards District (CSD). Lastly, some of the SMMNAP policies adopted in 2000 have not been implemented in the North Area CSD; these issues will be addressed in the proposed updates. The SMMNAP covers an area of approximately 30 square miles bounded by Ventura County and local cities in LA County to the north; the coastal zone portion of the SMM to the south; the city of Los Angeles to the east; and Ventura County and the City of Westlake Village to the west. The Lead Agency for the project is the County of Los Angeles Department of Regional Planning.

General Comments

District staff recommends the EIR evaluate all potential regional and local air quality impacts that may result from the project, including reactive organic compound and nitrogen oxide emissions. The air quality assessment should consider project consistency with the applicable air quality plan, potential objectionable odors affecting a substantial number of people and expose the public to substantial pollutant concentrations and result in any cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard.

Mitigation Measures

If the project is determined to have a significant impact on regional and/or local air quality, the supplemental focused EIR should include all feasible mitigation measures. Moreover, any project design features that mitigate air quality impacts should also be described in the supplemental focused EIR. Additionally, to the extent feasible, the supplemental focused EIR should assess and document the air quality benefit of all feasible mitigation measures and project design elements.

If you have any questions, please call me at 645-1426 or email me at nicole@vcapcd.org.



State of California – Natural Resources Agency
DEPARTMENT OF FISH AND WILDLIFE
South Coast Region
3883 Ruffin Road
San Diego, CA 92123
(858) 467-4201
www.wildlife.ca.gov

EDMUND G. BROWN JR., Governor
CHARLTON H. BONHAM, Director



August 23, 2018

Ms. Anita D. Gutierrez
Los Angeles County Department of Regional Planning
320 W. Temple Street, 13th Floor
Los Angeles, CA 90012
smmnortharea@planning.lacounty.gov

Subject: Comments on the Notice of Preparation (NOP) for a Draft Environmental Impact Report (DEIR) for Updates to the Policies of the Santa Monica Mountains North Area Plan (SMMNAP) and to Development Standards in the SMM North Area Community Standards District (CSD), Los Angeles County, (SCH # 201807106).

Dear Ms. Gutierrez:

The California Department of Fish and Wildlife (CDFW) has reviewed the above-referenced NOP for the Los Angeles County Department of Regional Planning's (County) proposal for updates to the policies of the SMMNAP and to development standards in the SMM North Area CSD (Project). The SMMNAP is a component of the County's General Plan with focused objectives and policies for the SMM North Area. The CSD implements the policies of the SMMNAP and includes development standards that are specific to the Santa Monica Mountains (SMM) North Area.

The SMM North Area is in the western portion of Los Angeles County and includes privately owned and publicly owned lands. The Project area encompasses 30-square miles of unincorporated lands generally bounded by Ventura County and the City of Westlake Village to the west, Ventura County and local cities in Los Angeles County to the north, the City of Los Angeles to the east, and the coastal zone portion of the Santa Monica Mountains to the south. The US 101 Freeway is the major transportation corridor that provides regional access to the North Area.

The following comments and recommendations have been prepared pursuant to CDFW's authority as a Responsible Agency under CEQA Guidelines section 15381 over those aspects of the proposed Project that come under the purview of the California Endangered Species Act (Fish and Game Code § 2050 *et seq.*), the California Native Plant Protection Act (Fish and Game Code § 1900 *et seq.*), Fish and Game Code section 1600 *et seq.*, and pursuant to our authority as Trustee Agency with jurisdiction over natural resources affected by the Project (California Environmental Quality Act, [CEQA] Guidelines § 15386) to assist the Lead Agency in avoiding or minimizing potential Project impacts on biological resources.

Specific Comments

- 1) Wildfire Vegetation Management Practices. CDFW is concerned that land management planning documents governing wildfire risk reduction practices by various entities may lack adequate impact analysis, and avoidance or mitigation measures for biological resources. Sensitive species can be adversely impacted by wildfire risk reduction activities. Wildfire risk reduction activities may include, but not be limited to, brush clearing or other types of

vegetation fuel modification by management practices that remove or otherwise disturb habitat for biological resources.

- 2) CDFW recommends that the DEIR fully describe if the County or other entity will or shall authorize the fire department, private residences or their agents to conduct brush clearing in the SMMNAP area, and if brush clearing activities may remove or disturb special status vegetative communities or special status species.
- 3) CDFW recommends that the DEIR include preconstruction surveys, avoidance and mitigation measures for any brush clearing activities conducted within the SMMNAP area.
- 4) CDFW recommends that the DEIR include the evaluation of alternatives (including no encroachment) to reduce impacts from brush clearing, including targeted thinning, placement of walls, and structural/building features (e.g., boxed eaves, fire-rated walls and windows, and sprinklers), especially where development occurs adjacent to undeveloped areas supporting biological resources.
- 5) Wildlife Movement Across the 101 Freeway. The Project includes lands on both sides of the 101 Freeway. CDFW recommends that the DEIR analyze areas within the SMMNAP that presently do, or with enhancement could safely facilitate wildlife movement across the 101 freeway to access available undeveloped habitats providing regional movement permeability. These areas should be identified as a high priority for development avoidance and habitat preservation and enhancement. This evaluation and consideration will assist in avoiding the creation of missing wildlife movement linkages within the SMMNAP area.

General Comments

- 6) CDFW has a responsibility to conserve and protect wetland and riparian habitats. It is the policy of CDFW to strongly discourage development in wetlands or conversion of wetlands to uplands. We oppose any development or conversion which would result in a reduction of wetland acreage or wetland habitat values, unless, at a minimum, Project mitigation assures there will be "no net loss" of either wetland habitat values or acreage. Development and conversion include, but are not limited to, conversion to subsurface drains, placement of fill or building of structures within wetlands, and channelization or removal of materials from streambeds. All wetlands and watercourses, whether intermittent or perennial, should be retained and afforded substantial setbacks assuring the preservation of riparian and aquatic values, and maintain the value to on-site and off-site wildlife populations. Mitigation measures to compensate for impacts to mature riparian corridors must be included in the DEIR and must compensate for the loss of function and value of a wildlife corridor.
 - a) The Project area may supports aquatic, riparian, and wetland habitats; therefore, a delineation of the stream and their associated riparian habitats should be included in the DEIR. The delineation should be conducted pursuant to the U. S. Fish and Wildlife Service Wetlands Definition and Classification System adopted by CDFW. Please note that some wetland and riparian habitats subject to CDFW's authority may extend beyond the jurisdictional limits of the U.S. Army Corps of Engineers.
- 7) CDFW also has regulatory authority over activities in streams and/or lakes that will divert or obstruct the natural flow, or change the bed, channel, or bank (which may include associated riparian resources) of a river or stream, or use material from a streambed. For any such activities, the Project applicant (or "entity") must provide written notification to CDFW pursuant to section 1600 et seq. of the Fish and Game Code. Based on this

notification and other information, CDFW determines whether a Lake and Streambed Alteration Agreement (LSA) with the applicant is required prior to conducting the proposed activities. CDFW's issuance of a LSA for a Project that is subject to CEQA will require CEQA compliance actions by CDFW as a Responsible Agency. CDFW as a Responsible Agency under CEQA may consider the local jurisdiction's (lead agency) Negative Declaration or Environmental Impact Report for the Project. To minimize additional requirements by CDFW pursuant to section 1600 *et seq.* and/or under CEQA, the document should fully identify the potential impacts to the stream or riparian resources and provide adequate avoidance, mitigation, monitoring and reporting commitments for issuance of the LSA.

- 8) CDFW considers adverse impacts to a species protected by the California Endangered Species Act (CESA), for the purposes of CEQA, to be significant without mitigation. As to CESA, take of any endangered, threatened, or candidate species that results from the Project is prohibited, except as authorized by state law (Fish and Game Code, §§ 2080, 2085.). Consequently, if the Project, Project construction, or any Project-related activity during the life of the Project will result in take of a species designated as endangered or threatened, or a candidate for listing under CESA, CDFW recommends that the Project proponent seek appropriate take authorization under CESA prior to implementing the Project. Appropriate authorization from CDFW may include an incidental take permit (ITP) or a consistency determination in certain circumstances, among other options (Fish and Game Code §§ 2080.1, 2081, subds. (b)(c)). Early consultation is encouraged, as significant modification to a Project and mitigation measures may be required in order to obtain a CESA Permit. Revisions to the Fish and Game Code, effective January 1998, may require that CDFW issue a separate CEQA document for the issuance of an ITP unless the Project's CEQA document addresses all Project impacts to CESA-listed species and specifies a mitigation monitoring and reporting program that will meet the requirements of an ITP. For these reasons, biological mitigation monitoring and reporting proposals should be of sufficient detail and resolution to satisfy the requirements for a CESA ITP.
- 9) To enable CDFW to adequately review and comment on the proposed Project from the standpoint of the protection of plants, fish, and wildlife, we recommend the following information be included in the DEIR:
 - a) A complete discussion of the purpose and need for, and description of, the proposed Project, including all staging areas and access routes to the construction and staging areas.
 - b) A range of feasible alternatives to ensure that alternatives to the proposed Project are fully considered and evaluated; the alternatives should avoid or otherwise minimize impacts to sensitive biological resources particularly wetlands (as the proposed Project would result in significant impacts to wetland/riparian habitat within the Project site). Specific alternative locations should be evaluated in areas with lower resource sensitivity where appropriate.
- 10) CDFW generally does not support the use of relocation, salvage, and/or transplantation as mitigation for impacts to rare, threatened, or endangered species. Studies have shown that these efforts are experimental in nature and largely unsuccessful.
- 11) Restoration and Revegetation Plans. Plans for restoration and revegetation should be prepared by persons with expertise in southern California ecosystems and native plant revegetation techniques. Each plan should include, at a minimum: (a) the location of the

mitigation site; (b) the plant species to be used, container sizes, and seeding rates; (c) a schematic depicting the mitigation area; (d) planting schedule; (e) a description of the irrigation methodology; (f) measures to control exotic vegetation on site; (g) specific success criteria; (h) a detailed monitoring program; (i) contingency measures should the success criteria not be met; and (j) identification of the party responsible for meeting the success criteria and providing for conservation of the mitigation site in perpetuity.

- 12) Biological Resources within the Project's Area of Potential Effect. To provide a complete assessment of the flora and fauna within and adjacent to the Project area, with particular emphasis upon identifying endangered, threatened, sensitive, and locally unique species and sensitive habitats, the DEIR should include the following information:
 - a) Per CEQA Guidelines, section 15125(c), information on the regional setting that is critical to an assessment of environmental impacts should place special emphasis on resources that are rare or unique to the region.
 - b) A thorough, recent floristic-based assessment of special status plants and natural communities, following CDFW's recent updated Protocols for Surveying and Evaluating Impacts to Special Status Native Plant Populations and Natural Communities (CDFW, 2018). The protocols are available at the following website: <http://nrm.dfg.ca.gov/FileHandler.ashx?DocumentID=18959>). CDFW recommends that floristic, alliance- and/or association-based mapping and vegetation impact assessments be conducted at the Project site and neighboring vicinity. The Manual of California Vegetation, second edition, should also be used to inform this mapping and assessment (Sawyer et al. 2008). Adjoining habitat areas should be included in this assessment where site activities could lead to direct or indirect impacts off-site. Habitat mapping at the alliance level will help establish baseline vegetation conditions.
 - c) A current inventory of the biological resources associated with each habitat type on site and within the area of potential effect. CDFW's California Natural Diversity Data Base in Sacramento should be contacted at: www.wildlife.ca.gov/biogeodata/ to obtain current information on any previously reported sensitive species and habitat, including Significant Natural Areas identified under Chapter 12 of the Fish and Game Code.
 - d) An inventory of rare, threatened and endangered, and other sensitive species on site and within the area of potential effect. Species to be addressed should include all those which meet the CEQA definition (see CEQA Guidelines, § 15380). This should include sensitive fish, wildlife, reptile, and amphibian species. Seasonal variations in use of the Project area should also be addressed. Focused species-specific surveys, conducted at the appropriate time of year and time of day when the sensitive species are active or otherwise identifiable, are required. Acceptable species-specific survey procedures should be developed in consultation with CDFW and the U.S. Fish and Wildlife Service.
- 13) Analyses of the Potential Project-Related Impacts on the Biological Resources. To provide a thorough discussion of direct, indirect, and cumulative impacts expected to adversely affect biological resources, with specific measures to offset such impacts, the following should be addressed in the DEIR:
 - a) A discussion of potential adverse impacts from lighting, noise, human activity, exotic species, and drainage should also be included. The latter subject should address: Project-related changes on drainage patterns on and downstream of the Project site; the volume, velocity, and frequency of existing and post-Project surface flows; polluted

runoff; soil erosion and/or sedimentation in streams and water bodies; and post-Project fate of runoff from the Project site. The discussions should also address the proximity of the extraction activities to the water table, whether dewatering would be necessary, and the potential resulting impacts on the habitat, if any, supported by the groundwater. Mitigation measures proposed to alleviate such impacts should be included.

- b) Discussions regarding indirect Project impacts on biological resources, including resources in nearby public lands, open space, adjacent natural habitats, riparian ecosystems, and any designated and/or proposed or existing reserve lands (e.g., preserve lands associated with a NCCP). Impacts on, and maintenance of, wildlife corridor/movement areas, including access to undisturbed habitats in adjacent areas, should be fully evaluated in the DEIR.
 - c) The zoning of areas for development projects or other uses that are nearby or adjacent to natural areas may inadvertently contribute to wildlife-human interactions. A discussion of possible conflicts and mitigation measures to reduce these conflicts should be included in the environmental document.
 - d) A cumulative effects analysis should be developed as described under CEQA Guidelines, section 15130. General and specific plans, as well as past, present, and anticipated future projects, should be analyzed relative to their impacts on similar plant communities and wildlife habitats.
- 14) Mitigation for Rare Natural Communities. The DEIR should include measures to fully avoid and otherwise protect Rare Natural Communities from Project-related impacts. CDFW considers these communities as threatened habitats having both regional and local significance.
- 15) Mitigation for Sensitive Plants, Animals, and Habitats. The DEIR should include mitigation measures for adverse Project-related impacts to sensitive plants, animals, and habitats. Mitigation measures should emphasize avoidance and reduction of Project impacts. For unavoidable impacts, on-site habitat restoration or enhancement should be discussed in detail. If on-site mitigation is not feasible or would not be biologically viable and therefore not adequately mitigate the loss of biological functions and values, off-site mitigation through habitat creation and/or acquisition and preservation in perpetuity should be addressed.
- 16) Mitigation for Targeted Habitat Values. For proposed preservation and/or restoration, the DEIR should include measures to perpetually protect the targeted habitat values from direct and indirect negative impacts. The objective should be to offset the Project-induced qualitative and quantitative losses of wildlife habitat values. Issues that should be addressed include restrictions on access, proposed land dedications, monitoring and management programs, control of illegal dumping, water pollution, increased human intrusion, etc.
- 17) Mitigation for Nesting Birds. In order to avoid impacts to nesting birds, the DEIR should require that clearing of vegetation, and when biologically warranted construction, occur outside of the peak avian breeding season which generally runs from February 1 through September 1 (as early as January for some raptors). If Project construction is necessary during the bird breeding season, a qualified biologist with experience in conducting bird breeding surveys should conduct weekly bird surveys for nesting birds, within three days prior to the work in the area, and ensure no nesting birds in the Project area would be

Ms. Anita D. Gutierrez

August 23, 2018

Page 6 of 6

impacted by the Project. If an active nest is identified, a buffer shall be established between the construction activities and the nest so that nesting activities are not interrupted. The buffer should be a minimum width of 300 feet (500 feet for raptors), be delineated by temporary fencing, and remain in effect as long as construction is occurring or until the nest is no longer active. No Project construction shall occur within the fenced nest zone until the young have fledged, are no longer being fed by the parents, have left the nest, and will no longer be impacted by the Project. Reductions in the nest buffer distance may be appropriate depending on the avian species involved, ambient levels of human activity, screening vegetation, or possibly other factors.

We appreciate the opportunity to comment on the referenced NOP. Questions regarding this letter and further coordination on these issues should be directed to Scott Harris, Environmental Scientist, at (805)644-6305 or Scott.P.Harris@wildlife.ca.gov.

Sincerely,

A handwritten signature in black ink, appearing to read 'Erinn Wilson', with a stylized, cursive script.

Erinn Wilson

Environmental Program Manager I

cc: Ms. Erinn Wilson, CDFW, Los Alamitos
Mr. Scott Harris, CDFW, Ventura
Mr. Scott Morgan, State Clearinghouse, Sacramento

References

CDFW. 2018. *Protocols for Surveying and Evaluating Impacts to Special Status Native Plant Populations and Natural Communities*. <http://www.dfg.ca.gov/habcon/plant/>. .

Sawyer, J. O., Keeler-Wolf, T., and Evens J.M. 2008. *A manual of California Vegetation*, 2nd ed. ISBN 978-0-943460-49-9.



VENTURA COUNTY WATERSHED PROTECTION DISTRICT
WATERSHED PLANNING AND PERMITS DIVISION
800 South Victoria Avenue, Ventura, California 93009
Sergio Vargas, Deputy Director – (805) 650-4077

M E M O R A N D U M

DATE: August 27, 2018

TO: Anthony Ciuffetelli, RMA Planning

FROM: Nathaniel Summerville, Engineer III - Advanced Planning Section

SUBJECT: RMA18-012 Santa Monica Mountains North Area Plan
Zone 4
Watershed Protection District Project Number: WC2018-0048

Pursuant to your request dated August 8, 2018, this office has reviewed the submitted materials and provides the following comments.

PROJECT LOCATION:

The Santa Monica Mountains North Area includes 33 square miles of unincorporated Los Angeles County lands from the US 101 freeway corridor south to the coastal zone boundary. The North Area includes portions of the Santa Monica Mountains National Recreation Area administered by the National Park Service, California State Park lands, and other protected areas.

PROJECT DESCRIPTION:

The County is proposing comprehensive updates to the policies of the SMM North Area Plan ("SMMNAP") and to development standards in the SMM North Area Community Standards District ("CSD"). The SMMNAP is a component of the County's General Plan with focused objectives and policies for the SMM North Area. The CSD implements the policies of the SMMNAP and includes development standards that are specific to the North Area. The updates are proposed to address concerns that have developed since the adoption of the SMMNAP in 2000, to strengthen existing environmental resources policies, and to identify policies and standards that continue to support the community's rural and semirural lifestyle. In addition, the County is updating the SMMNAP and CSD to be in alignment on many of the environmental protection policies in the recently certified Santa Monica Mountains Local Coastal Program ("LCP"). Land use regulations and environmental protections in the coastal zone and in the SMM North Area should be consistent for these two areas within the Santa Monica Mountains. Lastly, some of the SMMNAP policies adopted in 2000 have not been implemented in the North Area CSD, including development standards for signs, vegetation management, and water resources protections; these issues will be addressed in the proposed updates.

WATERSHED PROTECTION DISTRICT COMMENTS:

Comments from Advanced Planning Section:

The Santa Monica Mountains North Area is within the County of Los Angeles. However, a portion of the area west of highway 23 drains into Ventura County and is situated approximately 2 miles southeast and upstream of Lake Sherwood and Hidden Valley Channel which are under the jurisdiction of the Ventura County Watershed Protection District (District). It is understood that impacts from increased impervious area and stormwater drainage design related to future proposed development within the Santa Monica Mountains North Area Community Standards District (CSD) will be required to be mitigated to less than Significant under the conditions imposed by the County of Los Angeles Public Work guidelines.

When considering updates to the CSD, the District requests that the updated policies require that runoff from any proposed project sites tributary to Ventura County will be released at no greater than the undeveloped flow rate and in such manner as to not cause an adverse impact downstream in peak, velocity or duration. Alternatively apply the Los Angeles County or local standard whichever is most restrictive.

It is the Districts policy to require a drainage report for any proposed development to verify the impacts of increased impervious area are mitigated to less than significant. A Drainage Report, at a minimum, includes the following items:

- Sign and Seal from Licensed Engineer
- Figures/Hydrology Maps
- Hydrologic and Hydraulic Calculations
- Stormwater Calculations
- Mitigation Measures
- Offsite Flows
- Hydrology Maps
- Stormwater Quality Treatment Devices
- FEMA Maps
- Storm Drainage Plan (showing outlets and complete storm drain network)

WATERSHED PROTECTION DISTRICT CONDITIONS:

None

END OF TEXT

DEPARTMENT OF TRANSPORTATION

DISTRICT 7

100 S. MAIN STREET, MS 16

LOS ANGELES, CA 90012

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*Making Conservation
a California Way of Life.*

August 30, 2018

Ms. Anita D. Gutierrez
LA County Department of Regional Planning
320 W. Temple Street, 13th Floor
Los Angeles, CA 90012

RE: Santa Monica Mountains North Area Plan
Notice of Preparation of Environmental
Impact Report (NOP)
GTS # 07-LA-2018-01806
SCH # 2018071065

Dear Ms. Gutierrez:

Thank you for including the California Department of Transportation (Caltrans) in the environmental review process for the above referenced project. The plan proposes comprehensive updates to the policies of the Santa Monica Mountains North Area Plan and to the development standards in the Santa Monica Mountains North Area Community Standards District.

The mission of Caltrans is to provide a safe, sustainable, integrated and efficient transportation system to enhance California's economy and livability. Senate Bill 743 (2013) mandated that CEQA review of transportation impacts of proposed development be modified by using Vehicle Miles Traveled (VMT) as the primary metric in identifying transportation impacts for all future development projects. You may reference to The Governor's Office of Planning and Research (OPR) for more information.

<http://opr.ca.gov/ceqa/updates/guidelines/>

Caltrans is aware of challenges that the region faces in identifying viable solutions to alleviating congestion on State and Local facilities. With limited room to expand vehicular capacity, this General Plan Update should incorporate multi-modal and complete streets transportation elements that will actively promote alternatives to car use and better manage existing parking assets. Prioritizing and allocating space to efficient modes of travel such as bicycling and public transit can allow streets to transport more people in a fixed amount of right-of-way.

Caltrans supports the implementation of complete streets and pedestrian safety measures such as road diets and other traffic calming measures. Please note the Federal Highway Administration

(FHWA) recognizes the road diet treatment as a proven safety countermeasure, and the cost of a road diet can be significantly reduced if implemented in tandem with routine street resurfacing. If residential development is being considered near a freeway or conventional highway, sound walls or equivalent measures should be implemented in zoning and guidelines, and to protect future occupants from potential adverse effects associated with traffic noise levels exceeding these standards.

Good geometric and traffic engineering design to accommodate bicyclists and pedestrians are critical at every on and off ramp and freeway terminus intersection with local streets. Caltrans will work with the City to look for every opportunity to develop projects that improve safety and connectivity for pedestrians and bicyclists. Opportunities for improvements may exist on State facilities such as: freeway termini, on/off-ramp intersections, overcrossings, under crossings, tunnels, bridges, on both conventional state highways and freeways.

With regard to public transit, we recommend planning for gradual continual improvement of transit stops, bus bays, or other facilities, to accommodate traffic flow, especially on streets that are State Route locations or are near freeway intersections.

The Department also seeks to provide equitable mobility options for people who are economically, socially, or physically disadvantaged. Therefore, we ask the Lead Agency to evaluate future development for access problems, VMT and service needs that may need to be addressed.

If you have any questions, please feel free to contact the project coordinator, Ms. Shabnam Sheikh, at shabnam.sheikh@dot.ca.gov, and refer to GTS #07-LA-2018-01806.

Sincerely,



MIYA EDMONSON
IGR/CEQA Branch Chief

cc: Scott Morgan, State Clearinghouse



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30 August 2018

Anita Gutierrez, MPL, AICP
County of Los Angeles
Department of Regional Planning
320 W. Temple St, 13th, Fl
Los Angeles, CA 90012

Via Email to smmnortharea@planning.lacounty.gov

RE: North Area Plan and Community Standards District Update, Scope and Content of Environmental Impact Report

Dear Anita Gutierrez:

The Resource Conservation District of the Santa Monica Mountains (RCDSMM) appreciates the opportunity to provide input related to the scoping of the North Area Plan (NAP) Environmental Impact Report (EIR). As a non-regulatory reviewing and resource agency in the Santa Monica Mountains (SMMts), the RCDSMM is actively involved in monitoring resources and local restoration efforts in the area. We provide the following comments and considerations relative to the scope and content of the NAP EIR:

- Limiting resource degradation due to vineyards is a worthwhile goal. However, to best protect our natural resources, resource protection should be managed under consistent standards for all horticulture types. In addition, the effects of different types of horticulture on the natural environment of the SMMts should be analyzed with an emphasis on best practices and mitigation of impacts to native habitat, and incentives for practices that work within existing modified and fire management zones near the home.
- A stated intention of the update to the NAP is to bring it onto alignment with the Santa Monica Mountains Local Coastal Plan (LCP). The LCP has been in effect since 2014. As part of the EIR process, LA County should analyze which elements have been the most successful and which have been less successful and therefore may need different implementation methods.
- Study the benefits of incentivizing redevelopment/upgrading existing properties and using existing footprints so that existing property upgrades are effectively encouraged through regulatory review.
- Study benefits of a County-organized market for Transfer of Development Credits, so that existing developed areas ('recipient' properties) can benefit from the purchase of undeveloped and non-conforming lots in appropriate 'donor' areas.
- In the Coastal Zone, the recent interpretation of mitigation of native trees to allow for



preserving sub-legal size trees should be beneficial, as it will allow for different tree age classes in the SMMts to develop over time, and de-incentivize the cutting of these trees before they reach legal age. The NAP EIR should study this and other incentives for landowners to harbor and restore trees and other sensitive species and habitats within private property.

- Ensure that Heritage and Historic Tree language regarding non-native trees is not so broad that these trees are avoided at the expense of otherwise healthy native habitat in development design.
- Consider on-site wastewater treatment regulation to incentivize practical improvements to and management of existing systems in established locations on private property, over new systems that would expand the impact footprints in areas with natural habitat values, particularly for projects that would propose to improve and add to existing development.
- In general, seek to incentivize good environmental stewardship of existing developed and impacted areas so that these areas have some practical advantage for continued use and upgrades, to decrease pressure and impacts to undeveloped land.

Thank you for the opportunity to submit our comments in this early stage of the NAP EIR scoping process. We look forward to participating as the work progresses. Should you have any questions regarding the content of this letter or would like to more directly engage the RCDSMM in additional study efforts, please feel free to contact me or our Senior Conservation Biologist, Rosi Dagit, using the contact information provided on this letter.

Respectfully submitted,

Clark Stevens, Architect
Executive Officer

August 30, 2018

County of Los Angeles
Attn.: Anita D. Gutierrez, MPL, AICP
320 West Temple Street, 13th Floor
Los Angeles, CA 90012

E-mail: smmnortharea@planning.lacounty.gov

Subject: Santa Monica Mountains North Area Plan

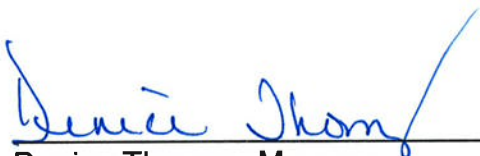
Dear Ms. Gutierrez:

Thank you for the opportunity to review and comment on the subject document. Attached are the comments that we have received resulting from intra-county review of the subject document. Additional comments may have been sent directly to you by other County agencies.

Your proposed responses to these comments should be sent directly to the commenter, with a copy to Anthony Ciuffetelli, Ventura County Planning Division, L#1740, 800 S. Victoria Avenue, Ventura, CA 93009.

If you have any questions regarding any of the comments, please contact the appropriate respondent. Overall questions may be directed to Anthony Ciuffetelli at (805) 654-2443.

Sincerely,



Denice Thomas, Manager
Planning Programs Section

Attachments

County RMA Reference Number 18-012





August 31, 2018

Ms. Anita Gutierrez, Supervising Regional Planner
Community Studies West Section
Los Angeles County Department of Regional Planning
320 West Temple Street, 13th Floor
Los Angeles, California 90012
E-mail: smnortharea@planning.lacounty.gov

RE: SCAG Comments on the Notice of Preparation of a Draft Environmental Impact Report for the Santa Monica Mountains North Area Plan and Community Standards Update [SCAG NO. IGR9686]

Dear Ms. Gutierrez,

Thank you for submitting the Notice of Preparation of a Draft Environmental Impact Report for the Santa Monica Mountains North Area Plan and Community Standards Update ("proposed project") to the Southern California Association of Governments (SCAG) for review and comment. SCAG is the authorized regional agency for Inter-Governmental Review (IGR) of programs proposed for Federal financial assistance and direct Federal development activities, pursuant to Presidential Executive Order 12372. Additionally, SCAG reviews the Environmental Impact Reports of projects of regional significance for consistency with regional plans pursuant to the California Environmental Quality Act (CEQA) and CEQA Guidelines.

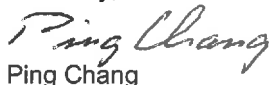
SCAG is also the designated Regional Transportation Planning Agency under state law, and is responsible for preparation of the Regional Transportation Plan (RTP) including the Sustainable Communities Strategy (SCS) pursuant to Senate Bill (SB) 375. As the clearinghouse for regionally significant projects per Executive Order 12372, SCAG reviews the consistency of local plans, projects, and programs with regional plans.¹ SCAG's feedback is intended to assist local jurisdictions and project proponents to implement projects that have the potential to contribute to attainment of Regional Transportation Plan/Sustainable Community Strategies (RTP/SCS) goals and align with RTP/SCS policies.

SCAG staff has reviewed the Notice of Preparation of a Draft Environmental Impact Report for the Santa Monica Mountains North Area Plan and Community Standards Update in unincorporated Los Angeles County. The proposed project includes an update to the Santa Monica Mountains North Area Plan, covering approximately 30 square miles of urbanized areas, rural residential areas, ranches, vineyards, and open space.

When available, please send environmental documentation to SCAG's Los Angeles office in Los Angeles (900 Wilshire Boulevard, Ste. 1700, Los Angeles, California 90017) or by email to au@scag.ca.gov providing, at a minimum, the full public comment period for review.

If you have any questions regarding the attached comments, please contact the Inter-Governmental Review (IGR) Program, attn.: Anita Au, Associate Regional Planner, at (213) 236-1874 or au@scag.ca.gov. Thank you.

Sincerely,



Ping Chang

Acting Manager, Compliance and Performance Monitoring

¹ Lead agencies such as local jurisdictions have the sole discretion in determining a local project's consistency with the 2016 RTP/SCS for the purpose of determining consistency for CEQA. Any "consistency" finding by SCAG pursuant to the IGR process should not be construed as a determination of consistency with the 2016 RTP/SCS for CEQA.

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**COMMENTS ON THE NOTICE OF PREPARATION OF A
DRAFT ENVIRONMENTAL IMPACT REPORT FOR THE
SANTA MONICA MOUNTAINS NORTH AREA PLAN AND COMMUNITY STANDARDS UPDATE
[SCAG NO. IGR9686]**

CONSISTENCY WITH RTP/SCS

SCAG reviews environmental documents for regionally significant projects for their consistency with the adopted RTP/SCS. For the purpose of determining consistency with CEQA, lead agencies such as local jurisdictions have the sole discretion in determining a local project's consistency with the RTP/SCS.

2016 RTP/SCS GOALS

The SCAG Regional Council adopted the 2016 RTP/SCS in April 2016. The 2016 RTP/SCS seeks to improve mobility, promote sustainability, facilitate economic development and preserve the quality of life for the residents in the region. The long-range visioning plan balances future mobility and housing needs with goals for the environment, the regional economy, social equity and environmental justice, and public health (see <http://scagrtpscs.net/Pages/FINAL2016RTPSCS.aspx>). The goals included in the 2016 RTP/SCS may be pertinent to the proposed project. These goals are meant to provide guidance for considering the proposed project within the context of regional goals and policies. Among the relevant goals of the 2016 RTP/SCS are the following:

SCAG 2016 RTP/SCS GOALS	
RTP/SCS G1:	<i>Align the plan investments and policies with improving regional economic development and competitiveness</i>
RTP/SCS G2:	<i>Maximize mobility and accessibility for all people and goods in the region</i>
RTP/SCS G3:	<i>Ensure travel safety and reliability for all people and goods in the region</i>
RTP/SCS G4:	<i>Preserve and ensure a sustainable regional transportation system</i>
RTP/SCS G5:	<i>Maximize the productivity of our transportation system</i>
RTP/SCS G6:	<i>Protect the environment and health for our residents by improving air quality and encouraging active transportation (e.g., bicycling and walking)</i>
RTP/SCS G7:	<i>Actively encourage and create incentives for energy efficiency, where possible</i>
RTP/SCS G8:	<i>Encourage land use and growth patterns that facilitate transit and active transportation</i>
RTP/SCS G9:	<i>Maximize the security of the regional transportation system through improved system monitoring, rapid recovery planning, and coordination with other security agencies*</i>
<i>*SCAG does not yet have an agreed-upon security performance measure.</i>	

For ease of review, we encourage the use of a side-by-side comparison of SCAG goals with discussions of the consistency, non-consistency or non-applicability of the goals and supportive analysis in a table format. Suggested format is as follows:

SCAG 2016 RTP/SCS GOALS	
Goal	Analysis
RTP/SCS G1: <i>Align the plan investments and policies with improving regional economic development and competitiveness</i>	<i>Consistent: Statement as to why;</i> <i>Not-Consistent: Statement as to why;</i> <i>Or</i> <i>Not Applicable: Statement as to why;</i> <i>DEIR page number reference</i>
RTP/SCS G2: <i>Maximize mobility and accessibility for all people and goods in the region</i>	<i>Consistent: Statement as to why;</i> <i>Not-Consistent: Statement as to why;</i> <i>Or</i> <i>Not Applicable: Statement as to why;</i> <i>DEIR page number reference</i>
etc.	etc.

2016 RTP/SCS STRATEGIES

To achieve the goals of the 2016 RTP/SCS, a wide range of land use and transportation strategies are included in the 2016 RTP/SCS. Technical appendances of the 2016 RTP/SCS provide additional supporting information in detail. To view the 2016 RTP/SCS, please visit: <http://scagrtpscs.net/Pages/FINAL2016RTPSCS.aspx>. The 2016 RTP/SCS builds upon the progress from the 2012 RTP/SCS and continues to focus on integrated, coordinated, and balanced planning for land use and transportation that the SCAG region strives toward a more sustainable region, while the region meets and exceeds in meeting all of applicable statutory requirements pertinent to the 2016 RTP/SCS. These strategies within the regional context are provided as guidance for lead agencies such as local jurisdictions when the proposed project is under consideration.

DEMOGRAPHICS AND GROWTH FORECASTS

Local input plays an important role in developing a reasonable growth forecast for the 2016 RTP/SCS. SCAG used a bottom-up local review and input process and engaged local jurisdictions in establishing the base geographic and socioeconomic projections including population, household and employment. At the time of this letter, the most recently adopted SCAG jurisdictional-level growth forecasts that were developed in accordance with the bottom-up local review and input process consist of the 2020, 2035, and 2040 population, households and employment forecasts. To view them, please visit <http://www.scag.ca.gov/Documents/2016GrowthForecastByJurisdiction.pdf>. The growth forecasts for the region and applicable jurisdictions are below.

	Adopted SCAG Region Wide Forecasts			Adopted Unincorporated Los Angeles County Forecasts		
	Year 2020	Year 2035	Year 2040	Year 2020	Year 2035	Year 2040
Population	19,663,000	22,091,000	22,138,800	10,326,200	11,145,100	11,514,800
Households	6,458,000	7,325,000	7,412,300	3,493,700	3,809,300	3,946,600
Employment	8,414,000	9,441,000	9,871,500	4,662,500	5,062,100	5,225,800

MITIGATION MEASURES

SCAG staff recommends that you review the Final Program Environmental Impact Report (Final PEIR) for the 2016 RTP/SCS for guidance, as appropriate. SCAG's Regional Council certified the Final PEIR and adopted the associated Findings of Fact and a Statement of Overriding Considerations (FOF/SOC) and Mitigation Monitoring and Reporting Program (MMRP) on April 7, 2016 (please see: <http://scagrtpscs.net/Pages/FINAL2016PEIR.aspx>). The Final PEIR includes a list of project-level performance standards-based mitigation measures that may be considered for adoption and implementation by lead, responsible, or trustee agencies in the region, as applicable and feasible. Project-level mitigation measures are within responsibility, authority, and/or jurisdiction of project-implementing agency or other public agency serving as lead agency under CEQA in subsequent project- and site- specific design, CEQA review, and decision-making processes, to meet the performance standards for each of the CEQA resource categories.

PRISMM
Protectors & Residents in the Santa Monica Mountains
5627 Kanan Road, Ste 303
Agoura Hills, CA 91301

August 28, 2018

Sent via email to smmnortharea@planning.lacounty.gov

Re: Scoping of EIR

Dear Ms. Gutierrez,

The members of PRISMM would like to make the following suggestions regarding the EIR about to be conducted in anticipation of updates to the North Area Plan.

1.) TRAFFIC STUDY:

Traffic on Kanan Road continues to suffer gridlock, especially during the summer months. This seasonal increase mimics the anticipated increase of nearly 20,000 cars per day at the intersection of at Kanan and Agoura Roads due to projects that are part of the upcoming "Agoura Village".

"Agoura Village" will be created on the border between the City of Agoura Hills and the unincorporated area. Two of the largest of these projects will flank this intersection. This increase in traffic will occur *every day* – not just during beach weather.

The impact of this reality upon *daily* traffic on Kanan Road cannot be underestimated and should be taken into consideration when the traffic study is conducted as part of the EIR.

2.) As for Kanan Road's County designation as a scenic highway, PRISMM suggests that the protections afforded Kanan Road in the LCP be matched and spelled out in the North Area Plan, as well.

Thank you,

Rae Greulich
PRISMM Leadership Committee

<https://www.santamonicamountains.org>

<https://www.facebook.com/ProtectorsandResidentsInTheSantaMonicaMountains/>

California Native Plant Society

Los Angeles/Santa Monica Mountains Chapter
15811 Leadwell St., Van Nuys, CA 91406
August 28, 2018

Anita Gutierrez
County of Los Angeles
Dept. of Regional Planning
smmnortharea@planning.lacounty.gov

RE: Scoping EIR for the Santa Monica Mountains North Area Plan & Community Standards District Update

Dear Ms Gutierrez:

On behalf of the California Native Plant Society (CNPS), Los Angeles/Santa Monica Mountains Chapter, I am writing to submit comments preparatory to the EIR for the Santa Monica Mountains North Area Plan & Community Standards District Update. The following are concerns that we feel must be addressed:

- Nearly 100% of the North Area is located within dedicated Significant Ecological Areas (SEAs). Due to this hyper-environmental sensitivity and character, it is tantamount that the County Regional Planning's focus be on protecting and preserving the functionality, integrity, and long-term sustainability of these SEAs, associated wildlife corridors, watersheds and sub-watersheds.
- There is increasing data that show the significance of *undisturbed* native habitats roles in carbon capture. There should be as little as possible California native vegetation removal throughout the Santa Monica Mountains (SMMs).
- The County should require similar building requirements in the North Area of the SMMs, as does California Coastal Commission on the coastal side. This equates to requiring the smallest possible development footprint and keeping native vegetation *in situ*. All accessory dwelling units must be part of the development cluster.
- Any new development should be allowed only within existing small communities of the SMMs. These areas should be mapped by Regional Planning, with a permanent native vegetation boundary determined that serves as a permanent green space boundary. The rural and agricultural history and integrity of these small communities should be preserved, with associated building code specifically designed to prevent urbanization.
- Los Angeles County should create a formulary to apply to all proposed new development in the SMMs that determines the initial and long-term maintenance costs to infrastructure, *i.e.*, electricity, gas, roads, emergency services, trash hauling. A community level annual assessment should be an added tax to ensure the burden of these outliers and tangential environmental protections is assumed by those demanding and receiving these services over time.
- Oaks and riparian vegetation are proven the best naturally occurring ember catchment devices and fire breaks. Consider mandating fire safe California native horticultural practices for any new structures and encourage retrofitting for existing structures/properties.
- Vineyards only serve as fire breaks when they are heavily irrigated. The greatest volume of water applied to grapes is during plant establishment the first five years. Climate change science shows vineyards will be more affected than other crops, which will require deeper and longer irrigation plus misting. In a warming climate on steep hillsides with rocky soils within the Extreme High Fire Severity Zone that is the entire SMMs, along with the many chemical inputs to the crop that readily run-off as non-point source pollution, grapes are unsustainable as a crop and to the environment in the SMMs. There are already 200+ vineyards established in the SMMs. Limits need to be put on allowing further vineyard planting. California native plant hedgerows planted around vineyards and other agricultural fields are an idea worth investigating.



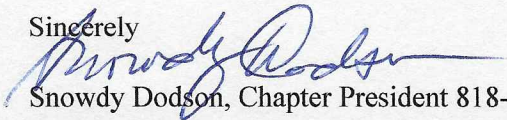
Dedicated to the preservation of California native flora



- Native and heritage trees programs should be established in the North Area, along with associated documentation and mapping. Maximum protection should be afforded to native oaks, sycamores, black walnuts, and native shrubs.
- Invasive plants in the area are rampant. They squeeze out native vegetation that native animals depend on for food and habitat. They create increased fire danger. The County should include a weed management plan for the North Area. Spanish broom, pampas grass, tree of heaven, fountain grass, castor bean, and the like do not belong in the SMMs.
- Updated native plant surveys should be conducted by California native plant certified botanists and be scheduled during times that optimal for displays of botanical diversity i.e., winter/spring. Also, rare plant surveys are much needed to update knowledge on what may have been lost or preserved.
- Los Angeles County needs to devote resources to watershed management.
- What protections are being afforded Malibu Canyon?
- What are the impacts to the Santa Monica Mountains National Recreation Area?

The California Native Plant Society is a non-profit organization of nearly 10,000 laypersons, professional botanists, and horticulturists with 35 statewide chapters. Our mission is to conserve California native plants in their natural habitats through advocacy, science, stewardship, and education. The California native plants in the SMMs provide the habitat and sustenance needed by our native animals. If you protect the plants, you protect everything else.

Sincerely



Snowdy Dodson, Chapter President 818-782-9346 email: snowdy.dodson@csun.edu

CC: NJensen; IAnderson; CNPS Chapter Conservation Committee

Anita Gutierrez, MPL, AICP
Community Studies West Section
Los Angeles County
DRP
320 W. Temple Street, 13th Floor
Los Angeles, CA
90012

Date: August 30, 2018

Dear Anita,

Thank you for the opportunity in providing comments regarding the North Area Plan (NAP) and CSD for the Santa Monica Mountains. I have lived in this area for 20 years adjacent to National Park Land. I have been very involved in the local community in getting the North Area Plan implemented in 2000 with our group, Cornell Preservation Organization aka CPO. I own an established and reputable landscape company and work with oak trees.

In regards to Proposed Policies and Development Standards I would like to submit the following:

Equestrian Standards:

Wrapping of oak trees - This should be done with an arborist's recommendation as to what to wrap it with, so as to help keep trees healthy. Or the County adopt a standard as to what is considered an appropriate "wrap".

Expanded Tree Protections:

There needs to be an encouragement of sorts to get folks to embrace oak trees. Currently, due to the harsh restrictions, people illegally remove oaks. I think this needs to be thoroughly reconsidered. One concept would be to allow a tax write off, if these trees are kept preserved on the property which would include having a professional exam the tree from time to time and make recommendations and these recommendations are implemented. Homeowners need to be educated with the drought in California, to keep the oaks deep watered, as the aquifers are either gone or are at much deeper level, thereby putting the oaks at risk. We are losing our native oaks by the hundreds. Some of the old requirements of how to take care of oaks are no longer up to date with the current drought situation.

Oak trees, that a homeowner plants on their own that are NOT native, should not be required to be protected.

Removal of Oaks:

There needs to be several agencies involved before a heritage oak or a protected oak is removed. LA County Forestry needs to verify with Regional Planning Enforcement before signing off to allow a tree to be removed. I believe that a homeowner should only be allowed to speak to a LA County Forester who is local to the area and not one out of the area, as often they are not aware of the circumstances of a property owner. I speak from experience on this issue and can contribute more information if needed. Bottom line: No native oaks should be allowed to be removed that are protected especially a heritage oak tree unless a certified arborist is involved and there are a couple of check points that need to be crossed before

allowing this to happen. An emergency oak tree permit for removal should not be issued unless complete sign off is given by various agencies and perhaps even an outside oak tree expert.

Wildlife Corridor Protection: I think this needs to be addressed especially adjacent to blue line streams. Fencing should not be allowed to be installed preventing established wildlife corridors or impeding them. Especially adjacent to National or State Park.

Fencing: See through fencing - not solid opaque fencing in a Scenic area should be implemented. If the fencing is adjacent to a year round creek then "pool security" features such as see through wiring can be added for safety, but otherwise the fence should be allowed to be see through for visual interest.

Solid fencing adjacent to Blue Line Streams: These should not be allowed due to the hydrology concerns when streams become rushing rivers during a flood event.

These are some of my insights to consider. I think that those who choose to live near blue line streams, National or State Parks, or that have oak trees on their properties are at a higher standard level of protection. I think that homeowner's that live in these areas should consider themselves stewards of the land and should be encouraged to help take care of the natural resources surrounding them. Often, agencies want to charge such high fees that people are discouraged and don't want to do their part. Perhaps, there is a way to encourage not discourage.

Thank you,

Colleen Holmes
3700 Old Oak Road
Agoura, CA.
91301

President
Cornell Preservation Organization

From: [Dan Fredman](#)
To: [DRP SMMNorthArea](#)
Cc: [Anita Gutierrez](#)
Subject: Comments from the Malibu Coast Vintners and Grape Growers Alliance regarding the EIR for the upcoming revision of the North Area Plan
Date: Thursday, August 30, 2018 10:11:52 PM

Dear Anita,

I am writing to you on behalf of the Malibu Coast Vintners and Grape Growers Alliance. There are a number of concerns we have that we believe should be considered in the forthcoming EIR for the revision of the North Coast Plan. It does seem a little odd that the EIR will be done concurrently with the Plan, but we're grateful for the opportunity to make our concerns known to you and look forward to working closely with you, Luis, and the rest of the team to make sure the finished proposal works for everyone with a stake in maintaining the Santa Monica Mountains to benefit the largest group of people and maintain it for future generations.

Please feel free to contact me at dan@danfredman.com if I can shed any further light on any of our organization's concerns (you will also be hearing from other members of the MCVGGA, so our apologies in advance for any comments that may be repeated).

Best regards,

Dan Fredman

Questions that the Malibu Coast Vintners and Grape Growers Alliance would like see addressed in the EIR for the revision of the North Area Plan in the Santa Monica Mountains Recreation Area:

It would be beneficial to all parties to see the metrics related to the viewshed impact of vineyards in the Santa Monica Recreational Area.

How is this impact calculated in an EIR and what is its impact on the EIR's findings? We've been told that the view of grapevines is the most often-heard complaint relating to the North Coast Plan, What process is used for quantifying these figures, and are these metrics based on actual surveys of citizens viewing the mountains while actually visiting (or living in) the region, or are they derived from in-person, telephone or online surveys taken outside of the area or submitted by outside interest groups?

How are grapevines specifically harmful for the environment of the Santa Monica Mountains, compared to other allowed crops and agricultural products?

Grapevines have been singled out by the Coastal Commission as the only crop not allowed to be planted in the Coastal Zone and the Department of Regional Planning seemingly desires to extend this ban to the entire Third Supervisorial District. The EIR should address why grapevines are harmful, particularly in comparison to other planting (including landscaping). Documentation should be obtained from agricultural

specialists to make sure that the LA County Board of Supervisors has the latest, most accurate, specific information on **vineyard water usage** (compared alongside data related to other allowable crops, equestrian facilities, and native vegetation), **water runoff and watershed pollution potential** (compared alongside data related to other allowable crops, equestrian facilities, and native vegetation), **brushfire prevention** (compared alongside data related to other allowable crops, equestrian facilities, and native vegetation), **hillside erosion control** (compared alongside data related to other allowable crops, equestrian facilities, and native vegetation).

The Santa Monica Mountains Recreational Area has been referred to as “the lungs of Los Angeles.” It might be worthwhile to compare the oxygen-generating ability of grapevines vs native vegetation. This is by no means a rationale for ESCA to be ripped out and replaced by vineyards, but an effort to show that there is no loss to LA’s ability to breathe due to the existence of a few hundred acres of vines out of the 160,000+ acres of vegetation in the region.

What current data has been collected related specifically to water runoff from vineyards located in the 3rd Supervisorial District? (this data should be gathered separately from data on runoff from equestrian facilities, cannabis farms –legal or not—and septic runoff from aging tanks, but not on vineyard-adjacent property). And how do the vineyards in this district compare to data collected from vineyards within the Coastal Zone but in other LA County districts (Palos Verdes, Catalina) and from LA County vineyards outside the zone in Hollywood, Bel Air, Antelope Valley, etc...

The vineyards within the Malibu Coast AVA overwhelmingly farm according to the tenets of the California Sustainable winegrowing program: https://secure-web.cisco.com/13wDQhtR2V31NCBgtkF9Das_9DO4AMPas9wPaCVwfmBDGe5adKzQP0e-kn3se9PcXoggHxQ9y-K4N513ZxpGPAMsXaDzoPOGHx5hHb5oZUjsLEBIY1MFH2-iEoD9atNhEbSPELbt96Yo5UGufRXyr3-rnPmbgB4cubj_Hc05yty_G1bXZFik6jJgsfWUuLHovhHrE-Db6MjCPVqStqdwBk3TD7OGuTNYLax9rshhbf61t2Xq5fnaHfGdsqQJFqrzjOqr6aq8svOn-8bP3Dg9o4TmZWfQMXQoVQ1NEtZEEDXbK3ZGaQS7Ho9YJ5uFIboz-RfI0TuEN07NVHZ2xUXYjLbnUvCGBVvKAJ4i9I9GHZ434nwLnSr2dPvrTnAC_VqBf5oBQ2sjwAoljM1-b1nQRqg/https%3A%2F%2Fwww.sustainablewinegrowing.org%2F Will the EIR take notice of the low-impact environmental footprint of this approach vs. standard viticultural practices? If vineyards are to be singled out and banned as bad environmental citizens in the region, the facts and figures necessitating this ban (or that fall under the current vineyard restrictions that effectively serve as a ban) should be made clear in the EIR and put into context with regulations in other Supervisorial Districts in LA County.

What is the impact of a vineyard’s tasting room (if there is one) on its surrounding environment in the Santa Monica Mountains Recreational Area? Survey data points should include factors such as traffic, sound volume, trash recycling/collection, public safety, and of course, any economic and ecological impacts on the mesoclimate and macroclimate.

The impact of vineyard tasting rooms should be compared and contrasted to the permitted (and unpermitted) events spaces (dance pavilions) in the area, along with the impact of AirBnB rentals used for single-day purposes. The EIR facilitators should

make a concerted effort to discern whether complaints lodged with the LA County Sheriff are based on events taking place at winery tasting rooms or at event spaces.

Will the EIR (or the draft itself) weigh the benefits of the winery-inspired **tourism/visitor** impact in the Santa Monica Mountains Recreational Area with any directly-attributable impact on the environment?

The primary emphasis in the Recreational Area is that the land be used to attract **visitors**, and it would appear that wineries attract more people to the mountains than any other activity (equestrian, biking, hiking, motorcycles). Tens of thousands of people each year visit the Santa Monica Mountains to visit wineries and these are invariably people who would otherwise never visit the region.

By the same token would the winery's **benefit to the economy** be an appropriate addition to the EIR topics? The vineyards and tasting rooms add many jobs at all levels of their operation, from vineyard workers and consultants to tasting room personnel, but there are also local restaurant jobs, hotel positions, not to mention gas stations, pharmacies, and grocery stores that benefit from the tourism.

Finally, and not a request for something to be covered by the EIR *per se*, but we harbor some concerns about Aspen Environmental's ability to correctly assay the impact of vineyards on the environment if they do not already have extensive experience in such site-specific agriculture. We respectfully request that they engage the services of experts with qualified experience working in viticulture, and specifically viticulture in the South-Central Coast of California (ideally with vineyards from LA County to San Luis Obispo County). While it may seem as if specificity and expertise aren't necessary ("*plants are plants, dirt is dirt*"), the reality is that vines are so much a reflection of their terroir that to have a survey undertaken by someone unfamiliar with the particulars does both sides (LA County and the Vintners Alliance) a disservice.

Adding specific viticultural/agricultural expertise would alleviate many, if not all of our concerns about the EIR being conducted with too broad a brush, and by people who may not know what to look for or how to ascertain the importance of what they observe and how it fits into the puzzle of balancing the needs of many diverse groups while still upholding the mandates of the agricultural zoning and the recreational district. There are extensive academic and private resources available to the County that would provide all of us with pertinent, quantifiable, and above all, usable data particular to growing grapevines (and other crops) in this region.

--

From: Mr Terry Ahern
To: DRP SMMNorthArea
Subject: Homeowner Association Comments
Date: Friday, August 31, 2018 8:19:23 AM
Attachments: image005.png

Goal:

Identify the project's potential environmental effects, and to solicit your input on the scope and content of the EIR.

North Area CSD

Our Comments/Feedback:

Our biggest environmental concerns come from

- Land Use and Planning
- Noise
- Population and Housing
- Public Services n Recreation
- Transportation and Traffic

Any new regulations have to address Hillside development, population, noise and Traffic. Our land needs protection, real protection from social and economic supporters of development. We have to inscribe regulation that reduces not increases traffic flows. The public use of funds to address this scope would be useless and in vain unless tight enforceable regulations and scope significantly reduced building on our hills, stop population increases, reduce noise and reduce traffic. Traffic calculations must be changed to reflect real life scenarios. Traffic decreases should be the goal not limiting the increases. You encourage what you tolerate, please draft or add scope or binding regulations that truly limit our above concerns.

These are vital to strengthening existing environmental resources policies and continue to support the community's rural and semirural lifestyle.

Respectfully,

Terry Ahern

President -**Indian Hills Homeowners Association**

818 335 0500

Lastly, some of the SMMNAP policies adopted in 2000 have not been implemented in the North Area CSD, including development standards for signs, vegetation management, and water resources protections; these issues will be addressed in the proposed updates.

s: n Aesthetics n Air Quality n Cultural Resources n Geology and Soils n Greenhouse Gas Emissions n Hazards and Hazardous Materials n Hydrology/Water Quality n Land Use and Planning n Noise n Population and Housing n Public Services n Recreation n Transportation and Traffic n Tribal Cultural Resources n Utilities and Service Systems

EIR Impact Analysis Impacts are based on changes to the environment compared to existing conditions CEQA requires the analysis to focus on “significant” impacts Measures may be required to reduce or avoid significant impacts Social and economic impacts are not considered significant Alternatives are generally evaluated in less detail than the proposed project
Potential Impacts Aesthetics Air Quality Biological Resources Cultural Resources Geology and Soils GHG/Climate Change Hazards Hydrology/Water Resources Land Use and Recreation Noise Transportation/Traffic Tribal Cultural Resources Utilities and Service Systems Other: Cumulative and Growth Inducing Impacts

Comments Focus comments on environmental concerns that may result from Plan/CSD updates
Suggested Areas to comment on: ° Scope and content of EIR ° Local environmental knowledge ° Issues that need evaluation or how issues are evaluated ° Feasible alternatives to the Plan/CSD updates ° Mitigation measures to avoid or reduce impacts

Terry Ahern

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[web.cisco.com/18_yefJO7JvVMckqs4IJcDcce4rZ8GnaWnvYUlz8Fzppsc8l_KUuUdZbJvpv4CA5s-mHjoCvjI888hNKj3WePEr2BLgObTCQOZnncBeKRiOOzjWixNdUKn06XkptBvNWiuq0cavTQDYAaGVE1XWjLXhBkH9ZZDi3ogWXM XQPsJgV2Les4DUNK4XWfUdi9xGjKCYwU5mbkq8m9qgBI_9O43vPcbsBNpA7uO4XaKbsmyMkfi5q4cXY_s54ADqzj9bjHTUee7Tm fgg2ivZANc7Nu_TC4PELKQtC3SNkQnqur4bfl5nM3EOtIUQZYmgL4t81zBRFzGUN9nVIRLeu9pEcemic1s0hZ1HDNaa_AwpWEXyd-xRCdFqkHXV9m7-W1wnD47_Q4oSzrpcxDor8MwOIA/http%3A%2F%2Fwww.glamr.com](http://secure-web.cisco.com/18_yefJO7JvVMckqs4IJcDcce4rZ8GnaWnvYUlz8Fzppsc8l_KUuUdZbJvpv4CA5s-mHjoCvjI888hNKj3WePEr2BLgObTCQOZnncBeKRiOOzjWixNdUKn06XkptBvNWiuq0cavTQDYAaGVE1XWjLXhBkH9ZZDi3ogWXM XQPsJgV2Les4DUNK4XWfUdi9xGjKCYwU5mbkq8m9qgBI_9O43vPcbsBNpA7uO4XaKbsmyMkfi5q4cXY_s54ADqzj9bjHTUee7Tm fgg2ivZANc7Nu_TC4PELKQtC3SNkQnqur4bfl5nM3EOtIUQZYmgL4t81zBRFzGUN9nVIRLeu9pEcemic1s0hZ1HDNaa_AwpWEXyd-xRCdFqkHXV9m7-W1wnD47_Q4oSzrpcxDor8MwOIA/http%3A%2F%2Fwww.glamr.com)

See [Terry Ahern Profile](#)



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From: Nichelle OBrien
To: DRP SMMNorthArea
Subject: SMMNAP and CSD Plan Update Feedback
Date: Friday, August 31, 2018 11:49:18 AM
Attachments: pastedImage.png, pastedImage.png, pastedImage.png

To Whom it May Concern,

I am the Location Manager at Triunfo Creek Vineyards. I love the opportunity to work in the beautiful Santa Monica Mountains and I am grateful to also work in an industry I am passionate about.

I request that the in the SMMNAP & CSD update, that the county and EIR team recognizes operators that are compliant with existing county code. For those that follow existing regulations, there is no additional need to further regulate events.

Specifically, I play a role in the strict adherence to LA County Code for each onsite event. Prior to signing a client, I advise them of our venue rules and I communicate to appropriate vendors during the potentially year-long planning process to ensure the rules are followed on the event day. Some of the rules I communicate are mandatory use of our in-house sound system (which filters out excess bass and has a built-in limiter so as not to go above a certain decibel level), maximum allowed vehicles on site, ABC restrictions, usage of a gate attendant and other required safety personnel & light orientation.

So long as we continue to operate within the existing Resort Recreational Zoning & Los Angeles Municipal Code, I ask that you please don't penalize me or the venue.

Thank you for taking the time to read my feedback. For more information on the venue I work at, Triunfo Creek Vineyards, you can visit our website at http://secure-web.cisco.com/1Xv-ssfn67UawbBxV8clHcApM6VBfFGZW9DbRWAOm0EeW93e-TqfqPoKh0LQxtNSMSDdIDA1G1y38WDD1FxOo0H_VYcvgNkLydh7UkeEybpHeF8DPowFuq1LSVFtL2QU2nXAZhviFOai_jU-gGQPzrGLBfSinUQjXBc1M_03DeVHtu6WnMi6TgXn0nYNmcPW6J8Yt8dOUS2liiCVxV5eTu7FGFdX3xSoKcEdH7MZ1FHTThV3SsGtT7qNjeg06GT2hBZav5zno9StTGTH6ntwILACZemIJxq7Yrp2TnPWUKElkoI_utRIP2gjHtVizbNySl6uWs4BuNgLX3KKRVh5IORypvf4PKeMHH8qZhhSy0y18d9E8v7mphPZ_QMaq7Cnu5eVhxudfAN5aiFiL1zcA/http%3A%2F%2Fwww.triunfocreek.com.

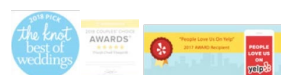
—

Nichelle O'Brien, Location Manager
Triunfo Creek Vineyards

http://secure-web.cisco.com/1Xv-ssfn67UawbBxV8clHcApM6VBfFGZW9DbRWAOm0EeW93e-TqfqPoKh0LQxtNSMSDdIDA1G1y38WDD1FxOo0H_VYcvgNkLydh7UkeEybpHeF8DPowFuq1LSVFtL2QU2nXAZhviFOai_jU-gGQPzrGLBfSinUQjXBc1M_03DeVHtu6WnMi6TgXn0nYNmcPW6J8Yt8dOUS2liiCVxV5eTu7FGFdX3xSoKcEdH7MZ1FHTThV3SsGtT7qNjeg06GT2hBZav5zno9StTGTH6ntwILACZemIJxq7Yrp2TnPWUKElkoI_utRIP2gjHtVizbNySl6uWs4BuNgLX3KKRVh5IORypvf4PKeMHH8qZhhSy0y18d9E8v7mphPZ_QMaq7Cnu5eVhxudfAN5aiFiL1zcA/http%3A%2F%2Fwww.triunfocreek.co

Facebook. Instagram. Pinterest.

Office Main 818.914.5186



Scoping Comments

EIR for the Santa Monica Mountains
North Area Plan and Community Standards District Update
County of Los Angeles, Department of Regional Planning

Date: August 31, 2018 Name: Larry Klein

Telephone: 818-519-4578

Affiliation: Vasa Park

Address: 2854 Triunfo Canyon Road, Agoura Hills, CA 91301

Email: larry@vasapark.org

Prefer paperless email notification: Yes

Comment:

I represent the Vasa Park Association who owns and operates Vasa Park. For 70 years we have operated under RR Zoning in Triunfo Canyon providing summer camps to children and weekend family events. We have the support of 99% of the community and we are responsive to community concerns.

Number of Events at Vasa Park

With the addition of irresponsible night venues there is much discussion within the community about the possible solutions to the problems. One of the solutions I have heard discussed is the limiting of the number of events allowed. The problem is not the number of daytime events, the real issue is the enforcement of night time sound ordinances in RR zoning.

Vasa Park and its member strongly oppose limiting the number of events for many reasons. Here is a list.

1. In our 70 years of hosting events in the community no one has ever suggested that we be limited in the number of events. It has not been a problem in the past and our operations have been the same for 70 years now.
2. Our uses of the park are clearly in the RR zoning. This suggestion within the community is just a way to limit the irresponsible night time use in the canyon. We should not be included in any limiting our events. If the County enforces the current code on the night time venues the neighbors would be happy.
3. If you limit the number of events at Vasa Park the groups that will be harmed most are the local community groups. We would be forced to only do events that are most profitable. We would be forced to not offer local school events, boys and girls scout events, charity events, small birthday kid's parties, etc and these would be eliminated.
4. We employ hundreds of people over the course of the summer in seasonal work. Limiting the events will limit summer jobs for college student and other adults who work for us. I have many full time staff who have been with us for over 20 years. I have seasonal staff that have been with us over 15 years.
5. **We are not outsiders coming into the community, we are part of the community. Limiting our events will hurt the community, eliminate summer jobs and limit quality outdoor recreation for youth, schools and charities. Please don't forget this fact!**

Scoping Comments

EIR for the Santa Monica Mountains
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FIRE EVACUTION

Everyone in the community is and should be concerned about fire safety. Operating a summer day camp and event venue requires provides me with additional concerns. Unfortunately many people in the canyon are using fear tactics regarding this concern as a way to limit night time issues and associated problems. There are real concerns and as a community they should be dealt with in a responsible way. Here are some important facts to consider.

1. I have met with fire officials privately over 6 times in the last two years to discuss evacuation issues. I have shared our plans and received input. Our fire plans are solid and based on the input from the fire officials.
2. We have developed plans for second exit route to Kanan Road not using Triunfo Canyon. We have shared this plan with the Fire officials and they agreed with route as a viable alternative, although they don't feel it will be needed.
3. We have requested that the Fire Department work to clean up a potential secondary way out of the canyon towards Westlake Village. There is an existing road maintained by the State and would need some clean up work. We would encourage LA County to get involved and open this secondary exit. I would provide much peace of mind and potential life saving exit for people deep in the canyons.
4. We have encouraged the Homeowners Association to meet to develop comprehensive plans like Topanga Canyon has but nothing happens. We are prepared to host and spearhead responsible actions for community safety.
5. Fire officials have told us that we are an ideal "Shelter In Place" facility as is Triunfo Creek Winery. We have plans to shelter in place if required and are prepared to offer our site to neighbors to shelter in place in needed. Here again it will require the will of community to help develop plans. Topanga Canyon is a good example of how the community can work together and they identify Shelter in Place venues for the community. We should do the same.
6. Lastly, we have prepared a set of criteria to close our events during red flag high alert situations. In researching the 1978 fire that everyone uses as an example we have been told the winds were 60 mph that day. We are an outdoor picnic venue and automatically start closing events in winds of 25mph out of necessity. Our interactive equipment like climbing walls and inflatable jumpers are not safe. And at 25 mph winds the park is filled with dust and our guests start leaving.
7. I heard several people at the meeting last week say there was 2000 cars a day in the canyon. That is simply not true.
8. Before the nighttime venues no one ever was concerned about our events at Vasa Park. We have solid plans and we are prepared. Our events are not a problem. The real problem is new traffic on Kanan. We are prepared. We have plans and have fire drills. Preparation is key.

Scoping Comments

EIR for the Santa Monica Mountains
North Area Plan and Community Standards District Update
County of Los Angeles, Department of Regional Planning

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Prefer paperless email notification: Yes

Comment:

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Use of Shuttles at Vasa Park events

With the addition of irresponsible night venues in the canyon there is much discussion within the community about the possible solutions to the problems they have created. One of the proposed solutions is requiring the use of busses and shuttles to limit operations of the night time venues. Vasa Park and it's member strongly oppose requiring our events to provide shuttles and bus transportation.

Here are our reasons:

1. In our 70 years of hosting events in the community no one has ever suggested that we be required to utilize buses for our events. This idea is being suggested as a way to limit the night time noise problems. We are not part of the noise issues everyone wants dealt with.
2. We have used busses and shuttles when we feel it is necessary or the client requests it. We have also provided professional traffic control occasionally we feel it is necessary.
3. Requiring the use of shuttles will greatly reduce the number of small community events. Our birthday party program, charity events, many school events would be adversely affected by the increase in costs.
4. Over the years if we have learned to manage our guests and now there is very minimal impact on inconvenience to the neighborhood. The big issue facing the community is the increased traffic on Kanan Road. It can take up to 45 minutes once on Kanan to get to the freeway some summer days. This problem is significant and our guest vehicles are not the cause of these huge traffic jams. We manage our departure very successfully and will continue to do so in the future.
5. **We are not outsiders coming into the community, we are part of the community. Requiring the use of shuttles will limit our events and will hurt the community, eliminate summer jobs and limit quality outdoor recreation for youth, schools and charities. Don't limit our ability to provide quality outdoor family recreation.**

Scoping Comments

EIR for the Santa Monica Mountains
North Area Plan and Community Standards District Update
County of Los Angeles, Department of Regional Planning

Date: August 31, 2018 Name: Larry Klein

Telephone: 818-519-4578

Affiliation: Vasa Park

Address: 2854 Triunfo Canyon Road, Agoura Hills, CA 91301

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Prefer paperless email notification: Yes

Comment:

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SYCAMORE TREES

I am concerned about the upcoming protection of the sycamore trees. I am also concerned about the safety of our summer campers and our picnickers.

Every year we hire a certified arborists to ensure tree health and safety of our visitors. We have many old growth trees at Vasa Park. If they are not trimmed properly people may die from falling branches. It's imperative that you allow us to trim the sycamores with a certified arborist without ADDING ADDITIONAL EXPENSE OR TIME TO THE TRIMMING.

22 years ago I had one County official who inspected my pool, summer camp, kitchen and wells. The annual inspection to the county was approximately \$240 per year. This year my fees are over \$5,000 per year. Please don't make it harder to do business in LA County by adding more fees to small businesses.

Please allow the trimming of Sycamore Trees by a certified arborist without a permit fee.

From: [Debbie Larson](#)
To: [Debbie Larson](#); [DRP_SMMNorthArea](#)
Subject: EIR Comments for the North Area Plan (NAP) and Community Standards District (CSD)
Date: Friday, August 31, 2018 5:27:10 PM

Anita Gutierrez, MPL, AICP, Supervising Regional Planner
Community Studies West Section
Los Angeles County Department of Regional Planning
320 W. Temple Street, 13th Floor
Los Angeles, CA 90012

Dear Ms. Gutierrez,

The Malibu Lakeside Community Association would like the following items studied in the NAP and CSD EIR:

1. Short term rentals and how they can be regulated and/or banned. There has been a lot of controversy on the rules and regulations for Airbnb rentals in the Malibu Lake area. Issues are parking, evacuation and noise.
2. Preservation of native trees beyond Oaks, specifically the Sycamore Trees. Many beautiful historic Sycamores have been removed from our neighborhood due to potential of building new homes. They should be protected just like the Oaks.
3. Varied Tree Protections and Designations - require a Protected Tree Permit to remove or encroach on native tree species. There should be some kind of protection for scrub oaks - they are usually treated as "weeds".
4. Mitigation for oaks removed under emergency permit. Currently there is no re-planting required.

Thank you
Malibu Lakeside Community Association

From: Tom Knapp
To: DRP SMMNorthArea
Subject: EIR, Map
Date: Friday, August 31, 2018 7:48:56 PM

Dear Sirs / Madams:

I am the managing member for Brookview Ranch LLC. We are a family owned business. Our property has been a community equestrian center for over 25 years. We purchased the property in 2015 and still are operating an equestrian center full-time. We also applied for and were granted permission to do events as a "Dance Pavilion with refreshment stands" in May 2016 from LA County Regional Planning.

We are members of the Triunfo Lobo HOA. Brookview Ranch commissioned a neighborhood survey, in which a door-to-door canvass was conducted in April 2018. We were disappointed we were not able to communicate with everyone in the neighborhood because most of the homes in the area are gated, restricting our ability to speak with the majority of the neighbors, and of course some were not home. In an effort to speak with as many of our neighbors as possible, we made three attempts to call on each home. We received substantive feedback from our neighbors with whom we were able to speak and as a result have made several improvements to our operations since our outreach efforts. We are currently working with LA County to address neighbor concerns:

Environmental impact on plants and animals:

We have 45 horses currently on our property (owned by community members – we do not personally own horses). We have over a dozen protected tagged Oaks on our property. We converted two arenas to grass areas that help cool the surrounding community. We brought in mature olives, Carolina Cherry and pepper trees to soften the footprint of our 23 acre property.

Noise impact on the community:

Brookview Ranch retained the services of a sound consultant recommended by the County to record baseline ambient levels and to conduct various sound tests on our property. The study found Brookview Ranch's operations comply with the County's Noise Ordinance. We continuously monitor our sound levels during events using our dB meter. We have a state-of-the art sound-cancelling speaker system and master control protocol. All of our events end at 10:00 p.m. All of our guests must leave by 11:00 p.m. and our vendors must leave before midnight. As an effort to reduce our sound levels, we own our rentals, so no trucks come onto or leave the property after any event.

Traffic on Triunfo Canyon:

We have developed and implemented a traffic mitigation plan. Our events end promptly at 10:00 p.m. During the exiting process, if more than five cars are exiting at one time, a staff member holds the cars to allow the spacing of cars on Triunfo Canyon Road. We are unaware of any issues regarding incoming traffic, as the Ranch has adequate self-parking for over 200 vehicles. Also, we have not had any issues with cars backing up on Triunfo Canyon Road to enter our property.

Fire hazard:

Originally, we wanted to make Brookview Ranch a non-smoking facility but found smokers would sneak away and smoke in areas where they were not permitted to do so. We now have a designated smoking

area with receptacles to safely extinguish cigarettes, providing a safe disposal area for the used cigarettes and reducing fire hazards. With this change, smokers no longer discard their cigarettes out of car windows along Triunfo Canyon Road when they leave our venue.

Dark Skies:

Our lights comply with these restrictions. Nathan Merrick from LA County Enforcement in 2017 told us one of our lights at our front gate (which had been in place since 2004) violated the rules and we promptly removed it.

Decorative wall on Triunfo:

There is a wall that fronts Triunfo. It was granted an easement in 1994. In 2004 a power pole was placed near the wall which pinched pedestrian access to a bridge walkway. In response to the community's request, on July 5, 2018, Brookview Ranch signed a covenant and agreement with the Los Angeles County Public Works Department to demolish a twelve-foot section of the Ranch's wall along Triunfo Canyon Road, which has been in the same location since 1994. Public Works inspected the site on August 21, 2018 allowed demolition to begin. The wall removal was completed on August 28, 2018 allowing safe public access to the bridge.

As for our proposed long-term solution, we are working with the County to convert our existing barns into a more permanent enclosed solution which would dramatically decrease noise from events at Brookview Ranch. We are also working with the County to build a bridge over the creek to provide all weather access to the northeast side of the creek, long desired by the County Fire Department.

Respectfully.

Tom Knapp
Managing Member
Brookview Ranch LLC

http://secure-web.cisco.com/1rXFr2Ywhex0Q2MLw1KRVgeK-F1WYi-Vejamk4awNQ1YuQc2nmK45R68ghL6Al-Z-wJhoNst2-SGS9qcP47WHv2Y97er4p-Ym01TvqKVDaG73t09RyN1QFR98VJo9VbtyoGQWKiuYZ_fU6oSnKcKaTRNIAxVWbyAzutX1xyoMlNpfzgsbSSXNA0QiVpYi1VdG90a3yrkEHmQAqhWXPuTNqof6ZEoEff9z4zUcsXAHsFkEBpU0UXR7HEXv33u0_OlFISk87IT9JJFAEJd3kwepm6mjzayrhzBVKzVrge_aTJg_0_frPekSQZ7YrjWiemwY9Rgd0hfoR8UUV85aNQh9ZUemsHMYP6CNEeGhV-RHuRsKC2j3p0HZkT-WBgnL2Cu4cLmNSpSRVmHH8EZsf8JXNGGGZq6cCXUusyJBHlInSiDA/http%3A%2F%2Fwww.BrookviewRanch.com

From: [jen Hippielchic](#)
To: [DRP_SMMNorthArea](#)
Subject: public comment
Date: Wednesday, August 01, 2018 1:17:16 PM

To Whom It May Concern,

I am writing to express my objection to “establish policy/standard for prohibiting rental of rooms for less than 30-day stays to discourage home sharing”. As a host of a vacation rental and property owner, this directly effects me in a negative way and negatively effects the environmental education and enjoyment of the Santa Monica Mountains. Publics lands means there needs to be a way of public access. By sharing our homes, we educate visitors about the beauty and diversity of the Santa Monica Mountains. First hand enjoyment and experience means these people will be invested in protecting this land. Shutting down home sharing gives less people access to the area and economically endangers the home owners who are required to implement all the rules put upon them by the North Area Plan.

Sincerely,
Topanga home owner

From: [Andrea Josephson](#)
To: [DRP_SMMNorthArea](#)
Subject: Comments
Date: Wednesday, August 01, 2018 4:53:39 PM

As of now the traffic generated on the 101 Fwy /Agoura Rd /and Mureau Rd and /Calabasas Rd at rush hour has become impossible

The county must do large areas of open land no high buildings.

Thx goodness they saved the Ahmanson Ranch!
Andrea Josephson

Sent from my iPhone

From: [Richard](#)
To: [DRP SMMNorthArea](#)
Cc: [Jeremy.Wolf@sen.ca.gov](#); [joey.apodaca@mail.house.gov](#); [media@nationalparks.org](#); [officemgr@mlmc.biz](#)
Subject: RE: SANTA MONICA MOUNTAINS NORTH AREA ENVIRONMENTAL IMPACT REPORT (EIR) SCOPING MEETING Date: Monday, August 20, 2018 2:18:50 PM
Attachments: [4-LAX METROPLEX ROUTES.PDF](#)

Anita D. Gutierrez
MPL, AICP | Supervising Regional Planner
Community Studies West Section
Los Angeles County Department of Regional Planning
320 W. Temple Street, 13th Floor | Los Angeles, CA 90012

RE:

**SANTA MONICA MOUNTAINS NORTH AREA ENVIRONMENTAL
IMPACT REPORT (EIR) SCOPING MEETING**

Tuesday, August 21, 2018

6:00 P.M. - 7:30 P.M.

**Los Angeles County Calabasas Field Office
26600 Agoura Road
Agoura Hills, CA 91302**

Dear Anita Guterrez,

In regards to the Santa Monica Mountains North Area Environmental Impact Report:

I did not see the following issue in the briefs.

Please add as part of the discussion, as it is in my belief an important part of not only environmental protection, and preservation for our area, but also for us humans.

LAX AIRPORT : NEW FAA SOUTHERN CALIFORNIA METROPLEX – 3 ARRIVALS, 1 DEPARTURE LOW ALTITUDES OVER THE SANTA MONICA MOUNTAIN RANGE, AND MOUNTAIN COMMUNITY RESIDENTS.

Below is the letters I have sent to the appropriate government agencies, combined with some information for you about what is happening, which I will outline below.

My name is Richard Breene.

I live at **1924 Flathead Trail, Agoura Hills, CA 91301.**

I am inquiring to you as a Santa Monica Mountain resident , Los Angeles county, voicing **opposition** to the (4) new FAA LAX Airline Metroplex routes. I live at the edge of Malibu Creek State Park, within the **Santa Monica North Area Plan**. The 3 new incoming routes converge and go directly over Paramount Ranch, my home, our community (**Malibu Lake**) , and **directly through Malibu Creek State Park**, as well as (1) departing route. This is almost 1/3 of all incoming flights from LAX equating to over 300 flights a day, all combined.

The routes are illustrated in the attachment, or by watching in delayed real time, altitude, ect, at this LAX provided link called [WebTrak](#) Please take a few minutes, and watch.

The frequency (number of flights, literally every few minutes), and the beyond reasonable tolerance of disruptive, "excessive noise volumes", (sound like thunder every few minutes), ranging in time from 3:45 AM, until midnight, daily every few minutes, has now become a disruptive nuisance affecting our general health, sleep patterns, way of life, and most likely having a wildlife environmental impact.

I have noticed the Santa Monica North Area Plan addresses both.

- Noise
- Air Quality

The new routes go at low elevation directly over **Malibu Creek State Park**, where year round migrations occur, negatively affecting the local environmental wildlife in the Santa Monica Mountains. Local animals, and birds utilize sound for communication. **In addition the deep canyons amplify the reverberations.**

I urge you to take a Saturday afternoon in the park, to witness the consistency and disturbance.

LAX Noise Management Site <https://www.lawa.org/laxanc/>

I have logged some complaints at http://secure-web.cisco.com/1JgESZy99_Nfk6-Bv5cmLYf5hH35JLPB4ehsVYH-RWgKDIcAFhVTlqcDrD48bePqbUXZ3rcjMp_iESZ5vVaBPb9Nsqk6fUbO8UzaAn204BPR2QgFZgQa_iJx78NIvdZqVzof2gyO38roCyJGauCGM-LIPuU07bXctSHmBD4SZJqTE7Uh956LpKnZD12w_P_s8A40wK1I5C3KIRXyZ3YYuoa5XMqFQFjs1ag4GXfbtH_UZgNCWCpfg7AdEbLvzbHCD53yBMlgajJBtqdf3YgNxQ07tV97Gc2LHcgnObQ1wzPIAhr811cdm-OxUchF2OhgYDH_AleEK3k6Hxt4XHm6SqXkF5Tb45gf1A9GeVhZJZMhzk5nXdO9NNpHWVjt5-sSJeGR5iCgRT-LzDRSbqpt3JA/http%3A%2F%2Fwww.planenoise.com%2Fflax, and do get the generic response.

Other communities in Newbury Park, Thousand Oaks, Monte Nido, Calabassas, are also taking note of this and have addressed the issues with the appropriate governmental agencies.

Our thought is ,if this loud consistent disruption is truly having a negative impact on Malibu Creek State Park wildlife, and other regions of the Santa Monica range, significant enough to warrant letters of concerns, that authorities and ambassadors of the **Santa Monica Range. please also voice its concerns**, and provide an executable resolution, bringing flight paths back to previous, prior to this major public environmental nuisance.

Information was also sent to:

Congressman Ted Lieu offices are aware.

The person handling incoming complaints for our district for Congressman Ted Lieu Office is

joey.apodaca@mail.house.gov

Tony.Hoffman@parks.ca.gov

Sr. Environmental Scientist Suzanne Goode and our District Superintendent Craig Sap.

Tony Hoffman

Public Safety Superintendent

California State Parks – Angeles District

1925 Las Virgenes Road

Calabasas, CA 91302

Desk: 818 880 0388 Cell: 310 699 1729

Fax: 818 880 0359

Dispatch: 951 443 2969

Thank you,

Richard Breene



Breene Graphics Printing

21905 Plummer St.

Chatsworth, CA 91311

Tel: 818-885-7900

Fax: 818-885-7979

Tuesday, August 21, 2018

SANTA MONICA MOUNTAINS NORTH AREA ENVIRONMENTAL IMPACT REPORT (EIR) SCOPING MEETING
<http://planning.lacounty.gov/smmnap>

Los Angeles County Calabasas Field Office
26600 Agoura Road
Agoura Hills, CA 91302

Anita D. Gutierrez
MPL, AICP | Supervising Regional Planner
Community Studies West Section
Los Angeles County Department of Regional Planning
320 W. Temple Street, 13th Floor | Los Angeles, CA 90012

Anita Guterrez,
Environmental Impacts

- Population & Housing
- Density. Most structures in our area are required to have two car carport. Many do not. Many do not have adequate parking for existing long term owners or renters. This multiplied with short term hotel like atmosphere, and not having proper parking leads to illegal parking on our narrow sometimes 10-12 feet wide right of way for vehicle passage. There are many legal street signs that say "Must Park Off Pavement", but never adhered to. "Off Pavement", means in law, "Off Pavement", not on pavement parking. Further extending our limited resources by having to call Sheriff, or California Highway Patrol to inspect, and enforce, whereby they could be using their valuable resources elsewhere. Enforcement officials are also frustrated with this issue. Environmental impact, "density", leading to potentially cascading issues. Suggestion. Strong enforcement, or replace signs with No Parking Any Time.
- Environment Impact
Fire Lanes. If lanes are blocked, or partially blocked, Fire, or First Responder Trucks and vehicles are inhibited from safe passage, hence an environmental catastrophe is potentially possible. Example, not getting to a fire in time, or a life saving emergency in time.
- Noise / Lighting
Increased traffic, brings increased vehicular noise at all hours. This includes evening hours when seasonal evening migrations occur in the corridor. For decades, the corner of Cornell, and Muholland has been the pow wow grounds for our local Coyote pack. Every evening around 7:30 -8: 30 PM Spring, Summer, Fall, you can hear, and see

the Coyote pack gather with their young before their evening hunts. This is the first time in 35 years they are no longer here. Perhaps the traffic density, perhaps as this is now a street corner very popular with vehical street racing and donuts ? Regardless, the pack appears to have moved on.

With the addition of the Santa Monica Mountain Wineries, there is a substantial increase in the amount of daily and weekend traffic. Noise, lighting, and vehicals probably affecting environmental wildlife.

New Airplane traffic.

For the past year I have noticed multiple airplanes every few minutes flying at low altitudes across our range. This is new. Upon doing some research, it appears the Federal Aviation Administration has now changed all routes from going over ocean to going over the Santa Monica Mountain range at low altitudes. It is quite loud, and not just a couple of planes, but a lot, and all day . Envirionemntal concerns on noise levels for our local wildlife, who communicate via sound.

- Air Quality
- Increased vehicular traffic, brings increased exahaust.

- Short-Term Rentals
- Establish policy/standard for prohibiting rental of rooms for less than 30-day stays to discourage home sharing and “Airbnb” type uses.
- **In favor of this. Similar to Sonoma County, CA and Westlake Villiage, CA**
- Concern: How to enforce this ?

- Blocked Fire Lanes from illegal inadaquet parking.
- Illegal Street Parking - Not enforced.
- Illegal AirBn Housing – Full enforcement, of illegal housing, and **compliance with the law.**
- Many use the legal excuse, “it is a family member”, yet rent out 3-5 rooms at a time in the same home.
- Late arrivals violating local Envirionmental **Dark Sky Ordinance** to for 24 hour arrival times of transient in and out guests.
- Excessive speeding on narrow streets, not aware of Wildlife Crossings or Equestrians.
- Camper Vans for AirbNB rentals are all along the Muhullond Corridor, with no enforcement, and open outdoor fire pits.
- Uneducated visitors on High Fire Danger Zone, Cigarette Buds, smoking cigarettes, and other in State and Federal Parks, as well as general areas, in consideration of high fire danger zone.

How will enforcement take place ?

Will enforcement of the law occur ?

Please help our community, and surrounding communities by addressing the above issues concerning the environment, and its association to our Santa Monica North Area Plan Communities.

Thank you

From: [Mark Lupfer](#)
To: [DRP_SMMNorthArea](#)
Subject: Comments on Notice of Preparation
Date: Tuesday, August 21, 2018 3:05:44 PM

Anita D. Gutierrez,

My leading comment is that insufficient basis exists for preparation of an Environmental Impact Report (EIR).

Voodoo Biology

Decision making by the Department of Regional Planning (DRP) is based on outdated studies originating in the 1970's with the most recent update occurring in 2006 by the National Park Service who used aerial photography as conjecture for habitation.

The County identifies 7 species as justification for the EIR. Two of these are plants, *Dudleya verityi* and *Pentachaeta lyonii*, are non-native to the North Area and invasive if actually present. The remaining five are animals, as follows:

- California red-legged frog, *Rana draytonii*, whose habitat is San Mateo County with southernmost occurrences in eastern Ventura county.
- Western pond turtle, *Emys marmorata pallida*, which ranges from Washington state to Baja California, hardly limited to the North Area.
- Two-striped garter snake, *Thamnophis hammondi*, which ranges from central California to Baja California, far from exclusive to the North Area.
- Coast horned lizard, *Phrynosoma blainvillii*, which ranges from Siskiyou County in Northern California to Baja California, widespread indeed.
- Ring-tailed cat, *Bassariscus astutus*, which ranges from southern Oregon, California, eastern Kansas, Oklahoma, Arizona, New Mexico, southern Nevada, Utah, Texas, and in Mexico it ranges from the northern desert state of Baja California to Oaxaca. This species is only assumed to exist in the North Area.

The above five animal species are not endangered but simply listed on California's "worry list", the precursor to the Endangered Species Act and are only identified for "special concern".

Ignoring the Real Danger

Using a EIR to halt all future development in the North Area creates a catastrophe in waiting, i.e., wildfire. One can already see the poor job that the County is doing in weed abatement along County and State highways in the North Area. If thousands of acres are removed from

development, the fuel load for a wildfire will grow exponentially beyond the current dangerous levels. Conversely, if acreage is privately developed, it will be maintained through self-enlightened interest and the fuel load will diminish.

Already Protected

The Santa Monica Mountains National Recreation Area already covers more than 150,000 acres. The Vineyard Ordinance protects an additional 16, 223 acres. Slope regulation, ridgeline regulation, and streambed regulation add thousands of additional acres of protection.

Conclusion

The DRP has failed to identify evidence of any new threat that warrants further protections beyond those already in effect and has proposed a dangerous risk to the environment, property, and people of the North Area through future unrestricted growth of wildfire fuel.

Mark L. Lupfer
North Area Property Owner

From: [TF](#)
To: [DRP.SMMNorthArea](#)
Subject: Re: RE: Submission . Public Scope Meeting . Santa Monica North Area Plan.
Date: Thursday, August 23, 2018 11:52:51 AM

Hello,

I wish to add one more observation / suggestion to the public scope.

Kanan Rd Canyon Section

Retail vendors. Every weekend there are 3-4 Retail vendors in the public right of way on Kanan Rd selling items ranging from fruit to clothing to ice cream. Kanan Rd now carries a large volume of traffic, and is a very dangerous high speed road, with steep accelerating sections. Drivers pulling on and off the right of ways are unaware of additional dangers this is causing in not only in potential ingress, egress accidents, but creating more traffic slowdowns by doing so.

I wish to oppose this, and or **request enforcement**, and view this as a priority.

Thank you for considering the Safety of our Santa Monica Mountain North Area Plan Region

On Tuesday, August 21, 2018, 11:58:11 AM PDT, [DRP.SMMNorthArea](#) <SMMNorthArea@planning.lacounty.gov> wrote:

Hello,

Received, and thank you for your comments for the EIR.

Luis Duran

Regional Planner

Community Studies - West

County of Los Angeles, Department of Regional Planning

Office: 213.974.6465

Email: LDuran@planning.lacounty.gov

From: TF [<mailto:tdd435@yahoo.com>]
Sent: Monday, August 20, 2018 4:06 PM
To: [DRP.SMMNorthArea](#) <SMMNorthArea@planning.lacounty.gov>
Subject: Submission . Public Scope Meeting . Santa Monica North Area Plan.

Submission . Public Scope Meeting . Santa Monica North Area Plan.

Attached is a PDF.

SANTA MONICA MOUNTAINS NORTH AREA ENVIRONMENTAL IMPACT REPORT (EIR) SCOPING MEETING

<http://planning.lacounty.gov/smmnap>

Los Angeles County Calabasas Field Office

26600 Agoura Road

Agoura Hills, CA 91302

Anita D. Gutierrez

MPL, AICP | Supervising Regional Planner

Community Studies West Section

Los Angeles County Department of Regional Planning

320 W. Temple Street, 13th Floor | Los Angeles, CA 90012

Anita Guiterrez,

Envirionmental Impacts

- Population & Housing

- Density. Most structures in our area are required to have two car carport. Many do not. Many do not have adauquet parking for exisiting long term owners or renters.

This multiplied with short term hotel like atmosphere, and not having proper parking leads to illegal parking on our narrow sometimes 10-12 feet wide right of way for vehicle passage.

There are many legal street signs that say "Must Park Off Pavement", but never adhered to.

"Off Pavement", means in law, "Off Pavement", not on pavement parking.

Further extending our limited resources by having to call Sheriff, or California Highway Patrol to inspect, and enforce, whereby they could be using their valuable resources elsewhere. Enforcement officials are also frustrated with this issue.

Environmental impact, "density", leading to potentially cascading issues.

Suggestion. Strong enforcement, or replace signs with No Parking Any Time.

- Environment Impact

Fire Lanes. If lanes are blocked, or partially blocked, Fire, or First Responder Trucks and vehicles are inhibited from safe passage, hence an environmental catastrophe is potentially possible. Example, not getting to a fire in time, or a life saving emergency in time.

- Noise / Lighting

Increased traffic, brings increased vehicular noise at all hours.

This includes evening hours when seasonal evening migrations occur in the corridor.

For decades, the corner of Cornell, and Muholland has been the pow wow grounds for our local Coyote pack. Every evening around 7:30 -8: 30 PM Spring, Summer, Fall, you can hear, and see the Coyote pack gather with their young before their evening hunts. This is the first time in 35 years they are no longer here. Perhaps the traffic density, perhaps as this is now a street corner very popular with vehicular street racing and donuts ? Regardless, the pack appears to have moved on.

With the addition of the Santa Monica Mountain Wineries, there is a substantial increase in the amount of daily and weekend traffic. Noise, lighting, and vehicles probably affecting

environmental wildlife.

New Airplane traffic.

For the past year I have noticed multiple airplanes every few minutes flying at low altitudes across our range. This is new. Upon doing some research, it appears the Federal Aviation Administration has now changed all routes from going over ocean to going over the Santa Monica Mountain range at low altitudes. It is quite loud, and not just a couple of planes, but a lot, and all day . Environmental concerns on noise levels for our local wildlife, who communicate via sound.

- Air Quality

- Increased vehicular traffic, brings increased exhaust.

- Short-Term Rentals
- Establish policy/standard for prohibiting rental of rooms for less than 30-day stays to discourage home sharing and “Airbnb” type uses.
- **In favor of this. Similar to Sonoma County, CA and Westlake Villiage, CA**
- Concern: How to enforce this ?
- Blocked Fire Lanes from illegal inadaquet parking.
- Illegal Street Parking - Not enforced.
- Illegal AirBn Housing – Full enforcement, of illegal housing, and **compliance with the law.**
- Many use the legal excuse, “it is a family member”, yet rent out 3-5 rooms at a time in the same home.
- Late arrivals violating local Envirionmental **Dark Sky Ordinance** to for 24 hour arrival times of transient in and out guests.
- Excessive speeding on narrow streets, not aware of Wildlife Crossings or Equestrians.
- Camper Vans for AirbNB rentals are all along the Muhullond Corridor, with no enforcement, and open outdoor fire pits.
- Uneducated visitors on High Fire Danger Zone, Cigarette Buds, smoking cigarettes, and other in State and Federal Parks, as well as general areas, in consideration of high fire danger zone.

How will enforcement take place ?

Will enforcement of the law occur ?

Please help our community, and surrounding communities by addressing the above issues concerning the envirionment, and its association to our Santa Monica North Area Plan Communities.

Thank you

From: [Ed Corridori](#)
To: [DRP SMMNorthArea](#)
Subject: Scoping Comments for north Area Plan Update
Date: Saturday, August 25, 2018 1:07:35 PM

Date: 8/25/2018
From: Ed Corridori
29307 Tree Hollow Glen
Agoura Hills, CA 91301

Comments:

1. To minimize habitat destruction, brush clearance for any new development should not be permitted to extend beyond the property line. Buildings should be sited so as all brush clearance is within the site. Properties adjacent to public lands should not be allowed to use the public land for its brush clearance zone.
2. Fire is a paramount concern as our climate becomes hotter and drier for longer periods of time. Every proposed development should be required to provide its own fire defenses. Also, the site must be evaluated not only for its own susceptibility to fire, but how its siting will affect ingress and egress to other properties. How much evacuation time will be added for all properties by the addition of each new development?
3. More effort needs to be made to insure that local cities share and implement the North Area Plan guidelines.
4. The plan must give special consideration to wildlife movement connections or corridors, which should all be considered S-1, or "sensitive habitat." Development should not be permitted where it will block wildlife connectors or create isolated islands of habitat.
5. I support enhanced protection for native, heritage or historic trees and nesting birds.
6. I support small horse boarding in A-1, provided they follow BMP's and also provided the evacuation of horses or other domestic animals does not impede evacuations of nearby properties in the event of fire. See #2 above.
7. I do not support changes in the plan that will allow mass destruction of habitat for agricultural purposes.

Thank you for your consideration,
Ed Corridori

From: [Laurent](#)
To: [DRP_SMMNorthArea](#)
Subject: North Area Plan
Date: Monday, August 27, 2018 9:00:40 AM

To Whom It May Concern:

The North Area described is a unique and environmentally diverse area that is one of the last close to pristine areas in Southern California. The area cannot support more vehicular traffic, nor can we afford to see more of our beautiful trees being taken down. This is the home to wildlife that has been forced out of other areas and will have a devastating effect if more people and traffic are drawn to the area.

Furthermore, additional traffic will put human lives in jeopardy in the event of a natural disaster. Emergency vehicles will not be able to get to critical areas during these emergencies, in a timely manner. Money cannot be the almighty ruling factor, and clearly that is the motivation of the developers in developing our community. There will always be money to be made, but once we lose lives and our environment they cannot come back and cannot be replaced.

I would urge you to reject these advances by the developers.

Laurent O'Shea

W I L L I A M M I T C H E L L M A R G O L I N

Attorney at Law

A Professional Law Corporation

23548 Calabasas Road Suite 202

Calabasas, California 91302

TELEPHONE (818) 999-4529 **(818) 999-4LAW** FACSIMILE (818) 999-1956

E-Mail legalhelp@legalhelpforyou.com

Web www.margolinlawca.com

August 27, 2018

mmnortharea@planning.lacounty.gov sheila@bos.lacounty.gov

SENT BY EMAIL ONLY

RE: Los Angeles County Department of Regional Planning Planning for the Challenges Ahead Amy J. Bodek, AICP Director

PUBLIC REVIEW PERIOD The scoping comment period for the NOP begins on Wednesday August 1, 2018 and ends on Friday August 31, 2018. Please submit all written comment letters no later than 5 pm on August 31, 2018.

**NOTICE OF PREPARATION OF A DRAFT ENVIRONMENTAL IMPACT REPORT
AND PUBLIC SCOPING**

MEETING DATE: PROJECT TITLE: August 1, 2018 Environmental Impact Report for the Santa Monica Mountains North Area Plan and Community Standards District Update

PROJECT LOCATION: The Santa Monica Mountains North Area includes 33 square miles of unincorporated Los Angeles County lands from the US 101 freeway corridor south to the coastal zone boundary. The North Area includes portions of the Santa Monica Mountains National Recreation Area administered by the National Park Service, California State Park lands, and other protected areas.

Dear LACDRPP and County Supervisor Sheila Kuehl,

My name is William Mitchell Margolin. My wife Joan Margolin and my children live at 28382 Agoura Road, Agoura Hills, CA 91301. My home is less than a mile away from the proposed site. Agoura Road is a one lane in each direction road. It is access for alternative travel when the Freeway is jammed in any emergency which happens frequently. It is backed up often for many miles going through the proposed area. It has never been widened. The homes where I live are on a septic system because the rural nature of this area has never fully developed the sewer system. I mention this to give you a flavor of a history of the country nature of this area. My home is plat mapped as a neighborhood showing an alley and from the map appears to be a fully developed neighborhood for residential use. This couldn't be further from the character of the area. I have one neighbor to the East of my house and 21 acres to the West of my house with 18 acres designated as OPEN SPACE. I have lived here since 2004 and my children all

went to AE Wright Middle School and Agoura High School and I am also an Alumnus of those schools as well graduating Agoura High in 1974. I am very familiar with the nature and character of this neighborhood. Next to the 21 acres as platted out are a few more lots not developed and raw land as well. Then before Cornell Road and After Cornell Road going West there is more open raw land and then the entrance to the Santa Monica Mountain Range and access to the Pacific Ocean.

I have had the following woodland creatures visit my home since moving there: Coyotes, Raccoons, Deer, Rattlesnakes, Skunks, Scorpions, Squirrels, Tarantulas, Tarantula Hawks, Blue Belly Lizards, Possums, other types of Snakes, and many varieties of birds including, Blue Jays, Hawks, Vultures, Humming Birds, Crows, and the African Parrots, and many more.

They have survived here for thousands of years. This development cannot be placed there and be said to not disturb the habitats of these animals and creatures. The City of Calabasas just put a tunnel at the freeway for the preservation of wild local animals. Why would you allow destruction of the habitat?

The City of Agoura has placed Lighting that violates Local Agoura Municipal Code Ordinances (See attached complaint that was ignored by City) at the same location of their proposed project herein. The lighting is dangerous to the motorists and pedestrians as it is blinding and out of character to the environment. Just drive by there on a dark evening you will be shocked that this blinding lighting was allowed.

Coming into Agoura from Kanan the Street is still only a one way each direction Road. The additional traffic created by this proposed project will take an already bad travel area into a traffic "Carmageddon."

They are proposing another hotel at a location which there can clearly be a danger to the local homes and traffic and access to the SM Mountains and Ocean. When there was a nightclub at Cornell Road & Agoura Road it created terrible traffic and the patrons had sex along the dark Agoura Road, left used condoms on the side of the road and other litter including needles and empty alcohol bottles (Very close to the pre-school on Agoura Road between Kanan and Chesbro).

Besides, the traffic and the environment there is no concern for the well-being of the City or County. The public only can get to the beach effectively by Topanga, Las Virgenes Road and Kanan. By allowing this project you will not only increase smog, pollution, gridlock and traffic but the public will lose an access route to the beach. Effectively the Kanan off ramp on the freeway will be backed up for miles on a hot summer beach day which will effect freeway **traffic** and thus interstate commerce as well.

The City of Agoura logo is an Oak Leaf. They might as well make it a piece of concrete or a bulldozer.

Further, the Chumash Tribe had burial grounds all around this area.

When Vons was built on Kanan and Thousand Oaks Boulevard they built it on top of a burial site! This is less than one mile from proposed project and the project is less than 200 feet from the stream that the Chumash utilized and it must be preserved.

<https://activerain.com/blogsview/4179042/the-burial-ground-in-agoura-hills-ca>

<http://thelalibupost.blogspot.com/2014/06/grave-matters.html>

<https://books.google.com/books?id=02glngN6hHoC&pg=PA11&lpg=PA11&dq=vons+chumash+burial&source=bl&ots=b-2oFCGIgZK&sig=S11S1MWqREQgAJciqO4zqMucIuw&hl=en&sa=X&ved=2ahUKEwiBluDQgY7dAhVBnq0KHaorAoQQ6AEwBHoECAQQAQ#v=onepage&q=vons%20chumash%20burial&f=false>

The County should designate this land OPEN SPACE! It should not be developed like is proposed. It is a hazard to the community and WILL NOT BENEFIT ANYONE OTHER THAN THE TAX COFFER FOR THE CITY!

Please review. We are not Santa Monica, Downtown Los Angeles. We do not need this project. We do not need to make a developer rich just because they went ahead with a plan that ruins the environment and causes the City of Agoura to lose its identity and causes such **traffic, pollution** and harms the animals and residents of Agoura.

William Margolin

From:[John Gooden Montage](#)
To: [DRP SMMNorthArea](#)
Subject:North Area Plan EIR Comments
Date:Thursday, August 30, 2018 7:24:44 AM

I am very concerned about private property owners right to defend themselves against wild fires that occur in the Santa Monica Mountains often.

This EIR should examine the role of vineyards as natural firebreaks that provide defensible space for fire fighters and help protect private property from fire damage.

How are grapevines specifically harmful or injurious to the environment of the Santa Monica Mountains, compared to other crops?

Grapevines have been singled out by the Coastal Commission as the only crop not allowed to be planted in the Coastal Zone of the Third Supervisorial District and the Department of Regional Planning seemingly desires to extend this ban to the entire Third Supervisorial District. The EIR should investigate why grapevines, a native plant in the Santa Monica Mountains are being restricted, particularly in comparison to other planting (including landscaping). Documentation should be obtained from agricultural specialists to make sure that the LA County Board of Supervisors has the latest, most accurate, specific information on vineyard water usage (compared alongside data related to other allowable crops, equestrian facilities, and native vegetation), water runoff and watershed pollution potential (compared alongside data related to other allowable crops, equestrian facilities, and native vegetation), brushfire prevention (compared alongside data related to other allowable crops, equestrian facilities, and native vegetation), hillside erosion control (compared alongside data related to other allowable crops, equestrian facilities, and native vegetation).

What current data has been collected related specifically to water runoff from vineyards located in the 3rd Supervisorial District? (This data should be gathered separately from data on runoff from equestrian facilities, cannabis farms –legal or not—and septic runoff from aging tanks, but not on vineyard-adjacent property).

And how do the vineyards in the 3rd Supervisorial District compare to data collected from vineyards within the Coastal Zone but in other LA County districts (Palos Verdes, Catalina) and from LA County vineyards outside the zone in Hollywood, Bel Air, Agua Dolce, etc...

The vineyards within the Malibu Coast AVA overwhelmingly farm according to the tenets of the California Sustainable winegrowing program: https://secureweb.cisco.com/1oAtq6zi9Dv6lrvy7-nqyJpEAKBqTet1R2tIDnLDkeyf19b3dM6cxiMYqWKPwFWH7iaZRwe_PIOi3wEgF20yXz6jk90RqSwnDY2e6SzIVYJyb4Str272cXoiV9fo67Tw_fFp0di4xMwnWRFbTOIObNQDL6VsIbgN1vV-sfiRjb3w3jWtNWdl4bYzXz1dbzPgsz-jmtD9NUqeDL0xdKlpf70pJUVXvMCy1UdVumVzN45oC5Hn2iVFOl1BugVfiWQkwVE_C_1u8iZlcOVBgYUXRUckM0eG4Uh5TNIOWr1KjwFzU4adkrlatf71wT2SFAU3UFKkXjvHAij2eqYEBX8GLKsVVaLFud8v-9dmo9TzNuqewtjpV6r33B9ROeO3q_e7K39p97kl91hvhesblJXb2Lt6SDSP-

[xFLChqqJ4tRgY/https%3A%2F%2Fwww.sustainablewinegrowing.org%2F](https://secure-web.cisco.com/196PNkyAEtjUYWgu6s0YhZRONPq4AbJXTne68NZUBWNs7Res53kek_bOnzUPQadcylvDs mxN2m_0bdG_7HVtt20SNElIfwefuRmoOAD54vKWbBz1MfA_IXK_3kFQaFWykKqROKvJHW30dBZS5Vy7 R6jG29KY___DWEX nhe4mYVuSHGWp82b-732r7gxI5pCPjHL0i1aClhTHPabsCm_4znjqXsASIRoOtuxFAU2_mqH7RWKyFJ4uX3GU5YM-4HT4QCrv4CEkFyYn-TdXqcN9YpjVeXqVhv_d8tdQKrU53ne5W_hYtDnW_mH6IzJ-xQ622IQ2dbI8cl6wtluJN0yqMeL L5KQL1GODTejMextakarRnO1epZQ/http%3A%2F%2Fwww.sustainablewinegrowing.org) Will the EIR investigate the low-impact environmental footprint of this approach vs. standard viticultural practices?

California Sustainable Winegrowing Alliance

[http://secure-](http://secure-web.cisco.com/196PNkyAEtjUYWgu6s0YhZRONPq4AbJXTne68NZUBWNs7Res53kek_bOnzUPQadcylvDs mxN2m_0bdG_7HVtt20SNElIfwefuRmoOAD54vKWbBz1MfA_IXK_3kFQaFWykKqROKvJHW30dBZS5Vy7 R6jG29KY___DWEX nhe4mYVuSHGWp82b-732r7gxI5pCPjHL0i1aClhTHPabsCm_4znjqXsASIRoOtuxFAU2_mqH7RWKyFJ4uX3GU5YM-4HT4QCrv4CEkFyYn-TdXqcN9YpjVeXqVhv_d8tdQKrU53ne5W_hYtDnW_mH6IzJ-xQ622IQ2dbI8cl6wtluJN0yqMeL L5KQL1GODTejMextakarRnO1epZQ/http%3A%2F%2Fwww.sustainablewinegrowing.org)

[web.cisco.com/196PNkyAEtjUYWgu6s0YhZRONPq4AbJXTne68NZUBWNs7Res53kek_bOnzUPQadcylvDs mxN2m_0bdG_7HVtt20SNElIfwefuRmoOAD54vKWbBz1MfA_IXK_3kFQaFWykKqROKvJHW30dBZS5Vy7 R6jG29KY___DWEX nhe4mYVuSHGWp82b-](http://secure-web.cisco.com/196PNkyAEtjUYWgu6s0YhZRONPq4AbJXTne68NZUBWNs7Res53kek_bOnzUPQadcylvDs mxN2m_0bdG_7HVtt20SNElIfwefuRmoOAD54vKWbBz1MfA_IXK_3kFQaFWykKqROKvJHW30dBZS5Vy7 R6jG29KY___DWEX nhe4mYVuSHGWp82b-732r7gxI5pCPjHL0i1aClhTHPabsCm_4znjqXsASIRoOtuxFAU2_mqH7RWKyFJ4uX3GU5YM-4HT4QCrv4CEkFyYn-TdXqcN9YpjVeXqVhv_d8tdQKrU53ne5W_hYtDnW_mH6IzJ-xQ622IQ2dbI8cl6wtluJN0yqMeL L5KQL1GODTejMextakarRnO1epZQ/http%3A%2F%2Fwww.sustainablewinegrowing.org)

[732r7gxI5pCPjHL0i1aClhTHPabsCm_4znjqXsASIRoOtuxFAU2_mqH7RWKyFJ4uX3GU5YM-](http://secure-web.cisco.com/196PNkyAEtjUYWgu6s0YhZRONPq4AbJXTne68NZUBWNs7Res53kek_bOnzUPQadcylvDs mxN2m_0bdG_7HVtt20SNElIfwefuRmoOAD54vKWbBz1MfA_IXK_3kFQaFWykKqROKvJHW30dBZS5Vy7 R6jG29KY___DWEX nhe4mYVuSHGWp82b-732r7gxI5pCPjHL0i1aClhTHPabsCm_4znjqXsASIRoOtuxFAU2_mqH7RWKyFJ4uX3GU5YM-4HT4QCrv4CEkFyYn-TdXqcN9YpjVeXqVhv_d8tdQKrU53ne5W_hYtDnW_mH6IzJ-xQ622IQ2dbI8cl6wtluJN0yqMeL L5KQL1GODTejMextakarRnO1epZQ/http%3A%2F%2Fwww.sustainablewinegrowing.org)

[4HT4QCrv4CEkFyYn-TdXqcN9YpjVeXqVhv_d8tdQKrU53ne5W_hYtDnW_mH6IzJ-](http://secure-web.cisco.com/196PNkyAEtjUYWgu6s0YhZRONPq4AbJXTne68NZUBWNs7Res53kek_bOnzUPQadcylvDs mxN2m_0bdG_7HVtt20SNElIfwefuRmoOAD54vKWbBz1MfA_IXK_3kFQaFWykKqROKvJHW30dBZS5Vy7 R6jG29KY___DWEX nhe4mYVuSHGWp82b-732r7gxI5pCPjHL0i1aClhTHPabsCm_4znjqXsASIRoOtuxFAU2_mqH7RWKyFJ4uX3GU5YM-4HT4QCrv4CEkFyYn-TdXqcN9YpjVeXqVhv_d8tdQKrU53ne5W_hYtDnW_mH6IzJ-xQ622IQ2dbI8cl6wtluJN0yqMeL L5KQL1GODTejMextakarRnO1epZQ/http%3A%2F%2Fwww.sustainablewinegrowing.org)

[xQ622IQ2dbI8cl6wtluJN0yqMeL](http://secure-web.cisco.com/196PNkyAEtjUYWgu6s0YhZRONPq4AbJXTne68NZUBWNs7Res53kek_bOnzUPQadcylvDs mxN2m_0bdG_7HVtt20SNElIfwefuRmoOAD54vKWbBz1MfA_IXK_3kFQaFWykKqROKvJHW30dBZS5Vy7 R6jG29KY___DWEX nhe4mYVuSHGWp82b-732r7gxI5pCPjHL0i1aClhTHPabsCm_4znjqXsASIRoOtuxFAU2_mqH7RWKyFJ4uX3GU5YM-4HT4QCrv4CEkFyYn-TdXqcN9YpjVeXqVhv_d8tdQKrU53ne5W_hYtDnW_mH6IzJ-xQ622IQ2dbI8cl6wtluJN0yqMeL L5KQL1GODTejMextakarRnO1epZQ/http%3A%2F%2Fwww.sustainablewinegrowing.org)

[L5KQL1GODTejMextakarRnO1epZQ/http%3A%2F%2Fwww.sustainablewinegrowing.org](http://secure-web.cisco.com/196PNkyAEtjUYWgu6s0YhZRONPq4AbJXTne68NZUBWNs7Res53kek_bOnzUPQadcylvDs mxN2m_0bdG_7HVtt20SNElIfwefuRmoOAD54vKWbBz1MfA_IXK_3kFQaFWykKqROKvJHW30dBZS5Vy7 R6jG29KY___DWEX nhe4mYVuSHGWp82b-732r7gxI5pCPjHL0i1aClhTHPabsCm_4znjqXsASIRoOtuxFAU2_mqH7RWKyFJ4uX3GU5YM-4HT4QCrv4CEkFyYn-TdXqcN9YpjVeXqVhv_d8tdQKrU53ne5W_hYtDnW_mH6IzJ-xQ622IQ2dbI8cl6wtluJN0yqMeL L5KQL1GODTejMextakarRnO1epZQ/http%3A%2F%2Fwww.sustainablewinegrowing.org)

CSWA is a nonprofit organization created by the Wine Institute & the California Association of Winegrape Growers.

If vineyards are to be singled out as bad environmental citizens in the region, the facts and figures necessitating this categorization need to be made clear in the EIR and put into context with regulations in other Supervisorial Districts in LA County.

Thank you.

Best regards,

John Gooden
Montage Vineyards
27326 Winding Way
Malibu, CA 90265

Tel: 805.973.1307

Fax: 805.973.1433

Cell:310.505.4106

From: [sarah.priest](#)
To: [DRP_SMMNorthArea](#)
Subject: comment on plan
Date: Thursday, August 30, 2018 10:24:20 AM

On this final day for comment I respectfully submit my input is mainly preserving wild and wildlife areas, protecting wildlife and strictly limiting building and "development" Thank you. Sarah Priest

From: [Adam Shaw](#)
To: [DRP SMMNorthArea](#)
Subject: Scoping Meeting Comments
Date: Thursday, August 30, 2018 11:35:42 AM

EIR Scoping Meeting

Dear team,

As a land owner in the region and resident, I represent a group of owners who have been working for years to bring municipal water to Henry Ridge. We would ask that the EIR considers facilitation of infrastructure corridors to ensure water security long term for both owners, residents and wildlife. Fire life safety in the region is a primary concern and access to reliable water sources is a key consideration.

Furthermore, we would ask the EIR to consider defining mitigation measures which owners could undertake such as native planting, habitat development or other measures which would see them supported through the development process to build sustainable and ecologically sensitive buildings in place of grandfathered structures.

I own virgin land in the region and am significantly concerned about the overreach that new planning standards may have on the value of the land. We are committed to sustainable development below ridgeline, but are concerned that these measures will close out new development.

Kind Regards

Adam Shaw | Executive Vice-President
WT PARTNERSHIP (NORTH AMERICA)
adam@wtpartnership.co | [+1 323 620 1654](tel:+13236201654)

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From: [Caroline](#)
To: [DRP_SMMNorthArea](#)
Subject: Community concerns
Date: Thursday, August 30, 2018 11:38:38 AM

Impact on wildlife of increased air traffic

Environmental and wildlife Impacts of pollution, car traffic and car collisions stemming from Las virgenes and Malibu canyon. Consider a toll road

Working to combat mass development

Addressing street racing on Piuma road and car crashes with potential impact for forest fires

From: [Daniel von Wetter](#)
To: [DRP_SMMNorthArea](#)
Subject: Please don't lose sight of the forest for the trees.
Date: Thursday, August 30, 2018 11:39:42 AM

I know that a cornerstone of your plan is to protect the oak trees by limiting all digging that might affect their root systems. I am in agreement unless the individual is implementing a comprehensive rain Water infiltration system on their property. Then they MUST be allowed to dig a shallow trench, by hand (working around any roots encountered) along whatever the contour line dictates. Putting rain in the ground is paramount. This single action significantly protects the tree from the effects of climate change by:

- 1) Putting rain in the ground.
- 2) controlling erosion
- 3) Building soil
- 4) entices the tree to grow deeper roots, allowing for more access to water over a longer period which significantly aids the tree in surviving prolonged droughts.
- 5) more water means greater resilience against fires.

The list of benefits goes on (and on and on) but I'll stop there. Understand that this one simple action of digging a trench along a contour line (and providing for overflow) allows US to set a TROPHIC CASCADE in motion that beneficially affects the ENTIRE ECOSYSTEM. You must see to it that we are allowed to dig under Oak Trees for this express purpose. Otherwise, you will not be allowing us to make the necessary changes that need to happen in order to retrofit our ecosystem for resiliency in a changing climate. In short, PLEASE DON'T LOOSE SIGHT OF THE FOREST FOR THE TREES.

DvW
Sent from my iPhone

From: [Caroline Solomon](#)
To: [DRP_SMMNorthArea](#)
Subject: Comments
Date: Thursday, August 30, 2018 12:00:02 PM

More airplanes overhead which mean noise and pollution.

More cars on las virgenes and Malibu canyon. Is anyone tracking accidents on Malibu canyon?

More street racing on cold canyon and Piuma roads. More people driving off mountain with fatalities.

Monstrosities of homes on top of Piuma road. Why are they allowed to be so large?

From: [Tim Davis](#)
To: [DRP_SMMNorthArea](#)
Cc: [Tim Davis](#)
Subject: RE: Ordinance preventing longterm rentals in the Malibu Lake area
Date: Thursday, August 30, 2018 12:03:23 PM

Dear Sirs:

I strongly object to LA County Regional Planning passing an ordinance (a few years back apparently), which makes it illegal to rent a guest house, studio, or room in our home in Malibu Lake – or anywhere in the SM Mountains that this has been deemed illegal.

I understand the issues that may arise from short term rentals, but outlawing long term rentals in our neighborhood is draconian and far outside the scope of what Regional Planning should be regulating.

Furthermore, there was no input on this matter by the homeowners it impacts prior to Regional Planning passing this ordinance, which is further infuriating.

This ordinance should be immediately rescinded in its totality, until further and proper discussion is held between all parties involved.

The last I checked LA County Regional Planning was not given the unilateral right to make and pass fascist regulations that selectively effect only some of the property owners in its jurisdiction.

We do not have a rental at our home, nor intend to, but some of our friends and neighbors are being negatively financially impacted by your surely unconstitutional ordinance, and the erosion of our private property rights is alarming. My family stands with them to prevent further financial hardship that they are suffering, as a result of this misuse of Regional Planning's authority.

I would like to know why this ordinance was enacted, and which parties voted for or against its passing.

Please forward a copy of the ordinance to me by either email or US mail, along with the reason it exists, and who voted for it at your earliest convenience.

And please remove this ordinance immediately!

Thank you,

Tim Davis
1846 Seminole Drive
Malibu Lake, CA 91301

From: [John Krieger](#)
To: [DRP_SMMNorthArea](#)
Subject: Scoping Comments regarding NAP
Date: Thursday, August 30, 2018 12:54:15 PM

Anita D. Gutierrez, MPL, AICP | Supervising Regional Planner

hi, my name is John Krieger, I am a 4 year resident in the Malibu Springs area. I have some concerns and observations as detailed below, thanks for listening.

Noise - should be one of the biggest environmental concerns in the mountains

1) **Motorcycle** and **automobile** racing on the weekends and late night any day is terrible, modified open exhausts, the single most worst impact on the peaceful country atmosphere. Not just for mountain residents, but others escaping the city for some peace. Racers with open exhaust echo through the canyons in the middle of the night, get the coyotes howling, probably disturbs their mating patterns. Not an easy fix with limited police resources, but maybe apply technology, noise operated remote cameras etc.

I like to imagine in another 10 to 15 years this will be less of a problem once electric vehicles start taking over. But there are already devices on the market to broadcast a fake car exhaust sound of your choice for your electric car!

If you want to make a serious positive impact on the environmental quality up here for everyone, not just residents, this is it, please do something!

2) **LAX airline traffic** - since 2015 when the FAA adopted a new GPS flight management system, airline traffic has increased in our area, again, ruins the peaceful mountain tranquility for residents and recreational users. I have been recording screenshots of loud jet planes with an app, Flightradar24, identifies airline flight numbers and real time altitude. Some planes fly at approx 14k ft, not so bad. Most fly at around 10k ft, loud, and at night some big planes like 747 cargo are flying at approx 6k ft. That's only 4k ft above our mountain top, very loud. You are welcome to use the screenshots if you wish.

I sent a letter to the FAA requesting they consider higher flight paths as the rule, no response. This is a big issue with the surrounding cities as you might know, and has been addressed with no success to this point as it's the purview of the Federal government. But is not right and should at minimum be acknowledged in the plan as a problem.

Short Term Rentals - Crucial for some residents to be able to remain in residences. It is alarming to see the word 'prohibiting' in the draft NAP report vs 'regulating'. Why are you deciding this needs to be prohibited upfront and what is informing that decision?

1) **Needed family income** - I don't know about the wealth demographics of the North area vs Malibu, but I suspect there are a lot more households on this side of the mountain with very moderate means of income, including retirees like myself on fixed income.

I attended the July 9 2018 Malibu City council meeting regarding STR, as well as the recent scoping meeting on Aug 21 2018. and several interesting themes that were brought up. The most prevalent, that many residents like myself need the possibility of short term rental to

survive financially in this area, please do not cut us off from that option.

STR Noise and traffic - these are very valid concerns, and an enforcement arm needs to monitor any complaints, with a several month or more penalty ban on rentals from repeat offenders was a good suggestion. Several people mentioned there are sound monitors that can alert landlords if renters are violating the rules. It's just common sense and decency that neighbors don't want to disturb their neighbors with short term rentals, this is very doable if they are onsite. And penalties if they are not decent people.

Onsite owners/landlord - At the Malibu meeting it was mentioned there are hedge funds, outside investors, etc buying out houses for the express purpose of STR. This is a huge problem, is wrong, and should not be allowed in my opinion. Destroys sense of neighborhood and community, there should be some kind of rule that restricts STR to onsite owners.

Rehab Centers - Also destroys sense of community

As with investment funds buying houses and converting to short term rentals, I have heard there is an increasing number of houses being converted to Rehab centers, again purchased by outside investors. There are two just up the street from us, they are removed from our sense community, they are not part of our little neighborhood, they are not our friends.

Street Racing - a safety hazard for residents and recreational users

Related to the noise issues, the beautiful mountain roads are a favorite of boy racers from the city, motorcycle and car alike. Please check with the Highway Patrol and Sheriffs depts regarding the number of crashes on these roads. Our next door neighbor and his girlfriend were almost killed earlier this year when an out of control car spun off the road and slammed into their parked car, totaling it. They were sitting 20ft from their car, enjoying the sunset on side of the road, Mulholland near Malibu wines.

I have heard and witnessed many times when motorcycle racers will pass people on dangerous curves, endangering not only themselves and oncoming traffic, but the many bicycle riders that use these roads recreationally, myself included.

Again, I know this is a limited police resource issue or it would have been solved by now. But as with the noise issue, remote sensing technology with penalties may be required to really control this. Not an easy sell I know, like red light cameras, especially if they are seen as revenue enhancement for local government. However, it's unfair if you are planning to enact stricter environmental restrictions on residents, and then **not have to courage of conviction to deal with these serious external environmental issues that are much harder to solve.**

Environmental Regulations - please don't be too hard on the little guy

Yes that be me....!!....and most of the residents around these parts. We chose this property because we had read of some of the nightmare stories of people making even minor changes to their property in the Coastal Zone, we wanted nothing to do with it. And now you want our area to be more in 'alignment ' with those regulations.

Please allow some flexibility on the part of individual homeowners to have an appeal process to some restrictions that doesn't take 6 months to a year. Maybe include budgeting for a

people's advocate-like ombudsman who can cut through some of the red tape.

I consider myself an environmentalist and love this natural environment, which is why we moved here. I am horrified by the dismantling of the EPA under the current administration, withdrawal from the Paris accords etc. I appreciate and approve of the need to protect our environment, but sometimes the bureaucracy can be so heavy handed and unyielding. Again, maybe focus your attention on large, big money developments that really impact the environment, and cut the little guys some slack please!

Thanks, good luck, please feel free to contact me if you have any questions or request any resources I have.

John Krieger

From: [Joanne Ventresca](#)
To: [DRP SMMNorthArea](#)
Subject: Environmental Impact Report
Date: Thursday, August 30, 2018 1:16:49 PM

Dear Sir or Madam,

I see on your website “The Department of Regional Planning is proposing a comprehensive update to the SMMNAP, to address important community concerns that have developed over time, as well as to strengthen existing policies to ensure the continued protection of environmental resources and the region’s rural and semi-rural lifestyle.”

To protect our semi-rural areas, there could be NO massive overdevelopments, i.e., Cornerstone and Agoura Village – you simply can not do both. Allowing three-story buildings when the ordinance is no more than two stories is a disaster in itself. This will completely obliterate and destroy all the views, there will be no more “Gateway to the Santa Monica Mountains” it will be a crowded nightmare as it is now in Studio City, Encino, etc., instead of a designated scenic highway.

The developers, by their own admission eight years ago, said these developments will bring in an ADDITIONAL 20,000 CAR TRIPS PER DAY! Where do they plan to put these cars and all these people? There simply is no room. This was eight years ago, I would predict even more than that today.

You must take all of this into account. This is going to ruin our town. I live on Kanan Road, we often can not get out of our own driveway as it is now. I can’t even imagine how bad this is going to be. The intersection at Agoura Road and Kanan Road is already a mess, but we have no other choice but to use it. Watch how much worse things get when the Fitness Center on Agoura Road opens.

You must also take into account emergency vehicles being stuck in traffic and the distinct possibilities of emergency evacuations (fires or earthquakes) for all the people who have no choice but to evacuate on Kanan Road. This city was never meant to have such high density and to allow developers to single handedly ruin what we have is unconscionable.

Thank you,

Jo Ventresca
3950 Kanan Road
Agoura Hills, CA 91301

From: [Karen Simonton](#)
To: [DRP SMMNorthArea](#)
Subject: Opposed to further development in the Santa Monica Mountains
Date: Thursday, August 30, 2018 1:17:45 PM

To whom it may concern:

After living in the area for over 35 years, living through 2 Malibu fires, the death of my husband and various neighbors needing medical assistance at times, I have been greatly concerned regarding emergency services getting through on Kanan Road (running from Agoura Hills to PCH in Malibu).

I moved into what is considered the unincorporated area of Los Angeles 19 years ago.

During the summer months (May through August) beach traffic can begin to build up a mile before the Kanan Road exit on the 101.

People 'in the know' are using Malibu Cyn and crossing over to Mulholland Hwy to now get to the beach.

Shortcuts are taken at Cornell Road and many newbies' are even driving on the wrong side of road!

Mulholland Hwy has become a literal racetrack in the summer months, killing all sorts of wildlife and endangering the lives of hikers, bicyclists, school transportation, and equestrians.

One day, it took almost 2 hours to get from PCH to the 101, normally a 20 minute drive.

Motorcycles fatalities/accidents have increased.

Caltrans putting in a light has caused major back ups on Kanan and I predict we will have a deadly accident at some point, as one comes up on the light without good visibility to see the backlog of cars ahead of you. Even the local police dept. have commented on this and told the public to contact Cal Trans but I for one have never had a response to my questions regarding safety.

This area is also known for various endangered and or threatened species of plant life and animals.

I do not work at the Los Angeles Zoo and am aware of conservation measures unknown to the general public that are taking place in these areas.

It is alarming to see that these random decisions are being made by people who are not even familiar with the area.

This is parkland, increasing the population of this rugged area is irresponsible and thoughtless on many levels.

Once ruined, it will take generations to fix, if even possible.

This is not an excuse for affordable housing either as we are talking about homes that will sell in the millions.

In this area, the police force and our fire dept., have a huge job policing and protecting the area as it is now.

Not only for our California population but for the tens of thousands of people that visit this area from other states and from out of the country.

I can not imagine how much more danger will present itself with the hundreds of homes being considered throughout the sides of Kanan Road and the thousands of more cars predicted by studies, in the Santa Monica Mountains.

Fire danger will increase dramatically, endangering the people, plants and animals that reside and visit this area on a regular basis.

Please have foresight.

We need you to have a vision for the future, not just for this local area but for the state of California.

People need green spaces for their physical and mental health.

We have very few true nature areas, free to the public, within easy reach

We are losing that here at an alarming rate.

I stand firmly opposed to this - and I ask those in the decision making process to visit the area, talk with police and emergency services, discuss the issues with conservation groups

and re-evaluate what appears to be a very reckless idea.

Thank you,

Karen Simonton

From: [Carolyn Brandon](#)
To: [DRP_SMMNorthArea](#)
Subject: NOISE POLLUTION from PLANES
Date: Thursday, August 30, 2018 2:50:15 PM

Thank you for the work you do and your inquiry as you plan ahead!!

We live at 3280 Van Allen Place, Topanga 90290, near the Top of Topanga, and are surrounded by the Santa Monica Mountains and trails at the end of Viewridge Drive.

PLEASE !!!!!!!!! include in your planning to look into the HUGE increase of NOISE POLLUTION over the past couple of years with the Metroplex project being implemented from jets flying directly over the Top of Topanga/Viewridge area.

We understand that Malibu, Monte Nido, Old Topanga Canyon and Pacific Palisades are also affected.

While we have a LOT of air traffic coming from LAX, MOST of the jets are coming and going to Van Nuys and even Burbank on occasion.

We understand that the new project Metroplex has outlined only a very narrow lane for the planes to now use which is what we experience now in the mountains.

They are flying VERY, VERY LOW FLYING and VERY, VERY LOUD right over our ridgelines at many, many times throughout the day and night very often with less than a minute apart.

They are most often on descend or ascent as they fly over our house and the engine whine is deafening, even being inside with dual pane windows closed.

It now sounds like we live at the end of a runway with nearly intolerable sounds and FREQUENCY (as often as 25 planes noted in a few hour span) and happening even up to 1:45 a.m. and starting at 4:30/5 a.m. again.

While we understand that overnight flights cost the flyer much more, it doesn't seem to deter much from the Van Nuys airport taking the same path over us.

We can spend hours (and have) reporting the Noise Complaint app on our phone for LAX and nearby airports as the planes come at times from 5 min, to 1 min, to less than a min apart.

This is NOT an uncommon thing!!!!

If it is disturbing much of our community of humans.

A wildlife biologist friend in Northern California said it must have effects on the wildlife as well.

When I inquired locally if there were studies done ahead of the new Metroplex project on the impacts, the local biologists say there had not been any done to date, but that they had heard many complaints as well about the increase in noise pollution in the mountains regions.

The other night at 11:45pm, a VERY LOUD WHINE jet was descending over our house and the SM Mountain trails across from us.

It was so loud and high pitched that a group of coyotes were set off by it and responded to the pitch by suddenly starting howling in response to the pitch and level because it was so close by.

In the 7 years of living in our house, we know coyote sounds well, but have not had such a loud, low flying plane pitch set them off to match it.

We are also now barely visited by coyotes in our area anymore.

This is a very large change.

We no longer see deer on the hillsides either as was usual.

The noise pollution from the jets every few minutes into Van Nuys at times is much louder than when sirens go by a mile away on Topanga Canyon.

We also are experiencing a large decrease now in birdsong in our area as well.

We now longer have what we happily called 'flying lessons' that were very common to see in the canyon and hills - the hawks teaching their young how to navigate the air currents.

We moved over 7 years ago into the beautiful Santa Monica Mountain regions to live among the animals, birds, nature and the quiet of the protected lands.

We are thrilled to see the Wildlife Bridge being built over the 101 fwy in Calabasas, but wonder about the effect it will have if the sky above is so heavily polluted by low flying, very loud jets one after another during many times of the day on most days.

Again, it is not only about the great increase of air traffic, but of the high pitched VERY LOUD whine as they descend or gain altitude from Van Nuys over the Santa Monica Mountains.

There have been many occasions that it sounds like they must be so low that they'll crash, and thankfully have not.

There have been many times that they fly over us so low that we can read the #s on the bottom of the plane and see the windows easily.

I have checked with Van Nuys airport in the past if they were doing construction on runways and only had one runway and path open at the time due to the repetition of the planes flying overhead .

They said that no, airport was all open, and this was the new Next Gen Metroplex plan in action.

We understand that we live near Los Angeles and that Van Nuys congratulates itself on being one of the busiest private and small commercial jet airports in the US now.

The new path of having a narrow lane in the sky for the jets to come in one after the other or leave one after the other over our protected parkland is a travesty for humans, let alone for the animals that live here.

We understand that the project went ahead and began saying it would benefit everyone, WITHOUT having done impact studies on communities nor wildlife in protected parkland where they now fly over with MUCH increased traffic and at MUCH lower altitudes that even allowed by the new Metroplex (according to our community people with decibel readings).

If it is having a very large effect on the nervous systems of humans, we can imagine it is also having an effect on the wildlife and what their responses might be to such loud sounds so frequently putting them into biological alertness.

We understand that San Francisco area had similar issues and were able to resolve them.

We SINCERELY hope that will be the same for our wonderful Santa Monica Mountains both for the humans and the wildlife that reside here!!

PLEASE note that this is NOT about the Helicopters that are in service to our communities and the Santa Monica Mountains.

Nor is about the propellor planes that fly at higher altitudes.

It is STRICTLY about the effect of the jets coming and going mostly from Van Nuys airport and somewhat from LAX and Burbank.

We no longer live, nor hike in the hills to the sounds of the occasional high flying jets,
We no longer live, nor hike in the hills listening to birdsong and the wind in the trees.

Thank you for presenting this as you move forward with the care of our wonderful areas.

Best regards,
Carolyn Brandon & Charles Ciup
3280 Van Allen Place
Topanga
Ca 90290
(805) 338-7372

From: [Illece Buckley Weber](#)
To: [DRP_SMMNorthArea](#)
Subject: Updates to the NAP
Date: Thursday, August 30, 2018 3:10:15 PM

To Whom it May Concern,

I serve on the Agoura Hills City Council and prior to being elected to the Council, I served for six years on the city's Planning Commission so the NAP is of the utmost interest to me. I write these comments, however, as a 26 year resident.

I would like the County to consider studying the following:

1. As development increases in the region, the impacts of rodenticides on our wildlife.
2. As development increases in the region, the impacts of the traffic on Kanan Road, Liberty Canyon and Las Virgenes Road. Please note that the City of Agoura Hills has a plan for mixed use development on Agoura Road and Kanan Road (over 225 housing units.)
3. As development increases in the region, the risk of fire danger and the need for clear evacuation routes.
4. As development increases in the region, the impacts on the quantity and quality of water.
5. As more vineyards are planted in the region, the impacts of pesticides and herbicides on our air, water, flora and fauna.

Thank you for your consideration.

Illece Buckley Weber

From: [Rhonda Zucker](#)
To: [DRP.SMMNorthArea](#)
Subject: Santa Monica Mountains North Area Plan
Date: Thursday, August 30, 2018 4:25:21 PM

My family has lived in Agoura and Agoura Hills for almost 30 years. We currently live in unincorporated Agoura, and are very disappointed by the current plans for Kanan Road and its vicinity. Kanan has always been a busy beach access road. It has now turned into a weekend and weekday rush hour traffic nightmare. The abundance of homes built north of the freeway and opening of wineries south of the freeway has substantially added to the daily amount of cars on the road. Now the City of Agoura Hills is leaning towards permitting the development of commercial properties that will add an additional 20,000 cars to roads that can barely handle the current traffic, not to mention the calamity that would ensue if this area had a serious fire or earthquake.

Please help curtail their development plans.

Thank you

Rhonda & Mark Zucker

Sent from my iPhone

From: [Ray Stewart](#)

To: [DRP SMMNorthArea](#)

Subject:North Area Plan comments

Date:Thursday, August 30, 2018 5:08:22 PM

Hi as operator and owner of Triunfo Creek Vineyards since 1999 thru 2014 I wanted to share my comments regarding the NAP. At the County of Los Angeles' encouragement and the designation of the Santa

Monica National Recreation Area by congress I and my family since 1999 have endeavored to create recreational opportunities in the Santa Monica National Recreation Area staying faithful to the North Area Plan and it's guiding principles to "provide for both public and private recreational opportunities" (NAP pg II- 10) making significant investments by private land trusts holding land for future transfer to public agencies, "as well as entrepreneurial and family investments in private recreational facilities." (NAP II-12).

As host to charitable events, conferences and weddings Triunfo Creek Vineyards is often the first experience for young adults leaving the city and experiencing the Santa Monica Mountains for the first time of many times to follow. These 5 properties on 55 acres provide good jobs for many including the unskilled and the minimally skilled keeping them off the street as well bringing in enough income for them to chase their dreams.

We are responsible to our neighbors who are also zoned R-R having permitted a beautiful equestrian riding arena framed by an untouched stream as a buffer. We weed wack religiously, we encourage the fire department to hold drills on the property, we keep unfenced wildlife corridors, we've beautified the entrance to Triunfo canyon with landscaping and pastoral fencing, and we ridded the property of trash and thugs, one or more who was convicted of murder. And we monitor any sound coming from our properties to stay under the DB limit which while our neighbors are also in R-R zoning we use a lower DB limit which is the average of Commercial & Residential limits, limits which the county has confirmed we stay below both in planed and surprise tests.

We are the good neighbor but in situations where a neighbor has chosen Residential even though Residential is not a primary use in RR I find that the neighbor in this situation wants the RR zoned property either be residential as well or not do anything with their property. Towards this goal they use costly county resources to bully supervisors, planning departments, force costly sound tests and waste sheriffs time and money as they can call 100 times and never be right but there is no cost to them but it's an incredible form of harassment to the RR property. And here we are re-evaluating our rights because someone choose to live in an RR zone and they want to enforce as many regulations as they can on us to make us go away.

And now we are scared. This is our life, our livelihood. I ask that you consider the beauty and recreational opportunities we provide to the Los Angeles metropolitan region. Please feel free to come

for a site visit so we show you how we responsibly operate – http://secure-web.cisco.com/1vmJytA6SQLU2HhNQU2GVdRR_c97RQhmnhCOygCXhg_rtJy_hz1cswDuJB1y5t8di7UVsjFTx36NjJvi0QkJZCFfX2XO9RNUCyLMVBPKVDD6uLSo7hN3aDFCXCHwkLsyRAzH9ld4wtCEjEFesalwCK1DKtXiawRp5iwMz0y7pFfq37uP1277wb1neRHYetipJsFsYxxcSwywxwY2MXLuRsavo3ywesVfglyF-GeCdYHb44fAgHRekSrzRDT_s0GXnxMbUsCW3zRcZCnneYK8w-3pQikB9cLsFnfdgcz-KIEcKxMA_mwABSSDsWixGOtcAOTNLOV3cDD6rZfyLwHQ6yUWiL0zaS4qS_ryF_SAZFPnXH119YpcWYqW2qLca09y7rfNerDffZctsJYhZhr9GnubSZxjL1UKlap7D6lxlKU/http%3A%2F%2Fwww.TriunfoCreek.com

Thank you very much,

Raymond Stewart & family



Scoping Comments

Scoping Process – EIR for the Santa Monica Mountains
North Area Plan and Community Standards District Update
County of Los Angeles, Department of Regional Planning



Date: 8/30/18 Name: KIERAN HEALY
Telephone Number: 818-706-0555 Affiliation (if any):
Address: 31550 LOBO CYN RD, CORNELL, CA 91301
City, State, Zip Code:
Email: KIERAN@THE-HEALYS.NET Prefer paperless (email) notification? ☒ Yes ☐ No
Comment: PLEASE SEE ATTACHED.

THANKS Kieran Healy

*PLEASE PRINT. Your name, address, and comments become public information and may be released to interested parties if requested.

Please either deposit this sheet at the sign-in table before you leave today; fold, stamp, and mail; or email to smmnortharea@planning.lacounty.gov. Include additional sheets if needed. **COMMENTS MUST BE RECEIVED BY AUGUST 31, 2018.**

Kieran and Debra Healy,
"San Patricio"
31550 Lobo Canyon Road,
Agoura,
CA 91301-3417.

September 30th 2018

Re: EIR Scoping.

Dear Ms. Gutierrez,

The RR Zoning on Triunfo Canyon Road needs to be completely updated it has a ridiculous range of uses from a prison to the much hated "Dance Pavilions". Most of these Dance Pavilions have been converted from Equestrian facilities as they make far more money that way. I have no problem with weddings being held in this beautiful area, but the extreme noise in addition, traffic in a single ingress egress situation is an intolerable result. I imagine this zoning was written decades ago, in a possibly more genteel time, when loud, bass thumping music and crowds whipped up by a screaming MC or DJ were not the norm. If the county cares, as they say they do, about Wildlife and Habitat the continuation of this disturbance to people and animals is not a good match to preserving the area. Our complaints are well documented so I will not rehash them but the RR Zoning must be more restrictive and rid the Santa Monica Mountains of this scourge.

Yours respectfully.....Kieran Healy

From: [Debbie Healy](#)
To: ["TLC Board"](#); ["Residents"](#); [DRP SMMNorthArea](#); sheila@bos.lacounty.gov; ["Englund, Nicole"](#)
Subject: RE: Brookview Letter.pdf
Date: Thursday, August 30, 2018 7:40:07 PM

To Whom it May Concern: ESPECIALLY THE COUNTY BOS AND BROOKVIEW RANCH:

I am both awed and amazed that Brookview Ranch would have the unmitigated gall to send the attached (via US Postal Service snail mail) this letter regarding their Event Facility, and what they are doing to make things 'better.' The fact that receiving this letter the DAY BEFORE comments are accepted at the County level is laughable.

I have many concerns with what this letter says:

September 19, 2017. The BOS approved a 10-month moratorium on establishing special event venues or expanding existing venues. I was on the Board of our Community Association. I, too, attended meetings at the County BOS, where we told this moratorium would prevent venues from having events on NON-PERMITTED dance pavilions. Brookview, to date, has ignored PERMITTED DANCE PAVILIONS.

September 26, 2017. Should have received many more than one Notice of Violation.

April 2018. They state they have conducted a 'door-to-door survey at least three times. I have MANY friends in the canyon and have spoken to NOT ONE PERSON who had EVER been contacted by their so called outreach person. As a matter of fact, if they were able to snail mail the attached letter, why could they not have snail mailed THEIR ATTEMPT to get input from the community before the deadline.

July 5, 2018. We have lived in the canyon almost twenty years. The twelve foot section of the Ranch's wall HAS NOT been in the same location since 1994. I know, because I have lived in these canyons twenty years and walked my now adult boys across that bridge. At best, that wall has been there since 2002. Why does this letter state that on July 5, 2018 the covenant was signed. Yes, the wall has been demolished... But did you, Brookview, deliberately hold back on sending this letter until today?

Cigarette Smoking. This also is laughable. Great that Brookview has smoking receptacles that they think will prevent smokers "from discarding their cigarettes out of windows along Triunfo Canyon Road when they leave our venue." THIS IS A HIGH FIRE AREA... ARE THE RECEPACLES ALL ALONG THE ROAD TO KANAN...? I think not.

Sound: We live approximately 1 mile from the venue and hear noise and music EVERY NIGHT OF EVERY WEEKEND at best. . We can name the songs and have heard it after 10pm.

Exiting Venue: I have NEVER seen any sign of a traffic controller of people coming either in or out of the facility. What I have witnessed is u-turns in the middle of the road, cars pulling out and in unsafely, the gates being closed immediately upon beginning of event to prevent police response to calls about noise.

In the end... Brookview: YOU HAVE "INTERFERED WITH THE TRANQUILITY OF THIS SPECIAL PLACE."

Your letter has done nothing except clarify your selfishness of the dollar vs. a way of life the members of our community have chosen to try and live theirs.

Respectfully,

Debra Healy

This email has been checked for viruses by Avast antivirus software.

<https://www.avast.com/antivirus>



Scoping Comments



Scoping Process – EIR for the Santa Monica Mountains
North Area Plan and Community Standards District Update
County of Los Angeles, Department of Regional Planning

Date: AUGUST 29, 2018 Name: * JAMES J. FORBES
Telephone Number: * 818-889-1614 Affiliation (if any): * _____
Address: * 2775 TRIUNFO CANYON RD.
City, State, Zip Code: * CORNELL, CA 91301
Email: * JJFORBES@MAC.COM Prefer paperless (email) notification? ☒ Yes ☐ No
Comment: _____

PLEASE SEE ATTACHED

*PLEASE PRINT. Your name, address, and comments become public information and may be released to interested parties if requested.

Please either deposit this sheet at the sign-in table before you leave today; fold, stamp, and mail; or email to
smnortharea@planning.lacounty.gov. Include additional sheets if needed. COMMENTS MUST BE RECEIVED BY AUGUST 31, 2018.

August 29, 2018

Scoping Comments of:

James J. Forbes
2775 Triunfo Canyon Rd.
Cornell, CA 91301
(818) 889-1614

To Whom It May Concern:

The following reflects my personal perspectives regarding the Environmental Impact Report for the update of the Santa Monica Mountains North Area Plan and Community Standards District.

I have been a resident of the Triunfo-Lobo Canyons area in Cornell since 2000. We are a unique, diverse and fragile ecological area that is home to far more wildlife than human life. My neighbors and I are acutely aware of our responsibilities as stewards of this land.

Beginning approximately June 2012, our area has been invaded by outdoor event venues, primarily wedding facilities, that have had only an extreme negative impact on our environment; our air, water, wildlife, ecology, as well as the health and safety of residents.

What's even worse, because of the sketchy, at best, methods these venues have come into existence, there is virtually no oversight or inspection of their activities, including existing fire, environmental, health, public safety, planning and building regulations that govern the rest of us.

These venues operate in a vacuum that mirrors the non-permitted activities that led to the Ghost Ship disaster in Oakland that claimed 36 lives, and a tragedy of similar or even larger proportions is more than plausible to our community.

On any given weekend night, often all three, our community is inundated by wedding guests that more than quintuple our population. This includes hundreds of vehicles belching pollution, artificial lighting down the canyons in violation of existing limits governing the "Night Sky Ordinance," extreme, objectionable noise that scatters wildlife away and human's indoors, culminating with (often inebriated) guests flooding onto our small winding roads, often seen turning into the canyon as opposed to the lone exit toward Kanan.

The governing ordinance of the current SMMNAP, Title 22, provides no cover or provision for this activity. An arbitrary written determination in January 2016 by the then Director of the Department of Regional Planning created a loophole by allowing wedding and other outdoor events by virtue of being granted a "Dance Pavilion Permit."

A "Dance Pavilion Permit" is a "permitted use" in the R-R zone, but there is absolutely no definition whatsoever of what that means, not a single word. And in his arbitrary analyses, even

the former director acknowledged it does not provide for weddings or other amplified outdoor events.

When the Los Angeles County Board of Supervisors unanimously approved a moratorium of existing and expanded "Dance Pavilion Permits" three times beginning in August 2017, and most recently extended it in May 2018, Supervisor Kuehl, in large part, based her motion on the opinion of County Counsel.

County Counsel acknowledged that those entity's obtaining this permit for the purposes of holding outdoor weddings, are 'circumventing' the intent of Title 22.

This is why your work is imperative.

As there is no definition of a "Dance Pavilion Permit" there are no standards, and thus **no inspections** to ensure compliance. In a nutshell these are rogue, barely regulated, or inspected, operations.

I urge the following be included in the updated SMMNAP and Community Standards District:

- All such commercial outdoor activity such as wedding venues be **specifically** regulated:
 - This includes CUP's, necessitating public input and comment
 - Specific consideration of the unique challenges of each community
 - Including density, topography, access and viability of handling crowds
 - Specific limits on # of facilities given the size and access of each community
 - Limits on frequency of events
 - Limits on how many venues can operate simultaneously on any given day/night
 - Public Calendars of all events so the community is aware
 - Specific Enforcement Provisions for violation of the "Night Sky Ordinance"
 - No outdoor amplified sound
 - A scientific study of Triunfo Lobo's "normal" ambient dB levels
 - An ordinance that prohibits dB levels more than 2 dB above established ambient
 - Mandated, approved traffic control for events expecting more than 20 vehicles
 - Mandated evacuation plans submitted by venues
 - Mandated evacuation plans in conjunction with the community
 - Mandated certified evacuation expediter on site for each event
 - Emergency notification plan by venues to alert community of currently occurring safety issues:
 - In the past 2 years, venues have experienced the following:
 - A hostage stand-off
 - Cars spontaneously exploding in its parking area
 - Wrong way and erratic drivers
 - Health Dept oversight ensuring food & alcohol by permitted vendors only
 - Fish and Wildlife oversight ensuring no negative environmental impact
 - Every existing venue: Straddles Triunfo Creek

- Causes thousands of cars to cross Triunfo Creek
- Butts up against protected habitats and parkland

These are each common-sense provision's protecting the environment, the community and unsuspecting guests, all. Not only do I urge they be included in the updated SMMNAP, but hope the County recognizes the urgent need for these issues to be addressed immediately.

Thank You.

Sincerely,

A handwritten signature in black ink, consisting of a series of loops and a final flourish.

James (Jim) J. Forbes

From: [Steve Gilbard](#)
To: [Anita Gutierrez](#); [Nicole Englund](#); [DRP SMMNorthArea](#)
Cc: [Residents](#)
Subject: EIR damage from Nighttime Wedding businesses
Date: Thursday, August 30, 2018 10:01:10 PM

RE: North Area Plan EIR Scoping -

The EIR Scope must include intense study into the general damage that is done to the environment by the large scale nighttime Wedding and Event businesses as part of the review for the new North Area Plan. These operations need to be eliminated within the soon to be updated North Area Plan unless they can fully mitigate all damages they cause weekly, which is fundamentally impossible. There is an absolute need to include studies of multiple environmental areas at several levels within the EIR Scope as to the massively disruptive conditions these activities introduce into the North Area Plan.

The letter that arrived today from Brookview Ranch, sent out with likely careful timing, is a thinly veiled attempt to sway the comments of the community regarding the how these activities, under the guise of a Dance Pavilion are "good neighbors" and how they care about our rural lifestyle and unspoiled canyons. I can assure you, living with the damage to the environment caused by the music, yelling, honking horns, light pollution, traffic and the real danger of hundreds of people who have no idea how fast a fire in these canyons can turn the entire canyon into a brutal inferno with no way out requires study. Each of these annoyances is a true environmental issue and needs to be researched within the scope of the EIR for the NAP.

For the record, being the closest house to the location of the licensed "Dance Pavilion" I have never seen a single event take place under that covered space (the licensed space). Therefore the claim that they are working within the permit is false and the EIR for the new NAP needs to focus on violations that effect the environment and the communities as the most egregious type of behavior and further the EIR needs to find ways to put teeth into the code, updating what is currently a very poorly written set of statutes that provide for almost no recourse for the damage being done to the environment we live in. The LA County Sheriff's Department has repeatedly told residents that they have little to no codified statutes to enforce. The EIR and the NAP need to fix this so that activities that have negative environment impact can be stopped by the Deputy Sheriff's when they are called come out. Better yet the cause needs to be eliminated.

Furthermore, while this and other commercial locations have been cited, some more than 18 months ago (by Nathan Merrick from Regional Planning) for violation of the Los Angeles County Rural Outdoor Lighting District (Dark Skies) ordinance, they have done nothing to mitigate this violation and the EIR must investigate the environmental damage done to the region by the intentional avoidance of complying with both citations and fully ignoring the requirements of the Dark Skies ordinances, again with the intent to make enforcement of the statutes possible.

....and here is where they try to blame you, Region Zoning and LA County...

The letter bellow from Brookview Ranch, delivered to the community today, also speaks for itself as to the arrogance and disregard Brookview has for the community, the law and the process - basically they will continue to try to blame what they can on the county and

Thank you
Steven Gilbard
3030 Triunfo Canyon Road
Agoura, California 91301

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//signed//

Steven Gilbard

3030 Triunfo Canyon Road

From: [mallinger](#)
To: [DRP_SMMNorthArea](#)
Subject: Eir for the North area plan
Date: Thursday, August 30, 2018 11:23:20 PM

Please do something about the new FAA flight plans going over all of the Santa Monica recreation area including the National park and State park. It is non stop. It intrudes on the idea of what the recreational area is supposed to be used for. To allow people to leave the urban environment and have peace and quiet skies. The noise pollution has become deafening. There was no notice for this change nor consideration to the parkland and open space. The impact on wildlife needs to be considered. It had been researched that intense jet noise has severely impact on wildlife. We have already put them in harm's way with us living so close now driving jets non stop over head.

Sent from my Verizon, Samsung Galaxy smartphone

From: [Nick Lorenzen](#)
To: [DRP_SMMNorthArea](#)
Subject: North Area Plan / EIR
Date: Friday, August 31, 2018 8:01:54 AM

To All Concerned,

I am writing in hopes that all voices are heard and considered in the matter of the upcoming decisions being made to the North Area Plan and EIR.

I am one of two owners, along with my wife, of Triunfo Creek Vineyards - the very first property as you enter the Triunfo/Lobo Canyon community. I would like to share my thoughts so that not only those in opposition can speak and so that truths are brought to this matter instead of just the opinions of some members of the community.

Zoning and Land Use Entitlements:

My wife's family purchased our land in 1999 with an RR zoning with the intent to use it as such. My wife and I bought this land from her parents in 2014 with the same intent. We all had done our research and educated ourselves in zoning rights and all of the many uses and operations that are allowed, in which we are currently operating.

We are neighbored by RR zoned properties on either side, who also use their properties as such intent and purpose.

Across Triunfo Canyon Road from us are residents on Agricultural zoned properties.

All of which have purchased land and used it for legal and approved purposes per the zones in which they lie on. I do not think it is fair for a couple of neighbors with louder, more consistent and perpetual voices to persuade the county, the sheriff's and all other community members to believe that our property, specifically, is violating any laws or restrictions. I can assure you the we are in compliance with the North Area Plan and the county's rules and restrictions that pertain to RR zoned properties, and anything that has come up in question has been addressed and fixed within a timely manner.

Permits - Existing and upcoming:

Dance Pavilions has been a hot topic and under much debate. The handful of neighbors in opposition continue to argue and complain about the weight in which these permits have. Our property uses these permits in the way that they were intended. We rightfully conduct events in the area permitted and use them in the level in which they restrict. We have also followed the additional requirements in which you are allowed to operate with a dance pavilion i.e. installing parking and handicap requirements, fire codes, etc.

CUP - We have had a CUP for special events in the works for about 4 years now. There has been much improvement done to capacitate what we ultimately are wanting to do, and we work very swiftly and openly with the county to insure safety and proper functionality. Any decisions or restrictions made during the upcoming EIR / NAP should not take away what we have been working towards in re: to our CUP. We have been working towards something with many restrictions and implications, so if there are new rules, they should not apply to

those that we have been working for - rather they should apply to any NEW applications.

Environmental Impact:

Another hot topic. We want you to know that we have always kept the environment, wildlife and light as a high priority. We have a wildlife easement, corridors and watering stations and care for our wildlife extremely.

We have a great relationship with the fire station and allow them to utilize our property for any drill or training purposes, as well as using our property for a base camp during any wild fires. We are in constant communication with them with upkeep of the property and any safety things that we can do to help them and our community.

We have met with the county departments and worked together over the last several years in ways to minimize impacts on the natural environment.

Safety, Noise & Light:

We consider safety of the upmost importance to ourselves, our community and our clients. Numerous actions and regulations have been implemented into property to keep those on our property and those in our community safe. We have worked with the county on traffic studies and emergency plans. All of which are included in our CUP. We work with the sheriff station and fire dept for all traffic, safety, evacuation plans. Traffic and clogging up the one exit to the community has been brought up by the neighbors on countless emails, and meetings. We take all those thoughts and concerns very seriously. Our property is the first into (and last out of) the canyons, however that does not mean that we are the first to leave or the ones who will be clogging the exit for everyone else. We have another exit gate that is on Kanan road, which would be an emergency exit plan for any people/vehicles on our property. It could also be an exit for any properties on the north end of the creek. We also have an easement through the eastern neighbor for emergency exit as well. So please know that we have plans and procedures that do not and would not affect the rest of the community in the canyons negatively.

- On a side note, there is another exit at the back of the canyon that nobody ever seems to take into consideration. This exit is a dirt road that is not easily driven unless one has a all terrain vehicle. I suggest that in the potential revisions to the NAP, that this road/exit is improved so that there is an additional exit in case of emergency, and then many of the concerned neighbors could have a little more reassurance in the exit plan.

Noise is something that we stay on top of religiously. Not only do we have professional equipment that limits output, we have multiple DB readers around the property's edges monitoring noise everyday. Data over the last several years shows that we do not violate. To further insure that we stay within the level's, we take an average of RR zoned acceptable levels, along with Agricultural zoned levels. This is out of respect to our closest neighbors to the south and to make sure that we do not exceed or risk going into violation.

- I should note... Often we see emails and complaints about noise. Often it is during evenings where our property is not the only one hosting an event. During these instances, our data from DB readers continues to remain within the limits at our property lines from the noise produced on our property.

- We have passed multiple "noise tests" conducted by the county, both scheduled and without our knowledge.

Light studies and measures have been ongoing at our property. We have addressed these in our CUP and throughout the duration of our presence in the canyons. To my knowledge, there are no violations or concerns to this matter.

Conclusion:

In conclusion, my family purchased, uses/operates and plans to use/operate our property under the zoning and permits in which we have worked so hard to obtain and fight for what has existed throughout the duration of owning the land. If new restrictions are set into place that restrict us from using the land as it has always been intended, it will deeply affect our income, our family and our community. The property use & value would be nothing without what we have worked so closely with the county to get to where we are today, and where we want to be when our CUP is completed. We strive to not only meet guidelines and restrictions, but surpass them in order to stay within our rights and limits. We fully support the North Area Plan, and EIR - we just want to be able to continue working with the county and community under the existing code from when we submitted our CUP application and continue moving forward with a property that brings in economic and recreational benefits to our lovely Santa Monica Mountains and has always been in the county's and our interest.

Please do not only listen to those few members of the community who argue and complain. Please listen to all of us. We all purchased our properties with full knowledge of what existed nearby and what potentials each property could be one day. Please do not punish us who are utilizing the land use/zone for what potential it is worth and those who continue to abide by the existing rules and limitations in which the county implements.

Sincerely,
Nick Lorenzen

Triunfo Creek Vineyards

2714 Triunfo Canyon Rd.

Agoura Hills, CA 91301

From: Carrie Carrier

To:

Hello,

I wear many hats and have tried to amass concerns related to a large number of diverse issues. I urge you to include the following items in the North Area EIR:

INSISTENCE ON NONTOXIC APPROACHES TO LAND/VEGETATION MANAGEMENT IN PUBLIC-PRIVATE SPACES (Including roads and parks)

Please require that any/all "restoration" projects or "invasive species" campaigns be conducted in an environmentally friendly manner that **fundamentally precludes the use of toxic pesticides/herbicides**. Any projects undertaken in the name of "environmental protection" should not involve the use of toxic chemicals. Further, any such "restoration" campaigns should minimize the destruction of any valuable habitat for wildlife. Extra care should be taken to protect any and all tree species unless it can be proven that they pose an imminent threat to humans, wildlife or structures.

NEED FOR STRONGER PROTECTIONS FOR VULNERABLE/DISABLED POPULATIONS

Please include discussion of certain sensitive/vulnerable populations in the North Area, including but not limited to:

(i) individuals suffering from Environmental Intolerance/Chemical Sensitivities (this includes those grappling with a heightened sensitivity to toxic exposures/pollution as well as those sensitive to EMFs (electromagnetic radiation) and impacts placement of cell towers and so forth, agricultural and industrial pollutants/emissions, traffic exhaust burden, etc.

--> Many highly vulnerable populations seek refuge in the pristine and environmentally clean area of the Santa Monica Mountains because there are precious few areas left that are appropriate/safe for these individuals to inhabit. Many of these people cannot live in more developed areas due to significant health challenges related to their environmental exposures (which must be kept to a minimum). Hence, I would urge the environmental consultants and Planning team to add research into and discussion about adding extra protections for these vulnerable people (often to the point of partial or full disability) in the North Area Plan.

--> Such protections could include limits on the kind of activities and projects that could be undertaken in areas near people who register themselves with the County/State as having an EI/chemical/EMF sensitivity or disability. There needs to be more remedies and recourse for people with severe EI who are struggling to survive and live independently in the world. Such protections also enhance the overall environmental/air/water quality of the area and protect sensitive wildlife species.

For more info about this special population, see: [http://secure-web.cisco.com/1Yok5pmC-](http://secure-web.cisco.com/1Yok5pmC-QRq2g5Gl_gf_qVmH7d4-pBtEC6t4mZO4kXLG2wFlmXUCTr6_I7I5kabl89GPJnF8p07pJSLbwLkAshRpsTq1urXvgnTBhAroSn_tqLthiwQwLzT6b9pDqCUX1QQ3WnhjThlQO9CsstMNuhDOIEtw3EJJb3V0AaahC9xcWkrymClGzuyiTc_Fz6W51DIVELIKH3BHPgWTy2riMXVRz8FDDxSEZzrq50qN4tdSKK7U4bQfWOENfkjLKI6jkGasnJM7UQm8ICjCRDkG8NP5eM2CW0Wjlpuwr_moMsZd-XQUrhtCUFbKz3898kR1gkqhmcK1S5JrOn6LifD_TLMQYvHsd6y-OWpVLO22kCzzox7EE_V0DLCnlbt8EV1kz9u60BQEotfmKydvOUMPMym8Ae5GVEt9SH-2mctIJ2Wiz6W1b9LeyYit44IXe1gkSuMVRDXewYwC1hZ34TA-w/http%3A%2F%2Fwww.ilru.org%2Fsites%2Fdefault%2Ffiles%2FMCS%2520FINAL.PDF)

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THE MYRIAD BENEFITS and ECOSYSTEM SERVICES THAT NON-NATIVE TREE (and other flora) SPECIES PROVIDE (esp in a warming climate experiencing more extreme weather patterns)

Any "restoration" or fire "prevention" campaigns must include a full discussion (conducted by those well versed in this area and those who do NOT have a grant/\$-based incentive to remove trees) of the full benefits provided by any/all trees in the Santa Monica Mountains. Too often there is a pejorative presumption about non-native species that needs to be placed in a greater human-social-environmental context. We do not live in a vacuum. Per Darwin and standard evolutionary theory, species migrate and adapt over time and space. Further, ecosystems do (and actually must) change over time. Rigid adherence to "nativist" ecological paradigms is simplistic, unrealistic and likely counterproductive and harmful over the long term.

Good article about this general concept:

https://secure-web.cisco.com/16UZaBnmFuUXj5sCPXzTi7t5fK2brcvmlEtNVXjnU6AKq8WDOu14TURJZT3NpLg7gSVJbCJvaD3uYYuUUbSBeareZdJwlr8z3wLWxRLHT4k7rd2ZLrYNYNOV1DVRil1-77zEuu1FvxSP5leO-EKbsBKyTNntEEENVoQ9J0Xvxblj92WQFfOmnLj-nsuoRwJA7s9wmzOGKTPZea2jndb50S2OfaaDQPHGla1KO0EKlIKI3r5dA474zSvrF7TX2XMLrki8SuFG-cjszpwKsDIFo2nSnm1kiWV7Uu9gkANQFUSkiw2nQgo2kuymEW6xIKi_fCTq39kGP5I3_pOy8DFkFWE9rFogVtwQuouEk4U8jagpCPm4ufKE_lxnw6FidCx8n4HsnKf3Eny94FaopN1xbFy8aWWInAlhXsEVYcJUR4MBD6vd3gCMz5vEcbO8Hk7_pFp_SgHBI_oxiWaxCcA/https%3A%2F%2Fwww.nytimes.com%2F2016%2F03%2F01%2Fscience%2Finvasive-species.html

https://secure-web.cisco.com/1Ua6FyFBPmY6AhS2nqs23SBJPVimwHHtmZ28x4KuoJuPlzPGFDJmK8nomc_Wpim1xI5yFcDknqheTtNH2cnyVodz2uj7tAfzBCBLW-G1wqa0ZMX1mON-rDEXzMKJul4tTh0ajrvbpcamsfqVMktZzgwU3Gj2MAiFJerIEbFx3FIll3foymbgWK8LpdmPIL69W77uYHtdAWP1QM8AuezdU6BHJzC80QSSQny38dmxAt1W4JoZRaxVCLop3_pxc4uTMxftltwHD0geG_kgb1eM5Xp8XWlotPlnNlGGRmcjY-LSLnJORDEReXshaE8EltyL3vzbVR52Xp-dXS7ZODmJS2POE5nxlu8_Cv8RKZ5w0Uz2n7Qu-hVt-5E3BTg1Yq2Lle9tn7_Z4Mo87gheXTYeXCRlc6Ug7lviQdKu1NqzLZn8Mma0_sn1c7jieDTvshGdsZ-oo3CJFwASgwSo8quwA/https%3A%2F%2Fwww.sciencedaily.com%2F2017%2F07%2F170717150843.htm

http://secure-web.cisco.com/1anRuIb5agHEbBG9c7ll8vk85IHELXWeuT2xuH5bGZpSqN6sYWv-g9gdi0ydWL4fNnlWVKDPp6b0uPM5kkUSWM34-xdYAhSBmX-jcINPWEdg3XyC7XTzuuIKp3egEOSedJxwyebNsTQyozQOLixTHs2pk28Mmhe8xZs7ZIRuYNww6XPNG39fRaHCf7x3IzNKJ2j9HgSZVQDKnWC9s1btdskZBExJY0AYRdTAENqVv0WCbx4FFM-SrNK6q-USCX3ix1tEO-u9mQlihi7kc-OYIsXFr3aFjioREFZxrO5LjrbNkRkafnmIM6xJYU8R61NgcNyqq9IqzAVih5J5gl91OiSgctdbmbnvzwvgcpHi3gVjES0SA61ry5265JEdHdo3cd6vzZ_frha7mngKoLYMQUidhjDafDUuyeaMc46hWx4tDdZZzGyzgj2P_n3smQvUmmK-CzdakmQ4RJ8vgFEfAgg/http%3A%2F%2Fwww.state.sc.us%2Fforest%2Furben.htm

SIMPLISTIC ASSUMPTIONS ABOUT FIRE RISK AND NON-NATIVE TREES

Plenty of native species are highly flammable (e.g. the California Bay Laurel). Well-watered Eucs have been shown to act as fire breaks during actual fire events (e.g. the Angel Island Fire of 2007). Many of our assumptions about fire ecology are overly simplistic, misguided and seem to revolve around industry-promoted research and biases that promote forest destruction and further timber, as well as herbicide, industry interests.

Further reading: Interesting blog articles on this site that cite a wide array of credible research. Very well done and incisive (even though in blog format):

https://secure-web.cisco.com/1E2OHYtaf-qWh5JOk5WS3uy-YdkBH8Kn5dD6Ajf5U8nJeeVGgQfgqseFmR9Fzmg-cVA2UhmOUYfnhsMCVLR6vCG9h9WNvZXwCAj1WTSVOz19SiZvTI87t62tx59sCvHWIwXp447cgONW85jjPWZWOJrG6YzApJ9l1wWfQ5gk0ik4qaZ9lhXVGau2U-ileU2sci1B5zqPEDnoadt8SV3ez_8fTZ_Js87o56NEmnyM2pFC64_oA1DUKl3l_NYtP_tGiVLC0jwPACWdnyLy-cEmcjW13Z9qtolvMpl5sIB1XDp6TjGFeE3lh9HX4e6luV75kXXaA04iWnZyRcusYFBSuQOMOV2xT8quOp-FkHAW54IFE6fq5luXhi8R_RnwsxQJCzeFxmSLa9kf7OP-gJCCIVbq14y2MRmTe_BzfdaNy1CGMoVn6p7fTLvCflw80Umh-48jEAxf9588mYV8miYEg/https%3A%2F%2Fsutroforest.com%2F2010%2F03%2F03%2Feuca-phobia-and-fire-myths%2F

TRAFFIC

Traffic has so many dimensions that impact one's quality of life. From the fire danger that excessive traffic places in a rural area with one main escape route and the health risks it poses from car emissions to the economic drag it places on our productivity, traffic needs to be fully evaluated and assessed with a maximum carrying capacity established that protects our local residents and businesses.

AGRICULTURE AND EXCESSIVE WATER USE, PESTICIDE USE AND MONOCULTURES

The profit potential in two kinds of crops (grapes/vineyards and cannabis) have the potential to wipe out the Santa Monica Mountains as we know them and create environmentally harmful monocultures that exacerbate an intense future of near-constant drought as well as eliminating crucial habitat for many highly vulnerable wildlife species. Agriculture also seems to go hand-in-glove with intensive and regular pesticide use, air pollution from pesticide drift, run-off from fertilizers and pesticides-thereby directly exacerbating water quality issues. While growing a handful of fruits and veggies on one's property is fine, I think agriculture should be curtailed in the North Area to prevent the same issues that we see in our ag-dominated areas of the State. In general, people will try to use their land for the most lucrative purpose. If we don't place strict limits on vineyards and cannabis growers, what you'll see is mass land conversion for profit. Our environmental consciousness and sensitive areas will be sacrificed en masse, never to be recaptured.

AIRBNB EXPLOSION

The NAP and Zoning Code already provide for bed & breakfasts through a fee-funded CUP process that requires applicants to go through a robust review for even small establishments. I see no reason to eliminate that and allow people to create B&Bs without proper review around things like parking, fire safety, septic system capacity, loss of long-term rental housing for residents, noise, etc. If we do not require a thorough review of B&B's, we will be inundated with B&Bs and face a number of issues as a result (especially as regards car-choked narrow streets, noise, litter, fire evacuation issues, etc). A robust review process keeps the number of establishments to a reasonable level, protects the residential character of the area, and ensures compliance with all public safety rules and environmental standards.

Some useful research sources: http://secure-web.cisco.com/1k9fby_3stgSrp32sy-QfCiYcwLLEY-DTCk3KPw1076ndyiLIM1p5_jQJNmcr5pxFQuIDE-aw0zzlB0R4eQD5--yDqUe3ETvbTNu2GJMLuyaPaPhBCABEp3HLuF0BV4RS0iaEd3TTmZnkRs6uz_uwknNSP4AuQaikTVR9yIYvW8Cd72glbgqzOxT61uVGqdWUllNoUQVjdCwWM4_csOm1Cy24EIB3cJ6_3ks6gHbKf9HnEgE_Ucd7iSvWFVxlsrrpGAIPMb-y9fw6ZF6quDkjb8cmMUQpfJHyNi21-6AIkt456tUVNzcsVCjZUTyOSMBPb1_84KBA4Nt9BbPMvN_0FhhXW84cho0GpxpGocJ6a2RGJ6hutVd-UWFg7z6QErG3sExZNw9CQFYdyZHqUIAhZwXiAQNIuH60icErYMYAzqYiCHZ-

2WVovEdCpSbR0fO21uUqEeWGDpPMgu6n7ifw/http%3A%2F%2Fharvardlpr.com%2Fwp-content%2Fuploads%2F2016%2F02%2F10.1_10_Lee.pdf

https://secure-web.cisco.com/1SiVHZZ8pjCm6fC6SMleq2DEAe3RJnhNYiUvmK05NsUmVnHXqle994qDlz4Ff-zWfr6S4wNgsbUEzA8gh1nNtuyvNerF5zYlx-0hbLzdt5ei3CDG9mFNUeHIZfv3y0AaIXb-Vi2jpK02C_RcSa3KdJluBFGBGVn_RcyIBJqBYn2X9351laZ5Cu3erTHhDcNN7sdPsFEC8RjUoMXc-bjLWPDjb3xm1PofB9_8R5Vp-y6NtGBhaAbj5Oh0k65REtkM6nN7m95FnAXCj3Yb-aBsdTIPWSi_Gcl99WoJDUU3-lt4GpV-GhciXiwJ4ZrGHNm1uDZPIIdLKTLiffh9u1HLNR9ESAvGbmFEUKgsdl_iX-S3eCzXESjLcXbUP_jV-p-Ke0LYottsjudR8nLvpBQHcaTuh86Adl0ifwUaCJV8z1aABOWTHzq3FiYVAFQcRqGFjOt_Mgyag4QPiyh5jGnQ/https%3A%2F%2Ffla.curbed.com%2F2018%2F4%2F11%2F17219154%2Fairbnb-los-angeles-rules-regulations-plum

https://secure-web.cisco.com/10iEjVp3J8rU0mK_I_kYmqZpCI4_Y8rNZ38RGjc_HwluSz-_y3L5fcBU3GwKCrQeT6NWJwq0UUKhWsUCu-hdUegUPKIf1gLnxtlWvnU2N5ip_YoEFEYbcjN2YEAjI0NL0PuFACMS4GXWALMzNW5JKBIsVmp3d-1r6wBM-4AoPvy7vn-54eOTmNyokoLa5bQgNEdtufBcvBSrxh4BPh58JKu8eA9vIL88lv9ng7SVkjpPnoY3LMy1HDx9JeMJsdd7wlwrel9I5EvbTpEDrgBUVzLknvcM4qzy1m7W7xWCFv1RBg_KrNT56_eWVHbSpkx4I96CPsGFGHb8GPA1PPgf0kp_2vc4_Q-i1-NqvwBEXv-EuCVQWdsucuR69ILGSY2Dnp7fe75dZpUJVy-3Obj8Bq3v7u1HOs2jkgeZm3sPWWHK2Wm88_Zxezb94V-W4YUp-KhGjc9csP-20nWx2qQ/https%3A%2F%2Fwww.laane.org%2Fwp-content%2Fuploads%2F2015%2F03%2FAirBnB-Final.pdf

https://secure-web.cisco.com/15hJl5qbutw5ipOBSRobEwSfIFVnZwxmM6mivUmQzydBoU-awmyGjRN-20wEWF02BiDGK_42GelawIFZzuNRVifottnjo9k_sp5otDXf1scKbDpqz3kO7ldseID3BO25lxf8cIUXmO5zTaljtTvDCg8bArZkXV-boQyuqysAek_PArX_uS5aCXJxQH8fegf1F127vge1k3gvkg96Gs0bwAWInMJbU9dz7uE2RTy21McStX5uk8ZlMwVufmCD_XGLk8E1RgpR4BIRCnU9qLcjY4dpUITfkluzjDNDDFR82stNVACXKc3_ZSHBe57cXyuknWytcgiY5I1-w6vwu6deyJ7b9lktwzlu98aFB4Lug4x2Y2tkCM9pGoX0wBtQG5kyyzS6PjsnO5E5J2MMwLTgWAeT83PQNb4owl3v08XgKgE9zHudkuMuPPcdLosBNvAslehHksyedYGDruJuKCCA/https%3A%2F%2Fsplinternews.com%2Fairbnb-is-a-tax-on-everyone-1825745051

Carrie L. Carrier

Topanga Town Council, Vice President

NWF Certified Wildlife Habitat - Topanga Leader

Topanga Creek Watershed Committee, Chair Email: carriecarrier@gmail.com

Cell: 646-483-2926

From: [Steve Bernal](#)
To: [DRP_SMMNorthArea](#)
Subject: North Area Plan EIR Comments
Date: Friday, August 31, 2018 9:59:59 AM

To whom it may concern,

I have lived in the Santa Monica Mountains for over 20 years. As an environmentalist and advocate for sustainable farming, I am concerned about private property owners' rights to defend themselves against the **inevitable wild fires that will occur** in the Santa Monica Mountains. I have been told by our local firemen that our 11-year-old vineyard will help protect our home from being destroyed in a brush fire.

A Washington Post article in November 2017, reported on Napa and Sonoma vineyards that acted as a fire break during the worst fire in the state's history (up until this year) where 42 people died. In the article the post reported;

"Carole Meredith, one of California's most preeminent viticulturists, watched the fires from her home on Mount Veeder, where she and her husband, Steve Lagier, have a small vineyard and winery. They finally evacuated as the flames approached, and then they returned days later to find their home intact and their property relatively unscathed. Mountain vineyards, considered prime property, were more at risk than valley plantings because they have more vegetation around and between the vine rows, Meredith said in an email. Even so, the damage to vines was limited to the outer rows of vineyards and infrastructure, such as fence posts and drainage systems."

https://www.washingtonpost.com/lifestyle/food/weeks-after-wildfires-california-wine-country-is-as-beautiful-as-ever--and-hurting-for-visitors/2017/11/01/8b8cfbc2-be86-11e7-959c-fe2b598d8c00_story.html?utm_term=.ba825873e3e8

Our grapes are organically grown and use less water and fertilizers than similar homes with grass and landscaping. Make no mistake, I'm not advocating for behemoth commercial vineyards, however a property owner with a few acres of sustainably farmed vineyards uses minimal resources and is a far greater benefit to providing fire protection to the property.

In a country where one party dismisses science and facts as "fake news", it's disheartening to see our local politicians dismissing science, when creating public policy. Where is the documentation from our agricultural scientists that vineyards are the "Darth Vader" of the Santa Monica Mountains compared to other crops and equestrian facilities?

I believe standards should be created so new vineyards adhere to sustainable farming best practices. For instance, the use of organic fertilizers, prohibition of commercial fertilizers and pesticides, requirement to use soil sensors to reduce over watering, just to name a few. Vineyards up and down the coast have been utilizing these practices for several years and the results have been positive for the environment and their communities. Why isn't the department using any of this data which has been exhaustively studied and reported on by agricultural scientists?

If you're a Game of Thrones Fan, I'm sure you've heard the term "Winter is Coming".

Wildfires are coming to the SM mountains and I'm hopeful this EIR will examine the role of vineyards as a natural firebreak to protect private property.

Sincerely,

Steve Bernal
818-694-1681
31307 Birdella Rd
Malibu, CA 90265

North Area Plan – EIR Feedback from Jacqui Lorenzen

The existing Zoning, North Area Plan, and Los Angeles County Municipal code do not need significant revision. As written they control noise by zone, they curtail light pollution and preserve the nighttime environment by eliminating light trespass and they limit special event facilities by CUP or by dance pavilion permit. We need enforcement and compliance, not additional regulation.

1. **Land Entitlements & Zoning** – Cases where a property owner has chosen a ‘permitted use’ such as residential in an area zoned Resort Recreational (RR) does not downgrade the rights of the RR zoned property. In these cases, the residential property owner has knowingly chosen to locate their residence in an RR zone. They then intend to take away zoning rights and entitlements from the RR zoned property which would effectively downgrade the RR zoning to residential and take away recreational opportunities of areas zoned for recreation. These residential users complain that they don’t have good neighbors, they use up county budget & resources, they call law enforcement on events that comply with the noise ordinance, lighting standards, etc. and possibly divert law enforcement from potentially life-threatening emergencies only to harass property owners and operators.
 - a. I ask to honor the current guiding principle of The North Area Plan. “let the land dictate the type and intensity of the use.”

A. Guiding Principles

The guiding principle of the Santa Monica Mountains North Area Plan is to:

‘let the land dictate the type and intensity of use.’

A. Guiding Principles (pg II-10)

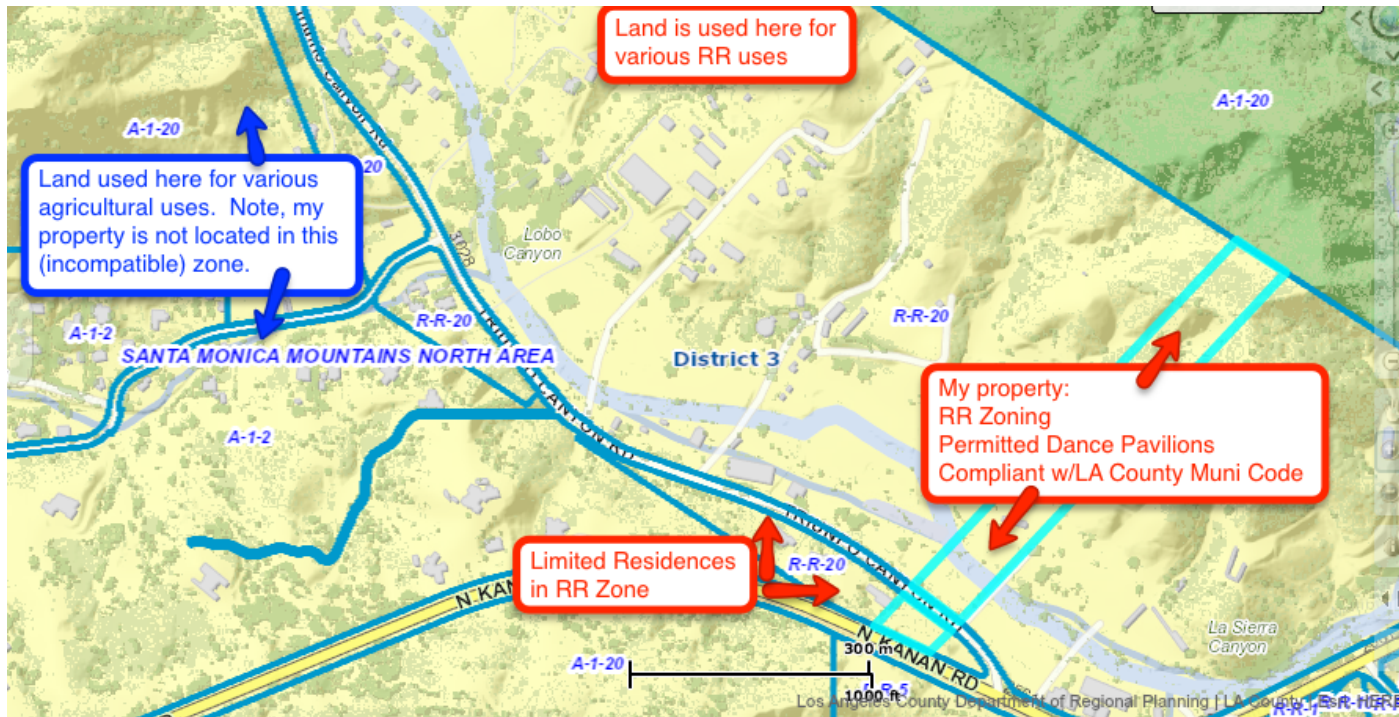
The overall goal of the North Area Plan is to maximize preservation of the area's natural environment, recognize the opportunities and constraints that the land imposes, **accommodate new uses that minimize impacts on the natural environment**, and ensure that new development is compatible with and enhances the quality of existing communities, and **provide for a wide range of public and private recreational opportunities**.

H. Recreation And Trails

One of the most important functions of this portion of the Santa Monica Mountains is its ability to provide the Los Angeles metropolitan region with a wide range of public and private recreational opportunities. The natural environment of the mountains--throughout the unincorporated area as well as adjacent cities-- is particularly well suited for active and passive outdoor recreational experiences in an unstructured natural setting. In view of the need for energy conservation, the value of recreation in close proximity to the urban complex is immense. The Santa Monica Mountains area represents the last opportunity to maintain a critical element of a ‘close-in,’ outdoor, recreational-oriented lifestyle within the Los Angeles region, and the communities along the Ventura Freeway corridor serve a gateway function into the mountains.

The cornerstones of the area’s recreation potential are the existing federal, state, and local parks and trails. These parks and proposed acquisitions, linked by the proposed scenic routes and a network of riding, hiking, and bicycle trails across all jurisdictions, would all integrate with the Santa Monica Mountains National Recreation Area. These public recreation areas, which could be supported by compatible **commercial recreation** uses, such as resorts, lodgings, camps and equestrian facilities, would maximize the recreational opportunities available to the public.

- b. For example, my property is located in Resort Recreational (RR) zoning. Title 22.44.1760 states many uses are permitted in RR zoning including but not limited to: outdoor recreation, dance pavilions, picnic areas, farmer's markets, outdoor festivals, wineries, tasting rooms, etc. I have neighbors on Triunfo Canyon Rd. that utilize the RR zoning for events, camps, equestrian and single-family residences. A small handful neighbors have chosen to reside in single family residences along the RR zoning on Triunfo Canyon Rd. (note, not a primary use of RR Zoning). They are working to eliminate my permitted use of dance pavilions. To unequivocally grant them their request would not honor the guiding principle of The North Area Plan. I chose to purchase in RR zoning (not residential, not agricultural, etc.) for the opportunity to develop recreational activity. Note, there is an agricultural zone one road over, located at Lobo Canyon in which no RR activities occur, refer to DRP's GIS map below.



2. Special Events & Dance Pavilions

- a. There is not justifiable need for additional regulation, there is need for enforcement of those in violation of existing code (i.e. facilities operating without dance pavilion permits).
- b. I request to refrain from putting additional regulation on existing **compliant uses and compliant operations** and to honor the following existing LA County Municipal Code:
- Noise – Allowed so long as compliant with existing Title 12, 12.08 (see below). Note, a threshold to limit the increase over ambient is not included.
 - For example, my facility has a sound consultant and employs various noise mitigation measures and noise monitoring measures to ensure compliance (in house sound limiting system, sound walls, white noise, etc.).

COUNTY OF LOS ANGELES COMMUNITY NOISE CRITERIA

Title 12, 12.08

Triunfo Creek Vineyards is in a Resort Recreational Zone and falls under the "Commercial" property use.

Residential neighbors are in a Agricultural Zone and fall under the "Residential" property use.

Noise Zone	Land Use of Receptor Property	Time	Level (dBA)				
			Std 1 L50 30 min/hr	Std 2 L25 15 min/hr	Std 3 L8.3 5 min/hr	Std 4 L1.7 1 min/hr	Std 5 L0 At any time
I	Noise Sensitive	Anytime	45	50	55	60	65
II	Residential	10PM to 7AM	45	50	55	60	65
		7 AM to 10 PM	50	55	60	65	70
III	Commercial	10 PM to 7 AM	55	60	65	70	75
		7 AM to 10 PM	60	65	70	75	80
IV	Industrial	Anytime	70	75	80	85	90

C. If the measurement location is on a boundary property between two different zones, the exterior noise level utilized in subsection B of this section to determine the exterior standard shall be the arithmetic mean of the

After 10pm the noise level at the complainant's property should not exceed 50dB.

Mean calculation:

Residential zone of 45dB +Commercial zone of 55dB)/2= 50dB

Before 10pm the noise level at the complainant's property should not exceed 5dB.

Mean calculation:

Residential zone of 50dB +Commercial zone of 60dB)/2= 55dB

exterior noise levels in subsection A of the subject zones. Except as provided for above in this subsection C, when an intruding noise source originates on an industrial property and is impacting another noise zone, the applicable exterior noise level as designated in subsection A shall be the daytime exterior noise level for the subject receptor property.

From: Robert Vasquez [mailto:rvasquez@ph.lacounty.gov]

Sent: Saturday, June 24, 2017 11:37 AM

To: Jacqui Lorenzen <jlorenzen@triunfocreek.com>

Cc: Woodard, Michael R <MRWoodar@lasd.org>; NEnglund@bos.lacounty.gov; Evenor Masis <emasis@ph.lacounty.gov>; James Tang <jatang@ph.lacounty.gov>

Subject: Re: Triunfo Creek Vineyards - Noise

Hi Jacqui

This confirms that after 10 pm the standard is 50 dba(average noise 30 min on the hour) across residential property lines. Yes the standard drops 5 dba after 10pm.

I suggest to minimize noise as much as you can since the last monitoring done in may was more noticeable or audible with compliance with standard. Well submit a report to Nicole as soon as we can on the last monitoring.

Robert Vasquez
LACDPh

- ii. Traffic/Vehicles/Parking – Adherence to a facility’s approved parking plan will successfully limit the number of vehicles on site.
 - 1. For example, my property has an occupancy load, that occupancy load dictates the amount of parking spaces needed and available on site. We have parking to match our occupancy load. We encourage shuttling and mandate shuttling when appropriate. Note, it is not always appropriate to mandate shuttling (i.e. small guest count, carpools are utilized, etc.).
- iii. Event Hours/Setup & Breakdown Times – The mention and concern of event times I must assume relates to “noise.” Please refer to those specifics above. No additional regulation on existing **compliant uses and compliant operations** should be added.
 - 1. For example, my evening wedding events comply with the noise ordinance (see above). To further ensure compliance and be a responsible neighbor we adhere to the following schedule:
 - a. Setup: Begins at 10am
 - b. Event: Begins at 4pm or 5pm
 - c. Music Cutoff/Event End: 10pm on weekdays, 11pm on Friday/Saturdays.
 - d. Rentals: Rental load out is done the following day from 8am to 11am for all events that end after 8pm.
- iv. Lighting – Allowed so long as compliant with existing Chapter 22.44 – part 9 (see below – no light trespass, etc.). No new restrictions should be put on complying parties.

22.44.540 - General development standards.



In addition to complying with the applicable provisions of the Building and Electrical Codes of the County of Los Angeles, outdoor lighting within the rural outdoor lighting district, other than street lights, shall be subject to the following requirements:

- A. Lighting allowance. For properties located in a residential, agricultural, open space, or watershed zone, outdoor light fixtures installed above 15 feet in height shall have a manufacturer's maximum output rating of no greater than 400 lumens.
- B. Light trespass. Outdoor lighting shall cause no unacceptable light trespass.
- C. Shielding. Outdoor lighting shall be fully shielded.
- D. Maximum height.
 - 1. The maximum height for an outdoor light fixture, as measured from the finished grade to the top of the fixture, shall be as follows:
 - a. 20 feet for a property located in a residential, agricultural, open space, or watershed zone;
 - b. 35 feet for a property located in an industrial zone; and
 - c. 30 feet for property located in any other zone.

3. Economic Impact

- a. To put additional regulation on properties/uses that are currently complying with LA County Code and using their land in accordance with their designated zoning code will cause significant financial hardship to land owners, operators and employees. This will decrease recreation and tourism to our beautiful area.
- b. For example, I’m a mother to a 7-month-old and a 2 year old. I own and operate my business in the Santa Monica Mountains and I’m proud to work hard to support my family. I am mindful of the county requirements, I pay my taxes and I go above and beyond to address neighborhood concerns (beyond what county code dictates). To limit the use of my land beyond the

requirements I fully follow today will hurt my business, my family & those families I employ. I bought this land, have a loan on it and need to operate my business to make ends meet.

Goal IV

Protection and expansion of the wide range of public and private outdoor recreational opportunities serving residents of, and visitors to, the area.

Goal IV recognizes the role of the area as a major recreational and open space resource for the regional population owing to its strikingly scenic natural environment and system of linked public lands. The future focus for these recreational areas will be on an interconnected system of parks, regional trails, and use of existing facilities. Future public open space preservation programs will focus on the protection of natural resources, and provide passive and other recreational opportunities to the region consistent with the need for such environmental protection. In the past, the area's recreational potential has been recognized through substantial investments of public recreation funds (over \$200 million to-date) in federal, state, and county parks, and the establishment of the Santa Monica Mountains National Recreation Area and agencies such as the Santa Monica Mountains Conservancy and the Mountains Recreation and Conservation Authority. However, not all recreational opportunities and uses are limited to formal parks; other existing open lands provide substantial passive recreation to the County's residents as well. This includes significant investments by private land trusts holding land for future transfer to public agencies, as well as entrepreneurial and family investments in private recreational facilities.

4. Existing Physical Environment Conditions in the North Area vs. New Applications for Development

- a. Existing compliant land uses & pre-existing applications to the NAP CSD update should identified and allowed to operate and apply under the set of conditions existing at the time of application or when the project was put into use (i.e. grandfathered).
 - i. For example, I have applied for certain permits 4 years ago. We are actively working with our engineers, MND team, the county, etc. regarding the project & revisions to take current code and environmental considerations into account. To have new code apply would be unjust and render the past 4 years of time and money wasted. I simply could not afford to start from scratch (see Part 4: Economic Hardship for supporting details).
- b. Previously disturbed areas mapped within and SEA or protected habitat area should be noted.
 - i. For example, my whole property was not originally mapped as part of an SEA but now is. I have acres of vineyard on my property, one of the many purposes it serves is a firebreak and prevents against hillside erosion. This should be noted in any mapping to show a previously existing condition so that it doesn't appear to be a violation.
- c. New applications should consider any new code, new environmental mitigation measures, new protected trees, etc.

5. **Emergency Protocol** – While it is evident that the number of vehicles in Triunfo Canyon is being exaggerated (I've heard a neighbor complain of 2,000 vehicles each day when given that we tend to have a max of 70 vehicles on site a few times a week that must be a stretch), I agree and have been a huge proponent of the importance of employing safety standards and emergency plans in this canyon. To no avail, I ran for Triunfo Lobo Board with the goal of working with the community to develop evacuation protocol and implement community wide safety measures (see email where I ran for board below). A neighboring venue operator and I took it upon ourselves to work together to develop emergency protocol and safety regulations for our two facilities.

Jacqui Lorenzen

I grew up in the Santa Monica Mountains with a passion for riding horses at Pegasus (now Brookview), working on the ranch, and all things outdoors. I currently own and manage Triunfo Creek Vineyards. In 2014, I married my husband Nick at the venue and we now have a one year old son. If elected to the TLC Board, my vision would be to facilitate a closer working relationship between the local venues and the residents. Additionally, I would work with the fire department, residents and venues towards an effective fire evacuation plan in case of emergency.

Shyam Tony Reyes

- Singer/songwriter/musician – inspirational/spiritual music
- Graphic Designer
- Continuing universal spiritual student
- Resident at Ashram for over 25 years
- Has been serving as TLC Board member for about 2 decades

I envision us (TLC) moving into a highly-coherent intentional community that is ahead of the curve in anticipating and planning together for the accelerating global climate changes, its impact on our community, and the need for response, planning and development of “adjustment” infrastructures from a highly-functional and cohesive local community within a network of other co-intentional communities. I believe this would entail a wholehearted cultivation of Goodwill by each one of us within the community; goodwill will be our most solid foundation for successfully achieving such a vision. With or without a common community intention, goodwill is, nevertheless, a great thing to have in abundance in our small community.

Tom Viren

My vision for the community is to create a safe, healthy, and sustainable environment for all residents.

- a. Fire & Evacuation
- i. My facility has implemented the following regulations & plans:
1. A fire department signed and approved evacuation and shelter in place plan.

2. No use of flame, fire, sparklers, candles, etc.

3. A force majeure clause in our venue contract. Specifically, we will not hold events in dangerous conditions or we reserve the right to employ whatever additional precautions are necessary (red flag warning protocol specifically is specifically addressed).

4. Employee emergency training.

Dear Community,

As you should already know June 4, 2017 is our General Meeting and Picnic. This event is being held at the home of the Lawrence's, 31582 Lobo Canyon Road from 12:00-3:00 pm.

There are three seats open for this election. Those who have expressed an interest in serving our community are Tom Viren, Shyam Reyes, Terri Webb and Jacqui Lorenzen. In order to vote you will need to pay your membership of \$50.00. If you are unable to attend and wish to vote by absentee ballot please let the board know.

Attached is a short bio on each of the nominees. We are also attaching a copy of the Letter that had been delivered to each mailbox along with the Community Resident form.

We will be providing Hamburgers or Vegi Burgers, buns, condiments, paper goods and non-alcoholic beverages. We will be emailing a sign up asking you to bring a side dish or dessert to share. There is a pool so please bring your towel & sunscreen, there will be a Lifeguard to help watch over your children. There will also be shuttle service from Lobo up to the Lawrence's home.

If you wish to vote by absentee ballot or have any questions please email the board at board@triunfolobo.org.

Thank you for your consideration in reading this feedback. I appreciate having a voice and I sincerely hope we can work together to find the best solutions.

Jacqui Lorenzen
Triunfo Creek Vineyards
2714 Triunfo Canyon Rd.
Agoura Hills, CA 91301
Direct Dial 818.292.8217

From: [Bill Carrier](#)
To: [DRP SMMNorthArea](#); [Anita Gutierrez](#); [Luis Duran](#)
Cc: [Carrie](#); nenglund@bos.lacounty.gov
Subject: Items to include in the Santa Monica Mountains North Area Plan
Date: Friday, August 31, 2018 10:45:56 AM

Hi

The items below are very important to me and many others in the North Area. Please include these items in the North Area EIR:

NO MORE POISON

Those of us in the Topanga Creek Watershed Committee work very hard (for no money) to try to prevent poison (pesticides, herbicides, insecticides, etc.) in the Mountains. We live in a natural environment full of animals, trees, and people. All three of these groups are harmed when poison is used. There is NEVER a good reason to use poison. There are ALWAYS alternatives to poison that do not harm the environment and everything living in it. We plan to fight against poison for the rest of our existence; however, if a ban is instituted in the North Area plan, the need to fight against poison will happily be greatly diminished.

This NO MORE POISON issue includes:

-NONTOXIC APPROACHES TO LAND/VEGETATION MANAGEMENT IN PUBLIC AND PRIVATE SPACES (Including roads and parks)

Please require that all "restoration" projects or "invasive species" campaigns be conducted in an environmentally friendly manner that **bans the use of toxic pesticides/herbicides**. Any projects undertaken in the name of "environmental protection" should not involve the use of toxic chemicals. Further, any such "restoration" campaigns should minimize the destruction of any valuable habitat for wildlife. Extra care should be taken to protect any and all tree species unless it can be proven that they pose an imminent threat to humans, wildlife or structures.

-AGRICULTURE AND EXCESSIVE WATER USE, PESTICIDE USE AND MONOCULTURES

The profit potential in two kinds of crops (grapes/vineyards and cannabis) have the potential to destroy the Santa Monica Mountains as we know them and create environmentally harmful monocultures that exacerbate an intense future of near-constant drought as well as eliminate crucial habitat for many highly vulnerable wildlife species. Agriculture also seems to go hand-in-hand with intensive and regular pesticide use, air pollution from pesticide drift, run-off from fertilizers and pesticides-thereby directly exacerbating water quality issues. While growing a handful of fruits and veggies on one's property is fine, I think agriculture should be curtailed in the North Area to prevent the same issues that we see in our ag-dominated areas of the State. In general, people will try to use their land for the most lucrative purpose. If we don't place strict limits on vineyards and cannabis growers, what you'll see is mass land conversion for profit. Our environmental consciousness and sensitive areas will be sacrificed sadly and needlessly.

AIRBNB / HOME SHARING REGULATIONS

We desperately need Airbnb regulations. As it stands, anyone and everyone is advertising their homes, etc. on Airbnb and other websites. The NAP and Zoning Code already provide for bed & breakfasts through a fee-funded CUP process that requires applicants to go through a robust review for even small establishments. I see no reason to eliminate that and allow people to create B&Bs without proper review for things like parking, fire safety, septic system capacity, loss of AFFORDABLE long-term rental housing for residents, noise, etc. If we do not require a thorough review of B&B's, we will be inundated with B&Bs and face a number of issues as a result (especially as regards fire safety, cars on narrow streets, noise, litter, fire evacuation issues, etc). A robust review process keeps the number of establishments to a reasonable level, protects the residential character of the area, and ensures compliance with all public safety rules and environmental standards.

Sincerely

William Carrier
1820 N Topanga Canyon Blvd
billcarrier@gmail.com

To Whom it May Concern,

My husband and I owned [Triunfo Creek Vineyards](#) from 1999 to 2014. In 2014, my husband and I sold the property to my daughter and her husband. Today I am a stakeholder in the business and a local resident of the Santa Monica Mountains.

My feedback regarding the upcoming Santa Monica Mountains North Area Plan and Community Standards District Update (SMMNAP) is mainly to enforce compliance with existing zoning and code, not to put additional restrictions on property owners and operators that are compliant.

The North Area Plan and its guiding principles state to “provide for both public and private recreational opportunities” (NAP pg II- 10)... “as well as entrepreneurial and family investments in private recreational facilities.” (NAP II-12). Since 1999 my family has created recreational activities at our property (equestrian, conferences, charity events, etc.).

We provide jobs, we are responsible to our neighbors (though there will always be a few we cannot please), we showcase the beautiful Santa Monica Mountains to our clients and their guests, and we preserve the natural habitat on our site.

To put additional restriction on the property’s ability to conduct special events on the permitted dance pavilions contradicts our Resort Recreational (RR) land use entitlements. A few neighbors that have chosen to live in a RR zone should not be allowed to downgrade the RR land use entitlements of others.

I ask that you consider the responsible recreational opportunities we provide to the Los Angeles metropolitan region. If you would like to come for a site visit to see what measures are taken to comply with existing code I would very much like to arrange for it.

Vera Stewart

http://secure-web.cisco.com/1ES-TA5ISmVZ7J0TMIGRNaH1ZV-oBR9XezZ_o8tWZ55ZOVZafVJE2SA9siP-SwrsjX92MfZnJH_-piG1hfeTsEZ1nAex6u_INeqLyIVGrLgzkU1FMSTxgSHNw8glCcYG5QGZWDv-Z9F1vEA1C0j7YcMZEiPhzajezm876O0KpfduHxgleOnBBSQbWzvzdGRJ4vYqQYDGP8vzsfXSlhg4yYh6InyclMk4T7GXbU5BgByRrIrnTVVDIxVekwFewKRwc1zCHp1x6Kr4XH_fc_cJb1B5JiXR50tITayDqZra5uJBBakWI7NmNGsbqhjsmlprY0801uZE1Pkz_OX_ekMcE03AfIWb3QNpMX-OJVKFnYYI78IRUpuMOiiefo8XR3pVlk3wOYK0ufwr7rQQ00MKxQ/http%3A%2F%2Fwww.triunfocreek.com

Sent from my iPad



Scoping Comments

Scoping Process – EIR for the Santa Monica Mountains
North Area Plan and Community Standards District Update
County of Los Angeles, Department of Regional Planning



Date: 8-30-18 Name: * William S. Humphrey & Lisa Schram
Telephone Number: * 310-699-1176 Affiliation (if any): * Triunfo Lobo Comm Assoc
Address: * 2940 Triunfo Canyon Rd.
City, State, Zip Code: * Cornell, CA 91301
Email: * williamh35@gmail.com Prefer paperless (email) notification? ☐ Yes ☐ No

Comment:

As an eighteen year resident of Triunfo Canyon, I am gravely concerned about the apparent direction of the County in allowing multiple wedding and event venues to operate in the shadows of the Santa Monica Mountain Conservancy. My specific concerns in this regard are noted below:

- 1) The amplified sound, which travels far from its source, has robbed me of my right to the quiet enjoyment of my property. As a result of the combination of loud music, DJ's and screaming, drunken crowds, I am no longer able to open my windows on a summer evening or sit outside and enjoy the night sky.
- 2) The hundreds of cars, carrying even more passengers, creates a dangerous hazard on our narrow streets. On any given weekend night, we have potentially a thousand strangers, all in party mode and jacked up on music & alcohol, invading our quiet, rural community. This would be particularly dangerous in the event of an evacuation. It is frightening to imagine the chaos of some three hundred residents, many with horses and other pets, fighting for their lives, the lives of their loved ones, and their possessions at the same time as a thousand drunken, disorderly revelers are all heading for the same exit way out.

*PLEASE PRINT. Your name, address, and comments become public information and may be released to interested parties if requested.

Please either deposit this sheet at the sign-in table before you leave today; fold, stamp, and mail; or email to smnortharea@planning.lacounty.gov. Include additional sheets if needed. COMMENTS MUST BE RECEIVED BY AUGUST 31, 2018.

In closing, I urge you to contemplate what you would do if this circus moved into your own neighborhood. I beg each and every one of you to come to our home on a "party" night to understand that the current decimal keel being allowed is not appropriate in this quiet canyon. We, in this community, are all happy to welcome legitimate recreational activities; kids on bikes, hikers, horseback riders, but ~~we~~ should not have to suffer these endless insults from for profit businesses.

From: [Deke Williams](#)
To: [Anita Gutierrez](#); [Nicole Englund](#); [DRP SMMNorthArea](#)
Cc: [TLC Board](#)
Subject: Scoping Comments - EIR for the Santa Monica Mountains NAP
Date: Friday, August 31, 2018 12:06:05 PM

Deke Williams
32069 Lobo Canyon Rd
Agoura Hills, CA 91301
805-432-4459

SCOPING COMMENTS - EIR for the Santa Monica Mountains North Area Plan and Community Standards District Update

To whom it may concern,

As a member of the Triunfo and Lobo Canyon community, I feel a major focus of the EIR should be a study of the damage and disaster potential caused by businesses running Weddings and Events on a weekly, or more frequent, basis. I ask that the EIR thoroughly review the licenses and CUPs that are being misused and violated by these venues. In addition, please address noise level limits with an ear towards revising current sound regulations to be more respectful of the community and the established ambient sound level. Lastly, ensuring that all venues (and residents) adhere to the Dark Sky Ordinance must be emphasized.

While the community can certainly coexist with certain businesses that maintain and respect the rural atmosphere, such as horse-boarding facilities, vineyards, and other farming/agricultural activities, the flagrant stretching of a "Dance Pavilion" license to encompass all manifestations of a large-scale wedding venue is nothing short of exploitative.

Thank You,
Deke Williams

From: [Michael Stewart](#)
To: [DRP SMMNorthArea](#)
Subject: EIR / NAP Meeting
Date: Friday, August 31, 2018 12:07:19 PM
Attachments: [image001.png](#)

To Whom it May Concern,

I think it's important to point that much of talk for further limitations in the NAP comes from people who chose to live in an RR zone and then do Residential. Obviously if you build or buy a house next to commercial property, or resort recreational property, which allows for anything, ranging from dance pavilions to equestrian centers to hog farms then you should be aware of that there will most certainly be conflicts between your permitted use vs the intended use & zoning dictated by the land and the county.

Thus, it's unfair for the residential user to impose their residential use on the other properties zoned RR. The equivalent would be the RR zoned property trying to push out the residential user because they don't bring more business to the area (which would be considered ludicrous). For some reason, it seems as if the more irrational, louder, squeaky wheel, is getting privileges that are not at all equitable or fair. Moreover, it would be a tremendous loss of use for all other residents in Los Angeles and Ventura Counties not to be able to visit, use and recreate in the Santa Monica Mountains in beautiful area that are zoned to permit people to get out of the city and live, breathe and thrive in the Santa Monica Mountains.

As all informed parties are aware, the area is zoned for these uses but a couple of people are bullying our government and wasting county planning, government and Sheriff resources because of their desires to limit activities around their house(s) which they purchased or built in the RR zone. Contrast this with the RR zones properties that, I can almost certainly guess, have been very accommodating, kind, helpful, and considerate to compromise.

My company 1099 Pro, Inc just had a several day tax seminar at Triunfo Creek Vineyards (TCV) with people from all over country and they loved it! And my wife & I were married at TCV - thus introducing dozens of people to the Santa Monica Mountains. I would hate to lose that part of my past and that opportunity for future generations.

We need to keep RR as Resort Recreational.

Sincerely,

Michael Stewart

p.s. below is a building permit for residential use (an add on to the existing structure) in RR zoning which is across from the venue mentioned above.



From: [Kristi](#)
To: [DRP_SMMNorthArea](#)
Subject: SMMNAP and CSD Plan Update Feedback
Date: Friday, August 31, 2018 12:22:42 PM
Attachments: [instagram-logo.png](#)
[facebook.png](#)

To Whom it May Concern,

I work at A Rental Connection, rental vendor for Triunfo Creek Vineyards.

I request that the in the SMMNAP & CSD update, that the county and EIR team recognizes operators that are compliant with existing county code. For those that follow existing regulations, there is no additional need to further regulate events.

For many years we have worked responsibly with Triunfo Creek Vineyards to execute special events. We follow some very specific rules, some of which being:

- Setting up the dance floor space **only** under the patio or just off the patio (where their permitted dance pavilions are located).
- Loading in for events at 10am on the day of the event and loading out evening events the following morning from 8am to 10am/11am.
- Setting up lighting so that it does not shine directly toward Triunfo Canyon Rd./neighbors.

To penalize the venue with various additional restrictions, such as but not limited to, shortened event setup & load out timeframes would likely make it impossible to conduct weddings on site. This would directly affect our company economically. Please don't penalize a complying venue and its vendors for the non-compliance of others. We have always been respectful, quiet during all hours but especially in the morning, and we will continue to do so. I ask that you allow us to work in the same capacity going forward as we do today.

Thank you for taking the time to read my feedback. Please let me know if you need any further information. For more information on Triunfo Creek Vineyards, you can visit at http://secure-web.cisco.com/1_bKfqSv3ZX6hIKBO85B5wWIGlW2s_OtUPXOCTklvEQFRgFY2NaolvD5GuopS5G8JhD_ZaSkRt7elZW7ZYBKfF5a9s5frchJH87USDHPcQ922tW-mv-odGpQHqJRvg3et02bgrzSGI8DGrvSkH3Qr9LSHewgDcTw20DymxfGZGeRhXHW86353T3N8r7yCN5NOpO2BtyHlkdIqhnkaX9Rg4hb78f0pUseTdVexfHdVwAqOENBOp2oZWpAW9UxHHXICk9ALOPmwvupSJ99Wx6t9QQuvTACtAmYpGtu89fTYobUJ2sUvqfOLdWt8a9uj4rIs24MLu9bjZWS2XxX_IJT1xEuPhlMnfiBj2CCQELAIa9tENCZegtmVy1gju2CQ1NcHW57I9-KDpWQM7ahbo_A/http%3A%2F%2Fwww.triunfocreek.com.

Kristi Schoenrock

A Rental Connection
5397 N. Commerce Avenue
Moorpark, CA 93021
805-876-0020
Fax 805-876-0196

kristi@arentalconnection.com

http://secure-web.cisco.com/1BOttH DU4hQYh22jz26i3llmh4Z8q4BC08l4w5_SR Gh--MJGRhkciruc-A39stHR2t6pa8tR-YdKBW8qa2dvc0iCWNz22DYt-pRF-SLyWj0uQ3JSzj6gNzFGhTCkCxrNa0RZxm5WFwOluntCyT9qys9OW7POZoKgaoDmTrP19HfVzcKWtH5UMCXL2NTC0QNEoPpR0i0b8_ilvP-idcW06XYR34M3iQtDuFGcMDYP4wd56zzITblq1MJgfk mU-6xzY6wTMOjHN6r-SLPKHTH3jw2cPOc6wolWD6q6xuRM-UHe4-r33zO-z2_426prggY8xEUdMimrFlmOafmJp9T2eBTd4Cy-BIXqFA0Pp3GSmKPCq6Ce19p22z81G8wJox-xNSyynwOa3JQjXLTbmjt7klw/http%3A%2F%2Fwww.arentalconnection.com



From: [L.A. Roots](#)
To: [DRP SMMNorthArea](#)
Subject: SMMNAP and CSD Plan Update Feedback
Date: Friday, August 31, 2018 12:58:56 PM

To Whom it May Concern,

I work at LA Roots Catering, caterer for Triunfo Creek Vineyards.

I request that the in the SMMNAP & CSD update, that the county and EIR team recognizes operators that are compliant with existing county code. For those that follow existing regulations, there is no additional need to further regulate events.

Over many years of working at and with Triunfo Creek Vineyards we have first-hand experience that they are responsible venue operator. To penalize the venue with various additional restrictions, such as but not limited to, shortened event setup timeframes would likely make it impossible to conduct weddings on site. This would directly affect me financially. Please don't penalize a complying venue and its vendors for the non-compliance of others. We have always been respectful and quiet when working at Triunfo Creek Vineyards and we ask that you allow us to work in the same capacity going forward as we do today.

Thank you for taking the time to read my feedback. For more information on Triunfo Creek Vineyards, you can visit at http://secure-web.cisco.com/11yg2YnWGe7uBD9t39jXUtXJXoEiZGOFItlwxOKi-N31W9oCZ4IXftODkFuXNQVfy4TlrhhOgf4RaO9i1-9xDKL27VeyK1xE4NrO1isR_HRb-jcn-kkzAVEM-yxC1QNBTTUheTILyA7sJO0eZtNFTS4FAyPf85bewTuMy1ALeY31OqRRwk-xF7zohwZkwOh4pFgRM_gl8Q1V-71p34FsEiuoalknLAEwWFF0eunA8P_I5MMvb1AVML6I72BLJF6llyc0YDbTSuG3GdKHZcOv62r4y aquSs6OcqRX6zgRHyyq4bHEf1n5pl5hUIZcM9tiQrNK-D6Z5SqQKjL0sLCdYTDd7ebU0yVd3qFxyQ2B9P5J1hMkLyyuiOgnQY8FNKEcPtbAXMy63VpvsKR0-gnrwxZbjpePmkyNRpE1Xf5ounCQ/http%3A%2F%2Fwww.triunfocreek.com.

ISAIAH SEAY - CHEF/OWNER
LA ROOTS CATERING
818.899.1115

INFO@LAROOTSCATERING.COM
http://secure-web.cisco.com/1NyJGtV0gkc972kLLBLMHJAPHh7MPJM0YEI2ITU-yFHGF_x9-AQWCOEGNTYIKELHKOCE3/LZWDRSXUN3GUGOTXAQGEZJ-LE09YLFSAUFNF8ELIBRICRMLJAYXTNEK9AMUXOPNTQ6Z9HUGPPTfNBcXRDOOQS5CVLMASAZEP-XFDGZJADQIAOPXXEKFXLCZF3BAG-8FWS-ODRFUNSYTISBDWGMFJXWHMTCYCUTQWGLN7AqGyCIJJJXF_HME7I9iiVkhTHGPHUOFWRGfIC1ENPRZC72FEQONTURWAUGOOV8ZCEFSIXYU8-D7ZZANOJYUEFLKPA12FODNHTQGCER9TD1KAZ20YAv37pusYbEuYx34mVOVNHTuHZxFLU8BCYMNDgVVHXB63QVNUZ3H8GUEMMKTCYFLPKGGMt9REBJQ/http%3A%2F%2Fwww.larootscatering.com



From: [Danny Margolis](#)
To: [DRP_SMMNorthArea](#)
Subject: SMMNAP and CSD Plan Update Feedback
Date: Friday, August 31, 2018 1:06:09 PM

To Whom it May Concern,

I am the owner of Command Performance Catering and a caterer for Triunfo Creek Vineyards.

I request that in the SMMNAP & CSD update, that the county and EIR team recognize operators that are compliant with existing county code. For those that follow existing regulations, there is no additional need to further regulate events.

Over many years of working at and with Triunfo Creek Vineyards we have first-hand experience that they are a responsible venue operator. To penalize the venue with various additional restrictions, such as but not limited to, shortened event setup timeframes would likely make it impossible to conduct weddings on site. This would directly affect me and my company financially. Please don't penalize a complying venue and its vendors for the non-compliance of others. We have always been respectful and quiet when working at Triunfo Creek Vineyards and we ask that you allow us to work in the same capacity going forward.

Sincerely,

Danny Margolis
Command Performance Caterings

From: [Albert Scola](#)
To: [DRP_SMMNorthArea](#)
Subject: Triunfo Creek Vineyards
Date: Friday, August 31, 2018 1:17:50 PM
Attachments: [image001.png](#)
[image002.png](#)

To Whom it May Concern,

I am the Executive vice President of Secural Corporation, vendor to Triunfo Creek Vineyards.

I request that in the SMMNAP & CSD update, that the county and EIR team recognizes operators that are compliant with existing county code. For those that follow existing regulations, there is no additional need to further regulate events.

Over the past year or so we have worked with Triunfo Creek Vineyards with regard to their evening events, predominantly weddings. We enforce a set of very specific rules, some of which being:

- Taking decibel readings along the property line to ensure noise ordinance compliance.
- Communicating with the lead venue site representative to maintain music output is below the ordinance limit.
- Enforcing music cutoff at 11pm on Friday and Saturday and 10pm any other day.
- Showing previous and current decibel levels to the Sheriff deputies upon their arrival to show compliance (a deputy comes to site almost every wedding due to a neighbor calling into the station regarding disturbing the peace).

To date, my staff has not logged a noise violation from the venue. We take care to lower levels when necessary. Do not penalize a complying venue and its vendors for the non-compliance of others.

Thank you for taking the time to read my feedback. For more information on Triunfo Creek Vineyards, you can visit them at www.triunfocreek.com.

Sincerely,

A.J. Scola III
Executive Vice President
Secural Security Corporation
(818) 225-0813 ext. 228
(877) 2SSC 4ME
www.SecuralSecurity.com
www.CalabasasProtectionBureau.com
"Committed to Community"





Scoping Comments

Scoping Process – EIR for the Santa Monica Mountains
North Area Plan and Community Standards District Update
County of Los Angeles, Department of Regional Planning



Date: 8/30/2018 Name: HUGH S. ROBERTSON
Telephone Number: 805-660-2327c Affiliation (if any):
Address: 30940 Lobo Canyon Rd, Agoura, CA 91301
City, State, Zip Code: Agoura, CA, 91301
Email: hr@robgeotech.com Prefer paperless (email) notification? ☒ Yes ☐ No

Comment: Important issues to be addressed & evaluated as part of the EIR
(1) No amplified sound between 8:00 pm and 8:00 AM. - NONE - at least establish a normal ambient dB level for specific communities that takes into account topographic effects on sound travel and only allow 2dB above the established ambient level for the specific community.
(2) Provide efficient mechanisms to issue violations and enforce - This is NOT being done now in our Triunfo / Lobo Canyon community where illegal wedding venues have hijacked out weekend evenings and the County is doing nothing.
(3) Make provisions for enforcing violations of the "Night Sky Ordinance"
(4) Limit entertainment venues activities to take into account the specific neighborhood. Eliminate multiple party facilities in communities that are residential areas. Limit the size and number of events that can be held and the hours of operation to eliminate adverse

*PLEASE PRINT. Your name, address, and comments become public information and may be released to interested parties if requested.

8/30/2018

2 of 3

impacts on peace and enjoyment of rural residential communities. The County should stop putting the business interests over those of established residential communities after some arbitrary decision by staff that opens the door to inappropriate and disruptive business because of some archaic zoning language.

Example: Multiple wedding venues being allowed to operate within a mile of each other where amplified sound and loud party activities occur each weekend evenings. This is a negative impact on all who live here so eliminate them and their amplified sound.

⑤ Consider that traffic and population increase associated with the party events creates a hazard in the event of a fire with the need to evacuate the community along with the visitors. Narrow roads with constrained roads and exit points must be considered when the County considers allow party venues in rural residential communities.

8/30/18

3 of 3

- ⑥ Don't interfere with established residential use that conforms to Codes and approvals with respect to landscaping and brush maintenance for fire. Don't restrict the ability of owners to maintain and improve their properties in conformance with standards and Codes provided proper permitting, CUPs as required are considered. Don't prevent me from maintaining my property.
- ⑦ Don't create an environment that drives equestrian facilities out of the Santa Monica Mountains. These facilities are a part of the area and can and do operate in an environmentally responsible manner.

From: [Sue Johnson](#)
To: [DRP SMMNorthArea](#)
Subject: Comments re AIRBNB negative impact on the North Area and Monte Nido
Date: Friday, August 31, 2018 1:54:51 PM

Hello,

I live in Monte Nido and my family has resided here since 1969.
We have watched our wonderful special rural village retain its character through the years.

That is until the current trend of Airbnb's.
We live on a private road, and we use to know all of our neighbors that walked our streets and drove by.
Now are little neighborhoods are filled with strangers.

Our roads are small single lane country roads, and strangers drive them fast.
We are in dark skies and many properties do not have perimeter fencing.
In summary, often there are strangers staying right outside our bedroom windows, in the country, in the dark skies and we do not know who they are.
It is creepy.
The Airbnb's change the nature of our rural village, and that is against the LIP.
The LIP should be amended to state no Airbnb's in Monte Nido.

Thank you,
Sue Johnson,
Resident at 588 Crater Camp Drive, Monte Nido, CA since 1969.

Susan E. Johnson, Paralegal
Kenneth E. Devore & Associates
Attorneys at Law
31355 Oak Crest Drive, Suite 250
Westlake Village, CA 91361
Telephone: 818-338-3252
Fax: 818-338-3287
http://secure-web.cisco.com/1nDQWJImxM1OdXWdUhdSUG4FTRxjiaf4uuqX5v0pOFN5vgwoMK8yN_aZVpHwvzEvnGWwPSI1BHusmy16zJ39HlnnZnnV2BMgEE68fChQY7Yk-A3CXLmo7eCQ2rHGyzCLUCaOJTtw5LF-BQnsr7EJTWqLaUVV38h2IL7gLkCGXGa9nthCS1X2naZ6jwrGAD7q9ZdrqcBmlqwjOhSjOOo6KdIrBqLIr0hzFpyM4mPPZMdu8s169nHvbrM5-5OOIYTW_G9Wxxo7R5FTtHpHa6Fa5gh_OXTilyoH9E5XoGUMfiM-zTOgUu0Cx_8uVYTqXDbBvEo8r0rTJIMcoL8LCztJZlbfjF2wNy63g_vhGWkC7vlKbcrD1zo4_p5W4gecS3kYE1NZbB5HQROLmu6dcJRZoQ/http%3A%2F%2Fwww.trustplanner.net

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From: [Steven Schultze](#)
To: [DRP SMMNorthArea](#)
Subject: SMMNAP and CSD Plan Update Feedback **Date:** Friday, August 31, 2018 3:27:05 PM

To Whom it May Concern,

I own and operate Sandman Security and SoCal Valet, mandatory and exclusive vendors to Triunfo Creek Vineyards.

I request that the in the SMMNAP & CSD update, that the county and EIR team recognizes operators that are compliant with existing county code. For those that follow existing regulations, there is no additional need to further regulate events.

For many years we have worked responsibly with Triunfo Creek Vineyards to execute special events. We enforce a set of very specific rules, some of which being:

- * Enforcing the setup of the dance floor in the permitted location(s) only.
- * Enforcing music vendors to plug in to the in-house system only.
- * Enforcing music cutoff at 11pm on Friday and Saturday and 10pm any other day.
- * Staffing the gate & valet team to ensure there is never a backlog of cars on Triunfo Canyon Rd.
- * Enforcing lighting never points toward a neighboring home.
- * Taking decibel readings along the property line to ensure noise ordinance compliance.
- * Checking that there are no signs or lights in the public roadway.
- * Ensuring vendors setup quietly.
- * Directly trucks where to turn around in a circle vs. backing up and making beeping noises.
- * Working with the ABC licensed bar staff & valet staff to prevent potentially intoxicated guests from driving.

To penalize the venue with various additional restrictions, such as but not limited to, a limited number of events, shortened event setup & load out timeframes, lower noise standards, etc. would likely make it impossible to conduct weddings on site. This would directly affect my two companies and all those I employ.

Do not penalize a complying venue and its vendors for the non-compliance of others. I ask that you allow us to work in the same capacity going forward as we do today.

Thank you for taking the time to read my feedback. For more information

on Triunfo Creek Vineyards, you can visit at http://secure-web.cisco.com/1Acl4e9gcc7cYkxck107fpH_IeORVfKNDhLW2g0VbGC0hUnBF6zceYxxCHjpjdiTJJtD5cqT05iLjx_ZEy_YXmtT3iMPGRHPWaS3h0Kbz_KSOGRh8BxrtHC-kGvOXsTo-EfIOD3gShcXXawsItcMqtHeeeSfBnMRWoOmJ_7M9K_p-JcW9U3qTDEZgaCEPduovBsHZxWQDUHK9saAiJh-CE1XvKSMWSEJ812hwa5qDkpUmEXCnNhBtXQbrvBAesu8Rwzl9vmLohxoiPsoeQ4p1EWYExeMAKa9ON54FzjuoVov ez4JWcxQaZOk6XGyhS70KrNEbDFevMylo5X14HKCzeN12afqXkn3F9VYNcxH4zRezdXhuOOtp9bG9XEbPRHL4oRz8f1Q9WvM8seBesAK4CsOXvEo-u8LIA8vxnl4Jl/http%3A%2F%2Fwww.triunfocreek.com.

Steve Schultze
President of Sandman Security and SoCal Valet

From: Ralph Bracamonte
To: DRP SMMNorthArea
Subject: SMMNAP and CSD Plan Update Feedback
Date: Friday, August 31, 2018 3:43:51 PM
Attachments: image001.png, image002.png, image003.png, image004.png

To Whom it May Concern,

I work at Vox DJs, DJ for Triunfo Creek Vineyards.

I request that the in the SMMNAP & CSD update, that the county and EIR team recognizes operators that are compliant with existing county code. For those that follow existing regulations, there is no additional need to further regulate events.

Specifically, my company, Vox DJs, works weddings on site at Triunfo Creek Vineyards. We are mandated to plug into their on-site sound system and we always do. We understand the noise ordinance in the area and take great pride in operating responsibly under the limits. We work with various site reps to ensure the music noise level is within an acceptable range on the dance floor and at the property line.

I support the venue as it acts in compliance with the noise ordinance. To penalize the venue and lower the allowed decibel output would likely make it impossible to conduct weddings on site. This would not only affect the venue and its direct employees way of making a living, but mine and my company's as well. Please don't penalize a complying venue for the non-compliance of others.

Thank you for taking the time to read my feedback. For more information on Triunfo Creek Vineyards, you can visit at http://secure-web.cisco.com/1KF5khJEpal3i7xMkKBXeBT4c6bKt80bTwDXFetPoQWwKI8GcKMUsjac0dE66x9GxyFdAb8DAyGy8GjARKb0SyyVDWrsi43BS4sLGtiU3AOUUSF7ILqsrnpMtBAKyIvIxFwXISEcBvesBcqcWVQjd5tFTQaa43fyofyH7fzVnb4hdRrWrq8aEuVaxwUKD8440CCI6dTp6RpjHanshdQKYXHgvTEEho7fh7hfP6JsgEPH_zDX9FwqwW_kykB6Xq8Jx85bbTSe6KYJgQI8nmNcPIHlm3dmqVNP331lgSKeSPTUvGSStjajDqk5wIWPF1PGb851Dogc_g2f5eMgFpfOBc232zYz2kk5xsCNpnaWyM_PNS4K0iGJatsLywM8e0yKy3I6Kwsl0y2RmS4AHTYIQ/http%3A%2F%2Fwww.triunfocreek.com.

Respectfully,
Ralph Bracamonte



Ralph Bracamonte

Sales & Business Development Manager | Elite DJ/MC

Office: 310.372.2222 | Mobile: 310.630.9562

Locations: [LA](#) | [OC](#) | [SD](#) | [AZ](#)

DJs/MCs | Event Lighting | Photo Booth



From: [Chris Deleau](#)
To: [DRP SMMNorthArea](#)
Cc: [Everyone](#)
Subject: Comments on North Area Plan Update (SMMNAP) Notice of Preparation (NOP)
Date: Friday, August 31, 2018 3:57:01 PM
Importance: High

To Whom it May Concern:

The SMMNAP NOP is legally and practically insufficient. Section 15082 of the CEQA regulations provides that the NOP must, "...provide the responsible and trustee agencies and the Office of Planning and Research with sufficient information describing the project and the potential environmental effects to enable the responsible agencies to make a meaningful response. At a minimum, the information shall include:

(A) Description of the project,

(B) Location of the project (either by street address and cross street, for a project in an urbanized area, or by attaching a specific map, preferably a copy of a U.S.G.S. 15' or 7-1/2' topographical map identified by quadrangle name), and

(C) Probable environmental effects of the project. [bold italic emphasis added]

It is our understanding that a working draft of the North Area Plan Updated Ordinance is available (but not for public circulation at this point). Since the "Project" is an "ordinance," the draft of the ordinance should be circulated with the NOP in order to meet the requirements of (A) above, to provide a meaningful "description of the project" and also to allow the OPR, responsible agencies and trustee agencies to make a "meaningful response." The very generic description of the changes in the law does not come close to being "sufficient information" as is required by the regulation above cited. Additionally, the NOP does not state what the "potential environmental effects" might be. The NOP simply lists all impact categories that are to be considered (in any EIR). This does not meet the requirement of 15082(a)(1) which anticipates that the County will conduct an initial assessment (usually following an Initial study" that identifies the areas of potential impact to the environment from the project, nor does the NOP list or discuss the "Probable environmental effects of the project" on the environment. No such analysis has been done or publicly disseminated. It is unknown if the County has conducted an Initial study or what the results of that initial study are (this would be the information required by CCR 15082 (A)(1)(C).)

Withholding the text of the ordinance, the initial study, and the requisite analysis of probable environmental impacts, is tantamount to "hiding the ball". CEQA requires an open and transparent process when evaluating projects. The withholding of this information is far from transparent and grossly fails to inform the public and the responsible/trustee agencies as to ***the probable impacts*** that this ordinance may have to the environment. How can a member of the public comment on this ordinance in any intelligible manner if we don't have a copy? Notwithstanding the requirements of CEQA and the CEQA regulations, it would behoove the County to circulate the complete text of the ordinance and an initial study before having community meetings [on the ordinance] and prior to the release of the NOP so that the County can efficiently and with maximum public participation, finalize this ordinance in a manner that considers the needs and concerns of the County's North Area residents and constituents.

This lack of transparency at the outset of the Environmental Review process is very disconcerting. We respectfully request that the ordinance and initial study be publicly released with a revised NOP that meaningfully responds to the comments herein and that the public be offered a meaningful opportunity to participate in this process.

Thank you in advance for your consideration of our comments.

Best,

Christopher M. Deleau, JD, AICP

General Counsel | **Schmitz & Associates, Inc.**

V: (818) 338-3636 | F: (818) 338-3423

*****Please note our NEW Address as of Dec. 23, 2016*****

28118 Agoura Rd., Ste. 103

Agoura Hills, CA 91301

From: [Kathi Carlson](#)
To: [DRP_SMMNorthArea](#)
Subject: Overreach of Environmental Restrictions
Date: Friday, August 31, 2018 4:24:48 PM

1.

1. **What are the implications of the SMMNAP update to the housing stock and future development?**
2. **How many homes have been built in the Santa Monica Mountains North Area and signed off for occupancy to date this year?**
3. **Of the homes that were built and signed off on in the SMMNAP in 2018, how many of the homes would not have been allowed to be built under the new EIR restrictions?**
4. **If the answer to number 3 is not yet determined because the zones are not yet set as of yet then how can anyone effected buy the possible new EIR Zone map make educated question?**
5. **Isn't it way too early to open and end public comments to this issue if the actual plan is not even mapped or published or completed for public review?**
6. **Are these new areas going to limit weed abatement areas for the parks, roads and crops and thus increase wild fire hazards?**
7. **What is the prohibition for sensitive areas with regard to development?**
8. **What will be done with regard to historical cultural resource protection (agricultural and equestrian)?**
9. **How will the plan update impact recreational opportunities?**
10. **Will the expanded tree protection provisions supplant the Oak Tree Ordinance?**
11. **With recent fires like the Thomas and Carr Fires, how does this plan update affect fire safety?**

I look forward to detailed responses to your questions?

Thank you, Kathi Carlson and Andy Carlson

2.

1.

Thank you for the opportunity to “comment” on the proposed changes to the General Plan. This is a difficult task as the proposed changes have not yet been published.

I would like to address what I believe may be published based upon the one-page pamphlet I received at the “Scoping” hearing.

“A **scoping review** (also **scoping** study) refers to a **rapid gathering of literature** in a given policy or clinical area where the aims are to accumulate as much evidence as possible and map the results”

We received notice from Schmitz and Associates the day before the hearing, otherwise we would not have known of the meeting. I was shocked after being Stewarts of my property, paying property taxes for almost two decades, to learn that a “rapid” gathering would determine its future. The room was overcrowded, and the second session was incomplete with regards to the slide projector not able to be switched on.

To give you some background on our property, it is zoned A1-10. Agricultural, we were approved for a vineyard which we started a small section on our property. We have harvested Malibu Honey which is being sold at local markets. The property was graded in the year 1999 by the previous owners and was slated to house 4 single family homes. We choose to keep it as one and make it into our family farm.

We have a 3-bedroom mfg. home on the property which we have been paying taxes on for the past 15 years. It presently houses two university graduates who work maintaining the property.

We wanted to “keep it simple”, peaceful and pleasant and not to be rushed into further development.

I would like the following to be addressed: The Black is commentary leading to the question in Red.

- 1)** The Law states that “Failure to comply with the Fuel Modification Plan requirements may result in an Administrative Fine of at least \$500 per violation” *How will the policy drafters who are proposing to amend the North Area Plan [NAP] mitigate the cross over contradiction of the existing Fuel Modification law?*
- 2)** It is the law that areas within 200’ from graded pads and 10’ on either side of existing roads and driveways will need to be maintained for Fire Department Weed Control, otherwise it is illegal and dangerous. Over the years I have known people who have been killed because they were not able to get out of their property because it was not cleared according to Fire Department standards. Therefore, the Fire Department Standards, Human Life and Public Safety needs to override. *Will the people who are making the changes accept legal accountability should they obstruct the existing Fuel Modification Plan Regulations?*
- 3)** The weed clearing, thinning existing brush according to the already strict standards is imperative to providing fire breaks 10’ each side along public and private roads and driveways. During my life I have assisted in fighting two very vicious Malibu fires. The Fact is that the damage to the environment is greater *after a fire and mud slides* verses allowing for the overgrowth within the Fire Department Weed Modification Zone. Please note what happened in Montecito to the beautiful Heritage Oak trees and loss of human and

wildlife when they were washed away by debris. Last December the Thomas Fire burned approximately 281,893 acres (440 sq mi; 114,078 ha), becoming the largest [wildfire in modern California history](#) *The Environmental Devastation area easily outnumbers the “buildable” undeveloped lots.* *Has there been any study of the heavy burden and environmental damage which is caused by Fire and Mudslides as a result of not controlling the growth of native vegetation?*

- 4) Implementing a more regulated no-clearing, no development has a much greater propensity for environmental damage than utilizing our existing guidelines for clearing and development. For example, The Thomas Fire, which was started because brush that was supposed to have been cleared was ignited by SCE employees. The water district was named in the lawsuit as there were not adequate water supply to put out the small fire burning the native vegetation in early stages. *What are the legal ramifications for implementing policy that precludes clearing within a fuel modification zone?* The fire claimed 281,000 acres, and two lives. Imagine the damage, the pain, the wildlife destroyed. *The parties that implement any legislation that precludes the 200' Fuel Modification Zone from carrying out the safety measures which was imposed for the purpose of protecting human and wild life, will be held personally responsible for the loss of the environment and human life if it were to happen. We should not have to live in fear of burning alive. If Fuel Modification is to a minimum standard already.* Perhaps you have not lived long enough to remember the people who were burned and killed in the 1993 Malibu Fire. I remember it well, I was there, they were my neighbors who were found charred November 4th, 1993 in their car. Leave Fuel Modification Zones alone! Follow the devastation to the environment from the animals to the sediment that flows into our oceans. Think, think, think again and then act. There needs to be a complete EIR done, one which must be sent out for public review and comment, one that holds accountability for the policy it mandates.



- 5) Properties who have started farming need be allowed to continue with their farming as planned. After 17 years of ownership, we should not have to move because we cannot

continue with our farming. This life plan should not be impeded by new anti-farming legislation especially when it was previously approved.

1. For ease when “area” refers to the area which will be impacted by the proposed EIR.
2. Who will be voting if my property will be losing its current rights to farm my land and build my needed accessory buildings. Will the actual property owners have a vote?
3. How many of the people who would be voting for or against this initiative live in the North area?
4. Are they property owners or renters?
5. Do they pay property tax in the area which will be affected by the proposed changes?
6. How many of the people who are writing and/or voting on this proposed change initiative do not pay property taxes in the area.
7. If I am not able to farm or build a new home and barns on my land that will be a taking as I will not have a way to earn income or be able to live on my land and in that case will the government pay me the fair market value for my land in order to keep my property open space? If that were to happen I would be able to do a 1033 exchange so that I can take that money and purchase land where I can farm, have horses and build a new home on it with my retirement money as is my intended use since I purchased the land in 2001?
8. What is the appeals process should I believe the burden placed on my property is unfair and unjust other than litigation rights?
9. We believe it is a show that you are listening to our concerns and that you are not going to give valid answers to our questions. Can you assure the residents of the North Area do have a valid voice, time to research new proposals and reports and vote in the new laws being placed on their properties?
10. The new proposed restrictions are approximately 10 times harder than the California Coastal Commission Zone, which is the first 3 miles from the beach. The California Coastal act was voted into effect by the entire state and is a State-run agency. Can the residents of the North Area Plan, become their own city so that they can have local governing over their agricultural rights and their development rights?
11. Can the residents of Malibu unincorporated join have incorporated Malibu? Can the unincorporated Agoura join Agoura Hills etc. and same for Westlake?
12. What would be the process for question 6 & 7 if the residents and local community in the North Area joined together and voted for local governing.
13. The rules and regulations are already extremely restrictive, we have numerous setbacks and protected grounds, all of which dictate the kind of crops and locations of where we can and

cannot build or farm or have horses. Are the community in downtown Los Angeles who are in favor of more rules to allow more open space in our north area aware of all of the complicated restrictions already in place which will naturally already insure vast acreage of open space?

14. Can we have more time to provide education to the community about the value of agricultural small farms?

15. I would like to share a true story and it can be verified because the Los Angeles City Council meeting was of course recorded. The following questions were asked by the city council members after they allowed the North Area residents to speak for 3 minutes regarding the future of the use of their land. Some residents and land owners spoke about septic systems and property taxes that they have been paying on their land for over 10 to 20 + -years. At the end of the Los Angeles City council meeting which was held regarding the Ridge Line Ordinance that was being proposed in the unincorporated Malibu, and since was voted as law. Two of the 6-8 city council members that were present at the crowded small meeting room downtown asked the following two questions to each other just prior to ending the meeting.

One city council member asked:

1. What is a septic system?

The other city council member asked:

2. What are property taxes based on?

These questions reflected a major disconnection from our Agricultural zoned properties and even property owner's hard costs in property ownership. There is a belief by many concerned residents that it is illegal what the City Council is doing by taking away our agricultural rights in order to create open space without purchasing the land from the property owners. We have heard there are large lawsuits being filed against the county due to the unjust taking of their land via the restrictions already put in place by the last updated General Plan.

9a. What is the budget to fight those law suits?

9b. What Los Angeles county account will those funds come from?

9c. The California Coastal Commission has been sued many times due to their agency actions on private property owner. The State has very large deep funding and was able to afford those costs. Is Los Angeles county able to afford the litigation costs and possible settlement costs from the taking of property rights that run with the Right to Farm Act in California, in agricultural zones rights?

9b. If the courts determine it is a taking and thus the County of Los Angeles is required to pay the cost of the land that was deemed not usable for anything but protected open space, does the county have enough funds to pay multi-millions to the property owners effected in the North Area Plan? If so, please be specific so that school teachers and welfare recipients and other members of Los Angeles County may make a wise decision as to whether they want their county/city funding going toward litigation and settlement cost just because the people they vote in want the farm land in the North area to be restricted and designated as open space?

9c. Have the City Council members made that clear to the citizens of the County of Los Angeles, that there could be expensive litigation and settlements potentially taking tax dollars which could be better spent on schools, and other community resources? Are they clearly made aware of this risk?

10. Is the community aware that the more restrictions that are placed on the land the more economic distance is realized in community of the North Area? Only the mega wealthy can afford to build. Unlike prior properties in Malibu, Agoura and Westlake where individuals could purchase a property and build for a similar price or less than buying a home in the city? Is that the goal to limit that only the very wealthy can afford to build in the North Area?

How many accessory building will I be able to put on my land?

Are there limits if I can grow grapes on my property?

Are their limits on my being able to build a barn on my land?

Will this legislation or general plan limit where or if at all I can have horses, farming and housing on my property more so then is already in place?

What are the setbacks from slopes or Environmental protected zones and Oak trees? The entire North area is mountain topography and most covered in Oak trees, what is the formula to at least promise that the property owners can still farm and live on the property and weed clear for fire safety?

11. Just take a drive into and around Santa Barbara and you will find many homes constructed under the shade of an oak tree or next to or surrounded by oak tree groves, many of those homes have co-existed for over 70 years. Oak trees and homes co-exist in excellent condition and in fact residents provide much needed water for them during droughts when they can easily die, and home owners and property owners protect the oak trees from illnesses as property owners value their oak trees as one of their most valued features of their property. Property owners watch over their oak trees health as the residents in the North Area LOVE their oak trees, and the oak trees provide shade and peaceful atmosphere from nature in return. My question is who has determined that oak trees and homes cannot co-exist? Is there a study to back that people and houses cannot be close to each other?

12. What are the risks that we are going to be placed in if we cannot conduct fuel modifications to our land due to these restrictions?

13. What is the budget to litigation if it is determined that the wild fire spread at an uncontrollable rate due to the proposed ordinance limiting weed abatement?

We are out of time, otherwise would have neatly presented these questions.

Sincerely

RT

8/31/2018

From: [Alfredo Flores](#)

To: [DRP SMMNorthArea](#)

Subject: Triunfo Creek Vineyards -County Feedback Request from Vendors and Parners

Date: Friday, August 31, 2018 4:59:01 PM

To Whom it May Concern,

I am a landscaper and contractor for Triunfo Creek Vineyards (http://secure-web.cisco.com/1gbNYWlb2SPrWzvr2SLMxaeFqhlIkRgPRG-moPPKs9aCwx9CevLY0DgUDxI2b6TnqqPTh5mmQlInvFIS7x1voqibNdwxOxtzSS3BunBUMS3rdfs3VaejCKxnQ1-fNQomWO33s9f_S7Hhr9yuKkjc5pAtCuJFLXeVF6xU0nyy-RgL1GRXYTucY7K55aHv3myowB67PdYrQR5JEHoxJUGaqNsmZ1lpP7jiw8kzzgcAF6mnlw1T-i5kAhLOfVeDixNX6nKiV6Q8PipBvpSu70BXVgW_pprvROZHTT7QmW9osv8zESaTVi_gYJ2GknjKT9wKm7Yf-gv02kmNfyocPSYYxzduUitdug4LB4R46rdWVXFdiebunz6cXmmWps1DFNbw9FyCCIdDKlqllvYhJQ/http%3A%2F%2Fwww.triunfocreek.com)

and have been for the past 6 years. I believe that the venue operates responsibly and legally. I am proud to work here and use it as partial means to provide for my family. Recently, Jacqui Lorenzen, the owner, had me install handicapped parking as per permit. I have helped with or completed various permitted projects on site.

I ask that you please don't put additional limits on what Triunfo Creek Vineyards is permitted to do because I would like to continue working here for many more years.

Thank you.

Sigifredo Diaz

General Manager

South Hardscape

Get [Outlook for iOS](#)

From: [Ray Stewart](#)
To: [DRP_SMMNorthArea](#)
Subject: NAP
Date: Friday, August 31, 2018 4:59:42 PM

Keep RR zoning as RR!
No more residential uses in RR

From: [hobie.beman](#)
To: [DRP SMMNorthArea](#); [TLC Board](#)
Subject: EIR comments
Date: Friday, August 31, 2018 5:00:12 PM

To whom it may concern

The EIR should include an Exemption for existing single family residential homes that will allow those homes to build or expand upon their existing building footprint up to 1000 sq feet or 25 percent whichever is greater. The reasoning behind this is that should a family expand or have extended family move back due to age or finance our homes would be unable to expand like all other homes in Los Angeles county that have the available space. In addition without this it would diminish residential property values. It should also be noted that the existing SEA ordinance had an exemption for single family residential development. This was confirmed by regional planning back in 2014. There must be some exemption for existing residential home development (additions and ancillary structures). In the North area plan ridge line ordinance there was an exemption for existing single family residential homes that allowed the homeowner to expand their homes.

Thank you
Hobert Beman
Lobo canyon resident

[Sent from Yahoo Mail for iPhone](#)

Thank you for the opportunity to “comment” on the proposed changes to the General Plan. This is a difficult task as the proposed changes have not yet been published.

I would like to address what I believe may be published based upon the one-page pamphlet I received at the “Scoping” hearing.

“A **scoping review** (also **scoping** study) refers to a rapid gathering of literature in a given policy or clinical area where the aims are to accumulate as much evidence as possible and map the results”

1. We received notice from Schmitz and Associates the day before the hearing, otherwise we would not have known of the meeting. I was shocked after being Stewarts of my property, paying property taxes for almost two decades, to learn that a “rapid” gathering would determine its future. The room was overcrowded, and the second session was incomplete with regards to the slide projector not able to be switched on, not able to know what was said live at the prior meeting. It felt as if it was a deliberate break up of the people concerned. That meeting needs to be redone as it was not conducted properly. All laws regarding these meetings must be held to the highest level as it effects such a vast number of people and residents and their life

long investments. How many properties - apn #s will be affected and acres by this EIR if it is passed?

2. How many less home will be allowed to be built every year? An estimate would be better than nothing and should be included in the EIR report.
3. How many acres will be prohibited from crops or weed clearing in the SMMNA if this is passed?
4. What is the fire risk impact?
5. Will it increase fire insurance rates if a wild fire breaks out and it is determined that lack of fire breaks and weed clearing increased the fire damage/
6. What is the environmental damage to historic and sensitive habitat if a uncontrollable wildfire goes through the SMMNA per acre?
7. To give you some background on my property, it is zoned A1-10. Agricultural, we were approved for a vineyard which we started a small section on our property. We have harvested Malibu Honey which is being sold at local markets. The property was graded in the year 1999 by the previous owners and was supposed to house 5 single family homes. We choose to keep it as one and make it into a family farm.
8. We have a 3-bedroom mobile home on the property which we have been paying taxes on for the past 15 years. It presently houses two university graduates who work maintaining the property.

9. The private driveway is all weather, and we would like to keep it that way, however for fear of not being able to meet the new fire codes of 20' wide, asphalt before your plan is implemented we are now being forced to rapidly move ahead with asphalt paving and processing plans for a "stick-built home".
10. We are senior citizens and this farm is our retirement. We wanted to "keep it simple", peaceful and pleasant. Who would have thought that the younger generation would be trying to take away what we worked for during our life?
11. I would like the following to be allowed:
12. Areas within 200' from graded pads and the driveways leading to the pads will need to be maintained for Fire Department Weed Control otherwise it is illegal and dangerous. Over the years I have known people who have been killed because they were not able to get out of their property because it was not cleared according to Fire Department standards. Therefore, the Fire Department Standards, Human Life and Public Safety needs to override.
13. The weed clearing, thinning existing brush according to the already strict standards is imperative to providing fire breaks along public and private roads and driveways. During my life I have been in the midst of two very vicious fires which I assisted the fire department and saved several animals from horses, birds, dogs and pot belly pigs.

The damage to the environment will be much greater after a fire and mud slides verses allowing for the overgrowth of brush within the Fire Department Weed Modification Zone. Please note what happened in Montecito to the beautiful Heritage Oak trees when they were washed away by debris after the Thomas Fire.

14. Implementing a no-clearing, no development has a much greater propensity for environmental damage than conscientious development. For example, in the case of the Thomas Fire, which was started because brush that was supposed to have been cleared was ignited by SCE employees. The water district was named in the lawsuit as there were not adequate water supply to put out the fire in early stages. Has anyone in your group thought about the legal ramifications for implementing policy that precludes clearing within a fuel modification zone? The fire claimed 281,000 acres, and two lives. Imagine the damage, the pain, the wildlife destroyed. *The parties that implement any legislation that precludes the 200' Fuel Modification Zone from carrying out the safety measures which was imposed for the purpose of protecting human and wild life, will be held personally responsible for the loss of the environment and human life if it were to happen. We should not have to live in fear of burning alive. If Fuel Modification is to a minimum standard already.* Perhaps you have not lived long enough to remember the people who were burned and killed in the 1993 Malibu Fire. I

remember it well, I was there, they were my neighbors who were found charred November 4th, 1993 in their car. Leave Fuel Modification Zones alone! Follow the devastation to the environment from the animals to the sediment that flows into our oceans. Think, think, think again and then act. There needs to be a complete EIR done, one which must be sent out for public review and comment, one that holds accountability for the policy it mandates.



15.

16. Properties who have started farming need be allowed to continue with their farming as planned. After 15 years of ownership, we should not have to move because we cannot continue with our farming. This life plan should not be impeded by new anti-farming legislation especially when it was previously approved and vested, simply to be implemented at the appropriate time.

17. Who will be voting on whether my property will be losing its current rights to farm my land and build my needed accessory buildings. In other words, will the property owners and my neighbors have a vote?
18. Is it 100% non-local law makers voting on the destiny of my land?
19. If I am not able to farm or build a new home and barns on my land that will be a taking as I will not have a way to earn income or be able to live on my land and in that case will the government pay me the fair market value for my land in order to keep my property open space? If that were to happen I would be able to do a 1033 exchange so that I can take that money and purchase land where I can farm, have horses and build a new home on it with my retirement money as is my intended use since I purchased the land in 2001?
20. What is the appeals process should I believe the burden placed on my property is unfair and unjust other than litigation rights?
21. We believe it is a show that you are listening to our concerns and that you are not going to give valid answers to our questions. Can you assure the residents of the

North Area do have a valid voice, time to research new proposals and reports and vote in the new laws being placed on their properties?

22. The new proposed restrictions are approximately 10 times harder than the California Coastal Commission Zone, which is the first 3 miles from the beach. The California Coastal act was voted into effect by the entire state and is a State run agency. Can the residents of the North Area Plan, become their own city so that they can have local governing over their agricultural rights and their development rights?
23. Can the residents of Malibu unincorporated join incorporated Malibu? Can the unincorporated Agoura join Agoura Hills etc. and same for Westlake?
24. What would be the process for question 6 & 7 if the residents and local community in the North Area joined together and voted for local governing.
25. The rules and regulations are already extremely restrictive, we have numerous setbacks and protected grounds, all of which dictate the kind of crops and locations of where we can and cannot build or farm or have horses. Are the community in downtown Los Angeles who are in favor of more rules to allow more open space

in our north area aware of all of the complicated restrictions already in place which will naturally already insure vast acreage of open space?

26. Can we have more time to provide education to the community about the value of agricultural small farms?

27. I would like to share a true story and it can be verified because the Los Angeles City Council meeting was of course recorded. The following questions were asked by the city council members after they allowed the North Area residents to speak for 3 minutes regarding the future of the use of their land. Some residents and land owners spoke about septic systems and property taxes that they have been paying on their land for over 10 to 20 + -years. At the end of the Los Angeles City council meeting which was held regarding the Ridge Line Ordinance that was being proposed in the unincorporated Malibu, and since was voted as law. Two of the 6-8 city council members that were present at the crowded small meeting room downtown asked the following two questions to each other just prior to ending the meeting.

28. One city council member asked:

29. What is a septic system?

30. The other city council member asked:

31. What are property taxes based on?

32. These questions reflected a major disconnection from our Agricultural zoned properties and even property owner's hard costs in property ownership. There is a belief by many concerned residents that it is illegal what the City Council is doing by taking away our agricultural rights in order to create open space without purchasing the land from the property owners. We have heard there are large lawsuits being filed against the county due to the unjust taking of their land via the restrictions already put in place by the last updated General Plan.
33. a. What is the budget to fight those law suits?
34. b. What Los Angeles county account will those funds come from?
35. c. The California Coastal Commission has been sued many times due to their agency actions on private property owner. The State has very large deep funding and was able to afford those costs. Is Los Angeles county able to afford the litigation costs and possible settlement costs from the taking of property rights that run with the Right to Farm Act in California, in agricultural zones rights?
36. b. If the courts determine it is a taking and thus the County of Los Angeles is required to pay the cost of the land that was deemed not usable for anything but protected open space, does the county have enough funds to pay multi-millions to the property owners effected in the North Area Plan? If so, please be specific so that school teachers and welfare recipients and other members

of Los Angeles County may make a wise decision as to whether they want their county/city funding going toward litigation and settlement cost just because the people they vote in want the farm land in the North area to be restricted and designated as open space?

37. c. Have the City Council members made that clear to the citizens of the County of Los Angeles, that there could be expensive litigation and settlements potentially taking tax dollars which could be better spent on schools, and other community resources? Are they clearly made aware of this risk?
38. Is the community aware that the more restrictions that are placed on the land the more economic distance is realized in community of the North Area? Only the mega wealthy can afford to build. Unlike prior properties in Malibu, Agoura and Westlake where individuals could purchase a property and build for a similar price or less than buying a home in the city? Is that the goal to limit that only the very wealthy can afford to build in the North Area?
39. How many accessory building will I be able to put on my land?
40. Are there limits if I can grow grapes on my property?
41. Are their limits on my being able to build a barn on my land?

42. Will this legislation or general plan limit where or if at all I can have horses, farming and housing on my property more so then is already in place?
43. What are the setbacks from slopes or Environmental protected zones and Oak trees? The entire North area is mountain topography and most covered in Oak trees, what is the formula to at least promise that the property owners can still farm and live on the property and weed clear for fire safety?
44. Just take a drive into and around Santa Barbara and you will find many homes constructed under the shade of an oak tree or next to or surrounded by oak tree groves, many of those homes have co-existed for over 70 years. Oak trees and homes co-exist in excellent condition and in fact residents provide much needed water for them during droughts when they can easily die and home owners and property owners protect the oak trees from illnesses as property owners value their oak trees as one of their most valued features of their property. Property owners watch over their oak trees health as the residents in the North Area LOVE their oak trees, and the oak trees provide shade and peaceful atmosphere from nature in return. My question is who has determined that oak trees and homes can not co-exist? Is there a study to back that people and houses can not be close to each other?

45. What are the risks that we are going to be placed in if we cannot conduct fuel modifications to our land due to these restriction?
46. What is the budget to litigation if it is determined that the wild fire spread at a uncontrollable rate due to the proposed ordinance limiting weed abatement?

Please take your time to answer my very serious concerns. I have several questions and hope to have another opportunity to ask questions prior to any laws put in place especially since I do not know the map on my property that I am heavily invested in.

Regards,

Tom Colsen

From: [Laura Gilbard](#)
To: [DRP SMMNorthArea](#); [Nicole Englund](#); [Anita Gutierrez](#)
Subject: EIR Scoping Request
Date: Friday, August 31, 2018 5:02:29 PM

RE: North Area Plan EIR Scoping

Thank you for inviting residents of the North Area Plan parameters to send scoping requests. I'm sure you've received many emails and letters regarding the event venues in our formerly peaceful canyons. The situation is completely out of control there and, if I didn't feel so many people had already called out the mistruths in a letter received yesterday by Brookview Ranch, I would be doing so in this email. One that stood out to me was in regards to the supposed survey they conducted. I am one of the neighbors *most* affected by Brookview Ranch's three day/week, loud, obnoxious events. Even though I work at home, no one approached us to participate in this survey. Suffice to say they are far from good neighbors, and if any one of the owners lived in my house, they would shut down that operation immediately. I have learned something from this experience — the words to every current popular wedding and party event playlist, and that's with my windows closed and television on.

What I'd like to pinpoint on my scoping request is the acceptance of vineyards in the North Area parameters. There are so many benefits to vineyards. They add beauty to the canyons and people are amazed at the fact that there is a pretty strong vineyard presence now in this area. They use very little water and are on drip systems. Some vineyards are experimenting with waterless or very little water growing. Many of us do not use any pesticides or fertilizer and prefer to grow organic grapes. The vineyards bring visitors to the recreation areas in the SM mountains. And finally, they are a much-needed firebreak in our canyons. Please consider and read the article I've attached regarding this subject. I thank you for your time in reading this email.

<http://www.latimes.com/business/la-fi-vineyards-firebreak-20171012-story.html>

Best regards,
Laura Gilbard

[Laura Gilbard](#)

[\(818\) 519-7671 \(cell\)](#)

[3030 Triunfo Canyon Road](#)
[Cornell, CA 91301](#)

From: [Steve Gilbard](#)
To: [DRP_SMMNorthArea](#)
Subject: NAP EIR Scoping - grape growing is a vital part of the region
Date: Friday, August 31, 2018 5:03:10 PM

The North Area Plan EIR Scoping needs to review, study and address the history, rights and needs of agriculture in the region and specifically grape growing, which is obviously agriculture. Grapes have been grown in the Santa Monica Mountains for more than 150 years and there is no proven science that they are going to take over the entire eco-system of the area. In fact they are scientifically far lower in water needs and far more effective in retaining the hillsides from erosion as they are a deep root plant than any other agriculture that can be farmed in the region.

The EIR needs to look at the extremely favorable benefits of the grapes from the standpoint of runoff - grapes grown in the North Area Plan region as well as in the entire Santa Monica Mountains are irrigated with drip irrigation. There is no excess runoff, there is no downstream pollution and the water usage is 15 to 1/10 the amount for other crops such as avocados, citrus or nuts.

The EIR review needs to investigate the recreational and regional economic value of the vineyards, which are a draw for visitors to the Santa Monica National Recreation Area. The SMNRA plan, as approved by LA County specifically calls for providing access and activities for the enjoyment of guests and visitors. More people come to visit the vineyards each year than the Backbone Trail. This does not make the Backbone Trail any less valuable, however it indicates the environmental value of the vineyards, their aesthetic and social value as well as the enjoyment of the beauty of the vines.

Please direct the EIR team to study the significant information that the vineyards are a valuable firebreak and it has been cited in numerous fires including the devastating fires in Northern California in the past 2 years that the vineyards were beyond a firebreak — they in fact were significant in protection life and property. We have all seen the photo of the devastation of burnt out homes and areas and the GREEN Vineyard and their home intact and undamaged.

Thank you

Steven Gilbard
3030 Triunfo Canyon Road
Agoura Ca. 91301

From: [Martha Fritz](#)
To: [DRP SMMNorthArea](#)
Subject: Comments on EIR Scoping Meeting
Date: Friday, August 31, 2018 5:16:03 PM

While the protections for wildlife and sensitive habitat areas are admirable, they seem to impact property owners more than park and trail users. More focus should be placed on restricting the damage caused by heavy use of the trails system & waterways than on private residents who are generally looking to preserve the beauty and wildlife on their land, anyway.

The private property owners who's land you restrict are the ones paying the taxes year to year and there are not that many of us around to pay your salaries down at the County. The users at the parks may, or may not pay any taxes and are not invested in the long-term protection of the natural resources they visit. Just like visitors to any park or residential renters, the part time user is the one causing the most damage and there is very little enforcement. Why make more laws that the County can simply not adequately enforce? **The racing cars and motorcycles on mountain roads, the littering of all kinds, the defecation in natural places, the bathing in natural streams, all these are things property owners generally do not do. But these are the things causing the most destruction of our wild spaces.**

The County should think about how to proactively encourage the use of native trees and plants for private property uses. Instead, because of the punitive restrictions, no property owner would think it a great idea to plant an oak tree on their property! This is a backward way to save the Oaks and it will eventually lead to no Oaks of younger generation living in private lands. You should continue current protections and allow property owners to get approval for planting natives that are not subject to the restrictions.

The County should forget making more stringent "S" zones on private property and use County funds to keep people from straying off public lands into private lands. The County is negligent by not keeping people from living next to the streams and in the mountains where they bathe and leave litter and make camp fires.

The County should **support the efforts of property owners who want to mitigate fire dangers** by allowing buffer zones where the natives are cleared. The County can make up for the loss of these natives by planting medians and freeway areas with native and wildlife friendly choices.

The number one thing that scares wild animals away and disturbs their habitat is increased pedestrian use of the mountains. Trail systems are great, but don't try to make up for the damage to the ecosystem caused by outsiders by becoming overly restrictive of the private property owners. They have a legal right to develop and use their property.

The parks are open with special privileges to the movie industry or for any kind of heavy gathering, but vineyard owners are not allowed special events? The historical equestrian use of the area has been heavily regulated, while at the same time non-agricultural recreational uses that have a bigger impact on wildlife are being encouraged by the County? The for-profit events held by private property owners are much more controlled than the free-for-all events using public lands. The Santa Monica Mountains has become the new party zone! It is a new swimming hole for family reunions, for blasting music and drinking beer, for leaving dirty diapers in the woods, and for littering food scraps for the wildlife to find.

Rather than worry about more protections, why not get a "common sense" review of the "unintended consequences" of the previous approach. **The County land use policies have decimated a prized rural community of long-term private stewards of the land and opened the doors, *with little restraint*, to greater LA and beyond.** That big advertisement for the Santa Monica Mountains at LAX inviting the whole world to "come enjoy" is a slap in the face to those who really want to protect the mountains- the private property owners who's land rights you want to further restrict! **What foolishness by politicians and conflicted policies of their hired planners!**

Martha Fritz

Leah Culberg
32063 Lobo Canyon Road
Cornell, CA 91301
leah@lobocreek.com

August 31, 2018

Anita Gutierrez, MPL, AICP
County of Los Angeles
Department of Regional Planning
320 W. Temple Street, 13th Floor
Los Angeles, CA 90012

Dear Ms. Gutierrez,

I attended the community meeting at Supervisor Kuehl's office which allowed us little time to speak. There are so many important issues affecting the mountains, and I am concerned that this EIR is too little, too late. How do you roll back what has already been allowed that is even at present against all regulations?

The North Area is part of a single large ecosystem comprised of the entire Santa Monica Mountains. Therefore, any plans should line up with the LCP, which has stronger restrictions regarding vineyards and tree protection. It is also part of the larger Mediterranean ecosystem, one of the rarest on earth, which is one of the reasons for this being a National Recreation Area. Consequently, we must offer the environment the maximum amount of protection possible within development allowances.

Native tree protection must include sycamores, the iconic tree of our riparian woodlands, cottonwoods, and alders. Without these trees providing shelter to wildlife as well as anchoring soil in the creeks, the streamside communities would be seriously depleted.

Our creeks must be protected in other ways, too. The use of pesticides and herbicides must be regulated or banned. Widespread insecticide use has been linked to bee colony collapse. I have witnessed aerial spraying of vineyards and the seemingly sudden collapse of pollinator populations, both butterflies and bees. Additionally, use of any of these chemicals ultimately poisons Santa Monica Bay, for all of it gets washed into our streams.

The vineyard owners have also dammed a blueline stream and drilled wells over one thousand feet deep critically depleting ground water, which dries out the chaparral making it ever more vulnerable to wildfire and harms their neighbors who are dependent on well water. Any commercial agriculture should be limited

to municipally available water because there are insufficient quantities of naturally occurring water to support such agriculture.

The vineyards are green and leafy in the summer but completely bare for many months in the winter during our raining season. Sedimentation from bare land is ten times greater than that of natural grassland or chaparral. Again, the sediment is washed into the streams by the storms and out into Malibu Lagoon, fouling it up, before exiting to the ocean. Fertilizers, too, are washed into the creeks increasing the nutrient load where it meets the salt water causing all kinds of problems. Because of the potential effects on our fragile ecosystem, existing commercial agriculture should be highly regulated and any new commercial agriculture should not be allowed.

These vineyards often serve as the lure to get the public to patronize the establishments at their real businesses, which is as special event venues. When this area was planned (I was on the North Area Plan citizen planning committee.), no one expected it would become the go to place for wine tastings, company parties, weddings, and such. The noise and lighting are the two most commonly cited problems by immediate neighbors. Noise also disturbs their wildlife neighbors. It has been documented that birds are changing their songs and animals are increasingly becoming nocturnal to avoid human activities such as these. But with many of the event venues playing their music until eleven or twelve o'clock as Saddle Rock Ranch does, how is anyone or any animal to escape the intrusion?

Protecting wildlife is obviously a priority of the National Recreation Area. Vineyards are required to only use "permeable" fencing to border or separate their growing areas, so I assume that, when the permitted vineyards are signed off, they don't have anything other than rail fencing. There are multiple vineyards in my neighborhood alone that have fencing of hardware cloth, chain link, or barbed wire and as high as eight feet. We have reported them to zoning to no avail. These types of fencing interrupt the wildlife trails in the best scenario, and in the worst, they injure the animals. I have witnessed panicked deer run into such fences. My suggestion is that vineyards are regularly spot-checked for compliance with zoning regulations because, if the vineyards are out of the public eye, the owners will install non-compliant fencing. Perhaps the cost of this could be figured into the permitting fees.

Finally, our greatest issue is traffic, which ultimately is about human safety. The traffic on Kanan Road is often impenetrable on the weekends, resulting in waits at the corner of Triunfo and Kanan up to ten minutes before being able to make a left hand turn. Yes, many of the cars are due to beach traffic, but at least as many are driven by individuals who come out to the mountains for entertainment at establishments which lack the appropriate permitting for their activities. In Lobo and Triunfo Canyons, we have five venues, but only one is operating with a CUP, which is the normally accepted permit form. Do they have business

licenses or alcohol licenses because they are certainly serving alcohol? Do they have entertainment licenses because I hear the DJ at Rocky Oaks Vineyard all the time? Some of them are operating as hotels or inns. I have never seen a notice for a permit for either. Their guests are no doubt drinking and then driving unfamiliar winding mountain roads, putting everyone at risk.

The large numbers of strangers in the mountains also results in a fire risk. How many times have we all read of brush fires being started by car fires? I was driving past Triunfo Creek Vineyards one afternoon when a car exploded sending flames shooting in the air. Luckily, it was not a windy day and a fire truck was nearby, but we can't rely on luck the next time. We have all seen people walking on the road from these venues and smoking to avoid bothering other guests. They throw their cigarettes down when they are through. All it takes is one to start a fire. If there are events at all of the venues in our canyon on the same day, there could be as many as 2000 extra people in our single ingress/egress community. They would not be able to exit onto Kanan because of the traffic being backed up there all summer long. I live at the very end of the canyon and have no expectations of ever being able to get out during a fire if it is on a weekend. I have already told my kids to sue the County if I die in a brush fire because I couldn't get out. You are allowing unpermitted usages and putting everyone's life at risk. You have a responsibility to protect the community that is here.

When we moved here in 1976, the regulations limited development on single ingress-egress roads to 75 homes. There was no mention of limits on commercial usage except that most all of it required a CUP, which allowed the community to weigh in. Now, we probably have in excess of 100 homes in our canyon and four heavily patronized venues without any serious review of compliance or any input by the community, the recent supposed survey by Brookview included. Contrary to what they wrote, there never was a survey. The County must create a solution that protects the community, our way of life, and safety, as well as the natural resources of the Santa Monica Mountains National Recreation Area.

Most Sincerely,

Leah Culberg

From: [Bonnie](#)
To: [DRP_SMMNorthArea](#)
Subject: North Area Plan - Triunfo Creek Vineyards
Date: Friday, August 31, 2018 6:15:16 PM

To Whom it May Concern,

My name is Bonnie Geisler and I am the Bookkeeper for Triunfo Creek Vineyards. I am grateful to have an opportunity to provide feedback in support of this venue. The staff here is honest and a hard working team.

I ask that the revisions to the North Area Plan do not take away from others enjoyment of the property that we have today. Outdoor weddings, picnics and charity events are a truly wonderful way to celebrate the Santa Monica Mountains Recreational Area.

Thank you,

Bonnie Geisler
B. Geisler Consulting
voicemail only: 818-309-5290
fax: 818-743-7547

From: [Courtney Javier](#)
To: [DRP_SMMNorthArea](#)
Subject: Brookview Ranch
Date: Friday, August 31, 2018 7:27:52 PM

To Whom It May Concern,

Hello, my name is Courtney Javier and my husband and I got married at Brookview Ranch two years ago. I heard through a friend that you are wanting to hear public comments about Brookview and their integrity about abiding by laws and regulations. I wanted to take the time to express my thoughts regarding this venue. If I can get one point across it is this: Brookview upheld rules in a professional manner at all times. I can not speak more highly of them.

When I came to Brookview, wanting to get married there, one of the first things we discussed was their strict rules on many different aspects. I believe one of our first conversations was regarding the very strict noise ordinance. I was told that all amplified music/sound had to be off at 10pm exactly and this was not something that was able to be budged at all. In fact, the night of the wedding, I came up to one of the staff and tried to convince him to allow my music to go on until 11pm. He laughed with me that he had a feeling I would ask but kindly told me "no." I remember this so vividly because as my husband and I pulled out of the venue just a minute before 10pm and waved goodbye to our guests, I heard the music abruptly stop and was so happy we exited just on time.

While I prepped for our wedding, I noticed what care the groundskeepers kept on the plants and animals. I chatted with some of the families who board their horses there and they were so pleased at how well they felt looked after (something that put my mind at ease wondering how horses were affected by the wedding venue). As a bit of a pushy bride, asked the staff if we could plant some plants in a certain area and although they thought my idea sounded lovely, told me this would not be possible. When I probed why I was told it was because of the environmental impact it would have on the surrounding area. Although disappointed, I was impressed at their care.

Another safety issue brought up initially was how cars would be entering and exiting. I was very concerned that my guests would be backed up along the street along Brookview. When I asked Brookview staff how this would be handled, they showed me their traffic exit plan. Although as the bride I did not see how this occurred in real time, I asked my guests after about it and they commented at the ease it was to exit without traffic.

The staff there are amazing and are why I felt compelled to send you my comments. I was so surprised to hear anyone even remotely complain about them when I felt that they not only cared for my husband and I but the good of the neighborhood in general. I recently had a new person hired at my workplace and we put two and two together that her father in law lives on Triunfo himself. When I told her I got married at Brookview, she gushed at how often her and her family talk about its beauty and their positive experiences with it. I was proud to say I was married there and hope I can bring my children someday to see where their parents said "I do."

Please feel free to reach out to me if you have any more questions regarding Brookview. I would be share anything more about this great place.

--

Courtney Javier

From: [Annie Harb](#)
To: [DRP SMMNorthArea](#)
Subject: North Area Plan Comments
Date: Friday, August 31, 2018 8:14:29 PM

Hi,

I was told that comments are being placed for the new North Area plan and wanted to give my input as I've been to a few different events at Brookview Ranch. I was in a wedding there and have been a guest at 2 other weddings there, so I feel that I have a good perspective on how Brookview runs their venue from many different angles. I have also been a guest at other wedding venues close to Brookview. All the venues operate similarly from what I can tell, but I have been to Brookview the most and interacted with their staff the most so I thought I would talk about them.

First, let me say that the staff at Brookview is one the friendliest, kindest groups of people I've encountered at the venues I've been to. They're kind while being firm with the rules.

Regarding the end of each wedding, Brookview had a clear 10 pm stop time that they did not budge on for any of the weddings. The wedding I was in even tried to convince the venue manager to let them go just a few minutes later and he wouldn't let us do it - we were stopped exactly at 10:00 pm. I also want to say that the on site manager didn't let us push the volume up any louder than what he said were county regulations, which was a little frustrating as a guest who loves to dance, but it's another example of them following the rules.

They're also consistent about staggering the people driving away from the wedding. They would only let a few people leave at a time so people didn't clog up the road, which I think is very considerate of the neighbors, especially since it's 10 pm and there seemed to be no other traffic on the road at all. Again, a little annoying as a guest who wanted to get home, but just more evidence that they're following your rules even if it's unpopular with wedding guests.

I also understand that there's been some people saying Brookview's lighting is too bright. I don't see how that's possible because they don't have much lighting there and it all points down at the ground. In fact, the lighting in the parking lot is so dim you almost can't see where you're going (a couple of guests complained about it and were told they were that dim because of county regulations - not sure if you guys are the ones who regulate that, but it would be great if you would let them have brighter lights).

Overall they are very clear about their rules and stick to them. It's really disappointing to hear about the flack they've gotten, especially since they're kind, honest people who host lots of local charity events, create local jobs, and boost the local economy. I can't imagine a valid reason for the established rules to be changed on the venues in the area, especially the venues who follow your rules - honestly I can't imagine that not being able to go past 10 pm and not making their music really loud hasn't cost Brookview (and I would think the other venues in the area) business, but they follow the rules anyway.

I really hope you consider my thoughts as you make your decision.

Thanks for taking time to read this,
Anne

From: [Lindell L. Lummer](#)
To: [DRP SMMNorthArea](#)
Cc: [Lindell Lummer CTC, CSI, MIA, ASTM, CTIOA, IICRC](#)
Subject: EIR scope process of the North Area Plan
Date: Friday, August 31, 2018 9:05:15 PM

To whom it may concern:

We have been a resident of Triunfo Lobo Canyon community for 33 years and would like to voice some of our concerns.

When we first moved here for approximately 20 years we had mountain lions visit our property as well as an occasional bob cat, many deer, coyotes 2 owls one in the back yard and the other somewhere across the street and many parrots. On the hill behind the house were two trails about a foot apart and 6" wide, one a deer trail the other coyotes, you could set your clock at the almost exact time they would access the trail as our dogs would alert us. Now, no more.

The two owls start conversations hooting with each other nightly around 2:00 am, however, recently Triunfo Creek Vinyards has installed lighting in their horse rink and are using it for parking, the light in my wife's bedroom is almost as bright as it is during daylight, the light trespass is so bright and direct through our living room and den that it is impossible to even watch T V. I have never heard the owls during the day until around the usual 2:00 am, however, when they turned those lights on the owls hooted at about 8:30 pm until the lights were turned off after 10:00 pm and were actually scheduled to be on past 2:00 am for either a film LA event or the rink was being rented out for parking for a film event.

Now along side the house there are deer fencing I believe electric and we watch deer move along behind the home where they used to cross the street to the stream below to access water; now they come to the fence and seem bewildered pause and return.

We used to see six to maybe ten deer across the street many times during the year, now never. What has changed? You tell me?

Now in addition to large wedding venues on either side of us one being Triunfo Creek Vinyards the other Brookview Ranch and a couple more. On the weekends its stereo amplified music screening and yelling at the top of peoples voices tear downs that go sometimes until 2:00 am, traffic, smoking, horn honking, car alarms to name just some of the nuisances we try to put up with.

Needless to say we have packed up and put away patio furniture as it is impossible to enjoy the peace and tranquility we moved her for. Not to mention diminished home values and the fact that we could never sell the property and move out a disclosure would prevent anyone in their right mind from purchasing. This has absolutely destroyed our quality of life and adversely affected my wife's health.

When we several years ago looked at the North Area Plan it stated that page 44: " V-31 OUTDOOR amplified sound or commercial activities shall be prohibited between the hours of 8:00 p. m. and 8:00 a. m. anywhere within the North Area Plan, except where specifically regulated by permit." I have two questions (1). Where are the permits? (2) Why was this omitted and not codified into the current North Area Plan?

The paragraph directly below in italics is a quote from one of my neighbors Steven Gilbard e-mail that I received this afternoon.

"Furthermore, while Brookview and other commercial locations have cited, some more than 18 months ago (by Nathon Merrick from Regional Planning) for violation of the Los Angeles County Rural Outdoor Lighting District (Dark Sky) ordinance, they have done nothing to mitigate this violation and the EIR must investigate the environmental damage done to the region by the intentional avoidance of complying with both citations and fully ignoring the requirements of the Dark Skies ordinances, again with the intent to make enforcement of the statutes possible".

And now we have all the light trespass of Triunfo Creek Vinyards directly across the street from our residence. In all there are many if not hundreds of complaints that have been filed with the Lost Hills Sheriff station. All to no avail.

"The EIR Scope must include intense study into the general damage that is done to the environment by the large scale nighttime Wedding and Event businesses as part of the review for the new North Area Plan. These operations need to be eliminated within the soon to be updated North Area Plan unless they can fully mitigate all damages they cause weekly, which is fundamentally impossible. There is an absolute need to include studies of multiple environmental areas at several levels within the EIR Scope as to the massively disruptive conditions these activities introduce into the North Area Plan".

Thank you,

Lindell L. Lummer
Angelique' Lummer
2761 Triunfo Canyon Road
Cornell, Ca. 91301

(818) 642-0369 I Phone
(818) 706-7369 Office

llummer@earthlink.net

From: dlf38@netzero.net
To: [DRP_SMMNorthArea](#)
Subject: The Santa Monica Mountains North Area (SMMNA)
Date: Friday, August 31, 2018 10:00:21 PM

As a property owner in this area for decades I've seen a severe increase in the impacts to this beautiful and wild area in spite of the equally severe increase in regulations and restrictions placed on private property owners. Like most property owners we love this area and purchased here because of the beauty, tranquility and freedom it offered. However, due to the increased access by the general public it has become polluted, tagged by graffiti and over run with loud vehicles. Placing further restrictions on private property owners has not and will not better preserve this natural beauty or anything positive. Focus your energies on the real problems exist which are the public parks and areas where the restrictions and regulations are essentially unenforced. Stop taking the property rights of law abiding stewards of the land for its despoilment by the Public.

David

From: Jonathan Baeza
To: DRP SMMNorthArea
Subject: Triunfo creek vineyards
Date: Friday, August 31, 2018 11:30:52 PM

To Whom it May Concern,

I am in charge of the grounds at Triunfo Creek Vineyards. I love the opportunity to work in the beautiful Santa Monica Mountains and I am grateful to work outdoors.

I request that the in the SMMNAP & CSD update, that the county and EIR team recognizes operators that are compliant with existing county code. For those that follow existing regulations, there is no additional need to further regulate events.

Specifically, I play a role in the compliance to the noise ordinance. Before every event I put up sound monitors on the property line and I take them down each weekend so that my manager can provide the complying sound levels to the local sheriff deputies. I also work hard to keep the property fire safe, I diligently weed whack, I stripe parking spaces prior to each event, and I arrange for fire extinguishers to be serviced on site.

My family depends on this income and I ask that you please don't penalize the venue when we all work so hard to follow the rules.

Thank you for taking the time to read my feedback.

For more information on the venue I work at, Triunfo Creek Vineyards, you can visit our website at

<http://secure->

[web.cisco.com/1s1ZkvehjB6iiAFi8nPxNrbUrX2XTuhAX0HxtBUERAiFY0Pqp5qlinW6aopP6lvWgjekY1exvr6gLLkxrbjEdhjaAOEyt4tMetSqBAmmpdCck9HmsQKL84qLVMoUe_zjCJHYw73h9_nz5congaUNo4EjpORnEx9rZBOvnovVorrjPimFANWGLLjqPUV64RN5cf7fgLciaWDEU2dc7ZYBvCzcmHiZFAvzJNYNUiOwKXDh9x1xCx7sCbNFoZo7EcNX36GyGXwa_Gpk3jiXAluFVuHYkt1wjCfIlffDj49ls9SfmwulyeO3WwmqKqd26appJmWr7FQu64gwi53chMRhW5qjCroFf_HBi3b7tkCFn4_dCYwa43ZA72e_mXTxZUQkQAHqrU0ZPRVKvSSQ6TNcX7g4bn7kLk6MAMem5REtNLA/http%3A%2F%2Fwww.triunfocreek.com](http://secure-web.cisco.com/1s1ZkvehjB6iiAFi8nPxNrbUrX2XTuhAX0HxtBUERAiFY0Pqp5qlinW6aopP6lvWgjekY1exvr6gLLkxrbjEdhjaAOEyt4tMetSqBAmmpdCck9HmsQKL84qLVMoUe_zjCJHYw73h9_nz5congaUNo4EjpORnEx9rZBOvnovVorrjPimFANWGLLjqPUV64RN5cf7fgLciaWDEU2dc7ZYBvCzcmHiZFAvzJNYNUiOwKXDh9x1xCx7sCbNFoZo7EcNX36GyGXwa_Gpk3jiXAluFVuHYkt1wjCfIlffDj49ls9SfmwulyeO3WwmqKqd26appJmWr7FQu64gwi53chMRhW5qjCroFf_HBi3b7tkCFn4_dCYwa43ZA72e_mXTxZUQkQAHqrU0ZPRVKvSSQ6TNcX7g4bn7kLk6MAMem5REtNLA/http%3A%2F%2Fwww.triunfocreek.com).

From: [Anita Gutierrez](#)
To: [DRP SMMNorthArea](#)
Subject: FW: Response to your 8/15/2018 email Message from Sup. Kuehl
Date: Tuesday, September 04, 2018 11:10:43 AM
Attachments: [image003.png](#)

From: Hugh Robertson [mailto:hr@robertsongeotechnical.com]
Sent: Friday, August 31, 2018 3:08 PM
To: Sheila Kuehl <skuehl@bos.lacounty.gov>; Sheila <Sheila@bos.lacounty.gov>; 'Englund, Nicole' <NEnglund@bos.lacounty.gov>; Anita Gutierrez <agutierrez@planning.lacounty.gov>
Cc: Butch (Bill) Humpfrey <williamh35@gmail.com>; Steve Gilbard <steveg@theatrical.com>; Terri Webb <terriwebb3094@gmail.com>; Beth Holden <bholden@newtheme.net>; Bill Webb <shotwise@aol.com>; 'Yvette Robertson <ymrobertson@gmail.com>' <ymrobertson@gmail.com>; Lisa Kellogg <lisagracekellogg@icloud.com>; 'Jim Forbes' <jjforbes@mac.com>; Marge <auntiem1814@aol.com>; 'Richie Kotzen (Richiekotzen05@me.com)' <Richiekotzen05@me.com>
Subject: Response to your 8/15/2018 email Message from Sup. Kuehl

Supervisor Kuehl...

This email is in response to your past email message to me and a recent form letter by Brookview Ranch mailed to me and others in the Triunfo and Lobo Canyon community.

I thank you for your verbal assurance that you and the County are pursuing compliance with the open violations at the wedding venues in my neighborhood. It is nice to know that you understand the incompatibility of residential uses with this type of outdoor business but they continue every weekend. Unfortunately, actions speak louder than words. I recommend you visit any of the affected properties in the evening and night on most Saturday and Sundays so you won't have to "imagine" the stress and discomfort associated with the hooting, hollering and amplified music emanating from these party facilities. Nothing has been done to enforce County violations or stop the persistent adverse impact on the peaceful use and enjoyment of our property and our neighbor's property.

We have been encouraged to call the Sheriff with the concept of "building a case". Really? Does the Sheriff really need to waste time visiting properties around Brookview Ranch and Triunfo Canyon Vineyards following disturbing the peace calls. The numerous calls made nearly every Saturday and Sunday nights, every weekend isn't sufficient to stop wasting the Sheriff's time? Numerous phone calls and emails to the County are not sufficient? It is time for action to stop the hijacking of our weekend evenings by the totally incompatible business ventures.

By the way, I don't know how the County made the leap from an undefined "dance pavilion" use to an approved wedding venue, but I would like to know the justification for this interpretation.

You indicated that Brookview's advocate, Mr. Afriat's primary role is community outreach within our neighborhood. You also indicated that Brookview hired an attorney, Kathleen Truman, who has been the lead contact working with the County to remedy the violations at the site. Remedy or assure Brookview Ranch can continue their operation and expand the facility for the next few years, leaving our community permanently adversely impacted?

We received a letter from Brookview Ranch earlier this week touting how they want to be good neighbors and listed the changes made in response to our concerns. In short, its hogwash.

Brookview Ranch is a weekend night wedding venue...not "in part" but in total. Their "sound capture" system is ineffective and amplified music, DJ hollering, cheers and screaming are clearly heard at my property and my neighbor's properties above and around Brookview generally from 5:00 pm to after 10:00 pm every weekend night and many Friday night too! You can't go outside or have windows open and not hear the parties. As an example, I hosted an outdoor party this last Saturday evening and my guests could hear the loud partying over my outdoor music. This certainly attests to the effectiveness of their "noise canceling system".

Brookview claims to have done a door to door survey of the entire neighborhood with past statements that 70% of the canyon residents had been surveyed. I know of no one in the impact zone who has been interviewed. Nobody! Have you seen the results of the survey? Neither have we!

The reported Brookview noise study is meaningless as it fails to record noise levels on the properties above and around the their party venue. Their "master control protocol" seems to lower the sound when the Sheriff is in the canyon and then pumps it back up when they leave! The LA County Health Department study at my house recorded the evening party noise that they felt sufficient to constitute disturbing the peace.

Brookview's traffic exit mitigation plan does nothing to stop the horn honking and hollering that some argue is encouraged by Brookview. Good neighbors eh?

Bottom line...the County is allowing business establishments in our rural Santa Monica Mountain residential community to persistently interfere with the peace, tranquility and evening weekend use of our properties. There IS a case for their disregard for our community and County violations. It is time for action to stop this crazy intrusion.

HUGH S. ROBERTSON

30940 Lobo Canyon Road

Agoura, CA 91301

h 818-706-8671

o 805-373-0057

c 805-660-2327

hr@robgeotech.com

From: Sheila <Sheila@bos.lacounty.gov>

Sent: Wednesday, August 15, 2018 12:59 PM

To: Sheila <Sheila@bos.lacounty.gov>

Subject: A Message from Sup. Kuehl

Greetings,

Thank you for reaching out to me regarding the special events taking place at wedding venues in your neighborhood. I want to assure you that the County is pursuing compliance with the open violations at these facilities. I understand that many years back the community negotiated an 8:00 PM end time to amplified music. As you know, that policy was not codified in the Community Standards District for the area and is not enforceable. This is very unfortunate and I can imagine the stress and discomfort the amplified music must cause you and your neighbors late in the evening.

As you know, I introduced the urgency ordinance which placed a moratorium on all new or

expanded dance pavilions. I authored this motion because I understand the incompatibility of residential uses with this type of outdoor business. The County Department of Regional Planning is in the process of updating the North Area Plan and the accompanying Community Standards District. In the updated plan, the department will be addressing many of the issues you have raised in your email such as the shut off time for amplified music and traffic. Additionally, the department will be setting a noise standard that is based upon the ambient noise level in the area rather than relying upon a general county-wide standard.

I also want to make it very clear that no one receives special attention from my office or the County departments. My office and a multitude of County departments have made significant investments in attempting to remedy the problems you and your neighbors experience. My staff has spent multiple nights in your neighborhood, the health department has monitored noise levels at the venues, and the Departments of Regional Planning and Public Works have conducted numerous site visits. The Department of Regional Planning's enforcement focus is always on compliance. While I know it may not seem to you that there has been progress, I assure you the department has been working diligently towards achieving compliance. Furthermore, regarding Mr. Afriat, my staff was informed that his primary role for Brookview is community outreach within your neighborhood. Brookview also hired an attorney, Kathleen Truman, who has been the lead contact working with the County to remedy the violations at the site.

I have asked Amy Bodek, Director of the Department of Regional Planning, and Mark Pestrella, Director of Public Works, to update you and your neighbors regarding their enforcement activities at the wedding venues in your neighborhood. They will be able to provide you with the most up to date information regarding the status of open violations. You will be hearing from them shortly. Should you wish to reach out to them directly, Mrs. Bodek can be reach at (213) 974-6401 and Mr. Pestrella can be reach at (626) 458-4001.

Office of Supervisor Sheila Kuehl

P: 213.974.3333

[Web/Facebook/Twitter](#)



[Sign Up for Kuehl Happenings](#)

Appendix 3

Biological Resources Assessment



Santa Monica Mountains

North Area Plan and Community Standards District Update

Biological Resources Assessment



Prepared for:



Los Angeles County
Department of Regional Planning

Prepared by:



October 2018

Santa Monica Mountains North Area Plan and Community Standards District Update Biological Resources Assessment

Prepared for
County of Los Angeles
Department of Regional Planning

Prepared by
Aspen Environmental Group



October 2018

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Attachments

Attachment 1: Figures

Attachment 2: Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area

Attachment 3: Vegetation and Landforms in the North Area

Attachment 4: Regulatory Setting

LIST OF ACRONYMS

AIS	Aerial Information Systems, Inc.
BCC	Bird of Conservation Concern
CCH	California Consortium of Herbaria
CDFW	California Department of Fish and Wildlife
CEQA	California Environmental Quality Act
CFP	California Fully Protected
CNDDDB	California Natural Diversity Database
CNPS	California Native Plant Society
CRPR	California Rare Plant Rank
CSD	Community Standards District
CSSC	California Species of Special Concern
CST	Candidate for State Listing as Threatened
DPS	Distinct Population Segment
ESA	Endangered Species Act
ESRI	Environmental Systems Research Institute
FE	Federally Listed as Endangered
FT	Federally Listed as Threatened
GIS	Geographic information system
LCP	Local Coastal Program
MRCA	Mountains Recreation and Conservation Authority
MRT	Mountains Restoration Trust
NAP	North Area Plan
NHD	National Hydrography Dataset
NPS	National Park Service
NWI	National Wetlands Inventory
RWQCB	Regional Water Quality Control Board
SEA	Significant Ecological Area
SMMNAP	Santa Monica Mountains North Area Plan
SMMRCD	Santa Monica Mountains Resource Conservation District
SR	State Designated Rare
SE	State-Listed Endangered
ST	State-Listed Threatened
UCLA	University of California, Los Angeles
USACE	U.S. Army Corps of Engineers
USDA	U.S. Department of Agriculture
USDI	U.S. Department of the Interior
USFWS	United States Fish and Wildlife Service
USGS	U.S. Geological Survey
WL	California Watch List Species

Executive Summary

The Santa Monica Mountains are home to a variety of sensitive plants and wildlife, unique geologic features, important wildlife linkages, and aquatic features. The “North Area” of the range, the focus of the Biological Resources Assessment, encompasses approximately 21,500 acres of the north-central Santa Monica Mountains, linking the range with the Simi Hills to the north. Several State and federally listed species, as well as numerous California Species of Special Concern and rare plants, are known from the North Area, including most of the global range of three plants, one of southern California’s last populations of red-legged frog, and the North Area formerly supported some of the last nesting pairs of

golden eagle and prairie falcon in the Los Angeles area.

Iconic southern California landscapes such as valley oak savannah, sycamore-lined canyons, volcanic rock outcrops, and wildflower-rich meadows are still found in the North Area, both on and off protected lands. The North Area supports very large blocks of undisturbed open space separating urban development along U.S. 101 from protected open space in the main body of the Santa Monica Mountains and Simi Hills. However, development over the next few decades could potentially degrade these areas further and expand the urban footprint; or, with careful planning, these habitats will be relatively undisturbed and their resources left intact, while still allowing for responsible development.

The County of Los Angeles, Department of Regional Planning (County) is updating the Santa Monica Mountains North Area Plan (SMMNAP) and Community Standards District (CSD). The guiding principle of the existing SMMNAP is to ***“let the land dictate the type and intensity of use.”*** To support the County’s update to its NAP and CSD, this assessment documents the plants and wildlife of the North Area and presents a strategy for protecting sensitive resources as the region continues to urbanize.

The assessment describes the biological resources in the North Area, highlighting sensitive habitats, species, features and important ecosystem functions that are vulnerable to the effects of human activities. Human-wildland interactions and conservation challenges encountered in the North Area are described to help



THE NORTH AREA SUPPORTS SOME OF THE MOST IMPORTANT BIOLOGICAL RESOURCES IN SOUTHERN CALIFORNIA.

IT IS HOME TO:

- OVER 400 BIRDS, 23 REPTILES, 10 AMPHIBIANS, 41 MAMMALS, AND OVER 900 VASCULAR PLANT SPECIES
- RARE AND LISTED SPECIES INCLUDING LYON’S PENTACHAETA AND CALIFORNIA RED-LEGGED FROG
- SPECIES FOUND NOWHERE ELSE ON EARTH, INCLUDING SANTA MONICA MOUNTAINS DUDLEYA AND AGOURA HILLS DUDLEYA
- SENSITIVE VEGETATION COMMUNITIES INCLUDING OAK WOODLANDS AND RIPARIAN FORESTS

guide policies that minimize adverse effects to natural resources, and that foster responsible stewardship for those living at the wildland interface. Finally, this assessment presents a biological sensitivity ranking system that identifies the conservation priorities for lands within the North Area.

A five-step approach was used to gather information for the biological assessment. This approach is summarized in the graphic below. It included evaluation and determination of habitat sensitivity based on a review of a wide variety of sources including federal, State, and County planning documents, supporting technical studies, various database records, interviews with local experts, and other biological studies conducted throughout the North Area.

Five-Step Approach to Biological Resources Assessment and Habitat Sensitivity Ranking



The Biological Resources Assessment resulted in a novel habitat sensitivity ranking system that identifies conservation priorities for lands within the North Area. The ranking system developed for the North Area is similar to the Santa Monica Mountains Local Coastal Program in providing a tiered system with different protections afforded to each habitat rank. Each ranking includes criteria along with the corresponding level of protection to provide property owners with a planning tool to identify the requirements for developing property with biologically sensitive resources. This approach facilitates responsible development and resource protection in the Santa Monica Mountains North Area and supports the overall goal of the SMMNAP to effectively protect the invaluable natural resources of the region for generations to come.

Four Habitat Sensitivity Rankings (S1, S2, S3, and S4) are recommended for the North Area. The proposed Habitat Sensitivity Rankings for the North Area are summarized below.

S1 Habitat: Habitat of Limited Distribution, Particular Rarity, or Important Habitat Function

- Lands that support the rarest and most sensitive resources often play essential roles in ecosystem function and are worthy of the highest-level conservation.
- Development is highly restricted in areas with S1 habitat.

S2 Habitat: Intact, but Broadly Distributed Habitat

- Lands that support intact native vegetation communities, and which may include some rare species, but are widespread in the North Area.
- Development may occur in areas with S2 habitat provided avoidance and, minimization and mitigation requirements/measures are implemented.

S3 Habitat: Disturbed, Non-Native, and Cleared Habitat

- Lands that support non-native and ruderal vegetation, disturbed, or cleared habitat that are expected to have lower habitat function than other natural lands.
- Development will be less restricted in areas with S3 habitat.

S4 Habitat: Developed and Agricultural Lands

- Lands that support existing residential or commercial development, other facilities, or agricultural practices.
- Development is least restricted in areas with S4 habitat.

In addition, the Biological Resources Assessment includes a list of Habitat Sensitivity Indicators (including both species and vegetation communities) to assist landowners, planners, and biologists in identifying the presence of sensitive habitat and the applicability of the S1 or S2 rankings on specific properties. The presence of an S1 or S2 indicator on a property would require further consideration during a project's planning and review process.

Biological Resources Assessment

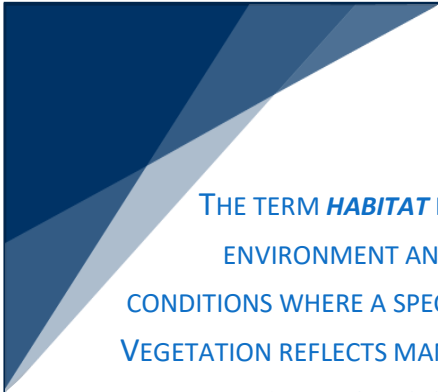
1. INTRODUCTION

This Biological Resources Assessment establishes a framework for categorizing and identifying biological resources while maintaining the County's objective to streamline and facilitate future development in the North Area. This report will support preparation of the update to the Santa Monica Mountains North Area Plan (SMMNAP) and Community Standard District (CSD) and in the environmental evaluation of the SMMNAP and CSD. The results of the biological assessment will serve as a guide for where and when protective measures are needed for biological resources.

The purpose of this Biological Resources Assessment is two-fold: (1) to provide a description of the biological resources of the North Area, including unique and sensitive resources, and (2) to develop habitat sensitivity rankings, which identify the areas and features most in need of protection in order to guide development in the North Area in a sustainable, balanced manner that minimizes impacts to the exceptional natural resources of the North Area.

1.1 Approach to Biological Resources Assessment and Habitat Sensitivity Rankings

The goal of the North Area Plan (NAP) is to maximize the conservation of the area's natural environment, to recognize the opportunities and constraints that the land imposes, to accommodate new uses that minimize impacts on the natural environment, and to ensure that new development is compatible with and enhances the quality of existing communities. It provides for a wide range of public and private recreational opportunities (County of Los Angeles, 2000). In effect, it seeks to "let the land dictate the type and intensity of use." To meet this guiding principle and to achieve the goals of the NAP, the best available information on the biological resources of the North Area was compiled and synthesized to develop a Habitat Sensitivity Ranking system that identifies the conservation priorities for lands within the North Area. The biological sensitivity ranking system developed for the North Area is similar to that of the Santa Monica Mountains Local Coastal Program (LCP) in that it provides a



THE TERM **HABITAT** REFERS TO THE ENVIRONMENT AND ECOLOGICAL CONDITIONS WHERE A SPECIES IS FOUND. VEGETATION REFLECTS MANY ASPECTS OF HABITAT, INCLUDING REGIONAL CLIMATE, PHYSICAL STRUCTURE, AND BIOLOGICAL PRODUCTIVITY AND FOOD RESOURCES (FOR MANY WILDLIFE SPECIES). THUS, VEGETATION IS A USEFUL OVERARCHING DESCRIPTOR FOR HABITAT. HOWEVER, HABITAT VALUE DEPENDS ON A VARIETY OF ECOLOGICAL FACTORS SUCH AS PATCH SIZE, DISTURBANCE LEVEL, AND PROXIMITY TO DEVELOPMENT OR OTHER HABITAT TYPES.

tiered system, with different protections afforded to each rank. The Habitat Sensitivity Ranking System supports the creation of land use policies that direct development to the most appropriate areas while preserving and protecting the most sensitive resources.

The information presented in this report was compiled from agency planning documents and supporting studies for jurisdictions within the Santa Monica Mountains, database records, and interviews with local experts, as well as field studies and habitat assessments conducted throughout the North Area. Comprehensive vegetation mapping data were obtained from the National Park Service (NPS) (CDFG et al., 2006; AIS and ESRI, 2007). The process used to document the biological resources of the North Area and to develop the Habitat Sensitivity Ranking System included five steps as summarized below:

Step 1: Compile Vegetation and landform classification and mapping

- Obtain and review existing sources of vegetation data and identify important landforms
 - Use vegetation and landform data from the NPS as the base layer to assess habitat sensitivity
 - Map vegetation and landform data for the North Area
- Field-verify selected areas for accuracy and update maps to reflect land use changes as needed

Step 2: Review Existing Literature and Available Databases

- Review information from multiple sources including federal, State, and County planning and resource documents; species lists from California Department of Fish and Wildlife
- Collate information and map resource data
- Assess accuracy and precision of data through field visits and aerial photography
- Interview local biological resources experts to obtain additional information regarding the North Area

Step 3: Consider the Accuracy and Precision of the Best Available Data

- Identify appropriate data layers for mapping
- Determine how the data can be used to predict sensitivity
- Consider value and quality of data (and data sources) for developing sensitive habitat or species lists

Step 4: Evaluate Rarity or Sensitivity and Assign Habitat Sensitivity Rankings

- Consider existing legal protections for resources
- Evaluate distribution and quality of resource in the North Area relative to the larger region
- Weigh factors to identify which communities or resources are most/least sensitive
- Develop and define hierarchical ranking system
- Rank species/habitats based on rarity or sensitivity
- Provide rationale for ranking, including methodology

Step 5: Finalize Habitat Sensitivity Rankings and Habitat Sensitivity Indicators

- Present Habitat Sensitivity Rankings and Habitat Sensitivity Indicators
- Describe how the system should be considered when planning development in the North Area

1.2 Report Organization

The results of five-step approach are outlined throughout this report. Section 2 provides an overview of the species, vegetation, and ecological conditions within the North Area, including species of highest conservation concern. Planning for these resources can impact proposed development – and guide conservation priorities – and current information on their status and distribution is constantly being updated.

Section 3 provides information on living and coexisting with wildlife, sensitive habitats, and other biological resources to ensure that generations to come can experience the natural beauty and biodiversity of the North Area. In addition to highlighting the important biological resources of the North Area, Sections 2 and 3 provide the context for the development of the sensitivity rankings presented in Section 4.



Equestrian and hiking trail near Chesebro Road

Section 4 includes a detailed description of how the five-step approach led to the development of the habitat sensitivity rankings. This section also describes the four rankings proposed for the North Area and identifies habitat sensitivity indicators that help to identify sensitive resources. Recommendations on the level of protection warranted at each Habitat Sensitivity Ranking level are also found in Section 4, which provides a guide for landowners, planners, and other interested parties on how to determine habitat sensitivity for a given parcel. The data that support the Habitat Sensitivity Rankings developed herein represent the best available

information for the North Area, however, implementation of the Habitat Sensitivity Ranking System would require site-specific verification during the development application process.

2. THE SANTA MONICA MOUNTAINS NORTH AREA

2.1 General Description of Planning Area

The Santa Monica Mountains North Area includes 33 square miles of unincorporated Los Angeles County lands from the U.S. 101 freeway corridor south to the Coastal Zone boundary (see Figure 1 in Attachment 1). The planning area consists of five discrete land types: urbanized areas, rural residential, ranches, vineyards, and open space. The North Area includes portions of the Santa Monica Mountains National Recreation Area administered by the NPS, California State Park lands, and other protected areas. Approximately 35 percent of the North Area consists of conservation and park lands (see Figures 1 and 2 in Attachment 1).

The North Area boundaries are jurisdictional and do not follow specific ecological divisions. Therefore, the description of biological resources presented in this report includes the known resources of the North Area as well as those in adjacent areas of the greater Santa Monica Mountains and Simi Hills. Many of the vegetation communities or habitats and the species that occur in these areas span jurisdictional boundaries in the region. Disturbance or conservation at one location can ripple across boundaries and affect resources in other jurisdictions; therefore, approaches to land use planning should consider the ecology of the Santa Monica Mountains to ensure landscape-level conservation goals and responsible growth are realized.

2.1.1 Ecoregion

The North Area is located within the South Coast ecoregion and supports some of the most important biological resources in southern California. This rich expanse of coastal landscape is dominated by the Santa Monica Mountains and characterized by deep canyons, expansive oak woodlands, coastal scrub, and a wide variety of plants and wildlife, some of which are found nowhere else in the world. Although highly rural in character, the North Area is located adjacent to large urban centers and small communities are intermingled with large tracts of open land. This wildland-urban interface presents a unique set of challenges and opportunities for residents to coexist with and conserve the wealth of species and habitats in the North Area.

2.1.2 Topography

The North Area is within the Santa Monica Mountains, an east-west trending mountain range within the Transverse Ranges, which spread over 40 miles between Point Mugu in Ventura County and Glendale in Los Angeles County. Most of the range is bounded to the south by Santa Monica Bay, with the eastern portion stretching inland to divide the Los Angeles Basin from the San Fernando Valley to the north. The western portion of the range separates the Conejo Valley to the north from the Malibu coast.

Much of the North Area consists of steep vegetated slopes in excess of 25 percent grade (see Figure 2 in Attachment 1), and elevations range from 550 feet to 2,508 feet above sea level. The North Area supports many well-known features including Ladyface Mountain located south of Agoura Road at Kanan Dume Road, Sugar Loaf Peak near Paramount Ranch, the iconic Saddle Rock (visible for miles),

and Turtle Rock located near the Rocky Oaks Park off Mulholland Drive at Kanan Dume Road. Prominent ridgelines and sandstone rock outcrops are also present near Old Topanga Road.

The unique geology of the region is not only visually appealing, it also provides the distinctive outcrops and soil parent material that support rare plant communities. Some of the mountains are volcanic in nature, and over time have developed into unique soil conditions and rock outcrops that support some of the rarest plants on earth. The complex topography of the North Area also includes many small valleys and canyons supporting narrow plains, deeply incised channels, and thickly wooded hillsides supporting a broad variety of native plants and wildlife.

2.1.3 Climate

Natural conditions in the North Area are dictated by climate; climate can greatly influence the abundance and distribution of many plants and wildlife. The Santa Monica Mountains experience a classic Mediterranean climate, with hot, dry summers and cool wet winters. A Mediterranean climate is globally rare, occurring in only six places on Earth. Most of the annual precipitation comes in the form of winter rains. Mean annual precipitation in the region varies from about 12 to approximately 14 inches, although some mountain faces may experience substantially more rainfall. Annual rainfall totals often vary with some years experiencing little to no rain while El Niño conditions may result in multiple extreme rain events. Long-term monitoring data for Los Angeles County shows the region rarely receives the average annual precipitation, instead the region cycles through periods of above-average rainfall to periods of drought conditions (CCWMP, 2004). Snow is uncommon in the region, occurring only rarely during unusually cold winter storms. While coastal fog is common in the mornings, most of the North Area receives less fog compared to coastal areas and coastal-facing slopes.

2.1.4 Hydrology

The mountainous regions of the North Area support numerous creeks, streams, and drainages (see Figure 3 in Attachment 1). The major watersheds in the North Area include Malibu Creek (including Las Virgenes Creek and Medea Creek), Arroyo Calabasas, Topanga Canyon, Las Trancas Creek, Zuma Creek, and Los Alisos Creek. These watersheds support riparian habitat and are home to numerous birds, amphibians, fish, and other wildlife, some of which are special-status species. Stream flow in the region varies and is often directly related to large-scale precipitation events. Several streams provide year-round surface water including Las Virgenes, Medea, and Topanga. Historically, many of the smaller creeks and streams of the North Area may have supported larger flows or year-round water; however, development and ground water pumping may have affected surface flows in some locations. Conversely, some intermittent or ephemeral creeks and streams in the North Area now support flows for extended periods because of over irrigation and urban run-off.

Many drainages in the North Area are located downstream of the urbanized Conejo Valley and routinely convey urban and agricultural run-off. While this runoff can provide a consistent source of water, it also contains residual fertilizers, pesticides, motor oil, soaps, and other pollutants. A fairly consistent pattern of ecological degradation has been observed in streams that drain urban areas across the globe, and ecologists have termed this phenomenon the “Urban Stream Syndrome.” Symptoms include more

frequent and larger flow events, higher concentrations of nutrients (e.g., fertilizers) and contaminants, changes to channel banks and stability, and reduced biodiversity predominantly consisting of human-tolerant (usually nonnative and invasive) species (Walsh et al., 2005). Urban streams in the North Area have seen a decline of native species and some streams have lost populations of California tree frog (*Pseudacris cadaverina*) altogether. However, several local drainages feature natural hydrology, at least at their upper reaches, such as Las Virgenes Creek, and support several rare species, including California red-legged frog.

In addition to the many creeks and drainages, the North Area supports numerous seeps and springs where groundwater surfaces through cracks and fissures. Some of these are in existing stream channels or weep from the sandstone and volcanic slopes of the North Area. Others underlie grassy meadows within chaparral or coastal sage scrub and maintain moist soil late into the spring and early summer. These features are extremely important to wildlife and are often associated with a high diversity of rare plants, lichens, or bryophytes. These microhabitats are also found in the far western Santa Monica Mountains into Ventura County; many microhabitats are threatened by fragmentation, urban encroachment, fuel modification and recreational uses.

2.1.5 Wildfires

Wildfires are a characteristic and defining feature of the North Area and periodically burn large tracts of land in the North Area. Major recent fires include the Calabasas (1996) and Topanga (2005) fires. Although fire is an important and natural process in the coastal scrub and chaparral ecosystems, wildfires pose a risk to public safety. Total fire suppression policy has been practiced in the North Area for many decades. Wildfires can also have damaging effects on natural resources depending on their intensity and frequency. Scrub and chaparral are tolerant of a moderate frequency of wildfire and will regenerate on a burned site within several years after a fire (except when over-frequent re-burning converts these shrublands to non-native grasslands). Early successional plant species, including native and non-native grasses and herbs, will often appear shortly after the fire and may be common for several years. The ecological effects of fire on oaks and other vegetation vary depending on the frequency and intensity of fires. Wildfires are an inevitable and ecologically important process within oak woodland ecosystems (McCreary, 2004) and have generally been considered to play a role in oak recruitment. However, severe and frequent fires can kill even mature oaks. Oak trees in the North Area have been lost to historic and recent wildfires and the survival of some oak trees may be at risk from altered fire regimes. Increased fire frequency on the same site may change the type of vegetation to early successional species such as native and non-native grasses and herbs. In addition, changes in vegetation communities from wildfires may dramatically affect habitats for plant and animal species and may influence the distribution of species in the North Area.

Despite the perception that wildland fire is devastating to animals, fires generally kill and injure a relatively small proportion of wild animal populations. The habitat changes caused by fire affect wildlife populations and communities much more profoundly than fire itself. Fires often cause a short-term increase in productivity, availability, or nutrient content of forage and browse. These changes can contribute to substantial increases in herbivore populations, however, potential increases are moderated by the animals' ability to thrive in the altered, often simplified, structure of the post-fire

environment. Large, high-intensity fires that denude a landscape of many shrubs and trees reduce habitat quality for species that require dense cover and improve it for species that prefer open sites.

Large wildfires can affect water quality through increased rates of erosion and sedimentation from denuded hillsides, increased water temperature from decreased vegetative stream shade, changes in water chemistry and increases in chemical pollutants, and impacts to aquatic biota as a result of the use of fire retardants in fire suppression. These impacts have become more severe as fire extent and frequency have increased.

2.2 Local Setting

The mountainous topography and limited road system has shaped development in the region. Many of the small cities, rural communities, and homes occur along the small valleys and rolling foothills of the Santa Monica Mountains. Many of these communities occur along the network of roads that cross the Santa Monica Mountains including Topanga Canyon, Malibu Canyon, Kanan Dume Road, Mulholland Highway, and Westlake Boulevard. In a few locations roads lead to small mountain communities and isolated home sites. Many of these communities occur in or near park lands or natural areas supporting a wide variety of sensitive biological resources that characterize the Santa Monica Mountains North Area.

The following discussion describes the local setting within the North Area. Refer to Figure 1 (Existing Land Protection Designations) and Figure 2 (Unincorporated County Lands and Designations) for a graphical depiction of the North Area boundaries (all figures are in Attachment 1).

2.2.1 The Western Boundary of the North Area to Las Virgenes Canyon Road

The westernmost portion of the North Area is bounded by the Ventura County line to the west, the City



Approximately 35% of the North Area is park land

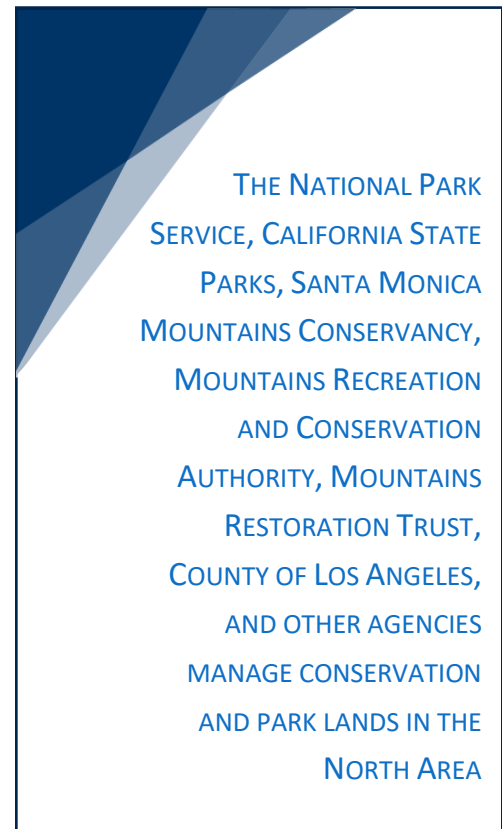
of Westlake Village to the north, and the Coastal Zone to the south. Small areas of residential development occur along Country Ranch Road and Westlake Boulevard (Decker Road; SR 23), with most of the western portion consisting of natural lands. Several protected areas overlap the westernmost portion of the North Area including lands administered by the NPS and the Mountains Recreation and Conservation Authority (MRCA). The western portion of the North Area supports several large occurrences of redshank chaparral, a regionally rare vegetation community with limited

distribution in the County. Critical habitat for the endangered Lyon's pentachaeta (*Pentachaeta lyonii*) also occurs in the westernmost North Area.

The portion of the North Area west of Kanan Dume Road includes large swaths of open space, with areas of rural development along Mulholland Highway, Triunfo Canyon, and Lobo Canyon. There are a number of vineyards and orchards in this area, particularly in the vicinity of Kanan Dume Road and Mulholland Highway and in Triunfo Canyon. The expansion of vineyards in this area has converted native scrub and chaparral communities. Approximately 94 acres of vineyards and orchards currently occur in the North Area. Protected areas west of Kanan Dume Road include unnamed sites managed by the NPS, MRCA, and the Santa Monica Mountains Conservancy. Other protected areas include Rocky Oaks (NPS), Triunfo Canyon Open Space (MRCA), and Triunfo Creek Park (Santa Monica Mountains Conservancy). An occurrence of Lyon's pentachaeta and a unit of United States Fish and Wildlife (USFWS) designated critical habitat for this species occurs near the western boundary of the North Area.

East of Kanan Dume Road and just north of Mulholland Highway, the Mountains Restoration Trust administers the La Sierra Preserve. The 130-acre preserve and surrounding areas support a variety of habitats including wetlands, seeps, springs, willow riparian woodlands, oak woodlands, grasslands, and chaparral (MRT, 2017). La Sierra Canyon and Triunfo Creek support an exceptional diversity of plants, including species known from only a few locations in the Santa Monica Mountains. These include the state-designated rare and federally-listed endangered Santa Monica Mountains live-forever (*Dudleya cymosa* ssp. *marcescens*); the creek dogwood (*Cornus glabrata*), known only from one other site in the Santa Monica Mountains; the giant chainfern (*Woodwardia fimbriata*); and the ocellated Humboldt lily (*Lilium humboldtii* ssp. *ocellatum*). This portion of the North Area also supports dense stands of big-leaf maple (*Acer macrophyllum*) and California bay (*Umbellularia californica*) which are uncommon in the region. Coast live oak (*Quercus agrifolia* var. *agrifolia*) woodlands are common in this area, and oaks are protected by County ordinance. Other characteristic or unusual plants recorded in the Canyon include maidenhair fern (*Adiantum jordanii*), black cottonwood (*Populus trichocarpa*), leather root (*Hoita macrostachya*), and broadleaf lupine (*Lupinus latifolius*).

Just east of the La Sierra Preserve is the unincorporated community of Cornell and the Seminole Hot Springs area. Rural residential developments ranging from large estates and ranches to the Seminole Springs Mobile Home Park are centered around Mulholland Highway and local landmarks such as the Rock Store on Mulholland Highway and Rustic Canyon General Store & Grill on Kanan Dume Road attract visitors to the community. Several local vineyards and wine-tasting rooms have also been developed in recent years. NPS facilities and parks near the Cornell area include Peter Strauss Ranch and Paramount Ranch. There are additional protected sites managed by the MRCA and NPS, and the North Area



overlaps portions of Malibu Creek State Park. Vegetation includes large expanses of chaparral and coastal sage scrub, with riparian scrub and woodland habitats along drainages such as Medea Creek and Triunfo Creek. Oak savannahs occur over rolling hillsides intermingled with annual grasslands, most commonly along the Cornell Road corridor.

The area between Kanan Dume and Cornell Roads, north of Paramount Ranch, is developed with estate properties. Medea Creek and its associated riparian habitat run through this community. This crescent of land occupies one of the key urban-wildland interface areas in the North Area, with development, including lighting and fencing, right up to the banks of the creek, and ongoing habitat impacts on private lands close to (or directly bordering) public parkland. Medea Creek flows year-round through this area. Heavy rains bring occasional flooding to this area as well, presenting additional management challenges. Lyon's pentachaeta critical habitat is located near the intersection of Kanan Dume and Cornell Roads.

The southern-central portion of the North Area includes the community of Malibou Lake, a private man-made lake created at the confluence of Medea and Triunfo Creeks where they converge to form Malibu Creek (just outside of the North Area). Residential development surrounds the lake, which is a frequent stopover for migrating and wintering waterbirds. The lake is also home to a variety of aquatic plant and animal species otherwise rare or localized in the Santa Monica Mountains. Undeveloped areas on slopes surrounding the lake support abundant rock outcrops and rare volcanic-soil plant communities. A unit of designated critical habitat for Lyon's pentachaeta is located near the Malibou Lake dam area.

Sections of the Las Virgenes and Medea Creek watersheds support exceptionally diverse wildflower populations, and in years of good rainfall, wildflower fields may cover large sections of the canyon slopes. Dense stands of coastal sage scrub and chaparral cover the adjacent hillsides in this area. The area has floristic elements that are characteristic of interior or even desert conditions: an isolated occurrence of California juniper (*Juniperus californica*) is found just east of Ladyface Mountain, along with narrowleaf goldenbush (*Ericameria linearifolia*), both interior plants that are absent elsewhere in the Santa Monica Mountains. Several varieties of live-forever (*Dudleya* spp.) are present on the canyon walls and rock outcrops, including chalk lettuce (*D. farinosa*), lance-leaf live-forever (*D. lanceolata*), and federally-threatened Agoura Hills dudleya (*D. cymosa* ssp. *agourensis*).

Much of the North Area between Cornell Road and Las Virgenes Road overlaps with Malibu Creek State Park and many smaller parcels managed by MRCA and the Mountains Restoration Trust (MRT). In this location, the North Area boundary runs along Las Virgenes



Fran Pavley Meadow, formerly known as the Cheeseboro Meadow, with equestrian property in the background

Road from about Lost Hills Road south to the intersection of Mulholland Highway. An important feature of this area is a small tributary of Las Virgenes Creek (and ultimately Malibu Creek) named Liberty Canyon. The underpass of U.S. 101 at Liberty Canyon Road is in a relatively rural location with less vehicular traffic than other freeway crossings. This crossing is one of the few active wildlife passage areas along the entire extent of U.S. 101 through the Santa Monica Mountains, and is the site of a conceptual proposal to bridge U.S. 101 from north to south to facilitate safe wildlife crossings.

South of U.S. 101, development is present on both sides of Liberty Canyon Road for just over 0.5 mile, before Liberty Canyon Road becomes an unpaved access road that enters open space in Malibu Creek State Park. Liberty Canyon Creek follows a concrete drainage channel along the east side of Liberty Canyon Road then it transitions to a natural creek with riparian habitat near the State Park. Most of the paved portion of Liberty Canyon Road and the residential developments on either side are within the City of Agoura Hills; however, the southwestern portion of the community as well as a small island of residential development including Marks Road, Kays Lane, and David's Road are in unincorporated Los Angeles County.

North of U.S. 101, the North Area includes two discrete areas. The western area is primarily parkland surrounding the Calabasas Landfill, and includes the Chesebro Meadow and Chesebro Canyon area, and the Liberty Canyon Open Space, a residential neighborhood along Mont Calabasas Drive west of Las Virgenes Road, which forms the eastern boundary of this portion of the North Area. The northwest portion of this section of the North Area is within the NPS's Santa Monica Mountains National Recreation Area, including the Chesebro and Palo Comado Canyons unit and the adjacent Upper Las Virgenes Canyon Open Space Preserve (the former Ahmanson Ranch). The MRCA's Zev Yaroslavsky Las Virgenes Highlands Park is adjacent to the south side of the Upper Las Virgenes Open Space. The North Area boundary skirts around the Saratoga Ranch neighborhood north of U.S. 101 and west of Lost Hills Road. Despite pockets of residential development and the landfill, this area is extremely important as a wildlife corridor linking the Santa Monica Mountains to the Simi Hills and other areas to the north, as it is the only area with significant open space both north and south of U.S. 101. Chesebro Meadow has been a recent focus for preservation as it directly links parklands to the proposed Liberty Canyon freeway overcrossing. The Meadow was proposed for development; however, in late 2016 it was acquired by the MRCA to preserve its critical role in regional wildlife movement. It was renamed the "Fran Pavley Meadow" as a tribute to retiring State Senator Fran Pavley, the first mayor of Agoura Hills and a longtime advocate of environmental protection.

West of the Liberty Canyon area, the North Area boundary follows the north-facing side of an unnamed ridge at the southern boundary of the City of Agoura Hills westward towards Ladyface Mountain, the prominent peak that forms the southern backdrop to the City. Coastal sage scrub transitions to chaparral at higher elevations, and the terrain in this area is steep and rugged. Little development and few roads occur here, although several hiking trails provide recreational access to the ridgelines and the peak of Ladyface Mountain. This area has seen numerous proposals for development, many of which have been consolidated into the "Agoura Village" project along Agoura Road, which borders the North Area to the north.

The numerous canyons and ridges in this area support the federally-threatened Agoura Hills dudleya, and one of the nine critical habitat areas in Los Angeles County for the state- and federally-endangered Lyon's pentachaeta, as well as other uncommon and rare plants such as Ojai navarretia (*Navarretia ojaiensis*), Fish's milkwort (*Polygala cornuta* var. *fishiae*), Sonoran maiden fern (*Thelypteris puberula* var. *sonorensis*), and an occurrence of the California juniper that is on the edge of the species' range. The northern boundary of the North Area crosses Kanan Dume Road where Lindero Canyon formerly joined Medea Creek and continues its contour west along the north-facing ridge of Ladyface Mountain.

2.2.2 Las Virgenes Canyon Road to the Eastern Boundary of the North Area

The eastern portion of the North Area begins on the eastern side of Las Virgenes Road at its intersection with Mulholland Highway. Here, the North Area extends north of Mulholland Highway and encompasses Stokes Canyon, which includes chaparral, oak woodlands, and grasslands, and includes rural developments. There is a small perennial spring in Upper Stokes Canyon that provides an important source of water to local wildlife. Horse properties are common along Stokes Canyon and a large private development was recently constructed near this area. Protected lands administered by the NPS and MRCA also occur in this area.

The North Area continues eastward in a narrow band, crossing Mulholland Highway. Scattered residential developments are located within mountainous areas dominated by coastal sage scrub, chaparral, annual grasslands, and oak woodlands. Many small creeks and drainages occur in this area, including Cold Creek. Calabasas Peak and surrounding protected areas administered by MRCA are east of Mulholland Highway and overlap portions of the North Area. Calabasas Peak is 2,163 feet in elevation and several hiking trails access the area including the Calabasas Peak Mountainway fire road. Dense chaparral and huge rocky outcrops characterize the steep terrain in this area.

East of Calabasas Peak, the North Area includes large swaths of chaparral and sage scrub communities interspersed with pockets of coast live oak woodland. Rural residences and small communities occur throughout this area. Parkland administered by the County of Los Angeles and MRCA and the Calabasas Highlands Open Space occurs in this area.

Most of the community of Old Topanga in Old Topanga Canyon is in the North Area. Open space areas include dramatic rock outcrops interspersed with oak woodlands, small creeks and a variety of scrub and chaparral communities. Old Topanga supports a variety of rural residences, schools, and horse properties. The steep slopes are covered with thick chaparral while oak woodlands are common along the riparian corridors. Riparian habitat here supports several rare species, including southern western pond turtle (*Actinemys pallida*) and probably support ringtail cat (*Bassariscus astutus*). Special-status plants in this area include large stands of California black walnut (*Juglans californica*) and Plummer's mariposa lily (*Calochortus plummerae*).

The easternmost portion of the North Area includes extensive development along the northern portion of Topanga Canyon Boulevard. Natural features in this area include Henry Ridge, Greenleaf Canyon, Topanga Canyon and Creek, Santa Maria Creek, and Garapito Creek. This part of the North Area is characterized by developments interspersed with open space. Much of the open space is parkland administered by MRCA and the Santa Monica Mountains Conservancy. Some of these properties include

Summit Valley Edmund D. Edelman Park, Top of Topanga Overlook, Topanga Canyon-Canyon Oaks Open Space, and the southern portion of Mulholland Gateway Park. The Mountains Restoration Trust administers the Henry Ridge Open Space. Topanga Creek provides year-round water in some areas and supports important riparian habitat. Southern western pond turtle, ringtail, and white-tailed kite (*Elanus leucurus*) are known from this area.

The eastern portion of the North Area north of U.S. 101 includes the gated community of Mountain View Estates, Gates Canyon Park (a neighborhood park administered by the City of Calabasas), the Upper Las Virgenes Open Space Preserve along Crummer Canyon Road, and open space and developed areas along a narrow corridor between the U.S. 101 and the City of Hidden Hills.

2.3 Natural Resources of the North Area

The Santa Monica Mountains support 41 mammal species, 113 breeding bird species, 23 reptile species, 10 amphibian species, and 894 vascular plant species (Rundel and Tiszler, 2007; NPS, *no date*). Over 34 percent of the North Area is within parklands administered by local, state, and federal agencies and conservation groups, and many of the unique biological resources are on protected lands. It should be noted that the North Area has not been systematically surveyed, and the understanding of rare species and their distribution relies primarily on field studies and casual observations of biologists on public lands, or from more intensive but localized surveys of private lands, usually conducted to support land use applications for proposed development.

The North Area is notable for the high diversity of habitats in a relatively small area. This diversity in habitats in turn supports a wide variety of plant and wildlife species. Although most species found in the North Area also range more broadly throughout the region or the state, the North Area lies at the edge of the range, or supports relict populations of, a number of species. For example, the North Area contains the southernmost viable stands of valley oak woodlands (*Quercus lobata*), and some of the largest remaining California walnut (*Juglans californica*) woodlands (CDFG et al., 2006).

California red-legged frogs, once believed extirpated from the area, have been introduced in Las Virgenes Creek and have been recently detected near the Highway 101 overpass. In addition, breeding was confirmed by the National Park Service for another introduced population at an undisclosed location in the Santa Monica Mountains. Over time, California red-legged frogs may continue to disperse south along Las Virgenes Creek. Western yellowbellied racer (*Coluber constrictor mormon*) was once common in southern California, but populations of this species have declined in the region (Cooper and Hamilton, 2014).

Several birds are either rare or uncommon in the North Area. White tailed-kite is known from just a few areas of the North Area near Topanga Canyon State Park and Malibu Creek State Park. Large open grasslands and adjacent riparian areas along Las Virgenes Creek and the King Gillette Ranch provide foraging habitat for this species. Western kingbird (*Tyrannus verticalis*), lark sparrow (*Chondestes grammacus*), and Bell's sparrow (*Artemisiospiza belli*) have limited distribution in the North Area. (Cooper and Hamilton, 2014)

Several mammals have extremely limited distributions in the North Area including Pacific kangaroo rat (*Dipodomys agilis*), spotted skunk (*Spilogale gracilis*), western gray squirrel (*Sciurus griseus*), American badger (*Taxidea taxus*), and ringtail (*Bassariscus astutus*) (Cooper and Hamilton, 2014). American badger and ringtail are at risk from collisions with vehicles and secondary toxicity due to domestic and agricultural use of rodenticides.

2.3.1 Flora, Natural Communities, and Other Landforms

Flora

Despite its proximity to urban development and the greater Los Angeles area, the North Area exhibits exceptional biodiversity. The unique geology, including several rare soils, support an abundance of native plant species. Several species are endemic to the region and occur nowhere else in the world. Nearly 900 species of vascular plants have been recorded in the Santa Monica Mountains (Wishner, 1997), and most of these may be found in the North Area.



Wildflowers blooming within openings in coastal sage scrub

During springtime, colorful annuals are found across the North Area. Wildflowers bloom along roads and meadows while the hills come alive in deep purples and whites as colorful native shrubs such as ceanothus bloom. The abundance of wildflowers is a function of the underlying soils and different vegetation communities that occur across the North Area. Thin-soiled habitat occurring near volcanic areas and sandstone peaks are home to many unique flower assemblages, as are heavy clay soils, which often occur as “lenses” overlaying more porous volcanics. This are often identified by a burst of early-spring annual forbs, such as goldfields (*Lasthenia* spp.), ground pink (*Linanthus dianthiflorus*), sanicles (*Sanicula* spp.), and

others. Geophytes such as mariposa lilies (*Calochortus* spp.), chocolate lily (*Fritillaria biflora*), and *Delphinium* are found locally, with different species appearing throughout the spring.

Narrow leafed milkweed (*Asclepias fascicularis*), Indian pink (*Silene laciniata*), yarrow (*Achillea millefolium*), various cryptanthas (*Cryptantha intermedia*, *C. micromeres*, and *C. muricata*), and branching phacelia (*Phacelia ramosissima*) can be commonly observed. Southern California locoweed (*Astragalus trichopodus*), elegant clarkia (*Clarkia purpurea* ssp. *viminea*), annual coreopsis (*Leptosyne bigelovii*), Chinese houses (*Collinsia heterophylla* var. *heterophylla*), California gilia (*Gilia achilleifolia*), sapphire woolstar (*Eriastrum sapphirinum*) and small evening primrose (*Camissoniopsis micrantha*) are just some of the species that are seen along many of the North Area’s roadways and trails. In some locations, fields of slender mariposa lily (*Calochortus clavatus* var. *gracilis*) and Catalina mariposa lily (*Calochortus catalinae*) can be seen, and globe lilies (*Calochortus albus*) can be found in shady north-slope areas.

In addition to flowering plants, the Santa Monica Mountains and North Area is home to a variety of non-vascular plants including lichens and bryophytes. Some of these are extremely rare and there remains much to be learned about these species. Lichens are organisms that are part fungi and part cyanobacteria. Bryophytes are a diverse group that include mosses, liverworts, and hornworts. In the North Area, these species may occur in a variety of locations including areas influenced by coastal fog, thin-soiled habitat, moist areas including north facing slopes, or growing on plants in old growth chaparral communities (Knudsen and Magney, 2006). They are often a component of soil crusts and indicate areas that have not been subject to extensive disturbance.

Natural Communities and Landforms

The vegetation of the Santa Monica Mountains is extremely varied and can be categorized broadly as chaparral, coastal sage scrub, riparian scrub, riparian woodlands, oak woodlands, and annual grasslands. The North Area supports several vegetation types that are locally common but restricted regionally, such as greenbark ceanothus (*Ceanothus spinosus*) shrubland and ashy buckwheat (*Eriogonum cinereum*) shrubland.

Plant community classification is often hierarchical; that is, smaller categories defined as “associations” or “alliances” may be nested within larger categories, such as chaparral or coastal sage scrub. Within each general vegetation category, the “alliances” are usually defined by the presence of dominant or co-dominant species that exhibit the same general structure and similar ecological attributes as the broader category but vary somewhat in the species composition. Often these subtle differences in species composition reflect various levels of moisture availability, sun exposure, whether the area has experienced a recent or historic fire, soil differences, and different levels of disturbance.

Table 1 identifies the acreages of each vegetation category mapped in the North Area, and Figure 4 (Attachment 1) illustrates the vegetation distribution. See Attachment 3 for a detailed description of the vegetation mapped in the North Area by the NPS and cooperating agencies, including the alliances that fall within each category.

Table 1. Natural Communities and Landforms in the North Area			
Vegetation/Landform Type	Acres on Public Lands	Acres on Private Lands	Total Acres in North Area
Chaparral	2,997	5,572	8,569
Coastal Sage Scrub	1,519	1,858	3,377
Riparian Habitats	341	455	796
Oak Woodlands	630	608	1,238
Annual Grasslands	1,300	863	2,163
Wetlands and Water	7	51	58
Rock Outcrops	13	43	56
Vineyards and Other Agriculture	0	94	94
Disturbed, Developed, and Ruderal	212	4,014	4,226
Exotic Vegetation	18	89	107
Total:	7,037	13,647	20,684

Each general vegetation or land cover type is described along with its distribution in the North Area and the corresponding vegetation alliances, as mapped in the NPS vegetation project (Sawyer, Keeler-Wolf and Evens, 2009; CDFG et al., 2006; AIS and ESRI, 2007).

Chaparral

Chaparral consists of evergreen, broad-leafed or needle-leafed, sclerophyllous (hard-leafed), medium height to tall shrubs that form a dense cover on steep slopes below 5,000 feet in Southern California. Dominant species found within this community include various species of ceanothus (*Ceanothus* spp.), toyon (*Heteromeles arbutifolia*), scrub oak (*Quercus berberidifolia*), sugar bush (*Rhus ovata*), holly-leaved cherry (*Prunus ilicifolia*), holly leaf redberry (*Rhamnus ilicifolia*), chamise (*Adenostoma fasciculatum*), laurel sumac (*Malosma laurina*), and manzanita (*Arctostaphylos* spp.). This plant community occurs throughout the North Area and occupies most of the higher elevations and steep slopes.

Redshank chaparral is a subtype in which redshank (*Adenostoma sparsifolium*) is the dominant species with lesser amounts of other chaparral species. This community is less common in the North Area compared to other types of chaparral, and it is noteworthy because it is disjunct from extensive redshank stands located in the Peninsular Ranges, to the southeast. It occurs in small patches, on steep slopes in the far western portion of the North Area. It often occurs within a mosaic of other chaparral communities and is adapted to slightly cooler and drier microhabitats.



Chaparral Habitats in the Santa Monica Mountains

- Represent 41% of all land area with native vegetation
- Support 31% of all native species in the North Area



Riparian Habitats in the Santa Monica Mountains

- Represent 4% of all land area with native vegetation
- Support 24% of all native species in the North Area

Source: Tizsler and Sagar, 2012

Chaparral is a shrub-dominated community that often intergrades with coastal sage scrub, described below. Although these vegetation types share many common shrub and herbaceous species, the relative abundance of the species varies between the two. In addition, chaparral tends to be denser, with taller shrubs, whereas coastal sage scrub often contains larger openings between shrubs. Due to their overall similar structure and composition, many wildlife species in the North Area are widespread throughout the shrub-dominated communities. There are 8,569 acres of mapped chaparral in the North Area; approximately 2,997 acres occur on public lands.

Coastal Sage Scrub

Coastal sage scrub consists of drought-deciduous, low, soft-leaved shrubs and herbs on gentle to steep slopes under 1,500 feet in elevation. This community is dominated by California sagebrush (*Artemisia californica*), California buckwheat (*Eriogonum fasciculatum*), black sage (*Salvia mellifera*), purple sage (*Salvia leucophylla*), and California encelia (*Encelia californica*). Coastal sage scrub is distributed throughout the North Area along dry ridgelines, slopes, and areas previously disturbed by fire. Many coastal sage species can regenerate after fires by sprouting new leaves and branches from the base of the burned shrub. As a fire-prone ecosystem, it contains many fire-adapted species and is susceptible to changes in fire regimes. In coastal sage communities, more frequent fire has been shown to shift the competitive advantage toward invasive annual plants (Conlisk et al., 2016).

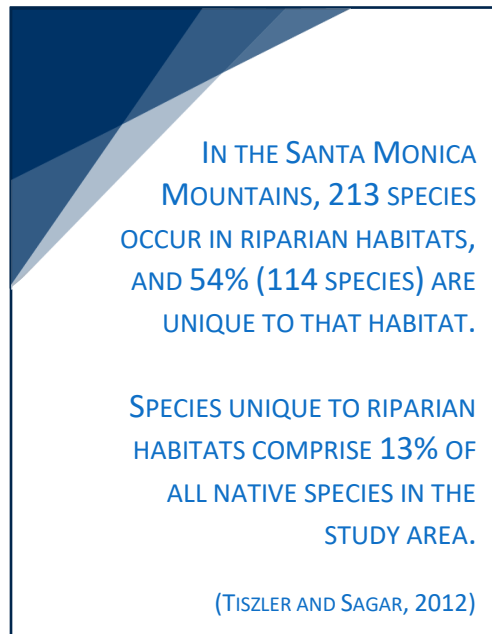


Coastal Sage Scrub

This habitat provides a unique vegetation structure and set of foraging resources that supports certain birds including the State and federally listed California gnatcatcher (*Polioptila californica californica*) (not currently known to breed in the North Area, but occurs in coastal scrub habitats in the western Santa Monica Mountains), and has experienced rapid decline in the past decade from increasing development of coastal areas within southern California as well as increased fire intervals that result in type conversion to non-native annual grasslands. There are 3,377 acres of coastal scrub mapped in the North Area; approximately 1,519 acres occur on public lands.

Riparian Habitats

Much of the natural riparian vegetation in California has been lost or degraded due to land use conversions to agricultural, urban, and recreational uses; channelization for flood control; sand and gravel mining; groundwater pumping; water impoundments; and various other alterations. Faber et al. (1989) estimated that as much as 95 to 97 percent of riparian habitats have been lost in southwestern California. Riparian communities are considered sensitive and a high priority for inventory by the California Department of Fish and Wildlife (CDFW) (CDFG, 2010).



Riparian habitats are biologically productive and diverse and are the exclusive habitat for several threatened or endangered wildlife species and many other special-status species. Many of these species are wholly dependent on riparian habitats throughout the entirety of their life cycles, while others may utilize these habitats during certain seasons or life history phases. For example, numerous amphibians breed in aquatic habitats, but spend most of their lives in upland areas.

In an otherwise arid landscape, primary productivity in riparian habitats is high due to year-round soil moisture. High plant productivity leads to increased habitat structural diversity and increased food availability for herbivorous animals, and in turn, predatory animals (reviewed by Faber et al., 1989). Insect productivity is also at relatively higher levels in riparian systems. During

the warmer months, large numbers of insects provide a prey base for a diverse breeding bird fauna, including several special-status birds. Structural diversity, including standing dead trees and fallen logs, is also much more evident in riparian systems than those of most regional uplands. Riparian woodlands tend to have multi-layered herb, shrub, and tree canopies, whereas most upland communities have a simpler structure. More complex habitat structure creates a greater diversity of nesting and foraging sites for birds. Similarly, mammal diversity is greater due to higher biological productivity, denning site availability, thermal cover, and water availability. There are 796 acres of mapped riparian vegetation in the North Area; approximately 341 acres occur on public lands.

Riparian Scrub. In the North Area, vegetation mapped as riparian scrub is typically dominated by mulefat (*Baccharis salicifolia*). This vegetation occurs on gentle to steep slopes and is widespread across the North Area in intermittent drainages. It is locally variable, and co-occurring shrubs can include arroyo willow (*Salix lasiolepis*), coyote brush (*Baccharis pilularis*), tree tobacco (*Nicotiana glauca*; nonnative), California sagebrush, and laurel sumac. Riparian scrub has sparse tree cover, but emergent or scattered coast live oak, California sycamore (*Platanus racemosa*), and red willow (*Salix laevigata*) can occur. Although alliances dominated by mulefat are not considered sensitive by CDFW, they are considered sensitive for the purposes of this report because riparian habitats are increasingly rare in California and they provide habitat for a disproportionately high number of species compared with most upland habitats, including rare and listed species. There are 11 acres of riparian scrub mapped in the North Area, with approximately 6 acres on public lands.

Riparian Woodlands. Riparian woodlands occur along perennial and intermittent streams in the North Area and have a well-established tree layer usually with sparse to open shrub and herbaceous layers. Many riparian corridors within the North Area contain perennial sections that are among the last remaining major drainages in the Santa Monica Mountains in an undeveloped condition. In the canyon bottoms are riparian forests, which are sensitive habitats because of their rarity and historic losses to

channelization and development. Most riparian forests in the Santa Monica Mountains are comprised of California sycamore and coast live oak, Fremont and black cottonwood (*Populus fremontii* ssp. *fremontii* and *P. trichocarpa*), and leatherleaf ash (*Fraxinus velutina*). Riparian woodlands can be dominated or co-dominated by California sycamore, red willow, and arroyo willow. California walnut and valley oak can also be present. Riparian communities support abundant wildlife diversity including amphibians and birds dependent on surface moisture, mule deer (*Odocoileus hemionus*), and mountain lion (*Puma concolor*), the latter of which is an indicator of large-scale ecosystem health (County of Los Angeles, 2012). There are 395 acres of riparian woodland mapped in the North Area; approximately 167 acres occur on public lands.

While not typically considered a true riparian woodland, California bay woodland is usually associated with a water source such as seeps or drainages below seeps. It occurs on moist north-facing concave to neutral slopes and protected ravine and canyon bottoms, but, can also occur on similar south facing situations. Steepness can vary from gently sloping to extremely steep on bottoms to upper slopes. There are 88 acres of California Bay woodland mapped in the North Area; approximately 43 acres occur on public lands.



Riparian woodland

Similarly, California walnut woodland is not restricted to stream channels but occurs on more mesic sites than most other upland vegetation. It is an open woodland dominated by Southern California black walnut. Occurring on moist, fine-textured soils, the open tree canopy usually has a grassy understory. Other characteristic species include coast live oak, sugar bush, and skunk bush. This community occurs in shaded ravines and on north-facing slopes, primarily with formations of marine sediments (J. Decruyenaere, pers. obs.). The North Area includes some of the largest remaining stands of California walnut woodland (AIS and ESRI, 2007). There are 306 acres of California walnut woodland mapped in the North Area; approximately 128 acres occur on public lands.

Oak Woodlands

Coast live oak woodland is dominated by coast live oak and usually has a poorly developed shrub layer, which may include toyon, currant and gooseberry (*Ribes* spp.), laurel sumac, elderberry (*Sambucus mexicana*), and mulefat. Some coast live oak woodlands in the area include scattered California walnut or valley oaks. This community occurs throughout the North Area, often along canyon bottoms and more mesic, north-facing slopes. Valley oak woodland is an open woodland community dominated by valley oak. The understory is a grassy savannah composed mostly of non-native grasses. Valley oak woodland occurs mostly in the north and central portions of the North Area in shaded ravines and on north-facing slopes. Stands of valley oaks typically occur inland and at lower elevations, in savannas on

lower slopes of rolling hills, valley bottoms, and upper terraces of floodplains. This community is regionally rare and does not occur in extensive stands (AIS and ESRI, 2007).



Oak woodland intergrading with annual grassland

Oak trees are recognized by the County as significant historical, aesthetic, and ecological resources, and impacts to oaks are regulated under the County's Oak Tree Ordinance, which requires an oak tree permit for any impacts to oak trees. Although not considered a sensitive alliance by CDFW, for the purposes of this report, coast live oak woodland is considered sensitive consistent with County ordinances and reflective of its key role in the ecology of the Santa Monica Mountains; therefore, any oak woodland regardless of dominant tree species is considered sensitive. Oak woodland habitat is very slow

growing and even modest impacts may take many years to replace.

Oak woodlands generally provide high-quality habitat for a large variety of wildlife species. They also contribute woody debris to the duff in the woodland understory, which provides foraging areas for small mammals and microclimates suitable for amphibians and reptiles. Acorns are a valuable food source for many animal species, including acorn woodpecker (*Melanerpes formicivorus*), scrub jay (*Aphelocoma corulescens*), American crow (*Corvus brachyrhynchos*), western gray squirrel (*Sciurus griseus*), and mule deer. Oak trees provide nesting habitat for numerous passerine birds as well as for raptors such as the great horned owl (*Bubo virginianus*) and red-tailed hawk (*Buteo jamaicensis*). There are 1,101 acres of coast live oak woodland and 154 acres of valley oak woodlands mapped in the North Area; approximately 507 acres and 130 acres occur on public lands, respectively.

Grasslands

Grassland communities consist of low, herbaceous vegetation that is dominated by grasses. Grasslands also harbor native forbs and bulbs, as well as naturalized annual forbs. Grasslands within the North Area include both non-native and native grasses. Non-native grassland consists of dominant invasive annual grasses that are primarily of Mediterranean origin, however, important native grasslands/native forblands can have a high representation of non-native species. Dominant species found within this community include wild oat (*Avena fatua*), slender oat (*A. barbata*), red brome (*Bromus madritensis* ssp. *rubens* [*B. rubens*]), ripgut brome (*B. diandrus*), and herbs, such as black



Annual grassland near Malibu Lake

mustard (*Brassica nigra*) and wild radish (*Raphanus sativus*). Annual grasslands are mapped in small to large patches throughout the North Area in previously disturbed areas, cattle pastures, valley bottoms, and along roadsides, but many have apparently developed naturally. Some areas mapped as annual grasslands contain a high proportion of native bunchgrasses and wildflowers such as mariposa lilies (*Calochortus* spp., many of which are considered rare species). Small patches of native grasslands and wildflower fields also occur within openings in broader areas mapped as coastal sage scrub. There are 2,163 acres of annual grassland mapped in the North Area; approximately 1,300 acres occur on public lands.

Wetlands and Water

Wetland communities are characterized by erect, rooted, herbaceous hydrophytes (plants that grow in or on water) generally less than six feet tall. These areas are typically dominated by monocots such as cattails (*Typha latifolia*), sedges (*Carex* spp.), rushes (*Juncus* spp.), and bulrush (*Scirpus* spp.). Other common species include water speedwell (*Veronica anagallis-aquatica*), lady's thumb (*Polygonum* spp.), rabbits foot grass (*Polypogon monspeliensis*), and watercress (*Rorippa nasturtium-aquaticum*). Emergent willows may also be present within these habitat areas. Only 3.78 acres of wetland sites were mapped in the NPS's mapping effort. Wetlands probably are more broadly distributed in the North Area than is represented in the NPS's data, due to mapping constraints (minimum mapping units) and their intergradation with riparian areas.

Areas mapped as water include all natural and man-made water bodies, including creeks, ponds, lakes, and open reservoirs. They also include the sparsely vegetated to non-vegetated sandy, cobble-covered, or gravelly area within a stream floodplain. A sand or gravel bar is a level flat surface that may be a transitory feature (AIS and ESRI, 2007).



Malibou Lake

Lakes and ponds are characterized by pooled water where suspended organisms (e.g., phytoplankton and zooplankton), submerged plants, and floating rooted aquatics thrive. Vegetation is usually limited to shallow edge areas and can contain dense monocultures of cattails and bulrush (typically referred to as wetlands). Other common species include lady's thumb, nutsedge (*Cyperus esculentus*), and various species of rush (*Juncus* spp.). Floating aquatic plant species include pond lilies (*Nuphar luteum*), mosquito fern (*Azolla filiculoides*), and duckweed (*Lemna* spp.). At many locations, these communities intergrade with willow riparian or scrub habitats. A few prominent

man-made lakes and ponds occur in the North Area including Malibou Lake, Rocky Oaks dam, and Lake Enchanto. There are 54 acres of lakes and ponds mapped in the North Area; approximately 6 acres occur on public lands.

Various small man-made ponds occur across the North Area. These features usually contain species compositions similar to natural ecosystems, although in some man-made impoundments, a single species may dominate. Vegetation usually includes cattails, sedges, and bulrush. Pond lilies and duckweed may also occur on the surface of ponded water.

Seeps and springs are important communities in the North Area, with a unique association of plants and wildlife including ferns and mosses, wildflowers, invertebrates, and amphibians (especially salamanders). Depending on the location, they may occur in or near an existing stream or creek, or near the base of hills and canyons. In some areas, seeps can support mature willow woodlands. Because many seep and spring communities are not subject to regular disturbance they may contain late successional stages of riparian plant communities. Seeps and springs are uncommon, valuable sources of water in the otherwise arid landscape of the North Area. Seeps and springs are small and difficult to discern on aerial imagery, and NPS did not map these features because they are smaller than the one-acre minimum mapping unit.

Rock Outcrops

This mapping category consists of a sparsely vegetated community occurring on cliffs and rock outcroppings of sedimentary, metamorphic, and volcanic rocks along the ridges and peaks of the hills and mountains. Outcrops in the Santa Monica Mountains derive from volcanic origins (mainly in the west and within the Zuma Creek watershed) or from sedimentary/sandstone origins (central ridge and Topanga). Between the rocks and in the crevices, the few plants found are usually upland species most often known from chaparral and coastal sage scrub.



Rock outcrops of all sizes can support a variety of unique species, including *Dudleya* spp. and various lichens

Rock outcrops are frequently associated with rare annuals and lichens. Other plants often found on the rock faces in protected areas include *Dudleya* spp., *Selaginella* spp., and various lichens. Agoura Hills dudleya is federally listed as Threatened and occurs on rock outcrops in and near the North Area. It is an endemic plant that occurs nowhere else on earth. Rock outcrops are found throughout the North Area, especially in areas of steeper topography. However, because many rock outcrops are smaller than the one-acre minimum mapping unit used in the NPS vegetation study, this landform is under-represented in the vegetation mapping data. Rock outcrops occur within nearly all of the vegetation types mapped within the North Area.

Vineyards and Other Agriculture

Most of the agricultural lands mapped in the North Area consists of vineyards. However, orchards supporting fig trees, citrus, and avocados also occur. It is likely that other small farms also occur but were either too small to be mapped or fell within a broader mapping category. Vineyards are prevalent

around Mulholland Highway and Kanan Dume Road and in Triunfo Canyon. Agricultural lands can be used by a variety of native wildlife which often leads to concentrations of mesopredators such as coyote (*Canis latrans*), racoon (*Procyon lotor*), and opossum (*Didelphis virginiana*) that degrade wildlife use in adjacent lands. There are approximately 94 acres of agricultural lands mapped entirely on private lands in the North Area; however, this acreage may underrepresent the actual total as new vineyards and orchards have recently been planted in the North Area.



Vineyards in the North Area

Disturbed, Developed, and Ruderal

Areas that either have existing structures (e.g. houses and roads) or areas that are devoid of vegetation due to continual disturbance by horses, vehicles, or other human causes are mapped as Developed. Developed areas include residential properties, roadways and physical structures (e.g., corrals and stables). There are 3,508 acres of land mapped as developed in the North Area; approximately 136 acres occur on public lands.



Graded fuel reduction zone

Areas mapped as disturbed include artificial cuts and embankments, cleared land, fire breaks, and areas that are regenerating after fire or clearing. These areas are often dominated by ruderal vegetation. Ruderal vegetation communities are dominated by herbaceous, introduced, pioneering plant species that readily colonize open disturbed soil and thrive as a result of human impacts. Ruderal communities may provide a certain degree of erosion control for recently disturbed or graded areas; such communities are also a threat to the natural biodiversity of an area. Invasive species continually distribute

highly competitive propagules into otherwise native vegetation; however, if ruderal grassland stands remain undisturbed for several years they can sometimes undergo succession towards more stable and less weedy plant communities. These ruderal communities may include monocultures of Russian thistle (*Salsola tragus*), black mustard, or summer mustard, or combinations of all three. Non-native and often invasive herbs may include tumbling pigweed (*Amaranthus albus*), scarlet pimpernel (*Anagallis arvensis*), mayweed (*Anthemis cotula*), pineapple weed (*Matricaria discoidea*), Italian thistle (*Carduus pycnocephalus*), red stem filaree (*Erodium cicutarium*), and sweet fennel (*Foeniculum vulgare*). Prickly

lettuce (*Lactuca serriola*), horehound (*Marrubium vulgare*), bur-clover (*Medicago polymorpha*), and cocklebur (*Xanthium spinosum*) may also occur.

There are 718 acres of land mapped as disturbed in the North Area; approximately 76 acres occur on public lands. It is important to note that many cleared areas, including fire breaks, may support native vegetation communities and rare plants and animals. Therefore, this mapping unit does not preclude an area's use as plant or wildlife habitat.

Exotic Vegetation

Exotic species are prevalent in the North Area and are a component of many native vegetation communities. Exotic species often displace native plants and wildlife but can be used by some species for nesting and foraging. They can often alter the fire ecology of a region and increase fire frequency. In the North Area, patches of giant reed (*Arundo donax*) are common in many drainages and stands of non-native pine (*Pinus* spp.), gum tree (*Eucalyptus* spp.), and black locust (*Robinia pseudoacacia*) are just a sample of the non-native species in the region that have colonized native vegetation communities.

Giant reed is an extremely invasive non-native species to southern California. Giant reed forms dense monotypic stands that outcompete most of the native species for resources. Although native birds



A field of non-native mustard

occasionally nest in this community type, giant reed provides poor wildlife habitat and can increase the fire frequency in areas that would not normally be fire prone (e.g., riparian areas).

Eucalyptus groves are characterized by gum trees (*Eucalyptus* spp.), which are non-native species originally from Australia. These trees naturalize in southern California from trees originally planted as windbreaks, ornamentals, or for fuel production. Although this vegetation is non-native, it supports many species of wildlife because it provides shelter and a good location for nests. In some locations, eucalyptus can

eliminate or greatly reduce understory vegetation due to allelopathic properties in the leaves.

Black locust is an invasive tree that naturally occurs in the southeastern United States. Black locust stands are similar to Eucalyptus groves in structure and function, and they intergrade with native vegetation communities.

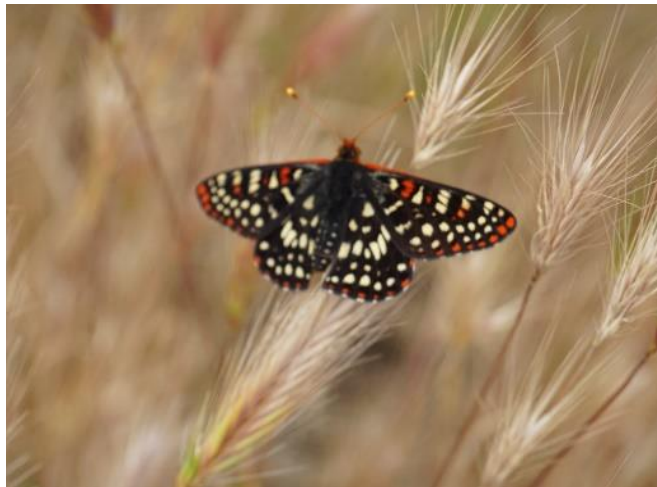
There are 107 acres of land mapped as exotic vegetation (excluding non-native annual grasslands) in the North Area; approximately 18 acres occur on public lands. These estimates likely underrepresent the acreage of exotic vegetation in the North Area.

2.3.2 Wildlife

The Santa Monica Mountains are one of the last remaining natural areas located within the greater Los Angeles area, and support hundreds of species of wildlife. For over 200 years, the mountains and surrounding areas have been subject to a suite of historic land use changes including cattle ranching, farming, residential development, and various flood control activities. Within the last 50 years, the North Area of the Santa Monica Mountains has been subject to rapid development including the construction of residential and commercial properties. Rural home sites have become more common and habitat fragmentation has occurred in many areas. In recent years, vineyards have been cultivated and a wine industry has developed in the mountains of the North Area. Similarly, many of the creeks and streams have been subjected to historic and ongoing modifications from flood control and urban development has greatly affected the abundance and distribution of native wildlife. Dams or barriers on Topanga, Malibu, and other creeks prevent fish passage and many streams no longer support native trout and other fishes. Nonetheless, while some locations have been altered the North Area still supports many acres of high-quality native vegetation. These plant communities provide habitat for a variety of common and sensitive wildlife species that utilize these areas throughout various stages of their life cycles, including breeding, foraging, dispersal, and transient uses. In addition to providing important habitat for wildlife, the North Area has been recognized as an important component of wildlife movement opportunity for many wildlife species. The following sections discuss some of the common wildlife species found in the North Area. Special-status species are discussed in Section 2.6.

Invertebrates

Many species of invertebrates can be observed in the North Area. Butterflies, moths, and other flying insects are common features to local residents. While some may be considered pests or nuisance



Chalcedon checkerspot butterfly (*Euphydryas chalcedona*)

animals to residents, as in all ecological systems, invertebrates play a crucial role in a number of biological processes. They serve as the primary or secondary food source for many fish, bird, reptile, and mammal predators. Invertebrates provide important pollination vectors for numerous plant species and act as efficient components in controlling pest populations. In addition, many invertebrates consume detritus and contribute to soil nutrient cycles.

The North Area provides microhabitat conditions suitable for a wide variety of terrestrial and aquatic insects, crustaceans, and

other invertebrates. These include deep still ponds, swift running streams with cobble and rocks, thick leaf litter, and many different vegetation communities. There is limited data available on invertebrates in the North Area. However, many species occur in the North Area with un-recorded species waiting to be discovered.

A wide variety of Anisoptera (dragonflies) Zygoptera (damselflies), Hemiptera (true bugs), Coleoptera (beetles), Diptera (flies), Plecoptera (stone flies), Lepidoptera (moths and butterflies), Hymenoptera (wasps, bees, and ants), and Trichoptera (caddis flies) are known from the North Area. Some of the many species found in this area include showy butterflies such as the western tiger swallowtail (*Papilio rutulus*), cabbage white (*Pieris rapae*), the Sara orangetip (*Anthocharis sara*), orange Sulphur (*Colias eurytheme*), painted lady (*Vanessa cardui*), and the monarch (*Danaus plexippus*). Small skippers such as the umber skipper (*Poanes meleana*), rural skipper (*Ochlodes agricola*), and the northern white skipper (*Heliopterus ericetorum*) can also be seen. Some of these species are known from urban gardens. Others such as giant swallowtail (*Papilio cresphontes*) and great purple hairstreak (*Atlides halesus*) are uncommon to the Santa Monica Mountains. The Santa Monica hairstreak (*Satyrium auretorum fumosum*), is an uncommon butterfly that is in the Santa Monica Mountains and is at risk from urbanization (NPS, 2011).

Both non-native Argentine ants (*Linepithema humile*, formerly *Iridomyrmex humile*) and native harvester ants (*Pogonomyrmex* spp.) are known from the area. The introduced Argentine ant is abundant in urban and agricultural lands throughout much of California and invades into relatively mesic natural habitat such as along river courses and in some coastal lowlands (Ward, 2005).

Stream invertebrates include aquatic larvae such as damselflies, dragonfly larvae, and water bugs (e.g. toe biters [family Belostomatidae]). These aggressive insects prey on insects, small fish and even



Non-native garden snail (top) and native shoulderband snails (bottom)

amphibians. Red swamp crayfish (*Procambarus clarki*) an invasive species is locally common in many streams across the North Area.

Several species of gastropod are known from the region. These include native and non-native snails, such as the introduced garden snail (*Helix aspersa*), decollate snails (*Rumina decollata*), an introduced predatory gastropod sold in local garden stores as a biocontrol for the garden snail, and an aquatic snail belonging to the Family Succineidae, a native, cosmopolitan family not considered rare or special-status in California. In addition, several species of native shoulderband snails (*Helminthoglypta* spp.) are known from the Santa Monica Mountains. These include the sage shoulderband (*H. salvia*), matijila

shoulderband snail (*H. willetti*), and Ventura shoulderband (*H. venturensis*). Several rare species of shoulderband snail including the Trask shoulderband snail (*H. traskii traskii*) may occur in the North Area; however, the ecology and distribution of these species remains poorly understood.

Fish

Fish can be found in aquatic habitats across the North Area, although many of the native species have now been displaced. Nonnative species include mosquito fish (*Gambusia affinis*), green sunfish (*Lepomis cyanellus*), large-mouth bass, (*Micropterus salmoides*), black bullhead (*Ameiurus melas*), and goldfish

(*Carassius auratus*). Other exotics such as common carp (*Cyprinus carpio*) and bluegill (*Lepomis macrochirus*) may also occur. These nonnative species are common in perennial stream systems and in reservoirs and lakes such as Malibou Lake.

Arroyo chub (*Gila orcutti*), a California Species of Special Concern, is known from portions of Malibu Creek and is likely found in a few other drainages. Although there are no marine fish in the North Area, all of the local drainages ultimately lead to the ocean. Therefore, impacts to water quality can have far-reaching effects on downstream species and their habitats. Southern California steelhead trout (*Oncorhynchus mykiss irideus*) is a federally listed endangered species with a unique lifecycle. Adults spend most of their time at sea, making their way up coastal freshwater streams to spawn. After the eggs hatch, the young fish remain in the streams for a couple of years before swimming back down to enter the open ocean, where they remain until they reach adulthood and are ready to begin the cycle again. The steelhead is genetically identical to the rainbow trout, a resident form of the species that stays in freshwater and does not migrate to the ocean.

The southern California steelhead trout population is adapted to the arid conditions of the coastal mountains and waterways, where creeks and rivers are often dry and inaccessible until after rains. Therefore, this population often spends several years at sea (adults) or in perennially wet portions of streams (juveniles) awaiting adequate rainfall to allow passage between upstream freshwater habitat and the ocean. Despite their adaptation to these conditions, the southern California population, including those fish that historically bred in the Santa Monica Mountains, have faced additional barriers between spawning and ocean habitat as development has occurred over the last several decades. Road crossings, dams (e.g., Rindge Dam on Malibu Creek), urban and agricultural runoff, and nonnative species have degraded habitat and severely limited or completely blocked steelhead trout access to spawning areas. Steelhead trout eggs and young require clean water with adequate food, cover, and dissolved oxygen. Unfortunately, in many historic spawning streams water quality, physical barriers, and nonnative predators such as mosquitofish and crayfish have led to the extirpation of steelhead.

The NPS, City of Malibu, Caltrans, and many other government agencies and non-governmental organizations have been working to restore habitat and connectivity for steelhead trout, and their efforts are paying off as the fish begin to move back into coastal streams. While steelhead are not known to reach up into the North Area, rainbow trout are known from the coastal zone below the Rindge Dam in Malibu and below the town of Topanga; improving connectivity to the ocean could allow these populations to assume the anadromous (steelhead) form. Current efforts within the North Area to remove physical barriers, enhance water quality, control nonnative predators, and restore riparian habitat directly contribute to the health of the steelhead trout's downstream habitats and are essential in the effort to welcome steelhead trout back into their historic habitats in the Santa Monica Mountains.

Amphibians

The most recognized sound to many rural residents in the North Area is the chorus of frogs from the many creeks and drainages. The NPS reports ten amphibian species in the Santa Monica Mountains (NPS, *no date*). These include the California tree frog (*Pseudacris cadaverina*), Baja California chorus frog (*P. hypochondriaca*), and California toad (*Anaxyrus boreas*), as well as the nonnative American bullfrog

(*Lithobates catesbeianus*). The California red-legged frog (*Rana draytonii*) is a federally listed threatened species with one very small population left in the Santa Monica Mountains, in the upper Las Virgenes Canyon area of the Simi Hills.

Most amphibians require standing or flowing water to complete their life cycle. However, some terrestrial species can survive in drier areas by remaining in moist environments found beneath leaf litter and fallen logs, or by burrowing into the soil. Many places within the North Area provide year-round habitat for a variety of amphibian species. When flowing, Triunfo, Medea, Malibu, and other creeks can provide small pools, shallow rills and runs, and deep, wide slow-moving water supporting several native and nonnative species. Adjacent upland habitat and riparian vegetation provide ample foraging opportunities. Moist microclimates under leaf litter and rocks provide habitat for terrestrial amphibians such as slender salamanders.



California red-legged frog (*Rana draytonii*)

Both newts and salamanders are documented in the North Area. These species are highly cryptic and often difficult to detect. Downed logs, bark, and other woody material in various stages of decay (often referred to as coarse woody debris) provide shelter and feeding sites for them (Maser and Trappe, 1984). California newt (*Taricha torosa*) is partially aquatic, while other local species, including black-bellied slender salamander (*Batrachoseps nigriventris*), Pacific slender salamander (*B. pacificus*), ensatina (*Ensatina eschscholtzii*), and arboreal salamander (*Aneides lugubris*), are terrestrial; all of which have been recorded in and around the North Area. Many native amphibians are adversely affected or excluded by exotic species of fish, crayfish, and frogs, which are common within watersheds of the North Area.

Amphibians can be found in many of the intermittent and perennial creeks in the North Area. Key areas include Potrero Valley Creek, Malibu Creek, Medea Creek, Las Virgenes Creek, Arroyo Calabasas, Topanga Creek, and Garapito Creek.

Reptiles

Reptiles are widespread across the North Area, in both disturbed and natural areas. Western fence lizard (*Sceloporus occidentalis*), southern alligator lizard (*Elgaria multicarinata*), side-blotched lizard (*Uta stansburiana*), gopher snake (*Pituophis catenifer*), and striped racer (*Coluber lateralis*) are broadly distributed within the uplands and along the edge of riparian habitats. The number and type of reptile species that may occur at a given site is related to a number of biotic and abiotic features. These include the diversity of plant communities, substrate, soil type, and presence of refugia such as rock piles, boulders, and native debris.

Most reptiles are difficult to detect because they are cryptic and their life history characteristics (e.g., foraging and thermoregulatory behavior) limit their ability to be observed during most surveys. Further, many species are active only within relatively narrow thermal limits, avoiding both cold and hot conditions, and take refuge in microhabitats that are not directly visible to the casual observer. These can include rodent burrows, in crevices, under rocks and boards, and in dense vegetation where they are protected from unsuitable environmental conditions and predators. In some cases, they are



Southern Pacific rattlesnake (*Crotalus viridis*)

observed only when flushed from their refugia. Since 2001, the NPS has been monitoring reptiles and amphibians at various locations within the Santa Monica Mountains National Recreation Area, including locations within the North Area, using a variety of sampling techniques (Delaney et al., 2010b). Snakes captured during the studies include western yellowbelly racer (*Coluber constrictor*), southern Pacific rattlesnake (*Crotalus viridis*), western ring-neck snake (*Diadophis punctatus*), night snake (*Hypsiglena torquata*), California kingsnake (*Lampropeltis getula*), California striped racer (*Masticophis lateralis*), and San

Diego gopher snake (*Pituophis catenifer*). Lizards found during the studies include coastal whiptail (*Aspidoscelis tigris*), western fence lizard, alligator lizard, western skink, side-blotched lizard, and Blainville's horned lizard (*Phrynosoma blainvillii*). The horned lizard is a California Species of Special Concern that has suffered range-wide population declines due to habitat loss and declines in the native harvester ants that form the majority of their diet.

Red-eared slider (*Chrysemys [Trachemys] scripta elegans*), a non-native turtle, is known from the Santa Monica Mountains and is considered a threat to native turtle populations. It may exclude or hinder the use of basking sites for native southern western pond turtles (*Actinemys pallida*), which is the only native turtle in the Santa Monica Mountains and was once common in the region's streams and ponds.

Birds

Nearly 400 species have been recorded in the Santa Monica Mountains, nearly half of the total species known from North America. The diversity of birds in the North Area is related to the size of the Santa Monica Mountains, the presence of perennial water, the geographic location near the coastal plain, and the wide variation in plant communities that provide habitat for many different groups of birds. For example, many birds are closely associated or dependent on the riparian vegetation found in many of the region's creeks and streams. Riparian systems are frequently considered one of the most productive forms of wildlife habitat in North America. Many bird species are wholly, or at least partially, dependent on riparian plant communities to perpetuate their kind (Warner and Hendrix, 1984). Some of these species are year-round residents while many of the birds that occur in the North Area are "neotropical migrant song birds" or seasonal migrants that are only present in the region during the spring and

summer months. Bird use of riparian areas does not diminish during the winter months. Studies in the Central Valley (e.g., Hehnke and Stone 1979, Motroni 1979, Gaines 1980) have indicated that the absolute numbers of wintering riparian birds may equal or even exceed the numbers present in the breeding season.



California quail (*Callipepla californica*)

Nearly half of the bird species in the Santa Monica Mountains are songbirds (passerines). Songbirds are a diverse group that includes birds such as vireos, swallows, wrens, flycatchers, warblers, tanagers, finches, grosbeaks, buntings, and sparrows. Some examples of songbirds from the North Area are ash throated flycatcher (*Myiarchus cinerascens*), Bullock's oriole (*Icterus bullockii*), lesser goldfinch (*Spinus psaltria*), and yellow-rumped warbler (*Setophaga coronata*). Other riparian birds include Wilson's warbler (*Cardellina pusilla*), MacGillivray's warbler (*Geothlypis tolmiei*), Hutton's vireo (*Vireo huttoni*), warbling vireo (V.

gilvus), and Nashville warbler (*Oreothlypis ruficapilla*). Hummingbirds are well represented in the North Area, including riparian and upland species. Some of these include Anna's hummingbird (*Calypte anna*), black-chinned hummingbird (*Archilochus alexandri*), and the aggressive Allen's hummingbird (*Selasphorus sasin*).

Aquatic birds including ducks, geese, herons, and egrets are common at perennial water sources. Over 100 species of waterbirds have been identified at Malibou Lake alone (eBird, 2017). Some of these include double-crested cormorant (*Phalacrocorax auritus*), black-crowned night heron (*Nycticorax nycticorax*), snowy egret (*Egretta thula*), Canada goose (*Branta canadensis*), mute swan (*Cygnus olor*), mallard (*Anas platyrhynchos*), pied-billed grebe (*Podilymbus podiceps*), lesser yellowlegs (*Tringa flavipes*), wood duck (*Aix sponsa*), long-billed dowitcher (*Limnodromus scolopaceus*), and green heron (*Butorides virescens*).

Other aquatic species in the North Area include American coots (*Fulica americana*), great blue heron (*Ardea herodias*), and Virginia rail (*Rallus limicola*). Canada geese are now a common visitor to the region and may be seen in large numbers in urban habitats such as large lawns, making them a potential pest.

Blue grosbeak (*Passerina caerulea*), western meadowlark (*Sternella neglecta*), and savannah sparrow (*Passerculus sandwichensis*) can be found near annual grasslands in the North Area, and California quail (*Callipepla californica*), are commonly found along the margins of scrub and grassland communities. Greater roadrunner (*Geococcyx californianus*) can be seen in grassland and sparse scrub areas, but their population has declined in portions of the North Area, particularly south of U.S. 101.

Where grasslands transition to other upland community types, western kingbird (*Tyrannus verticalis*), Cassin's kingbird (*T. vociferans*), spotted towhee (*Pipilo maculatus*), bushtit (*Psaltiriparus minimus*), black phoebe (*Sayornis nigricans*), mourning dove, Bewick's wren (*Thryomanes bewickii*), and California

towhee (*Melospiza crissalis*) can be observed. At certain times of the year large flocks of birds can be seen in these transition areas. Cedar waxwing (*Bombus cedrorum*) often forages on various fruit-producing plants and may consume elderberries and other native fruits. Western bluebird (*Sialia mexicana*), blue-gray gnatcatcher (*Poliophtila caerulea*), oak titmouse (*Baeolophus inornatus*), and California thrasher (*Toxostoma redivivum*) are also known from the North Area, and forage and nest in a



Great horned owl (*Bubo virginianus*)

variety of local habitats, from chaparral to woodland to riparian areas. The complex, intricate mosaic of vegetation communities of the North Area is strongly reflected in the mixing of bird (and other wildlife) communities here.

Raptors, owls, and vultures are commonly seen in the North Area. The broad prey base (e.g., small mammals, reptiles, and birds), presence of suitable nesting and perching sites, and access to relatively broad open foraging habitat provides abundant resources for birds of prey and vultures. Several raptor species not only forage in the North Area and vicinity but are

considered breeding residents. These include red-tailed hawk, red-shouldered hawk (*B. lineatus*), Cooper's hawk (*Accipiter cooperii*), and American kestrel (*Falco sparverius*). Cooper's hawks are often seen in residential areas waiting for small birds to prey on near backyard bird feeders.

Several species of owls are known from the North Area including barn owl (*Tyto alba*), great horned owl (*Bubo virginianus*), western screech owl (*Megascops kennicottii*), and long-eared owl (*Asio otus*). Barn and great horned owls can be commonly seen near developed areas and are urban adapted species. Burrowing owl (*Athene cunicularia*), a California Species of Special Concern, was known from the vicinity of the North Area and surrounding areas prior to 1990s, when rapid residential and commercial development began, and cattle grazing ceased. This species may be found in grasslands and open shrub communities in primarily agricultural areas of the state and may return to the North Area with specific management. Osprey (*Pandion haliaetus*) can be observed near reservoirs in the region but does not breed. Golden eagle (*Aquila chrysaetos*) historically bred in the Santa Monica Mountains including Malibu Creek State Park, into the 1990s; however, the species may no longer breed in the area, although it still occurs as a rare fall and winter visitor (NPS, *no date*). White-tailed kite also formerly nested in the early 2000s and may still do so irregularly. Turkey vultures (*Cathartes aura*) are an iconic species in the North Area and can be observed soaring over the foothills or roosting in large gum trees. This species is often seen eating roadkill along the many roads that bisect the Santa Monica Mountains, and nests in remote rock outcrops and other difficult-to-access habitats.

In addition to songbirds, the Santa Monica Mountains also supports eight species of woodpeckers, three native doves, three nonnative doves and pigeons, and the belted kingfisher (*Megasceryle alcyon*). The

western scrub jay and American crow are often heard and seen in a variety of habitats from scrub communities to oak woodlands and savannahs, to residential neighborhoods and backyards.

Several exotic species including the brown-headed cowbird (*Molothrus ater*), feral pigeon or rock dove (*Columba livia*), and European starling (*Sturnus vulgaris*) occur in the North Area. Cowbirds are a known brood parasite to many native species including listed species such as the least bell's vireo (*Vireo bellii pusillus*). Six species of free-flying parrots and parakeets have been observed in the Santa Monica Mountains, but black-hooded (or Nanday) parakeet (*Nandayus nenday*) is by far the most common, and breeds in tree cavities, largely south of U.S. 101; all are nonnative and are the descendants of escaped or released pets (NPS, *no date*).



Six species of parrots and parakeets reside in the Santa Monica Mountains, descendants of escaped pets

Mammals

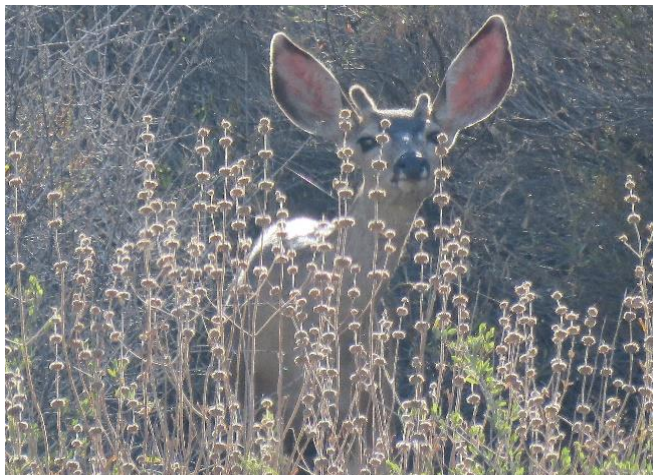
The North Area is home to a variety of mammals which contribute to the wilderness experience that many people enjoy in the Santa Monica Mountains. Mule deer (*Odocoileus hemionus*) and coyote (*Canis latrans*) can often be observed in fields or along the urban-wildlands interface. Botta's pocket gopher (*Thomomys bottae*) leave conspicuous burrows across lawns and natural lands while ground squirrels (*Otospermophilus beecheyi*) are common to rural and natural areas alike. Urban-adapted species such as racoon (*Procyon lotor*), striped skunk (*Mephitis mephitis*), or Virginia opossum may be the most commonly observed mammals in the North Area as they are frequent visitors to trash cans or back yard feeders. However, these species represent only a small subset of the 45 species of mammals that occur in the North Area and Santa Monica Mountains (NPS, *no date*). Mammals use virtually every habitat type and landform and some species have adapted to "urban living".

The type and distribution of mammals in the North Area is strongly associated with the presence of such factors as access to perennial water, the complex topographical and structural components (e.g., rock piles, stream terraces, hills, grasslands, and chaparral) that provide cover and support prey base, the presence of suitable soils for fossorial mammals, and access to adjacent habitat to support both gene flow and dispersal.

Other small mammals include California vole (*Microtus californicus*) and Pacific kangaroo rat (*Dipodomys agilis*). In some areas, these species leave evidence of bioturbation (e.g., tunneling and burrowing) that is easily detected. Several species of native mice occur including the brush mouse (*Peromyscus boylii*), deer mouse (*P. maniculatus*), and the western harvest mouse (*Reithrodontomys megalotis*). Shrews

including the desert shrew (*Notiosorex crawfordi*) feed on small insects across the North Area. Big-eared woodrat (*Neotoma macrotis*) is found across a variety of habitats including riparian and chaparral communities. These species build large middens that appear to be a pile of sticks and debris, often at the foot of a large shrub or bush. These middens house the animals and they may be placed on the ground or in trees. Depending on the fire frequency, some middens may be many years old. The San Diego desert woodrat (*N. lepida lepida*), a State Species of Special Concern, may also occur in the region, mainly in more arid areas, often with patches of cactus (*Opuntia* spp.). Cottontails (*Sylvilagus audubonii* and *S. bachmani*) are common and can be seen in many locations.

Mid-size mammals including raccoon, striped skunk, coyote, long-tailed weasel (*Mustela frenata*), and bobcat (*Lynx rufus*) are found throughout the North Area and are often observed by rural residents. The tracks and spoor of raccoons and other small mammals can often be found along the margins of creeks. Although less common, spotted skunk (*Spilogale putorius*), Merriam's chipmunk (*Tamias merriami*), and western gray squirrel (*Sciurus griseus*) also occur. Chipmunks are found north of U.S. 101 (within the Simi Hills), and the western gray squirrel is apparently restricted to areas south of U.S. 101. The non-native fox squirrel (*S. niger*) has displaced the western gray squirrel in many areas of the region (Cooper, 2017). Rare species such as the ringtail (*Bassariscus astutus*), a State Fully Protected Species, and American badger (*Taxidea taxus*), a State Species of Special Concern, occur in a few locations in the North Area, although they are rarely seen by the public.



Mule deer (*Odocoileus hemionus*)

Perhaps the most celebrated mammal of the Santa Monica Mountains is the mountain lion, which at up to 150 pounds is the largest mammal in the Santa Monica Mountains. The NPS has been tracking large carnivores, including mountain lions, in and around the Santa Monica Mountains and Simi Hills since 1996. These studies and others have identified the degree to which urbanization and habitat fragmentation are affecting this species. Data from wildlife cameras and animals' collars have shown that mountain lions move freely throughout the entire mountain range.

However, roadways such as the U.S. 101 freeway, the U.S. 405 freeway, and Highway 23 outside of the North Area are substantial barriers to movement. NPS data show mountain lions repeatedly encountering the U.S. 101 freeway and turning back. In recent years, several mountain lions have attempted to cross area freeways, but have been killed by vehicles. The Liberty Canyon area is the only known location where mountain lions have successfully crossed U.S. 101 freeway in the North Area, moving between the Santa Monica Mountains and the Simi Hills. Section 2.10 provides more information on wildlife movement in the region.

The black bear (*Ursus americanus*) is not considered native to the area. Periodic sightings (and occasional roadkill) of this species have recently occurred, presumably of animals moving south from the Santa Susana Mountains through the Simi Hills.

There are several species of bats known from the North Area and bats can be commonly seen flying above creeks and streams in the early evening. Bats forage over most of the North Area where they prey on small insects, moths, and other invertebrates. Many bats concentrate foraging activities in riparian and wetland habitats where insect abundance is high (CDFG, 2000). Common bats recorded from the Santa Monica Mountains include Mexican free-tailed bat (*Tadarida brasiliensis*), canyon bat (*Parastrellus hesperus*), California myotis (*Myotis californicus*), and big brown bat (*Eptesicus fuscus*). Some of the special-status bats detected in and near the North Area include pallid bat (*Antrozous pallidus*), Yuma myotis (*M. yumanensis*), long-eared myotis (*M. evotis*), western small-footed myotis (*M. ciliolabrum*), Townsend's big-eared bat (*Corynorhinus townsendii*), and western mastiff bat (*Eumops perotis*) (Brown and Berry, 2005).

Migrant bats such as the western red bat (*Lasiurus blossevillei*) and the hoary bat (*L. cinereus*) may occur in riparian areas in the spring and early fall. Bats in the North Area may roost in trees, rock crevices and outcrops, caves, bridges, and buildings.

Some introduced mammals, such as fox squirrel (*Sciurus niger*), house mouse (*Mus musculus*), and Norway rat (*Rattus rattus*) are common near developed areas; they have expanded locally into natural areas and therefore pose a potential threat the ecosystem of the North Area. Portions of the North Area are also frequented by domestic animals including house cat (*Felis catus*) and domestic dog (*Canis familiaris*).

2.4 Special-Status Plants and Wildlife of the North Area

The North Area is home to a wide variety of species that are considered rare by State, federal, or local governments (see Attachment 2 and Figure 5). Some of these species are afforded protection under the State or federal Endangered Species Acts, are Fully Protected, or require special consideration and protections when planning and implementing development or conservation projects. There are also many species that are considered locally rare or uncommon in the Santa Monica Mountains and the North Area. Special-status species are plants and animals that meet one or more of the following criteria:

- Have been designated as either rare, threatened, or endangered by CDFW or the USFWS, and are protected under the California or federal Endangered Species Act (ESA);
- Are candidate species being considered or proposed for listing under these same acts;
- Are considered Species of Special Concern by CDFW;
- Are fully protected by the California State Fish and Game Code, Sections 3511, 4700, 5050, or 5515;
- Are classified as California Rare Plant Rank (CRPR) 1, 2, 3, or 4 by CDFW and the California Native Plant Society (CNPS);
- Are of express concern to resource/regulatory agencies or local jurisdictions;

- Are locally uncommon in the North Area; or
- Are listed on watch lists or provided with special conservation designations by professional working groups/societies (e.g., Western Bat Working Group).

Of the many different plants and wildlife that occur in the North Area, there are several federally listed, state-listed, or fully protected species that are known to occur here, or that have the potential to occur and are found nearby. Listed or fully protected species include:

- Braunton's milk-vetch (*Astragalus brauntonii*), Federally Endangered
- Agoura Hills dudleya (*Dudleya cymosa* ssp. *agourensis*), Federally Threatened
- Marcescent dudleya (*Dudleya cymosa* ssp. *marcescens*), Federally Threatened and State Rare
- Santa Monica Mountains dudleya (*Dudleya cymosa* ssp. *ovatifolia*), Federally Threatened
- Santa Susana tarplant (*Deinandra minthornii*), State Rare
- Lyon's pentachaeta (*Pentachaeta lyonii*), State and Federally Endangered
- Santa Cruz Island fringe-pod (*Thysanocarpus conchuliferus*), Federally Endangered
- California red-legged frog (*Rana draytonii*), Federally Threatened
- Ringtail (*Bassariscus astutus*), State Fully Protected
- White-tailed kite (*Elanus leucurus*), State Fully Protected
- Golden Eagle (*Aquila chrysaetos*), State Fully Protected, Bald and Golden Eagle Protection Act
- Peregrine Falcon (*Falco peregrinus anatum*), State Fully Protected
- Tricolored blackbird (*Agelaius tricolor*), State Candidate for listing as Endangered

2.4.1 Plants

Braunton's milk-vetch is a short-lived perennial plant in the pea family (Fabaceae) that occurs on limestone soils, which are rare in its range. It is known as a "fire-follower" and requires fire or other disturbance to reproduce. Plants emerge following a burn. Braunton's milk-vetch has an estimated lifespan of two to three years, and depending on fire interval, a given population may only be visible once every 20 to 50 or more years (USFWS, 1997). It is very difficult to determine the extent and viability of Braunton's milk-vetch populations because they are not detectable in habitats that have not recently burned, even if they are present in the seedbank. This species is known from areas near Topanga Canyon and along the western edge of Upper Las Virgenes Open Space.

Live-forevers Three rare subspecies of live-forever (*Dudleya cymosa* ssp.) are narrowly endemic and federally listed as threatened. Marcescent dudleya (*D. c. ssp. marcescens*) is also state-designated as rare. Agoura Hills dudleya (*D. c. ssp. agourensis*) occurs at scattered locations along the north-facing slopes of the Santa Monica Mountains from the Westlake Village area to Agoura Hills (USFWS, 1997), and several populations are known from within and just north of the North Area. Santa Monica Mountains dudleya (*D. c. ssp. ovatifolia*) is known from only a few locations on north facing slopes from Westlake to Agoura Hills on Ladyface Mountain, in Malibu Creek State Park, west of Paramount Ranch, and from portions of Malibu and Topanga Canyons.

Several of the Agoura Hills dudleya populations are on private lands zoned for commercial or residential development along the north slopes of Ladyface Mountain. Marcescent dudleya is known from approximately seven occurrences in the Santa Monica Mountains ranging from Hidden Valley to Malibu Creek State Park. Threats to the known populations include development on private lands and recreational use on park lands, particularly rock climbing, foot traffic, and collection. Fire is also a threat. Both plants occur only on volcanic or sandstone rock outcrops with specific microhabitat characteristics (USFWS, 1997). Santa Monica Mountains dudleya is also at risk from development pressure near Kanan Road and Ladyface Mountain.

Santa Susana tarplant is State-listed as rare and has a CRPR of 1B.2. It is a subshrub in the sunflower family (Asteraceae) that is endemic to the Santa Susana Mountains, Simi Hills, and Santa Monica Mountains in Los Angeles and Ventura Counties. It occurs in open sandstone habitats (outcrops and surrounding soils) within chaparral and coastal sage scrub. It is known from Calabasas Peak in the North Area, and several records in the Santa Monica Mountains and Simi Hills near the North Area (Calflora, 2018).

Lyon's pentachaeta is federally and state-listed as endangered. It is a small member of the daisy family that prefers compact, clay soils in bare patches within areas with sparse vegetation cover, such as openings within coastal sage scrub or along stream terraces. This annual plant is endemic to Los Angeles and Ventura Counties, and is not thought to have ever had a widespread distribution. Its population is now estimated to have declined by half, with several historic subpopulations now thought to be extirpated. A population at Saddle Rock Ranch near Seminole Hot Springs has been extirpated and is now an avocado orchard. Extant populations occur in Triunfo Park, Cornell, Rocky Oaks, upper Westlake Blvd., La Sierra Canyon west of Seminole Hot Springs, Malibou Lake Dam area, and north and east slopes of Ladyface Mountain; critical habitat is also designated at these locations. It also occurs at Paramount Ranch and along Bodle Peak Motorway near the southwestern North Area boundary. Portions of a population near Lake Eleanor that fall within the North Area may have been extirpated by development, and another population in Malibu Creek State Park on the border of the North Area is thought to be extirpated.

Most of the designated critical habitat units for Lyon's pentachaeta occur partially or entirely within in the North Area. These areas include the south end of Malibou Lake; in the rolling slope area of Medea Creek south of the City of Agoura Hills; near the confluence of Lobo and Triunfo creeks; La Sierra Canyon just west of Seminole Hot Springs; at Rocky Oaks Park; on the east and west ridgelines of Las Virgenes Reservoir extending to the drainage junction with Triunfo Creek and along Decker Road to the ridgeline area of Mulholland Highway; and in the upper reaches of Trancas Canyon just south of Mulholland Highway (see Figure 5a). The remaining critical habitat units for this species are in nearby Ventura County. Despite the designation of critical habitat, this species may be encountered on thin volcanic-derived soils virtually anywhere in the North Area or may be absent across large areas within mapped critical habitat.

Santa Cruz Island fringe-pod is federally listed as endangered. It is an annual herb in the mustard family (Brassicaceae) that blooms from March through April, and only produces one seed per flower. It occupies rocky outcrops, ridges, and canyon slopes (USFWS, 2009). It was recorded in 2009 just outside

the North Area boundary along the Pentachaeta Trail south of Lindero Canyon Road and Triunfo Canyon Road, as well as Malibu Creek State Park near the cabin site (Calflora, 2018).

2.4.2 Wildlife

California red-legged frog is a federally listed threatened species with one very small population left in the region, in the upper Las Virgenes Canyon area of the Simi Hills. This frog was made famous by the Mark Twain novel, *The Celebrated Jumping Frog of Calaveras County*, and was overharvested for food and scientific research in the 19th and 20th centuries. Habitat loss and degradation, including water diversions that deplete the streams and deep pools on which they depend, have also contributed to the species' decline. Agencies and organizations such as the NPS, U.S. Geological Survey (USGS), MRCA, USFWS, the Santa Monica Bay Restoration Commission, and the Santa Barbara Zoo are working to reintroduce California red-legged frogs into suitable habitat on federal and state parklands in the Santa Monica Mountains, including within watersheds of the North Area. NPS biologists found nine egg masses in a reintroduction location in March 2017, indicating that frogs reintroduced in the area in 2014 are successfully breeding on their own. These results give hope that California red-legged frogs can re-establish a more widespread presence in the region. Re-establishing multiple populations in the Santa Monica Mountains will help prevent extirpation of red-legged frogs, acting as "insurance" against catastrophic events. Designated critical habitat abuts the northern boundary of the North Area in upper Las Virgenes Canyon, but does not extend into the North Area (see Figure 5b in Attachment 1). However, this species may be encountered in wetland-riparian habitat throughout the Las Virgenes Canyon watershed, as recent sightings have been made within Calabasas near U.S. 101.

Ringtail is a small carnivore related to the racoon and is a State fully protected species. This beautiful animal has a long black and white banded tail. These solitary animals occur in chaparral, oak woodlands, and riparian habitats within canyons; especially on steeper south or west-facing slopes with oaks or other hardwoods present (Grinnell, Dixon, and Linsdale, 1937; Vaughan, 1954; Campbell, 2004). Ringtails are similar to raccoons in that they are often found within near of a permanent water source (Zeiner et al, 1990). Ringtails have been observed in Malibu Creek State Park and periodically observed by climbers and hikers elsewhere.

White-tailed kite is fully protected in California. It is a small raptor known for its habit of hovering in place over open fields while foraging for small rodents. It is a resident species in a variety of open habitats including grassland with sparse oaks, desert grassland, agricultural fields, and marshes. It requires trees for perching and nesting, and open habitats with large populations of rodents for foraging. It formerly nested widely across the North Area, including the wildland-urban interface, but there have been few nest records since 2012. This apparent decline is likely due to drought.

Golden eagle is fully protected in California and is federally protected under the Bald and Golden Eagle Protection Act. It is a year-round resident throughout most of its range in the western U.S. In the southwest, it is more common during winter when eagles that nest in Canada migrate south into the region. Golden eagles generally nest in steep, rugged terrain, often on sites with overhanging ledges, cliffs, or large trees that are used as cover. Foraging habitat consists of open terrain including grasslands, deserts, savanna, and early successional forest and shrubland habitats. It preys primarily on rabbits and

rodents, although it will take other mammals, birds, reptiles, and some carrion. It historically nested in the North Area (prior to 2000) and is now recorded only occasionally in the fall and winter.

Peregrine falcon is fully protected in California. It was previously federally and state-listed as endangered. It was removed from the federal endangered species list in 1999, and from the California endangered species list in 2009. The peregrine falcon occurs throughout much of the world and is one of the fastest flying birds of prey. It feeds almost entirely on birds, which it kills while in flight. This falcon primarily nests on ledges and caves of steep cliffs, but will also nest in trees, electric transmission towers, buildings, and other man-made structures, particularly if it is using nests constructed by other species (Luensmann, 2010). In California, it nests along the entire coastline, the Cascade Ranges, and the Sierra Nevada. During winter and migratory periods, it can be found throughout the State (White et al. 2002). Peregrine falcon is frequently recorded in the North Area in fall and winter (eBird, 2017); and recent nesting was documented in Topanga Canyon State Park (NPS data).

Tricolored blackbird is an endemic to California where it can form huge nesting colonies in the central Valley. Grinnell (1898) reported this was in “considerable numbers” throughout the year in Los Angeles County; however, this bird is uncommon in the Santa Monica Mountains. Tricolored blackbirds typically require freshwater marshes to breed and breeding sites support open accessible water; a protected nesting substrate, including either flooded or thorny or spiny vegetation; and a suitable foraging space providing adequate insect prey within a few kilometers of the nesting colony (Beedy and Hamilton 1997). The tricolored blackbird has been recently recorded at a pond in the North Area near Mulholland Highway where it was thought to be nesting (CDFW, 2017a); however, further investigations should be completed to determine if the birds are nesting at this location or if these were transient birds. This species is a candidate for state listing as endangered.

Attachment 2 presents the listed and other special-status species known or with potential to occur in the North Area.

2.4.3 Other Special-status Species

In addition to the listed species and fully protected species above, numerous vertebrates ranked as California Species of Special Concern and plants included in the California Rare Plant Ranking system occur or may occur in the North Area and are dependent on its habitats for at least a portion of the year. All special-status species potentially occurring in the North Area are identified in Attachment 2, with brief summaries of their habitats, conservation status, and potential to occur. Many of these species trigger various management responsibilities for landowners during the CEQA process, and so are important to consider in environmental planning. The special-status species known from the North Area are listed below:

- Malibu baccharis (*Baccharis malibuensis*) – rocky areas in chaparral, lower Las Virgenes Canyon
- South Coast Range morning-glory (*Calystegia collina* ssp. *venusta*) – volcanic outcrops, especially in the vicinity of Malibou Lake
- Round-leaved filaree (*California macrophylla*) – grassland in heavy clay soil, often with other scarce forbs

- Ojai navarretia (*Navarretia ojaiensis*) – clay lenses at interface between oak woodland and grassy openings
- Catalina mariposa lily (*Calochortus catalinae*) – heavy clay soil
- Slender mariposa-lily (*Calochortus clavatus* var. *gracilis*) – various habitats
- Plummer's mariposa-lily (*Calochortus plummerae*) – various habitats
- San Bernardino ringneck snake (*Diadophis punctatus modestus*) – various habitats
- Two-striped gartersnake (*Thamnophis hammondi*) – riparian corridors, usually with permanent water
- Southern western pond turtle (*Actinemys pallida*) – pools along permanent creeks, small ponds
- Coast horned lizard (*Phrynosoma blainvillii*) – sandy soils, often along ridgelines
- Coastal whiptail (*Aspidoscelis tigris stejnegeri*) – various habitats
- Loggerhead shrike (*Lanius ludovicianus*) – extensive grassland, often with low, scattered shrubs
- Northern harrier (*Circus cyaneus*) – extensive grassland
- Yellow-breasted chat (*Icteria virens*) – dense riparian vegetation near permanent water
- Yellow warbler (*Setophaga petechia*) – high-canopy riparian woodland
- Long-eared owl (*Asio otus*) – stringers of willows and oaks through grassland
- Bats (various)

2.4.4 Uncommon or Locally Rare Species

The Santa Monica Mountains and portions of the North Area support a variety of plants and wildlife that are considered uncommon or rare in the region. Some of these species, such as California juniper, are widespread in Los Angeles County, yet occur in the Santa Monica Mountains at only a few locations within the North Area. Other species such as tidytips (*Layia platyglossa*), a small yellow-colored daisy, were once common in the range, and are widespread in the Antelope Valley and Mojave Desert, but now occur in only a few locations of the North Area.

Birds including greater roadrunner (*Geococcyx californianus*), northern harrier (*Circus cyaneus*), and Bell's sparrow (*Artemisiospiza belli*) were once more common and are now observed less frequently in the North Area. Mammals such as the American badger may no longer occur, and the western gray squirrel is being displaced by the non-native fox squirrel. In addition, several species of butterfly including the cloudy tailed-copper (*Lycaena aorta*), Comstock's fritillary (*Speyeria callippe comstocki*), and Gorgon copper (*Lycaena gorgon*) have experienced declines in recent years. Similarly, California treefrog, a species common to southern California streams, has been extirpated from many drainages in the North Area. Most of these species do not have a designated conservation status; nonetheless, resource agencies and local experts consider them to be locally uncommon and warrant additional consideration.

2.5 Species Diversity and Ecosystem Health in the North Area

Broadly speaking, biodiversity is defined as “the assemblage of all living organisms that interact within an ecosystem.” Ecosystems support all forms of life, moderate climates, filter water and air, conserve soil and nutrients and control pests (Vold and Buffett, 2008). An ecosystem can range from a pond and the organisms that live there to the Earth; yet all are inexorably linked together.

One of the top threats to biodiversity in the modern world, and particularly in southern California, is habitat loss and fragmentation. These factors have contributed to most of the species population declines and local extinctions in the state. Slowing and reversing these trends requires conserving large, connected areas of wildlands that allow for movement and gene exchange. This is particularly urgent in California, as the California floristic region is considered one of the 25 most important biological diversity hotspots in the world. However, southern California is also the largest urban area in the U.S. and is still rapidly urbanizing (Penrod et al., 2006). These factors underscore the importance of the Santa Monica Mountains, including the North Area, as a remaining core habitat area amidst the urbanization of the greater Los Angeles basin.

For the Santa Monica Mountains, the North Area is but one part of the broader range which stands isolated in many locations because it is largely surrounded by urban centers. However, despite large areas of natural lands many species are no longer common or have been extirpated from the region. American badger, a once common animal, may no longer occur or may be restricted to roadless areas with the most extensive open space. Badgers are extremely vulnerable to mortality from vehicle collisions and from ingesting rodents that have eaten pesticides. Mountain quail are no longer present in the North Area and spotted skunk are now uncommon. California tree frog, a species common to streams across the west, is now absent from many urban streams and southern western pond turtles are known from only a few locations. Native fish may no longer occur. Habitat loss, development, and water diversions have all contributed to the decline of native species in the region.

The North Area supports large areas of natural lands and large tracts of land are conserved as parkland or open space. Nonetheless, the influences of urbanization affect the region and natural ecosystems have been altered or degraded in many areas. This can often be detected by looking at the assemblage of plant and wildlife species in each habitat type. *Indicator species* are those plants or animals that are closely associated with a particular habitat type, and that are sensitive to changes in ecosystem health. Indicator species are generally not tolerant of disturbances to their habitat. Because of their sensitivity, they can be indicators of ecosystem health. Areas that support a broad diversity of native plant species such as California cottonrose (*Logfia filaginoides*), false nest straw (*Ancistrocarphus filagineus*), everlasting nest straw (*Stylocline gnaphaloides*), Turkish rugging (*Chorizanthe staticoides*), and other annuals can be an indicator of floristic health. In addition, certain lichens and plants are sensitive to heavy metals, acids, and other environmental toxins, and their disappearance from a site can suggest contamination or air pollution. Conversely, the presence of wildlife indicator species can suggest that the ecosystem is healthy and is not under strain from pollution, disturbance, or other factors. Table 2 identifies some indicator species for various habitats in the North Area (Cooper, 2017).

Table 2. Indicator Wildlife Species in Santa Monica Mountains North Area Habitats

Habitat	Indicator Species		
Oak Woodland	<ul style="list-style-type: none"> Western gray squirrel California sister Northern flicker 	<ul style="list-style-type: none"> Acorn woodpecker Hutton's vireo Oak titmouse 	<ul style="list-style-type: none"> White-breasted nuthatch Arboreal salamander Monterey ensatina
Riparian	<ul style="list-style-type: none"> Ringtail Downy woodpecker Black-chinned hummingbird Western wood-pewee Warbling vireo Yellow warbler 	<ul style="list-style-type: none"> American goldfinch Arroyo chub Two-striped garter-snake Western pond-turtle California treefrog 	<ul style="list-style-type: none"> Coast Range newt Southern steelhead Fatal metalmark Lorquin's admiral Satyr anglewing
Grassland	<ul style="list-style-type: none"> Bats (foraging) American kestrel Barn owl Badger 	<ul style="list-style-type: none"> Pacific kangaroo-rat Northern harrier White-tailed kite Loggerhead shrike 	<ul style="list-style-type: none"> Blue grosbeak Western meadowlark Yellow-bellied racer California ringlet
Rock Outcrop	<ul style="list-style-type: none"> Bats Spotted skunk Turkey vulture 	<ul style="list-style-type: none"> Golden eagle* Violet-green swallow Canyon wren 	<ul style="list-style-type: none"> San Diego mountain kingsnake
Scrubland	<ul style="list-style-type: none"> Pallid bat Desert woodrat (cactus) Brush rabbit Mountain quail 	<ul style="list-style-type: none"> Greater roadrunner Blue-gray gnatcatcher Bell's sparrow Rufous-crowned sparrow 	<ul style="list-style-type: none"> Lawrence's goldfinch Coast horned lizard Coast patch-nosed snake Chalcedon checkerspot

Source: Cooper, 2017

*extirpated

2.6 Stream Function

Stream function is another indicator of ecosystem health. The major drainages in the North Area support stretches of well-developed riparian communities, which are essential to biodiversity. Natural watercourses provide water, food and cover for wildlife and provide an ecological link between the upland and marine environments. They also contribute to regional and continental connectivity by providing shelter and forage for many migratory bird species, which supplies biodiversity over several spatial scales. Riparian corridors also buffer against erosion, regulate nutrient cycling, allow for sediment and rich biomass (leaves, etc.) to move to downstream areas, and provide barriers to fire spread (Tiszler and Sagar, 2012).

Many of the stream systems in the North Area are compromised by poor water quality, invasive species, urban development, and historic water diversions. Creeks, streams, ponds, and other water bodies and their associated riparian habitats are particularly sensitive to a variety of effects; they also support a disproportionately high number of species that depend on water availability and the dense and usually multi-structured vegetation for shade and protection. Other animals use riparian areas to forage; the higher concentration of plants (due to available water and cooler microclimates) feeds herbivorous species, and the higher number of both aquatic and terrestrial animals in these locations means greater prey availability for predatory animals. Drainages also provide local movement corridors for many animals and support a wide variety of breeding birds in the spring and summer.

Aquatic and riparian habitats are vulnerable to a variety of adverse effects. Even small changes in water availability can kill some plants and aquatic animals, which creates a cascade of adverse effects through the suite of species that depend on them in turn. For example, an unpermitted water diversion restricts

water flows to downstream habitats. Left unchecked, this can result in local extirpation of fish and amphibians downstream from the lack of water. It can also change the composition of habitat by creating conditions that are favorable for weed infestation. Weedy species that infest riparian areas are often more tolerant of variations in water availability than native plants, which can allow them to invade an area and crowd out other species.

Many of the drainages in the North Area are downstream of urbanized areas and routinely convey urban run-off. While runoff can provide a consistent source of water, it also contains residual fertilizers, pesticides, motor oil, soaps, and other pollutants. A consistent pattern of ecological degradation has been observed in streams that drain urban areas across the globe, and ecologists have termed this phenomenon the “Urban Stream Syndrome.” Symptoms include more frequent and larger flow events, higher concentrations of nutrients (e.g., fertilizers) and contaminants, changes to channel banks and stability, and reduced biodiversity with a higher concentration of tolerant (usually nonnative and invasive) species (Walsh et al., 2005).

Non-native aquatic species in the Santa Monica Mountains include red swamp crayfish (*Procambarus clarkii*) native to the southeastern United States, American bullfrogs (*Lithobates catesbeianus*), and a number of fish species including bass, bluegill, and mosquitofish (Delaney and Riley, 2016). Various studies have documented an inverse relationship between the presence of invasive aquatic species and native aquatic species in the Santa Monica Mountains, including special-status species (Delaney and Riley, 2016).

2.7 Buffer Areas

Buffer areas between development and wildlands are important to minimize some of the effects of development including noise, light, invasive species (e.g., weeds, Argentine ants), and other factors that degrade habitats. They may also refer to areas around a particular habitat type that support foraging or some other activity of a given species, but do not necessarily comprise its primary habitat. Virtually any habitat type may serve as a buffer area, depending on the resources being buffered, and the local impact. The size of an effective buffer varies greatly depending on such factors as level of disturbance, land use, sensitivity of adjacent areas, and target species. Buffer areas can help maintain habitat connectivity and wildlife movement corridors. Buffers surrounding development are a valuable tool in helping to protect sensitive habitats from the effects of urbanization.

Buffer areas themselves may also provide secondary, though essential habitat for habitat specialist plants and animals. Terrestrial habitats adjacent to wetlands are integral to the survival of many semiaquatic species who depend on them to complete their life cycle. Thus, management of natural resources in wetland areas necessarily includes management of these core habitats. Semlitsch and Bodie (2003) found that, for amphibians, core terrestrial habitat ranged from 159 to 290 meters (521 feet to 951 feet) from the edge of the aquatic site, although this may differ in various locations depending on slope, soil type and vegetative cover. Rottenborn (1997) also showed that the proportion of native bird species declined the closer a plot was to developed areas; however, some urban tolerant species can effectively use developed areas for foraging and nesting. Data from these studies emphasized the

importance of preserving buffer areas around core terrestrial habitats for feeding, hibernating and aestivating, and nesting.

Buffers are particularly important along riparian corridors. Vegetation along stream corridors help hold soil in place and prevent erosion, filter out pollutants, and keep excess sediment from entering the waterway. Shade helps keep water cool and maintains suitable habitat for many aquatic fish, reptiles, and amphibians. Vegetation in riparian buffers also provides nesting and foraging habitat for birds and shelters an abundance of insects and other invertebrates that play many important roles in the ecosystem, including food sources for other wildlife, pollination for plants, and decomposition. Work completed by the Santa Monica Mountains Resource Conservation District (SMMRCD) found southern western pond turtles nesting well away from riparian areas in upland habitat. Similarly, two-striped garter snake is known to winter in upland habitat far away from riparian areas. To maximize the ecological value of a buffer it should be designed to also function as wildlife corridors when possible, linking larger habitats and providing a dispersal route for wildlife (Fischer and Fischenich, 2000).

2.8 Biological Connectivity in the Santa Monica Mountains

An important component to biodiversity and ecosystem health is the ability for plants and wildlife to move among local populations in adjacent areas. In the short term, movements can support demographic stability of small localized populations. In the longer term, it can maintain genetic diversity among semi-isolated local populations. This movement is accomplished by the movement or dispersal of pollen in the wind, seeds transported by birds or animals to other areas, and through the dispersal of animals to adjacent habitat. Development can hinder this process and isolate species from adjacent populations. Urbanization often results in habitat fragmentation, where patches of natural habitat are surrounded by development and become “islands” due to loss of connectivity to other natural habitat areas. In a broad sense, the Santa Monica Mountains can be considered an island located within an urban matrix.

Depending on home ranges, territories, and the needs of a species, habitat patches can lose entire species when they are no longer large enough to support the species’ requirements. Some species may persist, but often population sizes are restricted. The smaller the patch size, the greater the loss of biodiversity (number of species inhabiting the patch). For populations that remain, the loss of connectivity to other populations can result in genetic divergence between discrete populations (i.e., isolated populations become more and more different from each other genetically). Also, small populations can quickly lose genetic diversity due to genetic drift¹ and inbreeding (Delaney et al., 2010a). The result is a population that is less genetically robust, and more susceptible to extirpation, or localized extinction, than a population with more genetic diversity. Therefore, development patterns that maintain connectivity and avoid creating isolated patches, particularly small patches, are needed to maintain healthy ecosystems.

¹ Genetic drift is the tendency for the frequency of a trait in a population to vary from generation to generation due to chance events not having to do with selective advantage of the trait, but rather to the “luck of the draw” aspect of egg and sperm production. Over time, this can result in a loss of biodiversity. This process may occur exceptionally rapidly in small populations.

2.8.1 Movement Corridors

Wildlife corridors and functions must be evaluated in the context of individual species and their ecology. For example, low-mobility species including snakes, lizards, and small mammals often have restricted home ranges. Animals in this group reproduce with animals in adjacent habitat and gene flow moves slowly along a region. Conserving open areas and linkages is important to prevent these types of species from becoming isolated from other populations. Wide-ranging species including mountain lions have broad territories which require the preservation of wildlife corridors and linkages to natural lands.

Wildlife corridors facilitate movement between habitats that would otherwise be isolated. These corridors include habitat linkages between natural areas, greenbelts, and refuge systems. They can divert wildlife across permanent physical barriers to aid dispersal (e.g., underpasses and ramps that help wildlife cross highways and dams) (Haas, 2000; Simberloff et al., 1992). Noss (1987) suggests several benefits of corridors, including the promotion of species richness and diversity, decreased probability of extinction, maintenance of genetic variation, increased mix of habitat and successional stages, and alternative refugia from large disturbances.

The following corridor functions are important in evaluating impacts to wildlife movement corridors:

Movement corridors are physical connections that allow wildlife to move between patches of suitable habitat.

Dispersal corridors are linear landscape features that link two or more areas of suitable habitat that would otherwise be fragmented and isolated from one another by rugged terrain, changes in vegetation, or human-altered environments (Beier and Noss, 1998). They are often referred to as “wildlife corridors.” Such areas generally are several hundred feet wide, unobstructed, and usually possess cover, food, and water. The upland margins of a creek channel, open ridgelines, open valleys, or the bottoms of drainages often serve as major corridors on a local scale. Corridors used by mountain lions require even wider open space areas to maintain movement opportunities. Dispersal corridors provide physical links for genetic exchange and allow animals to access alternative territories as dictated by fluctuating population densities.

Landscape habitat linkages (or simply linkages) are open space areas that contain natural habitat and provide connection between at least two larger adjacent open spaces that can provide for both diffusion and dispersal of many species. Linkages provide sufficient cover, food, water, and other essential elements to serve as a movement pathway. Many species including small mammals and reptiles may spend their entire life history within a habitat linkage area.

Travel routes are usually landscape features, such as ridgelines, drainages, canyons, or riparian corridors within larger natural habitat areas that facilitate movement and provide access to water, food, cover, den sites, or other necessary resources (Meffe and Carroll, 1997). They are often located within a dispersal corridor or habitat linkage area.

Wildlife crossings are small, narrow areas of limited extent that allow wildlife to bypass an obstacle or barrier. Crossings typically are manmade and include culverts, underpasses, drainage pipes, bridges, and tunnels to provide access past roads, highways, pipelines, or other physical obstacles. Wildlife crossings

often represent “choke points” along a movement corridor because useable habitat is physically constricted at the crossing by human-induced changes to the surrounding areas (Meffe and Carroll, 1997).

Wildlife buffers are areas between the urban development edge and an important biological resource. These buffers protect the resource from adverse edge effects such as habitat degradation, increased occurrence of non-native and urban-related species, increased predation from domestic animals and mesopredators (e.g., raccoons, skunks, snakes, foxes), and other edge effects. (USACE and CDFG, 2010)

2.8.2 Local and Regional Wildlife Movement in the North Area

Local Movement

The Santa Monica Mountains maintains large areas of open space and although roads and pockets of development can hamper wildlife movement, data from the NPS indicate that large mammals such as mountain lions, bobcats, and coyotes move freely throughout the mountains (see Figure 6 in Attachment 1). The North Area’s size, topographic complexity, and open space allow movement in all directions on a local scale. Malibu Creek State Park, which partially overlaps the North Area, has been identified as the central core habitat area in the Santa Monica Mountains, connecting the Simi Hills to the north, and the large open space preserves of Topanga State Park to the east and Mugu State Park to the west (in Ventura County) along with various undeveloped areas in between (Edelman, 1990). However, this core area is now highly-used by recreationists, including hikers, trail-bikers, and rock-climbers, while other areas (e.g., Cold Creek Preserve) have been largely off-limits to human intrusion. Therefore, the designation of “core habitat” is highly dependent on management, as well as geography, and may change through time.

The movement of species through the North Area is crucial to maintain the genetic diversity and population viability of the plant and wildlife species within the Santa Monica Mountains. The NPS has identified open space linkages between Kanan Dume Road and Calabasas Parkway along the U.S. 101 freeway corridor as particularly important for continued connectivity of wildlife populations, due to a lack of alternative routes and encroachment of development (Nelson, 2000). Although there are large open spaces within the North Area, various bottlenecks also occur. Maintaining habitat linkages and connectivity throughout the mountains is critical for long-term ecosystem health and sustainability.



U.S. 101 at Liberty Canyon

Regional Movement

Although many large and medium-sized mammal species move through the North Area, movement outside the mountains is important for large mammals such as deer, bobcat, and mountain lion. Regional movement is also important for smaller species in the North Area such as wrentit (*Chamaea fasciata*) because it allows access to new genetic material that slowly spreads through the system and prevents inbreeding. The Santa Monica-Sierra Madre Connection, a regional landscape linkage, is one of the last connections in the region between coastal and inland areas. This linkage connects habitats of the Santa Monica Mountains to the protected wildland habitats of the Simi Hills and Sierra Madre Mountains to the north. The greatest barrier to movement between the Santa Monica Mountains and habitats to the north is U.S. 101 (Penrod et al., 2006).

This barrier effectively reduces wildlife movement across the North Area and has resulted in wildlife mortality from vehicle collisions. The underpass of U.S. Route 101 at Liberty Canyon Road is one of the few active wildlife passage areas along the entire extent of U.S. Route 101 through the Santa Monica Mountains. Other watercourse and street crossings of U.S. Route 101 are very constrained or entirely impassible for wildlife. There are widely documented concerns for the consequences of genetic isolation for the small band of mountain lions of the Santa Monica Mountains. Mountain lions have been documented by the NPS and others using this crossing to transit back and forth between the Santa Monica Mountains and the greater lion populations of the Simi Hills and areas to the north. Caltrans, with the support of a coalition of government agencies, non-governmental organizations, conservation groups, and others, is proposing a wide, vegetated overpass to provide safe wildlife crossing over U.S. Route 101 at Liberty Canyon. The U.S. 101 Liberty



Liberty Canyon undercrossing facing north



Liberty Canyon undercrossing facing south



Open space in the Simi Hills just north of the Liberty Canyon undercrossing

Canyon Wildlife Crossing Project is currently in the design and environmental review phase and would help to preserve and enhance the greater Santa Monica-Sierra Madre Connection.

Mountain lions are particularly vulnerable to the effects of habitat fragmentation and barriers to movement in the Santa Monica Mountains and surrounding areas because they have large home ranges (about 200 square miles for adult males and 75 square miles for adult females; NPS 2017a), and young lions must be able to disperse out of the resident adults' territories or they risk being injured or killed in intraspecific conflicts (NPS 2017a). In fact, the leading cause of death of the mountain lions tracked by the NPS has been "intraspecific conflict," or mountain lions killing other mountain lions (NPS, 2017a). There are currently approximately 15 mountain lions known in the Santa Monica Mountains, and a recent study conducted by biologists from NPS and UCLA found that this population faces the possibility of extinction in the near future due to loss of genetic diversity from inbreeding, a result of their isolation from other mountain lion populations. However, enhancing gene flow by providing avenues for connectivity, such as the proposed Liberty Canyon wildlife crossing, could maintain current levels of genetic diversity and preserve the mountain lion population in the Santa Monica Mountains (Benson et al., 2016).

2.8.3 Barriers to Movement

In addition to the substantial barrier presented by U.S. Route 101, many of the large roads in the North Area hinder wildlife movement. Higher-traffic roads such as Topanga Canyon Boulevard (SR-27), Old Topanga Road, Mulholland Highway, La Virgenes Road, Kanan Dume Road, and Westlake Boulevard (SR-23), and smaller rural roads also pose a danger to animals. Roads are a significant contributor to local habitat fragmentation and loss of genetic diversity in the populations isolated by the presence of roads (Delaney et al., 2010a). Roads have been shown to highly correlate with genetic



Fencing can obstruct large mammal movement



Highways and roads are barriers to movement for all terrestrial wildlife



Structures in creeks can impede aquatic wildlife movement and affect water quality

divergence among populations of small animals. This is particularly evident for species with small home ranges and restricted mobility in the Santa Monica Mountains.

Animals may avoid roads due to noise and human presence, and those that do attempt to cross often run the risk of being hit by vehicles. Over 17 mountain lions have been struck and killed by vehicles in the Santa Monica Mountains and surrounding areas since 2002 (NPS, 2017a). Amphibians are particularly vulnerable to road kill because they disperse across uplands between water sources, are small and inconspicuous, and are usually slow-moving. The ecological effects of roads have been widely studied (Trombulak and Frissell, 2000; Findlay and Bourdages, 2000; Jones et al., 2000; Parendes and Jones, 2001; Haskell, 2000; and Vistnes and Nellemann, 2001). Seven general effects of roads have been identified:

- mortality from road construction,
- mortality from vehicle collisions,
- modification of animal behavior,
- changes to the physical environment,
- changes to the chemical environment,
- spread of invasive species, and
- increased human access and use (Trombulak and Frissell, 2000).

There are other effects from development that can obstruct or interfere with wildlife movement. These include factors that cause animals to avoid an area, such as bright lighting at night and loud noise. Fencing that is not wildlife-friendly can obstruct movement, and when it is alongside a hazardous area such as a road, can “funnel” wildlife into harm’s way. In aquatic systems, dams and other barriers built into drainages can impede movement for fish and amphibians. Minimizing barriers to movement is an essential element of wildlife-human coexistence, especially in “islands” of open space surrounded by urbanization such as the North Area and greater Santa Monica Mountains.

3. HUMAN-WILDLAND INTERACTIONS

The North Area is home to thousands of people who live, work, and play in the mountainous countryside. State and National Parks, numerous hiking trails, scenic roadways, charming restaurants, small wineries, and the rich history of movie and filmmaking draw countless people to the area. Equestrian trails allow access to remote areas and the many rock outcrops are visited by hikers and climbers.

Many people choose to live in the North Area and communities and rural homes are nestled into the valleys, foothills and mountains. In many locations, development is immediately adjacent to natural lands, perennial streams, and small creeks. The area where wildlands and development meet is called the *urban-wildland interface*. Although not intended, development has fragmented habitat and can have unforeseen effects to native plants and wildlife in adjacent areas. As described above, communities and even isolated rural homes have “edge-effects” that can result in habitat degradation, loss of species, and long-term shifts in habitat quality. The NPS, SMMRCD, and other local organizations have prepared guidelines and pamphlets for the public about living in harmony with nature in the Santa Monica Mountains². Some of these efforts focus on controlling the use of harmful herbicides and pesticides, educating the public on the use of bird feeders and outdoor pet feeders, constructing safe animal enclosures, and controlling the spread of non-native nursery plants.

The edge effects that occur in the *urban-wildland interface* vary by location and intensity. These effects may include an increase in urban-adapted predators, disturbance from outdoor lighting and noise, and the spread of non-native plants and invasive wildlife species. All homes and businesses require brush clearance to create defensible space during wildfires. Horse stables, agricultural practices, leaking septic tanks, pesticide/herbicide use, and urban run-off can degrade water quality, displace native species and contribute to long term effects to wildlife. Aquatic and riparian habitats are delicate ecosystems that are vulnerable to a variety of urban edge effects.

3.1 Urban Effects to Native Plants and Wildlife

3.1.1 Mesopredators

The *urban-wildland interface* often includes a higher proportion of non-native species, including escaped ornamental plants and common weeds. Cats and dogs, which can prey on wildlife, often roam in these areas. Mesopredators, or medium-sized animals that prey on smaller animals and are in turn preyed upon by larger, or apex, predators, become abundant around developed areas because of increased access to food sources (e.g., animal feed left outside, bird feeders, trash in garbage cans, and rodents) and shelter while larger more secretive predators are usually uncommon around development. Common mesopredators in the North Area include raccoons, skunks, coyotes, and domesticated or feral cats and dogs. Feeding animals indoors or removing food bowls after feeding can reduce this effect.

² E.g., the “Living Lightly in the Santa Monica Mountains” guide, available at <http://www.livinglightlyguide.org/>

3.1.2 Noise, Lighting, and Edge Effects

Noise from outdoor functions, music venues, vegetation management, traffic, and general human disturbance can affect wildlife in adjacent habitats by interfering with breeding or foraging activities and movement patterns. In some instances, the level of disturbance forces animals to temporarily or permanently avoid areas adjacent to the noise. Nocturnal wildlife is affected by bright lights and will often avoid lit areas. Brightly lit areas around homes that illuminate adjacent habitat can displace wildlife. Using motion detector lights and focusing lighting toward the property can minimize the effects of night time lighting to wildlife.

3.1.3 Non-Native Plants and Invasive Weeds

Weeds, escaped ornamentals, and other non-native species are common in the North Area. Over 100 species of non-native plants have been observed in the North Area. Most of the grassy fields and hillsides of the region are covered with non-native brome and oat grasses including red brome, rip gut brome (*Bromus diandrus* [*B. rigidus*]), soft chess (*Bromus hordeaceus* [*B. mollis*]), and wild oats. The beautiful fields of yellow seen each spring are dominated by black mustard (*Brassica nigra*) a plant introduced by the Spanish. Russian thistle (*Salsola australis*), also known as tumbleweed, is common and can be found across the North Area, particularly on recently disturbed or burned soil. Giant reed, sweet fennel (*Foeniculum vulgare*), tree of heaven (*Ailanthus altissima*), greater periwinkle (*Vinca major*), English Ivy (*Hedera helix*), and Mexican fan Palm (*Washingtonia robusta*) are common in many streams and creeks.

Fountain grass (*Pennisetum setaceum*) is a densely clumped perennial grass that is native to Africa and the Middle East. This species is commonly seen on Mulholland Highway and can quickly spread to riparian area. Fountain grass is a fire-adapted plant and can regenerate rapidly following fires. It can significantly augment the fuel load of a community, increasing the intensity and frequency of fires such that native plants not adapted to such extreme fire regimes can be significantly impacted. This alteration of fire regimes can have major effects on community composition, causing native desert shrublands to convert to grasslands (DiTomaso and Healy, 2007). Other exotics common in the North Area include gum trees (*Eucalyptus* spp.), Peruvian pepper (*Schinus molle*), and salt cedar (*Tamarisk* spp.).

Invasive and noxious weeds present a severe threat to natural habitats. When weeds become established in an area, they can cause a permanent or long-lasting change in the environment by increasing vegetative cover, that prevents native vegetation from germinating. This can stop the normal successional processes that would typically allow an area to recover from disturbance. Weed populations can alter the physical conditions through nitrogen fixation (as in Spanish broom, *Spartium junceum*, a species locally common along Kanan Dume Road), or by consuming substantial amounts of water from creeks such as giant reed, a species common to several watersheds in the region.

Monocultures of noxious weeds typically create an unfavorable environment for wildlife. Consequently, mutualistic species necessary for native plant life cycles, such as seed dispersers, fossorial mammals, or pollinators, can be lost from the area. Heavy infestations can also significantly reduce the recreational or aesthetic value of open space.

Planting native species or plants that have a lower potential to colonize adjacent natural lands can save water and reduce the spread of exotic plants to native habitat.

3.1.4 Argentine Ants and Decollate Snails

Human activities can spread pest species such as Argentine ants. These ants are native to northern Argentina, but, have spread throughout the world. They thrive in California's Mediterranean climate, where they form giant colonies that kill or push out native ants and other invertebrates. In addition to causing a nuisance in people's homes, they invade wildlands and can drastically upset the balance of the local ecosystem. Plants that rely on native ants for pollination and pest control are adversely affected when native ant populations are decimated by Argentine ants, who do not perform those same roles in the ecosystem. Coast horned lizards, once a common sight along hiking trails and in vacant lots in southern California, are now a California Species of Special Concern as their populations have decreased in part from Argentine ants displacing the native harvester ants that make up a large portion of their diet. Argentine ants also swarm and kill nestling birds and other small animals. Argentine ants can also have a detrimental effect on both native and cultivated plants, as they "farm" aphids for their honeydew excretions. High aphid loads can seriously weaken or kill plants. Urban development provides these invasive ants with water, supplemental food sources, and warm shelter, and also provides an avenue for infestation as ants stow away in landscaping materials and move in from adjacent developments.

Decollate snails (*Rumina decollate*), an introduced predatory gastropod sold in local garden stores as a biocontrol for the garden snail (*Helix aspersa*), occur in the North Area. These snails have been detected in wildland areas adjacent to the urban-wildland interface and may prey on native snails.

3.1.5 Herbicide and Pesticide Use

Pesticides and herbicides are often deployed at homes, ranches, vineyards, orchards, and other developments to control weeds and nuisance species like Argentine ants and rodents. Pesticides and herbicides can wash into storm drains and natural watercourses, degrading water quality in riparian areas and in coastal estuaries where the North Area drainages ultimately lead. These chemicals can percolate into groundwater and contaminate well water; however, these effects are not well understood in the North Area.

Anticoagulant rodenticides, which are usually poisons broadcast in pellet form or put out into bait boxes to kill rats and other small mammals, have had a particularly devastating effect on local wildlife in the Santa Monica Mountains. These poisons work by interfering with the animal's blood clotting ability, which causes it to die from internal bleeding.

Death from anticoagulant rodenticides is slow and can take up to 10 days from the time the poison is ingested. During this time, they become slow and lethargic and are easy prey for other animals such as bobcats, coyotes, dogs and cats, and birds of prey (hawks, falcons, owls, eagles, and vultures). The predator then becomes sickened by the poison, becoming weaker as it ingests additional poisoned prey items (secondary poisoning). Apex predators such as mountain lions can have high concentrations of rat poisons in their bodies that have accumulated from all of the prey items they have eaten; in this way the rodenticides spread throughout the food chain. The NPS reports that most of the carnivores tested

during its ongoing carnivore study in the Santa Monica Mountains were exposed to anticoagulants. Specifically, 92 percent of bobcats, 83 percent of coyotes, and 92 percent of mountain lions had the poisons in their systems, including a 3-month-old mountain lion kitten. Anticoagulant poisoning was determined to be the second leading cause of death for the coyotes in the study (as described in NPS, 2017b).

Anticoagulant rodenticide poisoning can directly kill predators that ingest poisoned prey animals, but even at sub-lethal levels these poisons have serious consequences. Anticoagulant rodenticides accumulate in body tissues, and animals can become weakened, making them susceptible to becoming very ill from common illnesses that healthy individuals can usually fight off. For example, mountain lion and bobcat populations studied by the NPS in and around the North Area have been documented with unusually high rates of notoedric mange infestation. Mange is caused by a tiny parasitic mite, and healthy animals with these mites usually do not develop a severe disease. However, when an animal is stressed, sick, or otherwise in a weakened state, mange can progress into a severe and often fatal disease. NPS researchers found that, beginning in 2002, the local bobcat population experienced a dramatic outbreak of mange which killed many individuals. Of the 19 tracked bobcats that died of mange during the study period, all had been exposed to anticoagulants. In addition, the higher the concentration of anticoagulants in an animal's system, the higher the chance of being infected with mange. The researchers found that the radio-tracked animals that spent the most time in developed areas had the highest toxic load. Bobcats disappeared from some areas completely, and the populations have been slow to recover. This study also documented two mountain lions that died directly from anticoagulant poisoning in 2004, and both also had mange. (Riley et al., 2007)

Herbicides have the potential (both when used properly or improperly) to adversely impact wildlife. Possible adverse direct effects from direct contact or ingestion of treated vegetation to individual animals include death, damage to vital organs, decrease in body weight, decrease in healthy offspring, and increased susceptibility to predation depending on exposure length and amounts (SERA, 2003). Predators feeding on animals that have been exposed to high levels of herbicide are more likely to be affected, particularly if the herbicide bio-accumulates in their systems as described for rodenticides. Adverse indirect effects include the following: a reduction in plant species diversity and consequent availability of preferred food, habitat, and breeding areas; decrease in wildlife population densities within the first year following application as a result of limited reproduction; habitat and range disruption (because wildlife may avoid sprayed areas following treatment), resulting in changes to territorial boundaries and breeding and nesting behaviors; and increase in predation of small mammals due to loss of ground cover (BLM, 2007). Table 3 summarizes some of the effects that herbicides can have on wildlife.

Table 3. General Effects of Herbicides on Wildlife Species

Herbicide	Physical Effects	Risk to Wildlife
Chlorsulfuron	Causes weight loss and decreased body weight gain in experimental mammals.	Poses low to moderate risk under multiple exposure scenarios involving applications at the typical (2 lbs acid equivalents [a.e.]/acre) and maximum application rates (7 lbs a.e./acre) (Table 4-23 in BLM, 2007). Direct spray of small animals and insects, assuming 100% absorption, poses a low risk at the typical application rate and a moderate risk at the maximum application rate. Consumption of vegetation contaminated by a spill poses a low risk to small mammals for scenarios involving the maximum application rate only.
Clopyralid	May adversely affect liver and kidney weights and gastric epithelial tissue.	Clopyralid is not likely to pose a risk to terrestrial animals; however, several scenarios were evaluated where a low acute risk is posed to a variety of organisms at the typical (0.35 lb a.e./acre) and maximum (0.5 lb a.e./acre) application rates (Table 4-23 in BLM, 2007). For the typical application rate, small mammals are at risk from 100% absorption of direct spray and consumption of contaminated insects and vegetation. At the maximum application rate, insects are at risk from direct spray, large birds are at risk from the consumption of contaminated vegetation, and small birds face risk from the consumption of contaminated insects. Application of clopyralid at the maximum application rate poses a low chronic risk to large mammals and large birds consuming contaminated vegetation (BLM, 2007).
Glyphosate	May reduce food conversion efficiency leading to loss of body weight in mammals and birds. Certain surfactants used with glyphosate are much more toxic to fish than others; therefore, use of glyphosate in wetland/riparian areas requires selecting a product with proper surfactants (e.g., those used in Rodeo as opposed to Round-up). May cause histological changes in gills, kidneys, and liver of some fish.	Poses low to moderate risk to several terrestrial wildlife receptors under multiple exposure scenarios involving applications at the typical (2 lbs a.e./acre) and maximum application rates (7 lbs a.e./acre) (Table 4-23 in BLM, 2007). Direct spray of small animals and insects, assuming 100% absorption, poses a low risk at the typical application rate and a moderate risk at the maximum application rate. Consumption of vegetation contaminated by a spill poses a low risk to small mammals for scenarios involving the maximum application rate only. A large mammal consuming contaminated vegetation would face low acute risk for scenarios involving the typical application rate, moderate acute risk for scenarios involving the maximum application rate, and low chronic risk for scenarios involving the maximum application rate. A large bird consuming contaminated vegetation would face a low acute and chronic risk. Consumption of contaminated insects would pose a low risk to both small mammals and small birds if the herbicide were applied at the typical application rate. Acute risks from glyphosate exposure are low at the typical application rate under all scenarios, and no chronic risks were modelled. Exposure scenarios with the greatest risk are direct spray and acute consumption of contaminated vegetation and insects (BLM, 2007).
Imazapyr	Appears to be relatively non-toxic to terrestrial and aquatic animals.	Imazapyr does not pose substantial risks to terrestrial animal species, but low risks were predicted with several exposure scenarios, mostly involving herbicide applications at the maximum application rates: typical rate = 0.45 lb a.e./acre, maximum rate = 1.50 lb a.e./acre (BLM, 2007). The only scenario involving the typical application rate that would pose a risk was a low risk to a small bird consuming contaminated insects.
Triclopyr	Relatively non-toxic to birds. May cause developmental effects at levels that cause maternal toxicity in mammals or have adverse effect on kidney functions. Higher concentrations may cause mortality or immobility in frog tadpoles and larger doses may cause a decrease in body length and smaller	Triclopyr poses a low risk at typical application rates (0.45 lb a.e./acre) and moderate risk at maximum application rates (1.50 lb a.e./acre) to insects, mammals, and birds under the following scenarios: 100% absorption of direct spray by small mammals, 100% absorption of direct spray by insects, acute consumption of contaminated insects by small birds and mammals, and chronic consumption of onsite contaminated vegetation by large mammals and large birds (BLM, 2007). In addition, for the maximum application rate, there would be low risk associated with acute consumption of contaminated vegetation by small mammals following an accidental spill, acute consumption of contaminated small mammals by carnivorous mammals, and chronic consumption of offsite contaminated vegetation by

Table 3. General Effects of Herbicides on Wildlife Species

Herbicide	Physical Effects	Risk to Wildlife
	doses may lead to lethargic behavior in some fish.	large mammals. No risk is predicted for small mammals as a result of acute or chronic consumption of contaminated vegetation or water, or for predatory birds as a result of consumption of contaminated fish. Acute or accidental direct-spray scenarios would pose a low to moderate risk to terrestrial mammals and insects, consumption of contaminated vegetation would pose a low to moderate risk to large mammals and large birds, and consumption of contaminated insects would pose a low to moderate risk to small birds (BLM, 2007; SERA, 2011).

3.1.6 Fuel Modification and Brush Clearance

Development adjacent to wildlands is vulnerable to wildfire, and most of the North Area falls within Very High Fire Severity Zones as designated by the California Department of Forestry and Fire Protection (CAL FIRE) (CAL FIRE, 2011). By law, homeowners in vulnerable areas must conduct brush clearance around buildings to create defensible space for firefighters and to protect homes and other buildings from wildfire (CAL FIRE, 2012). However, some methods of fuel modification can have substantial effects on habitat. For example, clearing oak woodlands for fire protection adjacent to development is becoming a major impact to oak woodland resources in Los Angeles County. Oaks are less prone to ignition than many common non-native trees in the North Area, including eucalyptus, pepper trees, and some pines. Oak woodlands are also less prone to ignition than weedy herbaceous vegetation. However, brush clearance and fuel modification that removes native plants in the understory and along the chaparral-oak woodland interface has resulted in extensive type conversion from native habitats to communities dominated by flashy invasive annual species such as mustard and brome grasses. These plants outcompete natives for soil moisture, and they are easily ignited. Fuel modification strategies that maximize native species retention and minimize potential type conversion to annual invasive species are the best solution not only for healthy intact ecosystems, but also for the protection of nearby structures from wildfire (County of Los Angeles, 2011). These strategies can include thinning and pruning vegetation, mowing, and for new development, incorporating appropriate setbacks into project design. Techniques such as discing, which disturb soil and create favorable conditions for invasive annual plants as well as soil instability and erosion, should be avoided wherever possible and especially adjacent to streams or on steep slopes. As a note, discing is now prohibited in the Coastal Zone.

3.1.7 Pets and Livestock

Horses and other livestock are popular in the North Area and contribute to the rural lifestyle many people enjoy. Chickens, goats, and other species have become popular animals to provide fresh eggs and dairy products. Livestock can affect native species in many ways. Horse or animal corals located adjacent to streams and creeks can degrade water quality and spread non-native weeds from their feed or droppings. Pens and animals close to riparian areas can inhibit movement by some species. Conversely chickens and other livestock can be preyed on by coyote, bobcat, and mountain lion if pens are not adequately constructed. Similarly, owls and other raptors can prey on poultry and small animals if left unattended. Livestock and pet feed and waste strongly attract non-native pest species, such as

rats, mice, starlings, and house sparrows, which in turn affect the larger surrounding ecology. These secondary affects must always be considered when planning new development.

3.1.8 Vineyards and Agriculture Operations

Agricultural practices can result in some of the same effects to native plants and wildlife as urbanization. Farming, whether vineyards, orchards, or other practices, alters the existing land use, displaces native species, and can cause edge effects that alter habitat function in adjacent areas.

Depending on the slope and type of crop, the removal of vegetation can lead to erosion-degraded water quality in adjacent streams. Certain crops can also attract more disturbance tolerant species that forage on fruits and berries. Fencing is often used to prevent mule deer or coyotes from damaging crops or water lines, which can disrupt movement patterns for other wildlife. Pesticide and herbicide use can enter the local food chain if not applied appropriately. Weeds can also spread to adjacent natural lands if allowed to develop between vines or fruit trees, and irrigation water has the potential to deplete local ground water if wells are used.



Vineyards in the North Area

3.1.9 Equestrian, Bicycling, and Hiking Trails

Recreational activities can bring people closer to the natural resources of an area, which can foster deeper appreciation and a motivation to protect and preserve these areas. It can also expose sensitive habitats to degradation and other effects, particularly if usage levels are unregulated and uneven across the region (as is currently the case). Established recreational trails and clear signage and fencing can keep users out of the most sensitive areas; for example, trails built above the banks of a creek can minimize water quality effects. However, if trails are used after rains before they have fully dried out, they can become degraded and subject to erosion. This is especially true for mountain bike and equestrian use, but hikers can also damage wet trails.

Recreationists that do not stay on designated trails and instead create new footpaths through natural areas can damage habitat and expose new areas to human-related effects. Some of these trails are started inadvertently as hikers follow game trails or shortcuts to overlooks and other features, and who may be unaware of their effects on the environment. Other impacts may be more deliberate, such as to gain access to a climbing area or to visit a hidden stream. These “social trails” can interfere with nest sites, trample native plants and their roots, and disturb animals not accustomed to noise and people, and often result in habitat degradation from trash, graffiti, and other irresponsible acts. Rock climbing can also result in damage to rock outcrops and destruction of rare plants, such as sensitive *Dudleya* species. In addition, several species of plants and wildlife (particularly reptiles and amphibians) have

suffered population declines in part due to illegal collection, and recreational trails both authorized and unauthorized can allow people to access areas where these species are collected.

Responsible recreation that minimizes damaging effects to natural resources includes staying on authorized trails (and only riding bikes or horses on trails specifically designated for their use), rock climbing in designated areas only, and obeying the well-known adage to “Take only photographs, leave only footprints.”

3.1.10 Other Human Activities

There are a variety of human activities that degrade habitat in the North Area and in other portions of the Santa Monica Mountains. Some of these activities are related to recreation and are not intended or thought to pose a risk to native plants and wildlife. Some of these include waterplay in the many ponds and streams. People and their pets often play in the perennial creeks and drainages of the North Area and many are located in close proximity to residential communities. Building dams and ponds or diverting water can strand tadpoles or larvae of amphibians and fish or create pools favorable to exotic species. Walking in the creeks can trample wildlife and disrupt nesting birds. Hikers, cyclists, and equestrian use can inadvertently introduce or spread exotic species such as the New Zealand mud snail (*Potamopyrgus antipodarum*) or the Quagga mussel (*Dreissena bugensis*). The New Zealand mud snail is a tiny non-native gastropod that can displace native species by consuming food that is preferred by native species. Quagga mussels can completely cover a substrate and deplete food for native species from the water column. These species can be spread by boots, tires, hooves and other equipment (e.g., boats, rafts, fishing gear) that may have been in contact with areas supporting these species.

Other human activities such as illegal dumping have become more commonplace in the North Area particularly in remote areas. Piles of construction debris, cut vegetation, and household trash can be seen along stream channels and roadways. Illegal marijuana farms are known from the area and farmers often divert stream water to irrigate the illegal plants. Not only does this divert water from the creek, the marijuana farms are often fertilized, resulting in degraded water quality. Because many of them are in riparian areas these activities have a high potential to adversely affect a variety of sensitive plants and wildlife.

Homeless encampments in creeks and natural areas are often in proximity to urban or residential areas but have spread far into natural areas locally. Illegal use in these areas increases human disturbance and can often lead to degraded water quality from poorly constructed latrines and off-leash dogs. Continual human presence can also inhibit wildlife use in some areas.

4. HABITAT SENSITIVITY RANKING

The proposed Habitat Sensitivity Ranking System for the North Area includes four rankings (S1, S2, S3, and S4). The four Habitat Sensitivity Rankings were developed to highlight locations within the North Area that have the greatest potential to support the sensitive resources described in Section 2, and to inform landowners of the applicable development guidelines. Each ranking defines the sensitivity of all habitat present on a given site and provides recommendations on the allowable uses within each category. Habitat Sensitivity Rankings for the North Area include:

■ **S1 Habitat: Habitat of Limited Distribution, Particular Rarity, or Important Habitat Function**

Lands that support the rarest and most sensitive resources, often play essential roles in ecosystem function, and are worthy of the highest-level conservation. Development is highly restricted in areas with S1 habitat.

■ **S2 Habitat: Intact, but Broadly Distributed Habitat**

Lands that support intact native vegetation communities, and which may include some rare species, but are widespread in the North Area. Development may occur in areas with S2 habitat provided avoidance and minimization measures are implemented.

■ **S3 Habitat: Disturbed, Non-native, and Cleared Habitat**

Lands that support non-native and ruderal vegetation, disturbed, or cleared habitat that are expected to have lower habitat function than other natural lands. Development will be less restricted in areas with S3 habitat.

■ **S4 Habitat: Developed and Agricultural Lands**

Lands that support existing residential or commercial development, other facilities, or agricultural practices. Development is least restricted in areas with S4 habitat.

The factors that define each Habitat Sensitivity Ranking are presented in Tables 4a and 4b. Many of the factors, such as vegetation community, drainages and streams, and designated critical habitat, are available as datasets spanning the entire North Area. Therefore, a comprehensive map of the North Area was developed that identifies the distribution of each Habitat Sensitivity Ranking across the North Area (Figure 7 in Attachment 1). However, some of the factors that define the most sensitive habitats, such as the locations of sensitive species or smaller features such as rock outcrops, are not available as a comprehensive GIS dataset due to lack of surveys in a given area, changes in occurrences over time, or size (i.e., below the minimum mapping unit for the vegetation data). Consequently, Habitat Sensitivity Indicators are identified that must be considered on a site-specific basis during the project application process. The presence of Habitat Sensitivity Indicators on a site may require revision to the Habitat Sensitivity Ranking of a site as mapped. Section 4.3 presents a guide to implementing the Habitat Sensitivity Ranking system for a site during the development application process.

Table 4a. S1 Habitat Sensitivity Indicators		
Scientific Name	Common Name	Status
Vegetation Communities, Landforms, and Habitat Features		
Annual Grassland		
N/A	Native grasslands (or grasslands with a significant native component) greater than 0.1 acre	G4 S3?
Riparian Communities		
<i>Baccharis salicifolia</i> Shrubland	Mule Fat Shrubland	G5 S4
<i>Platanus racemosa</i> Woodland/Forest	California Sycamore Woodland/Forest	G3 S3
<i>Salix laevigata</i> - <i>Salix lasiolepis</i> Woodland/Forest	Willow Woodland/Forest	G3 S3
N/A	Wetland Undifferentiated	No Status
Woodland Communities		
<i>Quercus agrifolia</i> Woodland/Forest	Coast Live Oak Woodland/Forest	G5 S4
<i>Quercus lobata</i> Woodland/Forest	Valley Oak Woodland/Forest	G3 S3
<i>Umbellularia californica</i> Woodland/Forest	California Bay Woodland/Forest	G4 S3
<i>Juglans californica</i> Woodland/Forest	California Walnut Woodland/Forest	G3 S3
N/A	California Walnut/Undifferentiated Tall Shrubs Shrubland	G3 S3
Other Habitat Features		
N/A	Rock Outcrop	No Status
N/A	Rock Outcrop/Herbaceous	No Status
N/A	Sand/Gravel Bar	No Status
N/A	All wetlands, lakes, ponds, seeps, vernal pools or seasonal pools, springs, ephemeral, intermittent, and perennial drainages	No Status
N/A	Natural or manmade bat roosts	No Status
VASCULAR PLANTS - Dicotyledons		
Asteraceae	Aster Family	
<i>Deinandra</i> (= <i>Hemizonia</i>) <i>minthornii</i>	Santa Susana tarplant	SR, CRPR 1B.2
<i>Ericameria arborescens</i>	Golden fleece	Locally uncommon
<i>Microseris douglasii</i> ssp. <i>tenella</i>	Short-scaled microseris	Locally uncommon
<i>Pentachaeta lyonii</i>	Lyon's pentachaeta	FE, SE, CRPR 1B.1
<i>Solidago confinis</i>	Southern goldenrod	Locally uncommon
Berberidaceae	Barberry Family	
<i>Berberis pinnata</i> ssp. <i>pinnata</i>	Coast barberry	Locally uncommon
Boraginaceae	Borage Family	
<i>Plagiobothrys collinus</i> var. <i>californicus</i>	California popcorn flower	Locally uncommon
Brassicaceae	Mustard Family	
<i>Thysanocarpus conchuliferus</i>	Santa Cruz Island fringepod	FE, CRPR 1B.2
Convolvulaceae	Morning Glory Family	
<i>Calystegia collina</i> ssp. <i>venusta</i>	South coast range morning glory	CRPR 4.3, Locally uncommon
<i>Calystegia purpurata</i> ssp. <i>purpurata</i>	Smooth western morning glory	Locally uncommon
Crassulaceae	Stonecrop Family	
<i>Dudleya blochmaniae</i> ssp. <i>blochmaniae</i>	Blochman's dudleya	CRPR 1B.1

Table 4a. S1 Habitat Sensitivity Indicators		
Scientific Name	Common Name	Status
<i>Dudleya cymosa</i> ssp. <i>agouensis</i>	Agoura Hills dudleya	FT, CRPR 1B.2
<i>Dudleya cymosa</i> ssp. <i>marcescens</i>	Marcescent dudleya	FT, SR, CRPR 1B.2
<i>Dudleya cymosa</i> ssp. <i>ovatifolia</i>	Santa Monica Mountains dudleya	FT, CRPR 1B.1
Fabaceae	Legume Family, Pea Family	
<i>Astragalus brauntonii</i>	Braunton's milk-vetch	FE, CRPR 1B.1
Orobanchaceae	Broomrape Family	
<i>Orobanche uniflora</i>	Naked broom rape	Locally uncommon
Polemoniaceae	Phlox Family	Locally uncommon
<i>Navarretia ojaiensis</i>	Ojai navarretia	CRPR 1B.1
Polygonaceae	Buckwheat Family	
<i>Chorizanthe parryi</i> var. <i>fernandina</i>	San Fernando Valley spineflower	Proposed FT, SE, CRPR 1B.1
Rosaceae	Rose Family	
<i>Horkelia cuneata</i> ssp. <i>cuneata</i>	Wedge-leaved horkelia	Locally uncommon
Saxifragaceae	Saxifrage Family	
<i>Boykinia occidentalis</i>	Western boykinia	Locally uncommon
VASCULAR PLANTS - Monocotyledons		
Alliaceae	Onion Family, Garlic Family	
<i>Allium praecox</i>	Early onion	Locally uncommon
Orchidaceae	Orchid Family	
<i>Piperia elegans</i>	Rein orchid	Locally uncommon
Ruscaceae	Butcher's Broom Family	
<i>Nolina cismontana</i>	Chaparral nolina	CRPR 1B.2
VASCULAR PLANTS - Conifers		
Cupressaceae	Cypress Family	
<i>Juniperus californica</i>	California juniper	Locally uncommon
NON-VASCULAR PLANTS - Bryophytes		
Pottiaceae	Moss Family	
<i>Tortula californica</i>	California screw moss	CRPR 1B.2
NON-VASCULAR PLANTS - Lichens		
Teloschistaceae	Lichen Family	
<i>Teloschistes chrysophthalmus</i>	Gold-eye lichen	Locally uncommon
WILDLIFE – Insects and Arachnids		
Nymphalidae	Brush-Footed Butterflies	
++ <i>Euphydryas editha quino</i>	Quino checkerspot	FE
WILDLIFE - Fish		
Salmonidae	Salmon	
<i>Oncorhynchus mykiss irideus</i>	Steelhead - southern California DPS	FE
WILDLIFE - Amphibians		
Pelobatidae	Spadefoot Toads and Relatives	
<i>Spea hammondi</i>	Western spadefoot	CSSC
Ranidae	True Frogs	
<i>Rana draytonii</i>	California red-legged frog	FT, CSSC

Table 4a. S1 Habitat Sensitivity Indicators		
Scientific Name	Common Name	Status
Salamandridae	Newts	
<i>Taricha torosa torosa</i>	Coast Range newt	CSSC
WILDLIFE - Reptiles		
Colubridae	Colubrid Snakes	
<i>Thamnophis hammondi</i>	Two-striped gartersnake	CSSC
♦ <i>Thamnophis sirtalis</i>	California red-sided garter snake	CSSC
Emydidae	Box and Basking Turtles	
<i>Actinemys pallida</i>	Southern western pond turtle	CSSC
WILDLIFE - Birds		
Accipitridae	Kites, Hawks, Eagles, and Allies	
<i>Aquila chrysaetos</i>	Golden eagle	FP, WL, BCC
<i>Circus cyaneus</i>	Northern Harrier	CSSC
<i>Elanus leucurus</i>	White-tailed kite	FP
Cathartidae	New World Vultures	
* <i>Cathartes aura</i>	Turkey vulture	Locally uncommon
Emberizidae	New World Sparrows and Allies	
<i>Ammodramus savannarum</i>	Grasshopper sparrow	CSSC
Falconidae	Falcons and Caracaras	
* <i>Falco peregrinus anatum</i>	American peregrine falcon	FP, BCC
Icteridae	New World Blackbirds	
<i>Agelaius tricolor</i>	Tricolored blackbird	Candidate SE , CSSC, BCC
* <i>Sturnella neglecta</i>	Western meadowlark	Locally uncommon
Odontophoridae	New World Quails	
<i>Oreortyx pictus</i>	Mountain quail	Locally uncommon
Poliopitilidae	Gnatcatchers	
+ <i>Poliopitila californica</i>	Coastal California gnatcatcher	FT , CSSC
Strigidae	True Owls	
<i>Asio otus</i>	Long-eared owl	CSSC
♦ ** <i>Athene cunicularia</i>	Burrowing owl	CSSC, BCC
Tyrannidae	Tyrant Flycatchers	
+ <i>Empidonax traillii extimus</i>	Southwestern willow flycatcher	FE, SE
Vireonidae	Vireos	
<i>Vireo bellii pusillus</i>	Least Bell's vireo	FE , SE
WILDLIFE - Mammals		
Mustelidae	Weasels	
<i>Taxidea taxus</i>	American badger	CSSC
Procyonidae	Raccoons and Relatives	
<i>Bassariscus astutus</i>	Ringtail	CFP

Table 4a. S1 Habitat Sensitivity Indicators

Scientific Name	Common Name	Status
Notes: + Known from surrounding areas, but few or no records/nesting records in North Area ++ No known recent records in or near North Area * Typically protected only when nesting ** Wintering or nesting burrows are protected # Roost trees ♦ Considered extirpated from North Area		
Federal Status: FE = Federally Endangered FT = Federally Threatened BCC = USFWS Bird of Conservation Concern State Status: SE = State Endangered ST = State Threatened SR = State Rare CST = Candidate for listing as State Threatened CFP = California Fully Protected SA = CDFW Special Animal WL = CDFW Watch List CSSC = California Species of Special Concern		
NatureServe Conservation Status: Conservation status ranks are based on a one to five scale, ranging from critically imperiled (G1) to demonstrably secure (G5). Status is assessed and documented at two distinct geographic scales-global (G) and state/province (S). California Rare Plant Rank Status: CRPR 1A – Presumed extinct in California CRPR 1B – Rare or endangered in California and elsewhere CRPR 2 – Rare or endangered in California, more common elsewhere CRPR 3 – More information needed CRPR 4 – Limited distribution (Watch List) For each CRPR Ranking, the following sub-categories apply: .1 = Seriously endangered in California (over 80 percent of occurrences threatened/high degree and immediacy of threat) .2 = Fairly endangered in California (20 to 80 percent occurrences threatened) .3 = Not very endangered in California (less than 20 percent of occurrences threatened or no current threats known)		

Table 4b. S2 Habitat Sensitivity Indicators

Scientific Name	Common Name	Status
Vegetation Communities, Landforms, and Habitat Features		
Annual Grassland		
N/A	California Annual Grassland/Herbaceous Alliance	No Status
Chaparral Communities		
<i>Adenostoma fasciculatum</i> - <i>Adenostoma sparsifolium</i> Shrubland Alliance	Chamise-Redshank Shrubland Alliance	G4 S4
<i>Adenostoma fasciculatum</i> - <i>Arctostaphylos glandulosa</i> Shrubland Alliance	Chamise-Eastwood Manzanita Shrubland Alliance	G5 S5
<i>Adenostoma fasciculatum</i> - <i>Ceanothus crassifolius</i> Shrubland Alliance	Chamise-Hoary Leaf Ceanothus Shrubland Alliance	G5 S5
<i>Adenostoma fasciculatum</i> - <i>Ceanothus cuneatus</i> Shrubland Alliance	Chamise-Wedge Leaf Ceanothus Shrubland Alliance	G5 S5
<i>Adenostoma fasciculatum</i> - <i>Salvia mellifera</i> Shrubland Alliance	Chamise-Black Sage Shrubland Alliance	G5 S5
<i>Adenostoma fasciculatum</i> Shrubland Alliance	Chamise Shrubland Alliance	G5 S5
<i>Adenostoma sparsifolium</i> Shrubland	Redshank Shrubland	G4 S4
<i>Ceanothus crassifolius</i> Shrubland Alliance	Hoary Leaf Ceanothus Shrubland Alliance	G4 S4
<i>Ceanothus cuneatus</i> and <i>Adenostoma fasciculatum</i> - <i>Ceanothus cuneatus</i> Shrubland Superalliance	Wedge Leaf Ceanothus and Chamise-Wedge Leaf Ceanothus Shrubland Superalliance	G4 S4/G5 S5
<i>Ceanothus cuneatus</i> Shrubland Alliance	Wedge Leaf Ceanothus Shrubland Alliance	G4 S4

Table 4b. S2 Habitat Sensitivity Indicators

Scientific Name	Common Name	Status
<i>Ceanothus megacarpus</i> Shrubland Alliance	Big Pod Ceanothus Shrubland Alliance	G4 S4
<i>Ceanothus oliganthus</i> Shrubland Alliance	Hairy Leaf Ceanothus Shrubland	G3 S3
<i>Ceanothus spinosus</i> Shrubland Alliance	Greenbark Ceanothus Shrubland	G4 S4
<i>Ceanothus</i> spp.- <i>Adenostoma fasciculatum</i> Shrubland Mapping Unit	Ceanothus-Chamise Shrubland Mapping Unit	G4 S4
<i>Ceanothus</i> spp. and <i>Cercocarpus betuloides</i> Shrubland Superalliance	Ceanothus and Birch Leaf Mountain Mahogany Shrubland Superalliance	G5 S4
<i>Cercocarpus betuloides</i> Shrubland Superalliance	Birch Leaf Mountain Mahogany Shrubland Superalliance	G5 S4
<i>Heteromeles arbutifolia</i> Shrubland	Toyon Shrubland	G5 S3
<i>Prunus ilicifolia</i> Shrubland	Holly Leaf Cherry Shrubland	G3 S3
<i>Quercus berberidifolia</i> - <i>Adenostoma fasciculatum</i> Shrubland Alliance	Scrub Oak-Chamise Shrubland Alliance	G4 S4
<i>Quercus berberidifolia</i> - <i>Cercocarpus betuloides</i> Shrubland Alliance	Scrub Oak-Birch Leaf Mountain Mahogany Shrubland Alliance	G4 S4
<i>Quercus berberidifolia</i> Shrubland Alliance	Scrub Oak Shrubland Alliance	G4 S4
<i>Rhus ovata</i> Shrubland Alliance	Sugar Bush Shrubland Alliance	G4 S4
Coastal Sage Scrub Communities		
<i>Artemisia californica</i> - <i>Eriogonum fasciculatum</i> Shrubland Alliance	California Sagebrush-California Buckwheat Shrubland Alliance	G4 S4
<i>Artemisia californica</i> Shrubland Alliance	California Sagebrush Shrubland Alliance	G5 S5
<i>Baccharis pilularis</i> Shrubland Alliance	Coyote Brush Shrubland Alliance	G5 S5
<i>Encelia californica</i> Shrubland	California Encelia Shrubland	G4 S3
<i>Eriogonum cinereum</i> Shrubland	Ashy Buckwheat Shrubland	G3 S3
<i>Eriogonum fasciculatum</i> - <i>Salvia apiana</i> Shrubland	California Buckwheat-White Sage Shrubland	G4 S4
<i>Eriogonum fasciculatum</i> Shrubland Alliance	California Buckwheat Shrubland Alliance	G5 S5
<i>Hazardia squarrosa</i> Shrubland	Sawtooth Goldenbush Shrubland	G3 S3
<i>Leymus condensatus</i> Herbaceous Alliance	Giant Wild Rye Herbaceous Alliance	G3 S3
<i>Lotus scoparius</i> Shrubland Alliance	Deerweed Shrubland Alliance	G5 S5
<i>Malacothamnus fasciculatus</i> Shrubland Alliance	Bush Mallow Shrubland Alliance	G4 S4
<i>Malosma laurina</i> Shrubland Alliance	Laurel Sumac Shrubland Alliance	G4 S4
<i>Mimulus aurantiacus</i> Shrubland	Bush Monkey Flower Shrubland	G3 S3
<i>Salvia leucophylla</i> Shrubland Alliance	Purple Sage Shrubland Alliance	G4 S4
<i>Salvia mellifera</i> - <i>Artemisia californica</i> Shrubland Alliance	Black Sage-California Sagebrush Shrubland Alliance	G4 S4
<i>Salvia mellifera</i> Shrubland Alliance	Black Sage Shrubland Alliance	G4 S4
<i>Toxicodendron diversilobum</i> Shrubland Alliance	Poison Oak Shrubland Alliance	G4 S4
Other Habitat Features		
N/A	Individual large bird nesting or roost trees	No Status
VASCULAR PLANTS - Dicotyledons		
Apiaceae	Parsley Family	
<i>Sanicula bipinnata</i>	Poison sanicle	Locally uncommon

Table 4b. S2 Habitat Sensitivity Indicators		
Scientific Name	Common Name	Status
<i>Yabea microcarpa</i>	California hedge parsley	Locally uncommon
Apocynaceae	Dogbane Family	
<i>Apocynum cannabinum</i>	Indian hemp	Locally uncommon
Asteraceae	Aster Family	
<i>Baccharis malibuensis</i>	Malibu baccharis	CRPR 1B.1
<i>Baccharis plummerae</i>	Plummer's baccharis	CRPR 4.3
<i>Bidens laevis</i>	Bur marigold	Locally uncommon
<i>Chaenactis glabriuscula</i> var. <i>lanosa</i>	Pincushion flower	Locally uncommon
<i>Ericameria parishii</i>	Parish's rabbitbrush	Locally uncommon
<i>Helenium puberulum</i>	Sneezeweed	Locally uncommon
<i>Heterotheca sessiliflora</i> ssp. <i>fastigiata</i>	Erect goldenaster	Locally uncommon
<i>Hieracium argutum</i>	Southern hawkweed	Locally uncommon
<i>Iva axillaris</i> ssp. <i>robustior</i>	Povertyweed	Locally uncommon
<i>Lasthenia coronaria</i>	Royal goldfields	Locally uncommon
<i>Lasthenia glabrata</i> ssp. <i>coulteri</i>	Coulter's goldfields	CRPR 1B.1
<i>Layia platyglossa</i>	Tidy tips	Locally uncommon
<i>Leptosyne bigelovii</i> (<i>Coreopsis bigelovii</i>)	Bigelow coreopsis	Locally uncommon
<i>Lessingia glandulifera</i>	Valley lessingia	Locally uncommon
<i>Malacothrix coulteri</i>	Snake's head	Locally uncommon
<i>Monolopia lanceolata</i>	Monolopia	Locally uncommon
<i>Packera breweri</i> (<i>Senecio breweri</i>)	Brewer's ragwort	Locally uncommon
<i>Pseudognaphalium stramineum</i> (<i>Gnaphalium stramineum</i>)	Cottonbatting plant	Locally uncommon
<i>Senecio aphanactis</i>	California groundsel	CRPR 2B.2
Boraginaceae	Borage Family	
<i>Amsinckia menziesii</i> var. <i>menziesii</i>	Small-flowered fiddleneck	Locally uncommon
<i>Pectocarya linearis</i> ssp. <i>ferocula</i>	Slender comb seed	Locally uncommon
<i>Phacelia brachyloba</i>	Short-lobed phacelia	Locally uncommon
<i>Phacelia ramosissima</i> var. <i>austrolitoralis</i>	South coast branching phacelia	CRPR 3.2

Table 4b. S2 Habitat Sensitivity Indicators		
Scientific Name	Common Name	Status
<i>Plagiobothrys collinus</i> var. <i>fulvescens</i>	Rusty haired popcorn flower	Locally uncommon
<i>Plagiobothrys tenellus</i>	Slender popcorn flower	Locally uncommon
Brassicaceae	Mustard Family	
<i>Caulanthus coulteri</i>	Coulter's jewel flower	Locally uncommon
<i>Caulanthus heterophyllus</i> var. <i>heterophyllus</i> or <i>Caulanthus heterophyllus</i> var. <i>pseudosimulans</i>	Slender pod jewelflower	Locally uncommon
<i>Draba cuneifolia</i>	Wedge leaved draba	Locally uncommon
<i>Lepidium latipes</i>	Dwarf pepper grass	Locally uncommon
<i>Rorippa curvisiliqua</i>	Curvepod yellow cress	Locally uncommon
<i>Stanleya pinnata</i>	Prince's plume	Locally uncommon
Campanulaceae	Bellflower Family	
<i>Githopsis diffusa</i> ssp. <i>diffusa</i>	Southern blue cup	Locally uncommon
<i>Heterocodon rariflorum</i>	Rareflower heterocodon	Locally uncommon
<i>Lobelia dunnii</i> var. <i>serrata</i>	Dunn's lobelia	Locally uncommon
<i>Nemacladus ramosissimus</i>	Nuttall's nemacladus	Locally uncommon
<i>Triodanis biflora</i>	Venus looking glass	Locally uncommon
Caprifoliaceae	Honeysuckle Family	
<i>Lonicera hispidula</i>	Pink honeysuckle	Locally uncommon
Caryophyllaceae	Pink Family	
<i>Loeflingia squarrosa</i>	Spreading pygmyleaf	Locally uncommon
<i>Silene verecunda</i>	Dolores campion	Locally uncommon
Chenopodiaceae	Chenopod Family	
<i>Atriplex serenana</i> var. <i> davidsonii</i>	Davidson's saltscale	CRPR 1B.2
Convolvulaceae	Morning Glory Family	
<i>Convolvulus simulans</i>	Small flowered morning glory	CRPR 4.2
<i>Dichondra occidentalis</i>	Western dichondra	CRPR 4.2
Crassulaceae	Stonecrop Family	
<i>Dudleya multicaulis</i>	Many-stemmed dudleya	CRPR 1B.2
Ericaceae	Heath Family	
<i>Comarostaphylis diversifolia</i> ssp. <i>planifolia</i>	Summer holly	Locally uncommon

Table 4b. S2 Habitat Sensitivity Indicators		
Scientific Name	Common Name	Status
Fabaceae	Legume Family, Pea Family	
<i>Acmispon micranthus</i> (<i>Lotus hamatus</i>)	Small-flowered lotus	Locally uncommon
<i>Amorpha californica</i>	False indigo	Locally uncommon
<i>Glycyrrhiza lepidota</i>	American licorice	Locally uncommon
<i>Pickeringia montana</i> var. <i>montana</i>	Chaparral pea	CRPR 4.3
<i>Rupertia physodes</i>	Common rupertia, California tea	Locally uncommon
<i>Trifolium depauperatum</i> var. <i>truncatum</i>	Dwarf sack clover	Locally uncommon
<i>Vicia hassei</i>	Hasse's vetch	Locally uncommon
<i>Vicia ludoviciana</i>	Louisiana vetch	Locally uncommon
Fagaceae	Oak Family	
<i>Quercus wislizeni</i> var. <i>frutescens</i>	Bush interior live oak	Locally uncommon
Gentianaceae	Gentian Family	
<i>Zeltnera exaltata</i> (<i>Centaurium exaltatum</i>)	Cancha lagua	Locally uncommon
Geraniaceae	Geranium Family	
<i>California macrophylla</i>	Round-leaved filaree	CRPR 1B.2
Lamiaceae	Mint Family	
<i>Clinopodium douglasii</i> (<i>Satureja douglasii</i>)	Yerba buena	Locally uncommon
<i>Lepechinia fragrans</i>	Fragrant pitcher sage	CRPR 4.2
<i>Monardella breweri</i> ssp. <i>lanceolata</i> (<i>Monardella lanceolata</i>)	Mustang mint	Locally uncommon
<i>Monardella hypoleuca</i> ssp. <i>hypoleuca</i>	White-veined monardella	CRPR 1B.3
Montiaceae	Miner's Lettuce Family	
<i>Calandrinia breweri</i>	Brewer's calandrinia	CRPR 4.2
<i>Claytonia exigua</i> ssp. <i>exigua</i>	Serpentine spring beauty	Locally uncommon
<i>Lewisia rediviva</i>	Bitterroot	Locally uncommon
Onagraceae	Evening Primrose Family	
<i>Epilobium campestre</i> (<i>Epilobium pygmaeum</i>)	Smooth boisduvalia	Locally uncommon
Orobanchaceae	Broomrape Family	
<i>Orobanche californica</i>	California broomrape	Locally uncommon

Table 4b. S2 Habitat Sensitivity Indicators		
Scientific Name	Common Name	Status
<i>Orobancha fasciculata</i>	Clustered broom rape	Locally uncommon
Papaveraceae	Poppy Family	
<i>Meconella denticulata</i>	Small flowered meconella	Locally uncommon
<i>Papaver heterophyllum</i> (<i>Stylomecon heterophylla</i>)	Wind poppy	Locally uncommon
<i>Platystemon californicus</i>	Cream cups	Locally uncommon
Phrymaceae	Lopseed Family	
<i>Mimulus floribundus</i>	Many flowered monkey flower	Locally uncommon
<i>Mimulus pilosus</i>	Snouted monkey flower	Locally uncommon
Plantaginaceae	Plantain Family	
<i>Collinsia parryi</i>	Parry's collinsia	Locally uncommon
Polemoniaceae	Phlox Family	
<i>Eriastrum densifolium</i> ssp. <i>elongatum</i>	Perennial wool star	Locally uncommon
<i>Eriastrum filifolium</i>	Lavender eriastrum	Locally uncommon
<i>Leptosiphon ciliatus</i>	Whiskerbrush	Locally uncommon
<i>Navarretia atractyloides</i>	Holly leaf navarretia	Locally uncommon
Polygalaceae	Milkwort Family	
<i>Polygala cornuta</i> var. <i>fishiae</i>	Fish's milkwort	CRPR 4.3
Polygonaceae	Buckwheat Family	
<i>Chorizanthe parryi</i> var. <i>parryi</i>	Parry's spineflower	CRPR 1B.1, Locally uncommon
<i>Eriogonum angulosum</i>	Angle-stem wild buckwheat	Locally uncommon
<i>Eriogonum cithariforme</i> var. <i>agninum</i>	Santa Ynez wild buckwheat	Locally uncommon
<i>Eriogonum wrightii</i> var. <i>membranaceum</i>	Wright's buckwheat	Locally uncommon
<i>Lastarriaea coriacea</i>	Leather spineflower	Locally uncommon
Ranunculaceae	Buttercup Family	
<i>Delphinium parryi</i> ssp. <i>maritimum</i>	Seaside larkspur	Locally uncommon
Rhamnaceae	Buckthorn Family	
<i>Ceanothus tomentosus</i> var. <i>olivaceus</i>	Woolly leaf ceanothus	Locally uncommon
Rosaceae	Rose Family	
<i>Holodiscus discolor</i>	Oceanspray	Locally uncommon

Table 4b. S2 Habitat Sensitivity Indicators		
Scientific Name	Common Name	Status
<i>Horkelia cuneata</i> var. <i>puberula</i>	Mesa horkelia	CRPR 1B.1
Sapindaceae	Soapberry Family	
<i>Acer macrophyllum</i>	Bigleaf maple	Locally uncommon
Saxifragaceae	Saxifrage Family	
<i>Boykinia rotundifolia</i>	Round leaved boykinia	Locally uncommon
Solanaceae	Nightshade Family	
<i>Nicotiana quadrivalvis</i>	Indian tobacco	Locally uncommon
Theophrastaceae	Threophrasta Family	
<i>Samolus parviflorus</i>	Water pimpernel	Locally uncommon
VASCULAR PLANTS - Monocotyledons		
Cyperaceae	Sedge Family	
<i>Carex barbarae</i>	Valley sedge	Locally uncommon
<i>Carex globosa</i>	Round fruit sedge	Locally uncommon
<i>Carex praegracilis</i>	Field sedge	Locally uncommon
<i>Carex spissa</i>	San Diego sedge	Locally uncommon
<i>Carex triquetra</i>	Triangular fruit sedge	Locally uncommon
<i>Isolepis cernua</i> (<i>Scirpus cernuus</i>)	Low bulrush	Locally uncommon
<i>Scirpus microcarpus</i>	Mountain bog bulrush	Locally uncommon
Juncaceae	Rush Family	
<i>Juncus patens</i> or <i>Juncus textilis</i>	Basket rush	Locally uncommon
Liliaceae	Lily Family	
<i>Calochortus albus</i>	White fairy lantern	Locally uncommon
<i>Calochortus catalinae</i>	Catalina mariposa lily	CRPR 4.2
<i>Calochortus clavatus</i> var. <i>gracilis</i>	Slender mariposa-lily	CRPR 1B.2
<i>Calochortus plummerae</i>	Plummer's mariposa-lily	CRPR 4.2
<i>Calochortus splendens</i>	Splendid mariposa lily	Locally uncommon
<i>Calochortus venustus</i>	Butterfly mariposa lily	Locally uncommon
<i>Lilium humboldtii</i> ssp. <i>ocellatum</i>	Ocellated humboldt lily	CRPR 4.2
Orchidaceae	Orchid Family	
<i>Piperia unalascentis</i>	Alaska piperia	Locally uncommon

Table 4b. S2 Habitat Sensitivity Indicators		
Scientific Name	Common Name	Status
Poaceae	Grass Family	
<i>Festuca octoflora</i> (<i>Vulpia octoflora</i>)	Sixweeks grass	Locally uncommon
<i>Hordeum depressum</i>	Alkali barley	Locally uncommon
<i>Koeleria macrantha</i>	June grass	Locally uncommon
<i>Leymus triticoides</i>	Beardless wild rye	Locally uncommon
<i>Melica californica</i>	California melicgrass	Locally uncommon
<i>Muhlenbergia rigens</i>	Deergrass	Locally uncommon
Themidaceae	Brodiaea Family	
<i>Brodiaea terrestris</i> ssp. <i>kernensis</i>	Kern dwarf brodiaea	Locally uncommon
VASCULAR PLANTS - Ferns		
Blechnaceae	Chain Fern Family	
<i>Woodwardia fimbriata</i>	Western chain fern	Locally uncommon
Pteridaceae	Maidenhair Fern Family	
<i>Cheilanthes newberryi</i>	Newberry's lip fern	Locally uncommon
<i>Notholeana californica</i>	California cloak fern	Locally uncommon
Thelypteridaceae	Marsh Fern Family	
<i>Thelypteris puberula</i> var. <i>sonorensis</i>	Sonoran maiden fern	CRPR 2B.2
WILDLIFE – Insects and Arachnids		
Acrididae	Short-Horned Grasshoppers	
<i>Trimerotropis occidentiloides</i>	Santa Monica grasshopper	SA
Apidae	Cuckoo, Carpenter, Digger, Bumble, and Honey Bees	
<i>Bombus crotchii</i>	Crotch bumble bee	SA
Haplotrematidae	Predatory Land Snails	
<i>Haplotrema caelatum</i>	Slotted lancetooth snail	Locally uncommon
Helminthoglyptidae	Air-Breathing Land Snails	
<i>Helminthoglypta tudiculata</i>	Southern California shoulderband snail	Locally uncommon
<i>Helminthoglypta willeti</i>	Matilija shoulderband snail	Locally uncommon
Lycaenidae	Gossamer-Winged Butterflies	
<i>Lycaena arota</i>	Cloudy tailed-copper	Locally uncommon

Table 4b. S2 Habitat Sensitivity Indicators		
Scientific Name	Common Name	Status
<i>Lycaena gorgon</i>	Gorgon copper	Locally uncommon
<i>Satyrium auretorum fumosum</i>	Santa Monica Mountains hairstreak	Locally uncommon
Nymphalidae	Brush-Footed Butterflies	
# <i>Danaus plexippus</i> pop. 1	Monarch - California overwintering population	SA
<i>Polygonia satyrus</i>	Satyr anglewing	Locally uncommon
<i>Speyeria callippe comstocki</i>	Comstock's fritillary	Locally uncommon
Tettigoniidae	Bush Crickets	
<i>Aglaothorax longipennis</i>	Santa Monica shieldback katydid	SA
Timematodea	Stick Insects	
<i>Timema monikensis</i>	Santa Monica Mountains timema	Locally uncommon
Zoropsidae	False Wolf Spiders	
<i>Socalchemmis gertschi</i>	Gertsch's socalchemmis spider	SA
WILDLIFE - Fish		
Cyprinidae	Carps, True Minnows, and Relatives	
<i>Gila orcuttii</i>	Arroyo chub	CSSC
WILDLIFE - Amphibians		
Hylidae	Treefrogs	
<i>Pseudacris cadaverina</i>	California treefrog	Locally uncommon
WILDLIFE - Reptiles		
Anniellidae	North American Legless Lizards	
<i>Anniella stebbinsi</i> (formerly <i>A. pulchra pulchra</i>)	Southern California legless lizard	CSSC
Boidae	Boas	
<i>Lichanura trivirgata</i>	Rosy boa	Locally uncommon
Colubridae	Colubrid Snakes	
<i>Arizona elegans occidentalis</i>	California glossy snake	CSSC
<i>Coluber constrictor</i>	Yellow-bellied racer	Locally uncommon
<i>Diadophis punctatus modestus</i>	San Bernardino ringneck snake	SA
<i>Lampropeltis zonata</i>	San Diego mountain kingsnake	WL
<i>Rhinocheilus lecontei</i>	Long-nosed snake	Locally uncommon

Table 4b. S2 Habitat Sensitivity Indicators		
Scientific Name	Common Name	Status
<i>Salvadora hexalepis virgulata</i>	Coast patch-nosed snake	CSSC
Phrynosomatidae	Spiny Lizards	
<i>Phrynosoma blainvillii</i>	Coast horned lizard	CSSC
Teiidae	Whiptails and Racerunners	
<i>Aspidoscelis tigris stejnegeri</i>	Coastal whiptail	CSSC
WILDLIFE - Birds		
Alaudidae	Larks	
<i>Eremophila alpestris</i>	California horned lark	WL, CSB, Locally uncommon
Alcedinidae	Kingfishers	
* <i>Megasceryle alcyon</i>	Belted kingfisher	CSB, Locally uncommon
Cuculidae	Cuckoos	
<i>Geococcyx californianus</i>	Greater roadrunner	CSB, Locally uncommon
Emberizidae	Sparrows, Buntings, Warblers, and Relatives	
<i>Aimophila ruficeps canescens</i>	Southern California rufous-crowned sparrow	WL, CWL
<i>Artemisiospiza belli belli</i>	Bell's sage sparrow	WL, BCC, CWL, Locally uncommon
Parulidae	New World Warblers	
<i>Icteria virens</i>	Yellow-breasted chat	CSSC, CSB
<i>Setophaga petechia</i>	Yellow warbler	CSSC, CSB
Picidae	Woodpeckers	
<i>Picoides villosus</i>	Hairy woodpecker	CSB, Locally uncommon
Troglodytidae	Wrens	
<i>Cistothorus palustris clarkae</i>	Clark's marsh wren	CSSC, CSB, Locally uncommon
Turdidae	Thrushes	
<i>Catharus ustulatus</i>	Swainson's thrush	CSB, Locally uncommon
WILDLIFE - Mammals		
Leporidae	Hares and Rabbits	

Table 4b. S2 Habitat Sensitivity Indicators		
Scientific Name	Common Name	Status
♦ <i>Lepus californicus bennettii</i>	San Diego black-tailed jackrabbit	Locally uncommon
Mephitidae	Skunks	
<i>Spilogale gracilis</i>	Spotted skunk	Locally uncommon
Muridae	Rats, Mice, and Relatives	
<i>Neotoma lepida intermedia</i>	San Diego desert woodrat	CSSC
Notes: + Known from surrounding areas, but few or no records/nesting records in North Area ++ No known recent records in or near North Area * Typically protected only when nesting ** Wintering or nesting burrows are protected # Roost trees ♦ Considered extirpated from North Area		
Federal Status: FE = Federally Endangered FT = Federally Threatened BCC = USFWS Bird of Conservation Concern State Status: SE = State Endangered ST = State Threatened SR = State Rare CST = Candidate for listing as State Threatened CFP = California Fully Protected SA = CDFW Special Animal WL = CDFW Watch List CSSC = California Species of Special Concern Local Rankings CSB = Sensitive Bird in Los Angeles County (Allen et al., 2009) CWL = Los Angeles County Bird Watch List (Allen et al., 2009) Locally Uncommon		NatureServe Conservation Status: Conservation status ranks are based on a one to five scale, ranging from critically imperiled (G1) to demonstrably secure (G5). Status is assessed and documented at two distinct geographic scales - global (G) and state/province (S). California Rare Plant Rank Status: CRPR 1A – Presumed extinct in California CRPR 1B – Rare or endangered in California and elsewhere CRPR 2 – Rare or endangered in California, more common elsewhere CRPR 3 – More information needed CRPR 4 – Limited distribution (Watch List) For each CRPR Ranking, the following sub-categories apply: .1 = Seriously endangered in California (over 80 percent of occurrences threatened/high degree and immediacy of threat) .2 = Fairly endangered in California (20 to 80 percent occurrences threatened) .3 = Not very endangered in California (less than 20 percent of occurrences threatened or no current threats known)

4.1 Development of the Habitat Sensitivity Ranking System

There are several tools available to the land manager to assess the ecological value of habitat for plants and wildlife. These range from simple biological evaluations conducted by experts who provide their best professional opinion to complex quantitative habitat models that provide habitat suitability indices or values. Wildlife-habitat relationships and habitat suitability indices have been statistically modeled for a variety of taxa (Blenden et al., 1986; Murphy and Wilcox, 1986) especially birds (reviewed in Verner, Morrison, and Ralph, 1986; Morrison, Margot, and Mannan, 1992), to predict the occurrence and abundance of species within a habitat, as well as to rank appropriate habitat for a species.

The development of a habitat sensitivity ranking system or habitat suitability indices requires the collection or measurement of a broad suite of wildlife and vegetation data. This can include species diversity, the distribution and abundance of various organisms, their temporal use of the selected habitat of an area, and the species' tolerance to various factors such as disturbance or habitat fragmentation. The collected data may be viewed independently or evaluated through an ecological model that is intended to provide the user with some form of ranking system. As with any system, access to accurate data are essential to support planning efforts and assess habitat sensitivity.

For the North Area, a system was developed to support land use decision making by collecting, reviewing, and analyzing biological and ecological data. Section 2 provides an overview of the data available for the North Area that was considered in the development of this system. Section 3 summarizes some of the human-wildland interactions that provide context for the consideration of habitat sensitivity with respect to development. The best available data were evaluated and mapped to provide the foundation for the habitat sensitivity ranking system in the North Area. This approach is similar to gap analysis (Scott et al., 1993) in that maps of vegetation and species-affinity data have been used as a basis for identifying important habitats for long-term planning efforts.

The system is useful because it allows a planner, developer, or private citizen the ability to view a map and obtain a quick overview of the potential natural resources or development standards in each area. While this information is "coarse," it facilitates the planning process and highlights areas that have development restrictions or may require increased scrutiny during the development process. Similarly, the data highlights areas that would require project-specific field surveys, data collection, and reporting and may require resource avoidance or minimization measures. The maps also highlight areas of lower biological sensitivity where development may be more appropriate.

Habitat Sensitivity Rankings and Habitat Sensitivity Indicators for the North Area were determined by a step-wise process that included a comprehensive review of vegetation data, species distribution, ecological data, and land use designations. Local experts and regulatory staff were interviewed, and extensive field surveys were conducted to ground truth or field verify the information. The five steps used to develop and map the Habitat Sensitivity Rankings are described below.

Step 1: Compile Vegetation and Landform Classification and Mapping

Aspen utilized vegetation and landform data from the National Park Service (NPS) as a base layer for assessing Habitat Sensitivity. From 2001 to 2005, the

Existing vegetation data was augmented for use in the Habitat Sensitivity Ranking System

- Vegetation data at the alliance level was projected over the North Area
- Private and public land use boundaries were projected to aid in navigation and assessment
- Field surveys were conducted across the entire North Area where legal access was available to ground-truth the data and identify data gaps or land use changes
- Maps were updated and revised based on field investigations and review of 2014 aerial imagery
- Vegetation data was classified by alliance for private/public lands

NPS and USGS partnered to develop a comprehensive vegetation map of the entire Santa Monica Mountains National Recreation Area and surrounding contiguous areas of the Santa Monica Mountains. Because the NPS vegetation mapping data covers nearly all of the North Area and surrounding area, it represents the best available data for this assessment. NPS provided the most current version of the data in GIS during the preparation of this report, and it forms the basis for the habitat analyses provided herein.

The existing data were reviewed and projected over the North Area. Vegetation and landform data were mapped and focused field investigations were conducted to ground-truth the information received from the NPS. During the field investigations, any land use changes were identified and the maps were updated to reflect any changes. For example, in locations where land use changes were observed, the maps were revised to show current land uses (e.g. vineyards, fire breaks, and residential development on previously vegetated areas). In addition, a small portion of the North Area near Hidden Hills was not included in the NPS data and has been added.

Assessing Vegetation

The vegetation of the Santa Monica Mountains is extremely varied but can be categorized broadly as a mosaic of chaparral, coastal sage scrub, oak woodlands, riparian woodlands, and grasslands. Each of these communities may be divided into “alliances”, or subgroupings defined by the dominant or co-dominant species present. Thus, multiple different alliances can fall into a general category. For example, in the North Area, coastal scrub communities consist of many different alliance-level associations. These alliances exhibit the same general structure and often provide similar ecological attributes, but, vary somewhat in the species composition. Often these subtle differences in species composition reflect different levels of moisture availability and sun exposure, whether the area has experienced a recent or historic fire, soil differences, and different levels of disturbance. Some of these alliances are considered rare by the State or are extremely uncommon in the North Area. Once mapped and field verified, each of the vegetation communities were assigned a preliminary Habitat Sensitivity rank of S1, S2, S3, or S4 (see Figure 7 in Attachment 1).

Step 2: Review Existing Literature and Available Databases

A wealth of data exists on the biological resources in the North Area and the greater Santa Monica Mountains. The information used to evaluate and determine sensitivity was compiled from a wide variety of sources including federal, State, and County planning documents, supporting technical studies, various database records, interviews with local experts, and other biological studies conducted throughout the North Area. Some of the data considered included:

- Los Angeles County General Plan 2035, the Santa Monica Mountains Significant Ecological Area (SEA) Ordinance supporting documentation (2015); Santa Monica Mountains Local Coastal Program and technical appendices (2014); Los Angeles County Oak Woodlands Conservation Management Plan (2014); County ordinances related to biological resources (various dates); Santa Monica Mountains North Area Community Standards District; and Santa Monica Mountains North Area Plan (2000).

- Regional planning documents such as the Rim of the Valley Corridor Draft Special Resources Study and Environmental Assessment (2015), Santa Monica Mountains National Recreation Area General Management Plan (2002), Santa Monica Mountains Comprehensive Plan (1979), and Ventura Freeway Corridor Areawide Plan (2000).
- Lists of special-status species maintained by the California Department of Fish and Wildlife (CDFW, formerly CDFG): State and Federally Listed Endangered and Threatened Animals of California (CDFW, 2017b); Special Animals List (CDFW, 2017c); and Special Vascular Plants, Bryophytes, and Lichens List (CDFW, 2017d).
- Databases including the California Natural Diversity Database (CNDDDB), CalFlora, California Consortium of Herbaria (CCH), CNPS Rare Plant Inventory, eBird, iNaturalist, and VertNet.
- Unpublished data from the NPS, including species lists, wildlife movement data, general and focused survey results, vegetation mapping, and lists of species considered common in the State but appear to be or rare or uncommon in the North Area.
- Published literature on a variety of local resources and issues, including wildlife movement, habitat fragmentation and genetic diversity, and species diversity and distribution.
- Federal publications on the status of listed species in and near the North Area: California red-legged frog, southwestern willow flycatcher, least Bell's vireo, California gnatcatcher, Lyon's pentachaeta, Braunton's milk-vetch, Agoura Hills dudleya, and Santa Monica Mountains dudleya.
- Review of aerial imagery, topographical maps, National Hydrography Dataset (NHD), and National Wetlands Inventory (NWI) data.
- Soil data and geologic maps and several models were run to identify slope data and evaluate potential drainages at a scale not represented by existing NHD data.
- Slope analysis was conducted to determine areas above and below a 25 percent slope gradient.

Several local experts were also interviewed to provide information, including unpublished and anecdotal data, to aid in the development of this report:

- Tarja Sagar, Botanist, Santa Monica Mountains National Recreation Area
- Seth Riley, Wildlife Biologist, Santa Monica Mountains National Recreation Area
- Kathleen Delaney, Wildlife Biologist, Santa Monica Mountains National Recreation Area
- Justin Brown, Wildlife Ecologist, Santa Monica Mountains National Recreation Area
- Joanne Moriarty, Wildlife Ecologist, Santa Monica Mountains National Recreation Area
- Clark Stevens, Resource Conservation District of the Santa Monica Mountains
- Rosi Dagget, Resource Conservation District of the Santa Monica Mountains
- Erinn Wilson, California Department of Fish and Wildlife
- Dan Cooper, Cooper Ecological

- Robb Hamilton, Hamilton Biological Services and
- Joe Decruyenaere, Biologist for the County of Los Angeles

Step 3: Consider the Accuracy and Precision of the Best Available Data

An extensive review of vegetation data, literature, and resource databases was conducted to map vegetation, identify important features, species locations, and other biotic and abiotic factors that could be used to predict or determine the most likely locations of sensitive species or important habitat in the North Area. While each data set provides important information for a given species, habitat, or resource, there are several factors that must be considered when using existing data to model or predict the distribution of sensitive resources or habitat functions. After reviewing the best available information, several important caveats were identified that affect the power of the data and how it can be used to assign habitat sensitivity rankings to the North Area.

Vegetation Caveats

The vegetation communities mapped in this effort are based on the NPS Santa Monica Mountains vegetation mapping project, and while this dataset represents the most comprehensive information available regarding the vegetation in the North Area, several caveats are warranted. Vegetation coverage can be dynamic and change over time. For example, an area mapped as mulefat scrub (a riparian alliance) in 2006 may be occupied by different riparian vegetation alliance such as willow scrub in 2016. Similarly, annual grasslands may now be dominated by scrub or nonnative herbaceous communities such as mustards or Russian thistle. In addition, some areas of a particular vegetation type are small and not recorded depending on the minimum mapping unit that is set for the map. The mapping scale for this effort was one acre. In the vegetation data used for this report, important features or vegetation including rock outcrops, riparian vegetation, or scattered oak trees are often “swallowed up” due to the mapping scale and are characterized by the surrounding vegetation such as chaparral or coastal sage scrub. This scenario is particularly true for small riparian associations that may occur as a narrow thread of vegetation within a broad scrub or chaparral community. Similarly, small patches of native grasslands, seeps, springs, or rock features supporting unique or rare plants are often “lost” within the broader habitat matrix. Other important caveats include:

- Vegetation types typically intergrade on the landscape, without precise boundaries. In some cases, vegetation boundaries are distinct, often resulting from events such as wildfire or flood. These boundaries may become much less apparent after years of post-disturbance succession. Therefore, mapped boundaries represent best professional judgment, but should not be interpreted as literal delineations between sharply defined vegetation types.
- Natural vegetation tends to exist in general recognizable types, but also may vary over time and geographic region. Written descriptions cannot reflect all local or regional variation. Many stands of natural vegetation do not strictly fit into any named type. Therefore, a mapped unit is given the best name available in the classification, but this name does not imply that the vegetation unambiguously matches written descriptions.

- Photo interpretation of some types may be difficult. Accuracy of a vegetation map will vary depending on the level of ground-truthing efforts. For the purposes of this assessment, key areas were field-verified and updated as needed; however, the large size of the North Area and private property restrictions precluded detailed field verification across the entire mapped area.

Data Accuracy

The accuracy of the data varies greatly across the region, database, or model. Some reports and survey data provide highly accurate data that contains detailed information on species numbers, locations, and habitat associations. Conversely other data sets assign vague or ambiguous locations that are not intended to be used as a site-specific tool but rather to highlight regions where a given species is most likely to occur. Other data sets do not disclose specific locations to prevent target species, such as pond turtles or raptor nests, from intentional human disturbance.

Some Available Sampling Data are Incomplete, Biased, or Coarse

The North Area has been subject to a wide variety of studies, surveys, and land management activities. Many of these have been conducted on public lands managed by the NPS or other land management groups. Information for these areas is generally robust with detailed accounts of sensitive resources and other land use factors. Conversely, biological resource inventories have only been conducted on a few private parcels, which leads to data gaps on the distribution of resources in the North Area. A review of the data alone underrepresents the distribution of sensitive plants and wildlife that likely occur in the North Area.

Other data sets such as soil maps are useful at highlighting areas where a plant or animal may be found but are generally too coarse to be used in a habitat model or ranking system. For example, several rare species of *Dudleya* are found on rock outcrops or in volcanic soils. Lyon's pentachaeta, another rare annual plant, is typically found on rocky clay soils in openings in coastal scrub, chaparral, and grasslands. It is also associated with disturbed locations such as trails, roads, or even graded areas. These species are tied to a unique microhabitat that only occurs in a few locations within the mapped unit despite the underlying geologic or soils map. Use of the soil map alone would over-represent the potential for these species to occur in each area but could be used as an indicator for potential occurrence.

Step 4: Evaluate Rarity or Sensitivity and Assign Habitat Sensitivity Rankings

To evaluate rarity and determine if a type of vegetation, feature, or species should be protected, this assessment considered a variety of factors including but not limited to existing regulations protecting or identifying sensitive vegetation, species, or features; the presence of sensitive species; soils and geology data; vegetation type and its role in supporting sensitive plants or wildlife; and how a feature or habitat plays a role in supporting ecosystem function. These factors were evaluated, and specific Habitat Sensitivity Indicators were identified to develop the Habitat Sensitivity Rankings. The Habitat Sensitivity Indicators include the same habitat, species, or features that were considered in the evaluation and assignment of Habitat Sensitivity Rankings, but, were not mapped as individual features. These indicators are included in the habitat definitions to draw attention to their presence if found on a given

property (see Tables 4a and 4b for a list of all Habitat Sensitivity Indicators). Some of the information that was considered included:

- Is the habitat already designated rare by a, local, State or federal agency, CNPS, or NatureServe?
- Is the community or species locally uncommon in the North Area because it is at the edge of its range or has undergone substantial loss on a statewide basis, or does it provide important habitat functions for sensitive wildlife or contribute to the broader ecological health of the region?
- Do local experts consider the species at risk or declining?
- Is a vegetation community susceptible to disturbance or type conversion?
- What percentage of the habitat type occurs on protected lands or lands less likely to be developed due to slope or isolation?

Vegetation

The vegetation data were layered with the various databases to develop maps that could be reviewed on a coarse and fine scale. This allowed us to view the data across the North Area and determine what percentage of the vegetation or species are conserved or protected on public lands. The data also provided us with a tool to determine the power or usefulness of the data. Our general approach for vegetation is described below.

- 1) Review NPS vegetation and landform data and identify sensitive vegetation communities that occur in the North Area. Vegetation that was considered sensitive was highlighted and then evaluated based on its distribution in the North Area.
- 2) Assess each vegetation type to determine if it warranted inclusion in a S1 or S2 ranking. The goal of S1 is to include only the rarest habitat or habitat that plays crucial habitat functions. Some vegetation communities ranked by NatureServe are considered globally rare, but we did not consider them as an S1 community in the North Area because they are successional or they do not provide essential habitat functions for sensitive plants or wildlife.
- 3) Evaluate if the vegetation community is important to sensitive plants and wildlife. Each of the vegetation communities and their sensitivity is discussed below.
- 4) All riparian vegetation types (when located in a riparian area not as an isolated plant) and woodland vegetation types including oak woodland, oak savannah, bay laurel, and black walnut woodlands were considered S1 habitat because of their ecosystem function.
 - a. *Rationale for riparian:* In California, more than 95 percent of riparian habitats that were present prior to European settlement have been severely degraded or destroyed (Smith, 1977; Katibah, 1984). Although riparian zones naturally account for a low percentage of the total landscape (often less than 1%), they typically accommodate a disproportionately high number of species and provide a larger degree of ecological function than surrounding upland areas (Fischer and Fischenich, 2000). This factor recognizes the inherent importance of riparian areas and considers the known presence of sensitive plants or wildlife in the project area regardless of the habitat conditions that occur. Riparian habitat comprises approximately four percent of

the total vegetation in the Santa Monica Mountains, yet it supports 24 percent of species. In the North Area, several sensitive species including the southern western pond turtle (*Actinemys pallida*), two-striped garter snake (*Thamnophis hammondi*), coast range newt (*Taricha torosa torosa*), and yellow-breasted chat (*Icteria virens*) are found in riparian areas.

- b. *Rationale for buffer habitat:* This designation would extend to all habitat adjacent to riparian areas regardless of community type because many aquatic and semi-aquatic species rely on adjacent terrestrial habitats to complete their life cycles (Semlitsch and Bodie, 2003; Spinks et al., 2003; Burke and Gibbons, 1995) and riparian vegetation provides necessary foraging and nesting habitat for many bird species (Rottenborn, 1999; Bolger et al., 1997); even relatively disturbed areas that are adjacent to existing riparian vegetation can be important to a suite of common and sensitive wildlife. In many instances bird use along the margins of riparian areas is extremely high. The edges where riparian habitat meets with upland habitat are known as ecotones, or transitional habitats. Numerous studies have shown that transitional habitats are critical for many animal species. Productivity of these areas is often high, supporting large numbers of insects, small reptiles, mammals, and other prey items. Similarly, sensitive wildlife may use these areas for foraging, dispersal, or other important behaviors.

Buffer areas that include existing development such as roads, residences, corrals, or other structures can be used by some species of wildlife, but these land uses often have detrimental effects to biological resources. These areas are included in the buffer designations and would be evaluated during a project's pre-development planning process.

- c. *Rationale for oak and other woodlands:* Oak trees are recognized by the County as significant historical, aesthetic, and ecological resources. Impacts to oaks are regulated under the County's Oak Tree Ordinance, which requires an oak tree permit for any impacts to oak trees. Although not considered a sensitive alliance by CDFW, for the purposes of this report coast live oak woodland is considered sensitive consistent with California Public Resources Code § 21083.4, the County Oak Tree Ordinance and reflective of its key role in the ecology of the Santa Monica Mountains; therefore, any oak woodland regardless of dominant species is considered sensitive. Oak woodland habitat is very slow growing and even modest impacts may take many years to repair. Oak woodlands generally provide high-quality habitat for a large variety of wildlife species. They also contribute woody debris to the duff in the woodland understory, which provides foraging areas for small mammals and microclimates suitable for amphibians and reptiles. Oak trees provide nesting habitat for numerous passerine birds as well as for raptors such as the rare long-eared owl (*Asio otus*) and Cooper's hawk (*Accipiter cooperii*). Silvery legless lizard (*Anniella pulchra pulchra*), shoulderband snails, and ensatina (*Ensatina eschscholtzii*) are often found in the leaf litter below oak trees.

5) All seeps, springs, rock outcrops, waters, and ponds are considered an S1 habitat.

- a. *Rationale for seeps, springs and wetlands:* Seeps and springs are important communities in the North Area, with a unique association of plants and wildlife including ferns and mosses, wildflowers, invertebrates, and amphibians (especially salamanders). At least five species of newts and salamanders are found in the Santa Monica Mountains including arboreal

salamander (*Aneides lugubris*), black-bellied slender salamander (*Batrachoseps nigriventris*), ensatina, and California newt. Seeps and springs are small and difficult to discern on aerial imagery, and NPS did not map these features in the North Area because they are smaller than the one-acre minimum mapping unit and usually obscured by overstory vegetation. Only a few wetland sites were mapped in the NPS's mapping effort. This habitat contains dense to intermittent herbaceous vegetation in wet soil or shallow standing water, usually at the edge of a water body and have important ecosystem functions.

- b. *Rationale for rock outcrops:* Rock outcrops are frequently associated with rare annuals, bryophytes, and lichens. Other plants often found on the rock faces in protected areas include Dudleya, Selaginella, and various lichens. Agoura Hills dudleya (*Dudleya cymosa* ssp. *agourensis*) is federally listed as Threatened and occurs on rock outcrops in and near the North Area. Rock outcrops provide habitat for bats and are used by cavity nesting birds such as rock wrens (*Salpinctes obsoletus*).

Rock outcrops that do not support sensitive plants or wildlife, as determined through a site-specific review, would not be considered sensitive.

- 6) All native grasslands larger than 0.10 of an acre are considered an S1 habitat.

- a. *Rational for native grasslands:* Native grasslands are extremely rare and are often overlooked in non-native grasslands. The presence of these communities often includes many native wildflowers, some of them rare, and may include important soil crusts. Wildflower fields are considered rare by the CDFW, contribute to species diversity, and often provide important food sources for native wildlife. Native grasslands must meet the membership rules identified in the latest version of *A Manual of California Vegetation* (Sawyer, Keeler-Wolf, and Evans, 2009).

- 7) All non-native grasslands are considered an S2 habitat.

- a. *Rational for non-native grasslands:* Annual grasslands are important foraging habitat for a variety of species. Mourning dove (*Zenaidura macroura*), western meadowlark (*Sturnella neglecta*), savannah sparrow (*Passerculus sandwichensis*), and a variety of raptors are strongly associated with annual grasslands. Northern harrier and white-tailed kite, both State-protected species, forage in grasslands and open areas. Annual grasslands often support a wide variety of native annuals and may contain native grasses.

- 8) Coastal sage scrub communities are considered S2 habitats.

- a. *Rational for coastal scrub:* Coastal sage scrub provides a unique vegetation structure that supports a variety of species and has experienced rapid decline in the past decade from development and type conversion from wildfires. In the North Area, this community supports a variety of sensitive plants and wildlife including Plummer's mariposa-lily (*Calochortus plummerae*), rufous-crowned sparrow (*Aimophila ruficeps*), coastal whiptail, and coast horned lizard (*Phrynosoma blainvillii*). It is likely that San Diego desert woodrat (*N. lepida lepida*), a California Species of Special Concern, also occurs in this habitat. Many of these scrub-associated species are widely distributed in the North Area, and large tracts of

coastal sage scrub are protected on public lands or occur in areas with lower development potential (e.g., areas above 25 percent slope).

9) Chaparral communities are considered S2 habitats.

- a. *Rationale for chaparral:* Chaparral is a scrub community that shares many of the common shrub and herbaceous species as coastal scrub but is denser and taller than coastal sage scrub. Due to their overall similar structure and composition, many wildlife species in the North Area are widespread throughout the chaparral communities; however, this community type is not essential to a particular rare species. Cedar waxwings (*Bombycilla cedrorum*) forage on various fruit-producing plants such as elderberries and toyon, and woodrat middens occupied by big-eared woodrat (*Neotoma macrotis*) are often found in this community. Mountain lions also den beneath large shrubs in chaparral communities. Therefore, while chaparral is important habitat for a variety of wildlife, it is widespread in the North Area and is not considered a limiting resource for any sensitive species.

10) Disturbed, ruderal, and nonnative vegetation communities are considered S3 habitats.

- a. *Rationale for disturbed, ruderal, and nonnative vegetation:* Disturbed areas are typically devoid of vegetation or are subject to continual disturbance by vehicles, pedestrians, or other human causes. They do not typically support a wide assemblage of native plants or wildlife; however, they are used for foraging and dispersal by many species. If friable soils and suitable prey items persist, they can be colonized by sensitive species including horned lizards once the disturbance has ended. In some instances, recently graded or disturbed areas may support sensitive plant species that have laid dormant in the seed bank for many years. Some of these plants may include the federally listed Lyon's pentachaeta and Braunton's milk-vetch. Similarly, a variety of wildflowers including several rare species of mariposa lily may bloom in recently cleared chaparral. Over time these areas may reestablish native communities if the underlying soil structure is intact.

Many disturbed areas may transition to ruderal communities as native and non-native pioneering plant species readily colonize open disturbed soil and thrive as a result of human impacts. Colonizing annuals often include summer mustard, tocalote, and Russian thistle. Some non-native and often invasive herbs include tumbling pigweed (*Amaranthus albus*), scarlet pimpernel (*Anagallis arvensis*), mayweed (*Anthemis cotula*), pineapple weed (*Matricaria discoidea*), Italian thistle, red-stem filaree, and sweet fennel (*Foeniculum vulgare*). Prickly lettuce (*Lactuca serriola*), horehound (*Marrubium vulgare*), bur-clover (*Medicago polymorpha*), and spiny cocklebur are also common in some ruderal communities.

Non-native plant communities can include but are not limited to stands of non-native trees such as gum (eucalyptus), Peruvian pepper tree, or tree of heaven. Giant reed is common to many watersheds in the North Area and is a threat to native riparian communities. Although many native species forage and nest in non-native trees, including several species of raptors, these trees are generally considered to have a lower value to native wildlife compared to stands of native vegetation.

11) Developed and agricultural lands are considered an S4 habitat.

- a. *Rationale for developed and agricultural lands:* Developed lands is a cover type used to describe areas that support residential or commercial development, other facilities, or roads. Developed areas support disturbance/urban tolerant species including house finches, doves, raccoons, opossums, skunks, and small rodents. Barn owls and red-tailed hawks are often found in residential areas of the North Area. Agricultural lands can be used by a variety of native species depending on the crop, use of pesticides or herbicides, type of fencing, and level of human disturbance. Developed areas and agricultural lands displace habitat, and while some species can adapt and even thrive in these areas, the composition of native species is greatly diminished compared to natural areas. In addition, these areas often have impacts that extend well away from the development. Known as edge effects, lighting, fencing, domestic animals, and noise all contribute to a decline in species diversity along urban areas. See Section 3.1 for more information on edge effects and other urban impacts on native plants and wildlife.

Plants

Special-status plants that meet one or more of the following criteria were considered in the development of the Habitat Sensitivity Ranking System:

- Designated as either rare, threatened, or endangered by CDFW or the USFWS, and are protected under the California or federal Endangered Species Acts (ESA);
- Candidate species being considered or proposed for listing under these same acts;
- Classified as California Rare Plant Rank (CRPR) 1, 2, 3, or 4 by CDFW and CNPS;
- Are of express concern to resource/regulatory agencies or local jurisdictions;
- Locally uncommon in the North Area; or
- Listed on watch lists or provided with special conservation designations by professional working groups/societies.

Available rare plant occurrence records were layered with the vegetation maps to identify locations and habitat associations in order to estimate the percentage of each species conserved or protected on public lands in the North Area. The general approach to incorporating rare plants in the Habitat Sensitivity Rankings is described below.

- 1) Identify all State or federally listed species, designated Critical Habitat, and CRPR 1 to CRPR 4 species. Review lists of species not designated as special status but that are considered uncommon in the North Area (even if they are more common elsewhere in California).
- 2) Evaluate mapped occurrences of special-status and locally uncommon plants in the North Area and review CNPS/California Consortium of Herbarium records for each plant.
- 3) Assign habitat sensitivity rankings (S1-S2 rankings) for rare plant observations where there was accurate information regarding the specific location of the plant occurrence. For example, we mapped known polygons of a rare *Dudleya* where the occurrence data were extremely accurate.

However, most data points were of undetermined accuracy and precision, and we did not attempt to assign map features for *all* rare plant observations.

- a. *Rationale*: Mapping these locations assumes we have more comprehensive data than what is available. It is important to note that these records do not represent all the special-status species occurrences in the North Area, as they are limited to only those occurrences that have been reported by observers. Most locations within the North Area have not undergone extensive biological surveys. We did not attempt to predict the locations of other occurrences based on existing species data, mapped distribution information, or soils data. However, based on a review of the published data and the ecology of each plant species, rare plants could be expected to occur in unsurveyed locations with similar habitat and soil conditions as those found during surveys of public lands.
- 4) Consider all listed plants as S1 habitat indicators. All USFWS designated Critical Habitat was considered S1 habitat.
- a. *Rationale for listed plants*: Because so few federally and state-listed plants occur in the North Area, their total protection is warranted. In addition, the County cannot authorize the take of these species. Critical Habitat was considered S1 habitat; however, the S1 ranking – as determined by more intensive investigation, including field visits – would be limited to areas that provide the Primary Constituent Elements (PCEs) required to support the target species. Species-specific PCEs are identified by the USFWS in each critical habitat designation and are those characteristics that are considered vital to the long-term conservation of a taxon. As an example, PCEs that have been recognized for Lyon’s pentachaeta, and have been included in the final rule for designated critical habitat, include:
 - a. Clay soils of volcanic origin.
 - b. Exposed soils that exhibit a microbiotic crust which may inhibit invasion by other plant competitors.
 - c. A mosaic of bare ground (>10%) patches in an area with less than 60 percent cover.

Areas that may have been mapped as S1 habitat because they are within designated critical habitat, but do not support PCEs may ultimately be determined not to be S1 habitat, depending on the results of a site-specific biological assessment.

- 5) Some but not all CRPR 1 through CRPR 4 and locally uncommon species were considered S1 habitat indicators. S1 species were limited to the most uncommon in the North Area. We used a threshold of five CNPS/CCH records in Los Angeles County (exclusive of the Islands) as the maximum cutoff for S1 Habitat Indicator Species. All other uncommon plants were included in the S2 Habitat Indicator Species list (see Tables 4a and 4b).
- a. *Rationale for rare/uncommon plants*: We acknowledge that the five-occurrence threshold is somewhat arbitrary, but it has been used in Ventura County and the NPS considered this a reasonable threshold (T. Sagar, pers. comm.). We did not attempt to predict the locations of other occurrences based on existing species data, mapped distribution information, or soils

data. However, we can expect, based on a review of the published data, that we would likely have the same potential to locate rare plants in un-surveyed locations with similar habitat as those found during surveys of public lands.

Wildlife

Special-status animals that meet one or more of the following criteria were considered in the development of the Habitat Sensitivity Ranking System:

- Designated as threatened or endangered by CDFW or the USFWS, and are protected under the California or federal Endangered Species Acts (ESA);
- Candidate species being considered or proposed for listing under these same acts;
- Designated as Species of Special Concern by CDFW;
- Fully protected by the California State Fish and Game Code, Sections 3511, 4700, 5050, or 5515;
- Are of expressed concern to resource/regulatory agencies or local jurisdictions;
- Locally uncommon in the North Area; or
- Included on watch lists or provided with special conservation designations by professional working groups/societies (e.g., Western Bat Working Group).

Available wildlife occurrence records were layered with the vegetation maps to identify locations and habitat associations in order to estimate the percentage of each species conserved or protected on public lands in the North Area. The general approach to incorporating special-status wildlife in the Habitat Sensitivity Rankings is described below.

- 1) Identify all State or federally listed species, designated critical habitat, and Species of Special Concern. We also considered lists of species that are not designated with a special conservation status but that are considered uncommon in the North Area (even if they occur more commonly elsewhere in California).
- 2) Evaluate mapped occurrences of special-status and locally uncommon wildlife in the North Area, and review databases for occurrence and habitat requirements.
- 3) Consider all listed and fully protected wildlife as S1 habitat indicators. All USFWS designated Critical Habitat was mapped as S1 habitat. Because of patchy or incomplete data, we did not attempt to assign map features (S1-S2 rankings) for sensitive wildlife observations.
 - a. *Rationale for listed wildlife:* Because so few listed wildlife species occur in the North Area, their protection is warranted. Any list presented in this report should be considered preliminary and not a complete representation of S1 indicators. For example, any listed or fully protected species that is identified should be considered an S1 Indicator Species in the North Area. Similarly, some species may continue to decline regionwide or become locally uncommon, which would elevate them to an S1 Indicator Species until an assessment can be made to evaluate rarity and sensitivity.
- 4) Include special-status riparian-dependent species as S1 Indicator Species.

- a. *Rationale for riparian-dependent species:* We included riparian-associated species as S1 indicator species even though they are already protected by an S1 vegetation ranking (riparian vegetation and streams) because some species, including the two-striped garter snake and southern western pond turtle, require upland habitat for overwintering that likely extends far outside the 100-foot buffer given to S1 habitats.
- 5) Include select California Species of Special Concern and locally uncommon species as S1.
 - a. *Rationale for inclusion:* The species include as S1 indicator species are uncommon or declining in the region, such as yellow belied racer, burrowing owl, and American badger. Other species such as mountain quail are included even though they may be extirpated from the area. Some species favor unique habitat associations.
- 6) Consider all other California Species of Special Concern and locally uncommon species as S2 habitat Indicators.
 - a. *Rationale for inclusion:* Many of the other species do not appear to warrant inclusion in the S1 Habitat Indicator Species list. Some are protected by virtue of their association with vegetation types designated as S1 Habitat, occur primarily on public lands, or can use a variety of habitats in the North Area. Others are likely underrepresented or underreported in existing databases and are more widely distributed in the North Area than records suggest. Inclusion as an S2 indicator species provides these species special consideration during future development, but their presence alone would not preclude development. The intent of all S2 Habitats or Habitat Indicator Species is to raise the level of awareness if detected, and to avoid or minimize effects to these species when possible and mitigate when impacted.

Step 5: Finalize Habitat Sensitivity Rankings and Habitat Sensitivity Indicators

Habitat Sensitivity Rankings for the North Area were determined by considering the best available information and weighing the rarity or sensitivity of the vegetation, feature, or species in the North Area. These rankings were mapped to highlight areas subject to different development standards, scrutiny, and level of pre-development planning. Each proposed Habitat Sensitivity Ranking defines the sensitivity of the habitat and includes associated recommendations on allowable uses. In addition to the four mapped sensitivity rankings (S1, S2, S3, and S4), a list of Habitat Sensitivity Indicators was developed for S1 and S2 Habitat Sensitivity Rankings. Habitat Sensitivity Indicators are those sensitive resources that warrant consideration and protection in the North Area but are not available as mapped datasets. The presence of Habitat Sensitivity Indicators is determined during site-specific biological assessments and these indicators may elevate a mapped sensitivity ranking, if present.

S1 Habitat: Habitat of Limited Distribution, Particular Rarity, or Important Habitat Function

S1 habitat is restricted to the most unique or rare habitat or habitat that provides essential functions for native plants and wildlife. S1 habitat includes areas supporting State and/or federally listed species or species considered unusually rare or unique for the North Area. S1 Habitat Sensitivity Indicators include each of the trigger vegetation communities, landforms, features or species used to develop the ranking (See Table 4a). S1 Habitat Sensitivity Indicators include:

- The rarest and most sensitive habitat in the North Area (e.g., riparian and oak woodlands);
- The presence of any State or federally listed or candidate species or their Critical Habitat;
- Any State fully protected species;
- Any habitat essential to the life history of a State and/or federally listed or candidate species;
- The rarest wildlife species considered California Species of Special Concern by the CDFW;
- The rarest CRPR 1B plants and the rarest locally uncommon plants or wildlife;
- Unique features such as seeps, springs, vernal pools, and rock outcrops;
- All ephemeral, intermittent, and perennial drainages; and
- Any area within 100 feet of an ephemeral, intermittent, or perennial drainage.

S1 Development Restrictions: S1 habitat has the most restrictive development standards. Little to no development should occur in S1 habitat. S1 habitats are considered especially rare and important and would require the most comprehensive assessment of biological resources.

S2 Habitat: Intact but Broadly Distributed Habitat

S2 habitat includes any native scrub or chaparral community and non-native annual grasslands. S2 habitat includes some native scrub communities that are considered rare and may be rare locally but are more common in other areas of the County and State. Most of these communities have the potential to support sensitive plants and wildlife not identified in the S1 designation and play important roles in supporting biodiversity, wildlife movement, and watershed function. S2 Habitat Sensitivity Indicators include each of the trigger vegetation communities, landforms, features, or species used to develop the ranking (See Table 4b). S2 Habitat Sensitivity Indicators include:

- Any species designated as a California Species of Special Concern by the CDFW not identified in the S1 Habitat Sensitivity Indicator List;
- All the uncommon plants and wildlife of the Santa Monica Mountains not identified in the S1 Habitat Sensitivity Indicator List;
- All native vegetation communities not identified in the S1 Habitat Sensitivity Indicator List;
- California annual grasslands and wildflower fields;
- Important nest or roosting trees or manmade structures for bats or raptors.

S2 Development Restrictions: S2 habitat may be subject to development after consideration of site-specific conditions. S2 Habitats include all other native vegetation communities and have the potential to support biological resources. Prospective developers would be required to conduct a biological resources inventory to demonstrate existing habitat conditions and the presence of S2 Habitat Sensitivity Indicators. Development would be expected to make every effort to avoid any S2 Habitat Sensitivity Indicators. If avoidance is not possible, the developer must make every effort to minimize impacts to S2 Habitat Sensitivity Indicators and provide mitigation to off-set impacts. Development could be restricted if it is determined that the development would result in a decline of a native species in the North Area.

S3 Habitat: Disturbed, Non-Native, and Cleared Habitat

S3 Habitat includes areas supporting ruderal or disturbed plant communities, non-native vegetation, legally cleared areas, and fuel modification zones. There are no Habitat Sensitivity Indicators for S3 habitat. However, there is a potential to locate S1 or S2 Habitat Sensitivity Indicators within areas

mapped as S3. Fire breaks and legally cleared areas may support some disturbance-tolerant plants including Lyon's pentachaeta or Branton's milk-vetch. Some species of mariposa lilies and several annual plants may lay dormant in the soil and not be detected until an area is cleared of brush. Many small drainages can occur in these areas and they are often overlooked during surveys. Special emphasis must be placed on these areas to ensure Habitat Sensitivity Indicators are not disregarded. S3 features include:

- Disturbed plant communities and non-native vegetation;
- Ornamental vegetation and legally cleared lands; and
- Fuel modification zones.

S3 Development Restrictions: S3 habitat may be subject to development after consideration of site-specific conditions. These areas should be the focus of development where possible. A reconnaissance-level survey should be conducted to assess if S1 or S2 Habitat Sensitivity Indicators (sensitive plants and wildlife) could occur on or near the site. Note that many areas mapped as S3 (or even S4) may be in S2 (or S1) habitat areas following the results of a site-specific biological assessment.

S4 Habitat: Developed and Agricultural Lands

S4 Habitat includes areas supporting legally authorized residential, commercial, or agricultural development. S4 includes low-density rural residences. These areas should be the focus of development where possible. There are no Habitat Sensitivity Indicators for S4 habitat. However, there is a potential to locate S1 or S2 Habitat Sensitivity Indicators within areas mapped as S4. Some developed areas abut perennial streams or sensitive vegetation communities. Disturbed road edges at vineyards or recently graded areas can support several species of rare plants. While the potential to encounter rare species is generally low, care must be taken to ensure Habitat Sensitivity Indicators are not disregarded.

S4 Development Restrictions: S4 habitat may be subject to development after consideration of site-specific conditions. Some sensitive plants and wildlife may occur in these areas. A reconnaissance-level survey should be conducted to assess if S1 or S2 Habitat Sensitivity Indicators (sensitive plants and wildlife) could occur on or near the site and if additional studies are warranted.

4.2 Implementation Guide to Habitat Sensitivity Rankings and Habitat Sensitivity Indicators

This section describes how the Habitat Sensitivity Rankings should be used when planning a project in the North Area. Each ranking in Habitat Sensitivity Ranking System defines the sensitivity of the habitat and provides recommendations on allowable uses. Maps of the North Area were created using vegetation, land use designations (e.g., designated critical habitat) and other factors. The intent of the Habitat Sensitivity Maps and the Habitat Sensitivity Indicators is to assist County Planners, developers, and residents to:

- Be informed of the development standards and conservation strategies in the North Area;
- Highlight areas that warrant the highest conservation priorities versus areas more suitable for development;

- Identify sensitive habitat, species, land use designations, or features that may occur on proposed development sites;
- Provide lists of habitats, species, land use designations, or features that warrant special protection or avoidance in the North Area; and
- Streamline the development process in locations that do not support protected resources.

The Habitat Sensitivity Maps and Habitat Sensitivity Indicators are intended to be a screening tool when planning development in the North Area and are not intended to be used as the sole source of information for planners or developers. Some important considerations when using the Habitat Sensitivity Maps and Habitat Sensitivity Indicators include:

- Vegetation communities change over time and areas mapped as one community type may be different in the future due to fire, succession, fuel modification zones, or other disturbance.
- The scale of the maps may not accurately characterize habitat conditions on a small parcel or the parcel may include important habitats not detected during the larger mapping effort.
- The maps cannot accurately show the distribution of sensitive plants and wildlife or include all important habitat features such as rock outcrops or drainages.
- The Habitat Sensitivity Indicators list may change over time as new species are added or species are removed from the list due to recovery efforts or changes in their populations.
- The maps are not intended to bypass existing laws, ordinances, or regulations that protect sensitive resources including the California Environmental Quality Act (CEQA), or regulations administered by the U.S. Fish and Wildlife Service (USFWS), California Department of Fish and Wildlife (CDFW), U.S. Army Corps of Engineers (USACE), or Regional Water Quality Control Board (RWQCB). See Attachment 4 for a description of regulations related to biological resources.

The Habitat Sensitivity Maps and Habitat Sensitivity Indicators should be considered a high-level pre-development planning tool that raises awareness of a site and should be paired with site-specific assessments. These assessments are required to verify habitat conditions and to confirm the Habitat Sensitivity Ranking is appropriate for a proposed project site. For example, the best available data presented on the maps may assign a Habitat Sensitivity Ranking that is too high or too low based on actual field conditions. This allows the developer the ability to verify site conditions, make an informed decision on the development risk at a given site, and to prove-in or prove-out of a Habitat Sensitivity Ranking.

Development Application: Pre-Development Review Process

As part of the application process, the land owner should identify the Habitat Sensitivity Ranking of the proposed development site, field verify habitat conditions, and ensure their parcels are accurately characterized. This is often referred to as a “prove-in/prove-out” process. Conducting a preliminary investigation allows the land owner or developer to:

- Ensure the site’s mapped Habitat Sensitivity Ranking is accurate and the appropriate development conditions are identified
- Identify if the site supports any S1 or S2 Habitat Sensitivity Indicators that could affect development on the site

- If S1 or S2 Habitat Sensitivity Rankings or Habitat Sensitivity Indicators are detected, evaluate whether design changes can avoid or minimize adverse effects to these resources
- Evaluate if additional permits from the USFWS, CDFW, USACE, or RWQCB are required (in coordination with the County)

S1 and S2 Habitat Sensitivity Indicators could occur in any of the four mapped rankings (S1, S2, S3, and S4) and may act as “sensitivity triggers” if detected during project-specific evaluations. The indicators would be used in conjunction with other Habitat Sensitivity Ranking information and would be verified during the “prove-in/prove-out” process. For example, an S1 Habitat Sensitivity Indicator such as a rock outcrop supporting a listed plant species could occur in an area mapped as S3 (Disturbed, Non-Native, and Cleared Habitat). Under this scenario, the S3 habitat may be elevated to S1 depending on the type and location of the Habitat Sensitivity Indicator with respect to the proposed development. Similarly, if an S2 Habitat Sensitivity Indicator such as an annual grassland occurs in an area mapped as S3, the S3 habitat may also be elevated to S2 depending on the species composition of the grassland. The presence of an S1 or S2 Habitat Sensitivity Indicator in an area mapped as S2, S3, or S4 could be the result of several factors including changes to the vegetation communities or incomplete resource data. Table 5 presents a series of examples that describe how or when a Habitat Sensitivity Ranking can change based on actual field conditions.

Table 5. Examples of When Habitat Sensitivity Rankings Could Change		
Mapped Habitat Sensitivity Ranking	Actual Site Conditions	Revised Habitat Sensitivity Ranking Based on Field Inspection
S1	Area mapped as riparian vegetation but consists of ornamental plantings and rural development with no sensitive resources. No drainage located on or near the site.	Revised to S3 or S4
S1	Area mapped as critical habitat for Lyon's pentachaeta; however, the site consists of graded field, ornamental plantings, and rural residential properties. Botanical surveys did not detect the presence this plant or suitable habitat conditions.	Revised to S3 or S4.
S1	Area mapped as oak woodland adjacent to residential communities. The area under the oak trees is cleared of vegetation for a fuel modification zone but oak trees remain.	Area within fuel modification zone revised to S2
S2	Area mapped as coastal sage scrub but consists of cleared habitat for fuel modification zone. No sensitive species detected.	Revised to S3
S2	Area consists of chaparral. However, listed plant species are detected across most of the site.	Revised to S1
S2	Area mapped as native chaparral, but site is now a vineyard.	Revised to S4 (assuming work was done legally; discuss with planning staff and address history in site-specific report)
S3	Area consists of cleared habitat for fuel modification zone. A small area supports a rock outcrop with a listed plant species.	Portion of site revised to S1
S3	Disturbed field dominated by non-native weedy species. A small drainage (an S1 Habitat Indicator) crosses one portion of the site.	Portion of site revised to S1

Table 5. Examples of When Habitat Sensitivity Rankings Could Change

Mapped Habitat Sensitivity Ranking	Actual Site Conditions	Revised Habitat Sensitivity Ranking Based on Field Inspection
S3	Entire site mapped as disturbed vegetation, but sliver of native-rich grassland detected in corner of site (<0.1 acre).	Portion of site revised to S2
S3	Area supports large windrows of gum trees and non-native shrubs. A white-tailed kite is nesting in the trees.	Portion of site revised to S1
S4	Area mapped as development, but large oak trees scattered amid houses, providing significant bird/wildlife habitat	Retain as S4 but avoid impacts to resources as feasible.
S4	Area mapped as development but consists of riparian habitat and a perennial stream.	Portion of site revised to S1
S4	Area mapped as agriculture but has remained fallow for years. Several rare plants and uncommon species of wildlife have been detected in the fallow fields.	Revised to S1 or S2

S1: Habitat of Limited Distribution, Particular Rarity, or Important Habitat Function

S2: Intact but Broadly Distributed Habitat

S3: Disturbed, Non-native, and Cleared Habitat.

S4: Developed and Agricultural Lands

During the prove-in/prove-out process, an S1 or S2 Habitat Sensitivity Indicator may have been detected in an area otherwise suitable for development. The presence of an S1 or S2 Habitat Sensitivity Indicator alone does not mean the entire site would be re-classified or preclude some level of development. Development on the site would consider factors such as how the Habitat Sensitivity Indicator's ecology would be disrupted by the proposed development. Was the Habitat Sensitivity Indicator a species that only occurred as a transient and may never be detected again? Does the site contain rock outcrops supporting a large population of a federally listed plant species? Or is there a small stream or seep that could be avoided by relocating the development footprint or re-aligning an access road to another location? During this process, if the land owner can demonstrate the project would avoid the S1 Habitat Sensitivity Indicators or would be able to avoid or minimize impacts to an S2 Habitat Sensitivity Indicator then the project can proceed through the review process.

Planning the Pre-Development Site Review Process

Prior to submitting an application for development to the County, land owners and developers should assess the biological sensitivity for each proposed development site. This would require the services of a qualified biologist. The level of effort largely depends on the site conditions. Areas supporting residential development, ornamental landscaping, or agricultural would require a less intensive effort compared to lands supporting natural vegetation communities. Weedy fields, fuel modification zones, and even disturbed areas should be evaluated for the presence of sensitive species or habitat features. It is incumbent on the land owner or developer to evaluate the sensitivity of the site to prevent delays in processing permits.

During these assessments, there are a number of factors that should be evaluated to determine the ultimate sensitivity of the site. These include documenting the habitat conditions on the site, evaluating the known or potential distribution of sensitive species that have the potential to occur, the presence of S1/S2 habitat sensitivity indicators, and various anthropogenic disturbances. Key considerations when assessing a site include:

- Factor 1. Vegetation (Structure, Composition, Diversity, Successional Stages);
- Factor 2. Geomorphology (Soils, Landforms, Slope, Hydrology);
- Factor 3. Sensitive Plants or Wildlife (Documented Occurrence of Listed or Sensitive Species);
- Factor 4. Wildlife (Presence, Nesting Potential, Habitat Quality, Connectivity and Movement Corridors); and
- Factor 5. Anthropogenic Disturbance (Adjacent land uses, Trails, Urban Interface, Roadways)

Factor 1. Vegetation (Structure, Composition, Diversity, Successional Stages)

The proposed development site should be identified on the County's Habitat Sensitivity Rankings map, and the mapped ranking should be verified or adjusted as necessary. The first step in verifying the Habitat Sensitivity Ranking is to conduct a survey to document the type of vegetation, if any, or development that is present on the proposed project site and within 300 feet of any proposed development. The survey should document the following:

- Does the site support existing development?
- Does the site support any vegetation above six inches in height?
- Is the site a natural barren area supporting scattered annuals with soil crusts?
- Is the site dominated by non-native landscaping or native vegetation?
- Does the site support a native herbaceous layer, shrub layer, and trees?
 - If so what community type is present as described by Sawyer, Keeler-Wolf, and Evans (2009)
 - Are any communities on the site listed as an S1 or S2 habitat sensitivity indicators?
- Other important notes would include:
 - Does the site support a diverse assemblage of native plants or is the site limited to monotypic vegetation?
 - Does the site support leaf litter, fine woody debris and/or coarse woody debris?
 - Does the site show evidence of native recruitment?
 - Does the site support greater than 15 percent exotics or noxious weeds?

Factor 2. Geomorphology (Soils, Landforms, Slope, Hydrology)

Many S1 Habitat features are based on the presence of creeks, drainages, rock outcrops and other landforms. The survey should document any S1/S2 habitat sensitivity indicators including the following:

- Does the site contain a stream, drainage, or swale that can convey water? Many of these features may not be apparent to the layperson as they only flow during storm events and may require the assistance of a qualified wetland delineator.
 - If present, is the drainage perennial, intermittent, or ephemeral?
 - Is the drainage strictly confined, channelized, concrete lined, or deeply incised?
 - Does the drainage contain flood-prone areas such as terraces, floodplains, or natural vegetated uplands?
 - Are multiple soil types present (silt, sand, gravel, cobble, rock, boulders)?
- Does the site contain volcanic, sandstone, or other rock outcrops?
- Does the area support thin soils over a rocky substrate?
- Does the site contain any areas with a slope greater than 25 percent?

Factor 3. Sensitive Plants or Wildlife (Documented Occurrence of Listed or Sensitive Species)

Regardless of the habitat type present on the site, it is important to determine if sensitive biological resources have the potential to occur on or near the proposed development. This can be accomplished by conducting a site investigation with a qualified biologist who is familiar with the resources of the North Area. There are also a variety of databases that can be reviewed to supplement the field surveys. The survey and database review should evaluate the following:

- Do listed or sensitive wildlife, or locally uncommon species (S1/S2 Habitat Indicator Species) occur on or within 300 feet of the project site? If so, document the locations of these species for consideration during the pre-development planning process.
- Does the site support breeding, foraging, or refugia habitat for any S1/S2 Habitat Indicator Species?
- Is the site located within designated critical habitat or contain recorded occurrences of sensitive plants or wildlife?

Factor 4. Wildlife (Presence, Nesting Potential, Habitat Quality, Connectivity and Movement Corridors)

Determine any wildlife habitat sensitivity indicators including the following:

- Does the site support nesting habitat for any bird, particularly any habitat that is different from the surrounding area?
- Does the site provide foraging habitat for particular types of small mammals, reptiles, or other wildlife, including habitat that is different from the surrounding area?
- Does the site support breeding, foraging, or refugia habitat (e.g., friable soils, intact habitat, uplands buffers, areas outside the flood plain)?
- Does the site show evidence of consistent wildlife use, including burrows, scat, wildlife trails, whitewash, pellets, prey remains, or evidence of grazing/browsing?
- Does the site support important habitat for dispersal (e.g., important uplands, drainages, vegetation)?
- Is the site located in an important wildlife corridor (at either a local or regional scale), or would development disrupt movement between blocks of open space, or to an important feature to wildlife such as a stream, ridgeline, or a large culvert or undercrossing?

Factor 5. Anthropogenic Disturbance (Adjacent Land Uses, Trails, Urban Interface, Roadways) Note: this includes both unpermitted/illegal disturbance and legal use.

Identify anthropogenic disturbances that could affect the sensitivity of the site, including:

- Is the site immediately adjacent to heavily travelled roadways, residential, or commercial development?
- Is the site subject to ongoing disturbance from routine vegetation clearing, recreation, grazing, or other disturbance?
- Is the site fenced, or have other structures been built?
- Is the site subject to water quality impacts such as agricultural runoff, or routine herbicide or pesticide application?
- Is the site located in a brush clearance zone?

Preparing the Biological Report

As described above, there are a variety of factors or ecological indices that a land owner or developer should use to evaluate the biological sensitivity and ecological health of the site. These factors would be considered by the County during the application review process and would be used to verify which Habitat Sensitivity Ranking is appropriate for a proposed development site. For proposed projects that have the potential to support sensitive species or natural habitat, the land owner or developer would be required to prepare a project-specific biological resources assessment documenting the conditions at the site prior to submitting an application. The basic approach to development in the North Area would include:

- 1) Identify the Habitat Sensitivity Ranking of the proposed project site using the County mapping database.
- 2) Conduct biological resources assessment to document the biological resources that occur or have the potential to occur on the project site. The assessment should be conducted by a qualified biologist, and the results of the assessment will verify or require adjustment to the mapped Habitat Sensitivity Ranking (“prove-in/prove-out”). The reporting format for the North Area would be the same as required for the SEAs in the County.
 - a. Identify if any protected trees, vegetation communities, designated critical habitat, or other S1/S2 habitat features occur, or have the potential to occur.
 - i. If these features occur or have the potential to occur, the developer will need to decide whether to proceed with supplemental surveys or re-evaluate the development process.
 - b. If S1 or S2 Indicator Species are observed or have the potential to occur, a biologist should complete focused biological surveys for target species during the appropriate season and weather conditions. Multiple surveys may be required depending on the resource. Protocol surveys for some species may be required depending on the location (e.g., California red-legged frogs for properties with wetland habitat within the Las Virgenes Creek watershed).
 - c. Identify the presence of any drainages including creeks, washes, swales, or other aquatic features. A jurisdictional delineation of State and Federal Waters should be conducted if any of these features are present on the proposed project site.
- 3) For proposed project sites with S1 and S2 Habitat Sensitivity Rankings or S1/S2 indicator species, prepare a site plan that demonstrates avoidance of S1 Habitats and S1 Habitat Sensitivity Indicators and/or minimization of impacts to S2 Habitat and S2 Habitat Sensitivity Indicators.
 - a. Maps must be detailed and clearly identify vegetation communities, sensitive species locations, and other sensitive resources. Maps must clearly identify the proposed development footprint including access roads and outbuildings. The maps must clearly identify any required development buffers or fuel modification zones particularly as they relate to S1 or S2 Habitat or Habitat Indicators.
- 4) Consult with County regarding the site plan and evaluate need to coordinate with the U.S. Fish and Wildlife Service (USFWS), California Department of Fish and Wildlife (CDFW); U.S. Army

Corps of Engineers (USACE), and Regional Water Quality Control Board (RWQCB), if the project would impact State or federal jurisdictional features.

- 5) The final Habitat Sensitivity Ranking, site-specific Biological Resources Assessment Report, and supporting documentation (including site plans that document S1 and S2 resource avoidance and incorporation of minimization measures into the development, if applicable) must be submitted as part of the development application package to support the County's application review process.

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ATTACHMENT 1

FIGURES

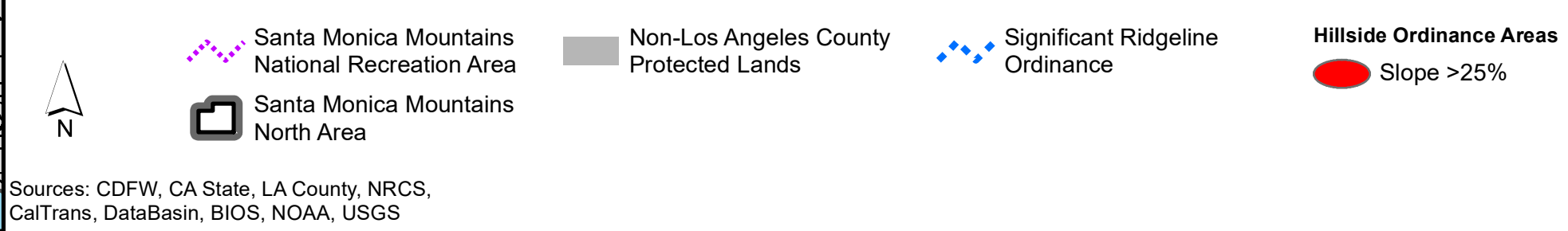
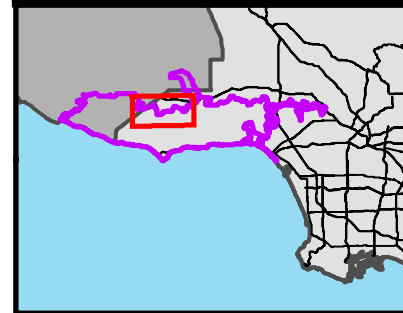
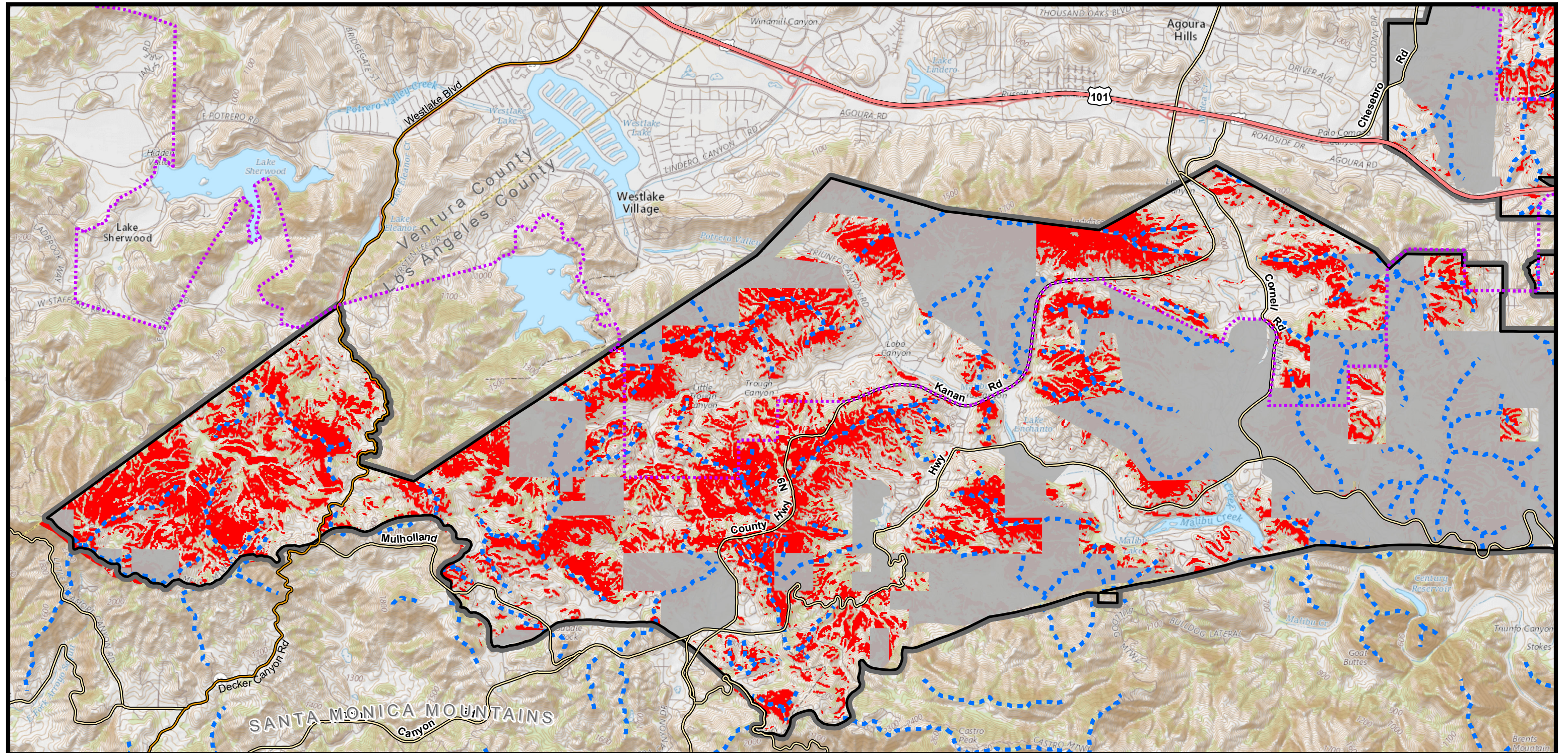
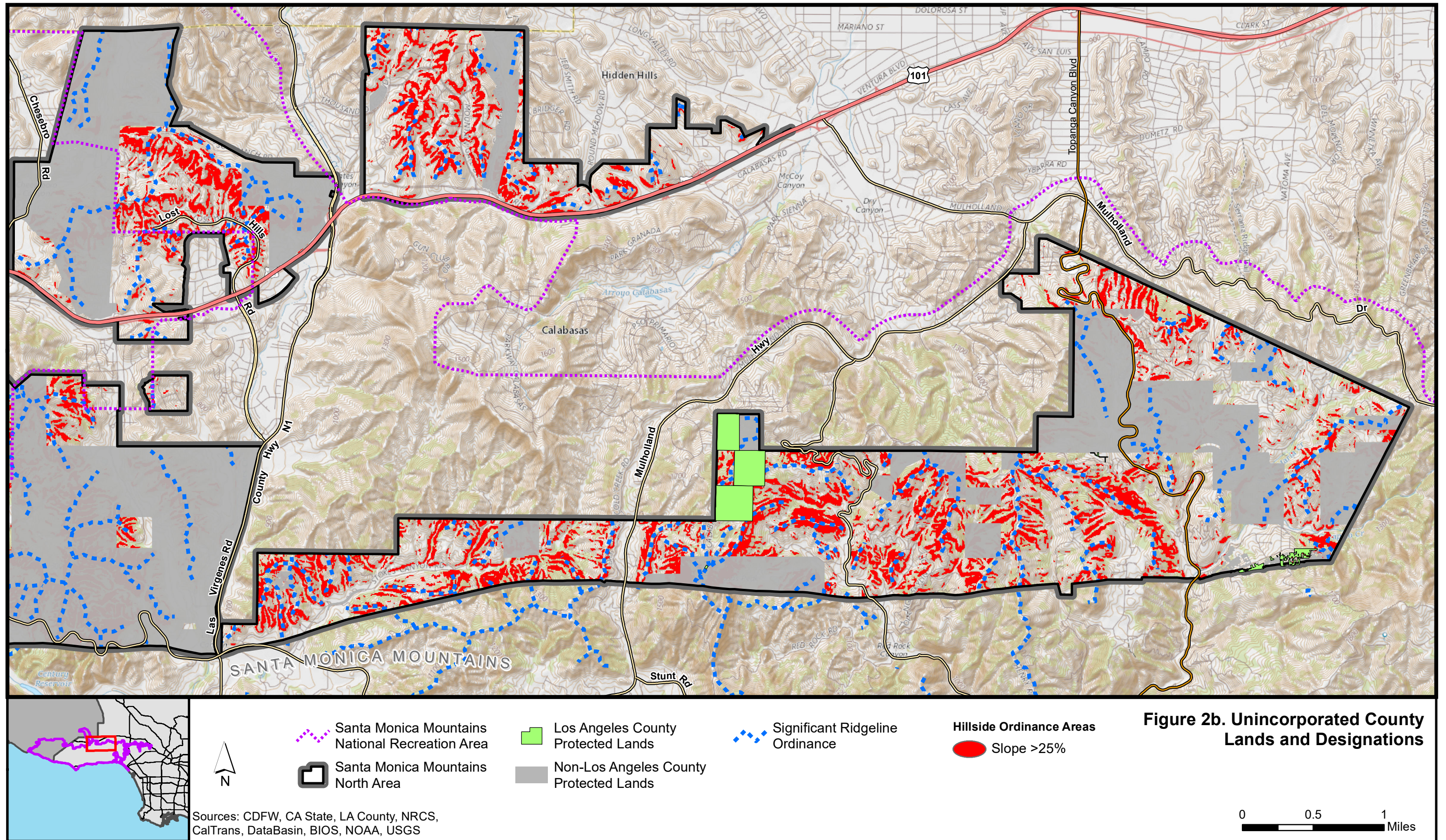
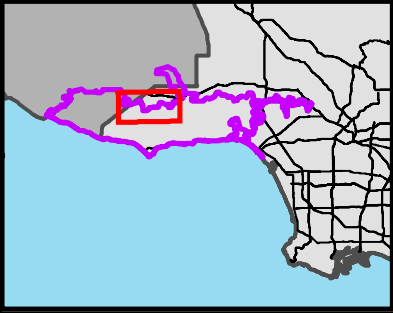
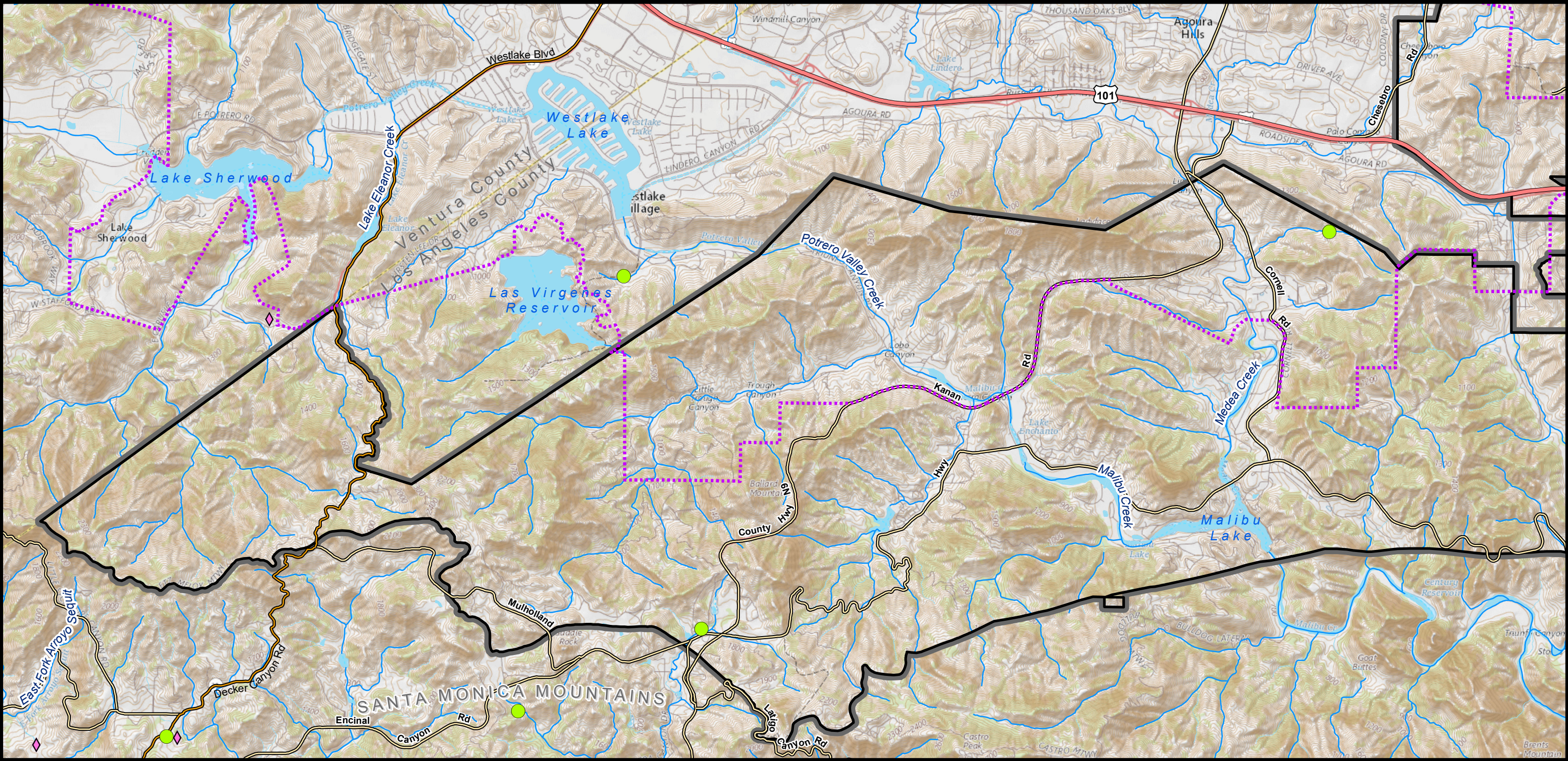


Figure 2a. Unincorporated County Lands and Designations







Sources: CDFW, CA State, LA County, NRCS, CalTrans, DataBasin, BIOS, NOAA, USFWS¹, NPS², USGS³

0 0.5 1 Miles

Figure 3a. Aquatic Features in the North Area

Santa Monica Mountains National Recreation Area

Santa Monica Mountains North Area

National Wetlands Inventory⁴

National Hydrographic Data²

Water Features³

Artificial Path

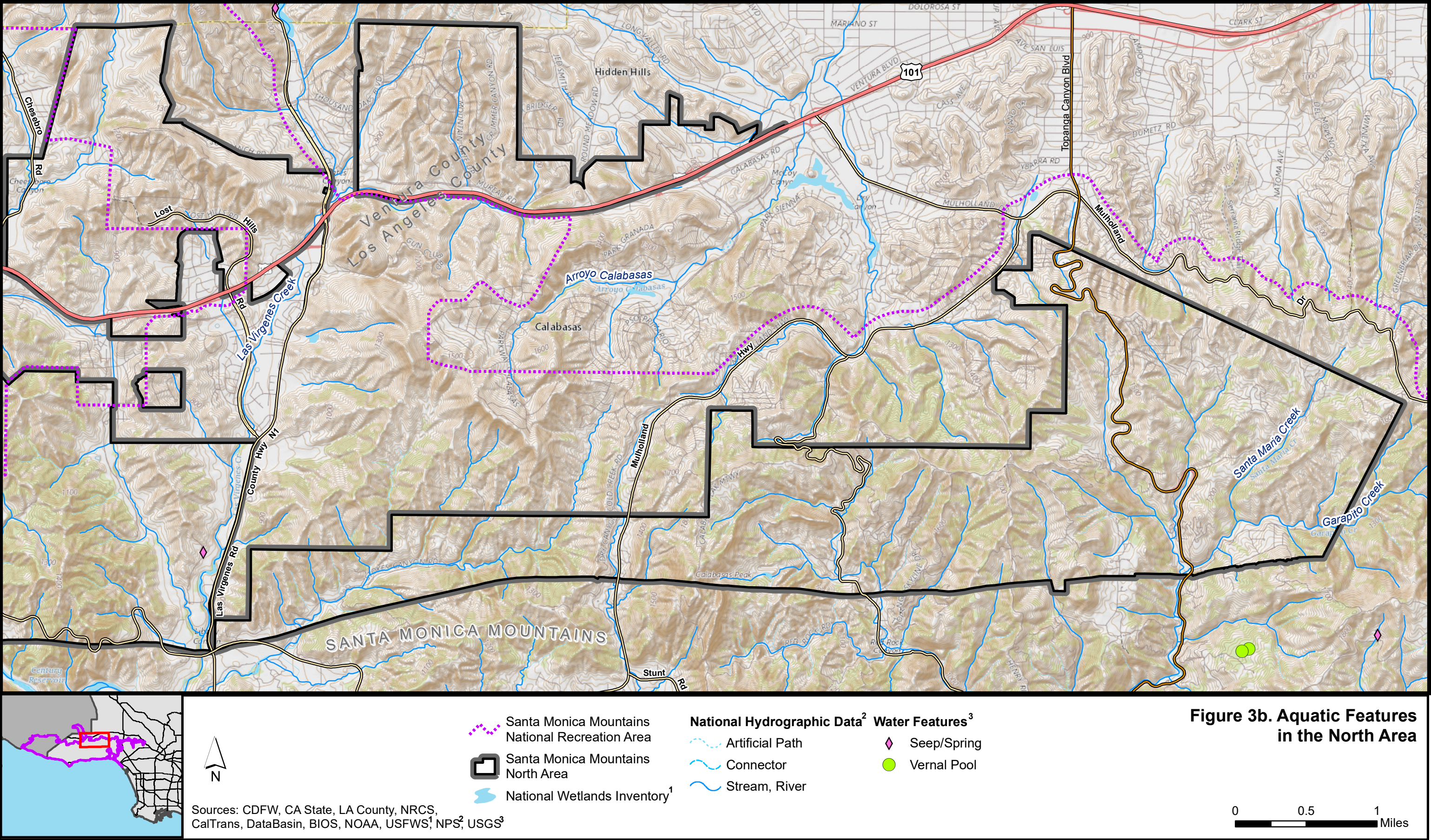
Canal, Ditch

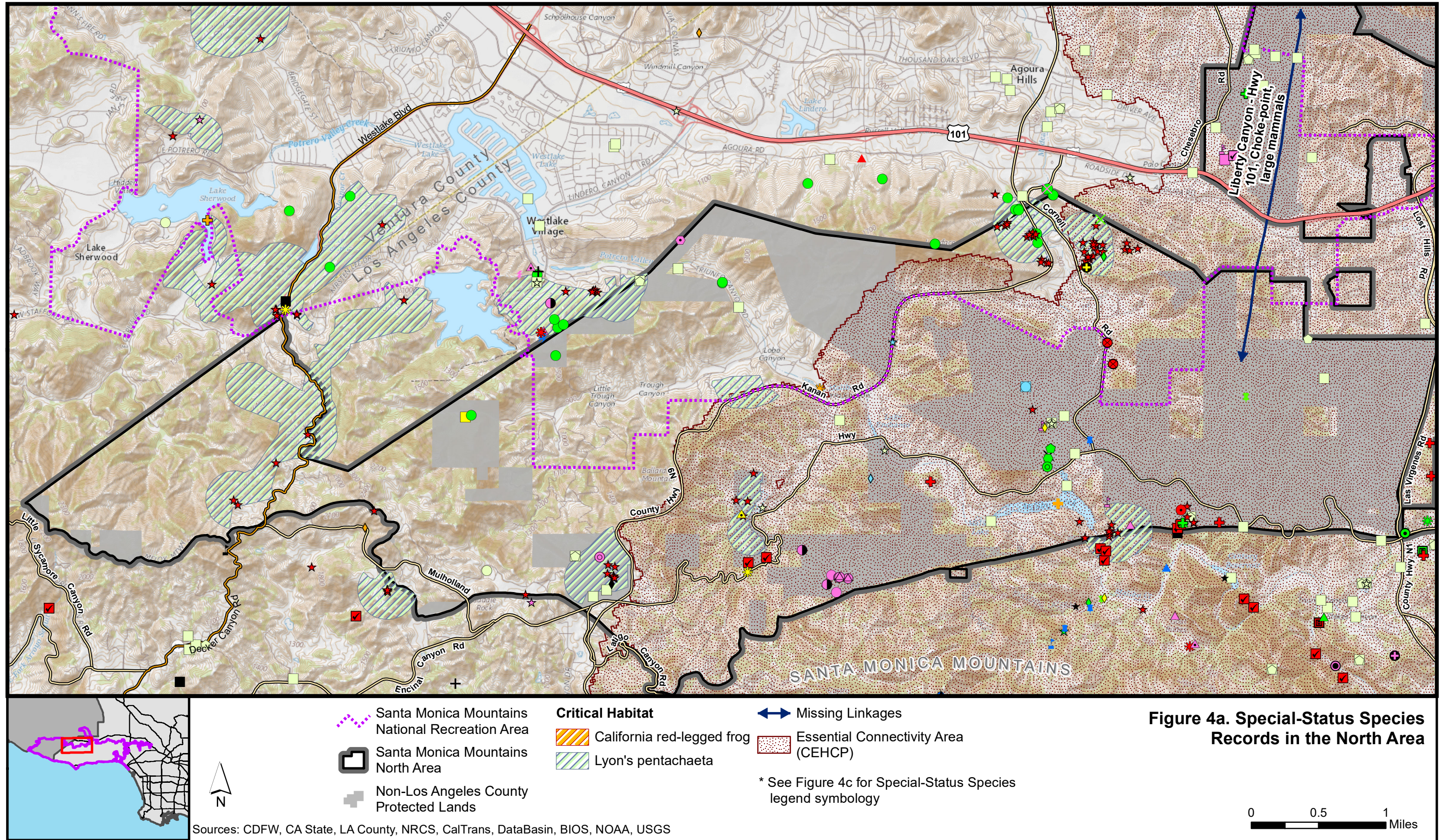
Connector

Stream, River

Seep/Spring

Vernal Pool





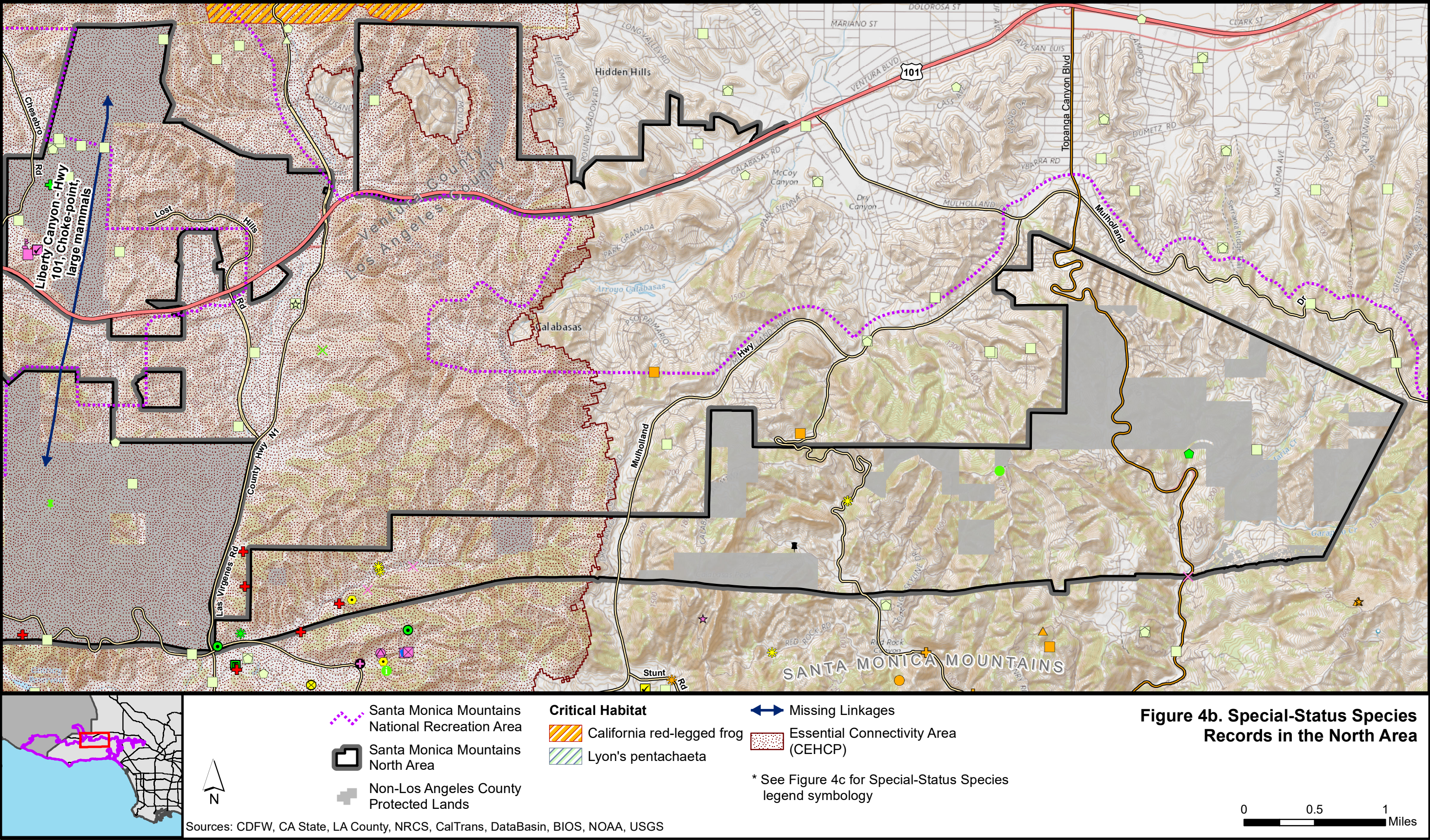


Figure 4c. Special Status Species Records in the North Area

Plants

● Agoura Hills dudleya	▲ June grass
■ Alaska piperia	● Kern dwarf brodiaea
▲ American licorice	★ Lyon's pentachaeta
● Basket rush	✚ Malibu baccharis
● Beardless wild rye	◆ Many flowered monkey flower
◆ Bigelow coreopsis	■ Marcuscent dudleya
★ Bigleaf maple	✱ Miner's lettuce
✚ Blochman's dudleya	● Monolopia
● Braunton's milk-vetch	■ Naked broom rape
⚡ Brewer's calandrinia	● Nuttall's nemacladus
✚ Brewer's ragwort	■ Oceanspray
♣ Bush interior live oak	▲ Ocellated humboldt lily
① California cloak fern	▲ Ojai navarretia
● California hedge parsley	★ Oreja de liebre
✕ California melic	● Parry's collinsia
✚ Camphor weed	◆ Parry's pussypaws
✱ Catalina mariposa lily	✚ Perennial wool star
■ Chaparral pea	■ Plummer's baccharis
✕ Chaparral ragwort	☀ Plummer's mariposa lily
▲ Chasmanthe	⊗ Povertyweed
● Cithara buckwheat	⊕ Pygmy leptosiphon
■ Cleveland's tobacco	● Rareflower heterocodon
● Coast barberry	● Round fruit sedge
▲ Common rupertia	■ Round leaved filaree
✚ Cream cups	● Rush
◆ Curvopod yellow cress	■ San Diego sedge
■ Deergrass	▲ Santa Cruz Island fringeopod
▲ Dolores campion	● Santa Monica Mountains dudleya
● Dunn's lobelia	★ Santa Susana tarplant
● Dwarf pepper grass	◆ Short lobed phacelia
✚ Early onion	✚ Sixweeks grass
✕ False indigo	✕ Slender mariposa lily
⚡ Fish's milkwort	✚ Slender pod jewelflower
♣ Fragrant pitcher sage	⚡ Small flowered lotus
✱ Hasse's vetch	✱ Small flowered morning glory
✓ Hawkweed	♣ Small-flowered fiddleneck
★ Indian hemp	■ Small-flowered microseris
● Indian tobacco	● Smooth western morning glory
	● Sneezeweed

* Bold Indicates Listed Species or Candidate for Listing

Refer to Attachment 2, Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area, for scientific names

✕ Snouted monkey flower
■ Sonoran maiden fern
● Southern blue cup
● Southern mountain misery
● Splendid mariposa lily
● Summer holly
● Tidy tips
■ Triangular fruit sedge
▲ Valley sedge
● Venus looking glass
★ Water pimpernel
✱ Wedge leaved horkelia
♣ Western chain fern
♣ Western lance leaf aster
⚡ White fairy lantern
✚ White leaf monardella
◆ Wind poppy
♣ Wright's buckwheat

Amphibians & Reptiles

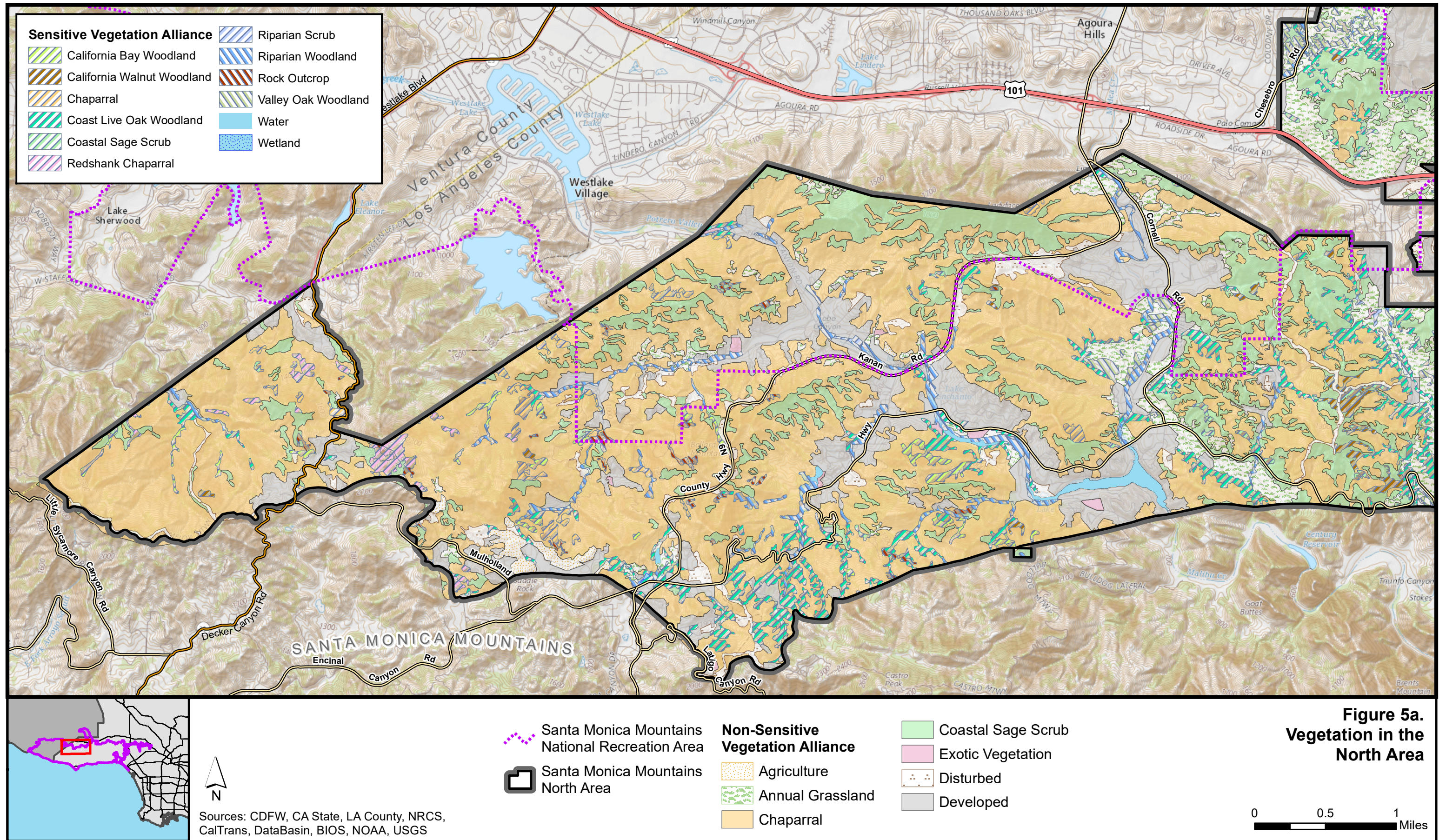
✚ Southern western pond turtle
● California red-sided garter snake
■ Coast horned lizard
★ Coast patch-nosed snake
▲ Coastal whiptail
✚ San Bernardino ringneck snake
▲ San Diego mountain kingsnake
◆ Southern California legless lizard
☀ Two-striped garter snake
✕ Yellow-bellied racer

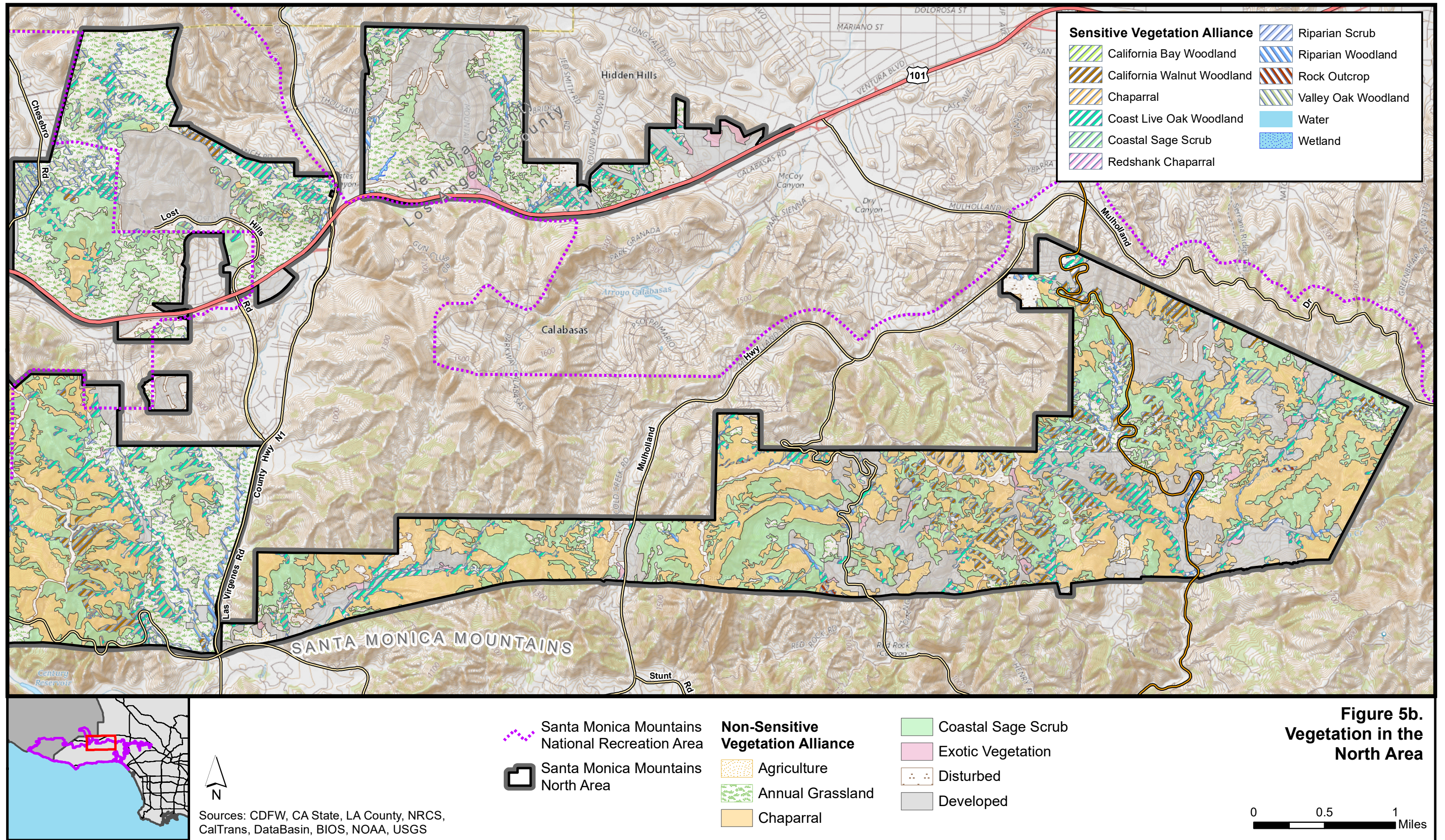
Birds

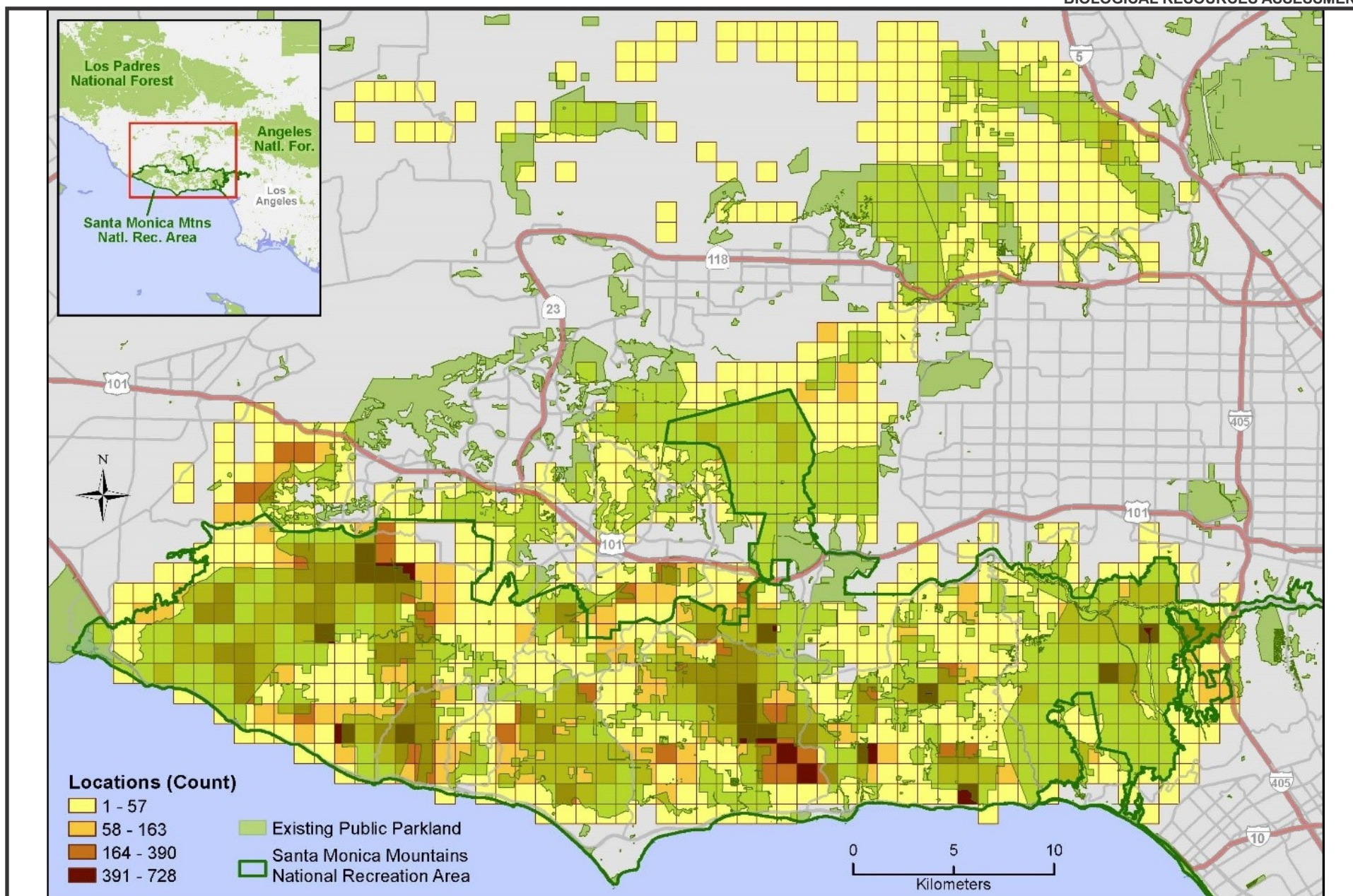
▲ Coastal California gnatcatcher
■ Cooper's hawk
● Sharp-shinned Hawk
● Tricolored blackbird
★ Unidentified hawk

Mammals

★ American badger
◆ Hoary bat
✚ Ringtail
▲ Western grey squirrel
■ Western mastiff bat
● Western red bat







Data sources: mountain lion locations, NRA boundary (NPS); Existing Parks - CPAD 1.7, September 2011 (GreenInfo Network, www.calands.org) & Property Database 2011 (SMMC/MRCA); Roads - StreetMap Pro 2007 (ESRI)

Description: Map showing number of telemetry locations per one kilometer grid cell for 15 radio-collared mountain lions (P1-P15) between 7/19/2002 and 4/12/2011.

Figure 6. Mountain Lion Telemetry Locations

Figure 7a Sensitivity Ranking in the North Area has been superseded by Figure 2 Biological Resources (Western Portion) of the North Area Plan in Appendix 1 of this EIR.

Figure 7b Sensitivity Ranking in the North Area has been superseded by Figure 2 Biological Resources (Eastern Portion) of the North Area Plan in Appendix 1 of this EIR.

ATTACHMENT 2

SPECIAL-STATUS SPECIES POTENTIALLY OCCURRING IN THE SANTA MONICA MOUNTAINS NORTH AREA

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
VASCULAR PLANTS - Dicotyledons				
Apiaceae	Parsley Family			
<i>Sanicula bipinnata</i>	Poison sanicle	Locally uncommon	Slopes in valley grassland, foothill woodland habitats. Perennial herb, endemic to California, blooms Mar-Apr. Elevations of 65 to 6,500 feet.	Recorded at Paramount Ranch and Cornell (California).
<i>Yabea microcarpa</i>	California hedge parsley	Locally uncommon	Variety of upland habitats, occasionally wetlands. Annual herb that blooms Apr-Jun. Elevations of 40 to 6,100 feet.	Several records from North Area, including Paramount Ranch, Malibu Creek State Park, near Seminole Hot Springs (California).
Apocynaceae	Dogbane Family			
<i>Apocynum cannabinum</i>	Indian hemp	Locally uncommon	Coniferous forests, foothill woodland, chaparral, valley grasslands, wetland-riparian habitats. Perennial herb that blooms Jun-Aug. Elevations of 0 to 3,000 feet.	Malibu Creek State Park (California).
Asteraceae	Aster Family			
<i>Baccharis malibuensis</i>	Malibu baccharis	CRPR 1B.1	Chaparral, coastal sage scrub, cismontane woodland, and riparian woodland habitats. Perennial deciduous shrub that blooms in Aug. Known from fewer than 10 occurrences in the Santa Monica Mtns. Elevations of 500 to 1,000 feet.	Population recorded in 1991 near the west end of Malibu Lake is thought to have been extirpated by development. Current status of populations recorded in Stokes Canyon, King Gillette Ranch unknown (CNDDB).
<i>Baccharis plummerae</i>	Plummer's baccharis	CRPR 4.3	Rocky soils in chaparral, coastal scrub, cismontane woodland, and broadleafed upland forest habitats. Perennial deciduous shrub that blooms May-Oct. Elevations of 10 to 1,400 feet.	Recorded in the Coastal Zone, suitable habitat throughout in the North Area.
<i>Bidens laevis</i>	Bur marigold	Locally uncommon	Perennial herb that occurs in wetlands and blooms Aug-Sept. Elevations of 0 to 6,600 feet.	California records only one historic occurrence in the Santa Monica Mountains, Topanga Canyon south of the North Area.
<i>Chaenactis glabriuscula</i> var. <i>lanosa</i>	Pincushion flower	Locally uncommon	Open areas with loose sand, gravel; often coastal dunes. Annual herb that blooms Jan-Aug, elevations of 65 to 7,500 feet.	California records only one historic occurrence in the Santa Monica Mountains, along Ventura-Los Angeles County line near Lake Eleanor.
<i>Deinandra</i> (= <i>Hemizonia</i>) <i>minthornii</i>	Santa Susana tarplant	SR, CRPR 1B.2	Rocky soils in chaparral and coastal scrub habitats. Perennial deciduous shrub that blooms Jul-Nov. Elevations of 920 to 2,500 feet.	Calabasas Peak in the North Area, and elsewhere in Santa Monica Mountains (California).
<i>Ericameria arborescens</i>	Golden fleece	Locally uncommon	Chaparral, foothill woodlands often on serpentine soils. Shrub that blooms Aug-Sept. Elevations of 260 to 7,100 feet.	Limited suitable habitat in North Area.
<i>Ericameria parishii</i>	Parish's rabbitbrush	Locally uncommon	Chaparral. Shrub that blooms Jul-Oct. Elevations of 1,100 to 6,900 feet.	Several historic records in the Santa Monica Mountains east of the North Area (California).

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
<i>Helenium puberulum</i>	Sneezeweed	Locally uncommon	Meadows in valley grassland, wetlands. Perennial herb that blooms Jun-Aug. Elevations of 0 to 6,300 feet.	Malibu Creek State Park, Topanga Cyn (California).
<i>Heterotheca sessiliflora</i> ssp. <i>fastigiata</i>	Camphor weed, Erect goldenaster	Locally uncommon	Variety of habitats in mtns of So. Calif. Perennial herb that blooms Mar-Dec. Elevations of 600 to 5,800 feet.	Two historic records in eastern Santa Monica Mountains east of North Area (California).
<i>Hieracium argutum</i>	Southern hawkweed	Locally uncommon	Closed-cone pine forests and oak woodlands. Perennial herb that blooms Jun-Oct. Elevations of 360 to 7,600 feet.	Recorded south of North Area (California); but suitable habitat occurs in oak woodlands of North Area.
<i>Iva axillaris</i> ssp. <i>robustior</i>	Povertyweed	Locally uncommon	Coastal salt marsh, alkali sink, wetlands. Perennial herb that blooms Apr-Oct. Elevations of 10 to 8,000 feet.	Malibu Creek State Park (California).
<i>Lasthenia coronaria</i>	Royal goldfields	Locally uncommon	Coastal sage scrub, valley grasslands, chaparral, sagebrush scrub. Annual herb that blooms Mar-May. Elevations of 50 to 4,500 feet.	Cheseboro Cyn Las Virgenes Ranch, Cornell (California).
<i>Lasthenia glabrata</i> ssp. <i>coulteri</i>	Coulter's goldfields	CRPR 1B.1	Marshes and swamps (coastal salt), playas, and vernal pools. Blooms Feb-Jun. Elevations of 0 to 4,000 feet.	Historic records south of North Area.
<i>Layia platyglossa</i>	Tidy tips	Locally uncommon	Variety of habitats including northern coastal scrub, yellow pine forest, foothill woodland, chaparral, and valley grassland. Annual herb that blooms Feb-May. Elevations of 0 to 5,600 feet.	Multiple records throughout North Area.
<i>Leptosyne bigelovii</i> (<i>Coreopsis bigelovii</i>)	Bigelow coreopsis	Locally uncommon	Creosote bush scrub, Joshua tree woodland, pinyon-juniper woodland, foothill woodland. Annual herb that blooms Feb-May. Elevations of 330 to 8,000 feet.	Triangle Ranch near Kanan Rd. and Conell Rd.
<i>Lessingia glandulifera</i>	Valley lessingia	Locally uncommon	Open areas to 5,500 feet; cismontane valleys, sandy soils, desert washes, pine forests. Annual herb that blooms May-Nov.	Possible in sandy soils in North Area.
<i>Malacothrix coulteri</i>	Snake's head	Locally uncommon	On slopes in creosote bush scrub, valley grassland, coastal sage scrub. Annual herb that blooms Mar-May. Elevations of 230 to 5,100 feet.	Possible in grasslands and coastal sage scrub of the North Area.
<i>Microseris douglasii</i> ssp. <i>tenella</i>	Short-scaled microseris, small-flowered microseris	Locally uncommon	Clay soils, grassland, often near serpentine pools outcrops or vernal pools. Annual herb that blooms Mar-May. Elevations below 3,600 feet.	Cornell (California).
<i>Monolopia lanceolata</i>	Monolopia	Locally uncommon	Slopes in valley grassland, chaparral, foothill woodland, and southern oak woodland. Annual herb that blooms Mar-May. Elevations of 360 to 4,900 feet.	Cheeseboro Cyn Cornell, several records east of Las Virgenes Rd and north/west of Mulholland Hwy in Calabasas (California).
<i>Packera breweri</i> (<i>Senecio breweri</i>)	Brewer's ragwort	Locally uncommon	Slopes in foothill woodland, yellow pine forest, chaparral. Perennial herb that blooms Apr-May. Elevations of 40 to 5,700 feet.	Cheeseboro Cyn Malibu Creek State Park and vicinity (California).
<i>Pentachaeta lyonii</i>	Lyon's pentachaeta	FE, SE, CRPR 1B.1	On rocky, clay soils in openings in chaparral, coastal sage scrub, and grasslands. Annual herb that blooms Feb-Aug. Elevations of 100 to 2,300 feet.	Multiple extant and extirpated populations in the central and western portions of the North Area.

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
				The North Area overlaps 8 discrete designated critical habitat areas, but the species occurs widely and unpredictably on thin, often rocky, volcanic-derived soils.
<i>Pseudognaphalium stramineum</i> (<i>Gnaphalium stramineum</i>)	Cottonbatting plant	Locally uncommon	Yellow pine forest, foothill woodland, chaparral, valley grassland, wetland-riparian habitats. Perennial herb that blooms May-Oct. Elevations below 7,600 feet.	Possible in North Area.
<i>Senecio aphanactis</i>	Chaparral ragwort, California groundsel	CRPR 2B.2	Foothill woodland, northern coastal scrub, coastal sage scrub. Annual herb that blooms Jan-Apr. Elevations of 50 to 3,900 feet.	Historic record along Ventura-Los Angeles County line east of Lake Eleanor (California).
<i>Solidago confinis</i>	Southern goldenrod, Oreja de liebre	Locally uncommon	Along streambanks, occasionally in uplands. Coastal sage scrub, chaparral, yellow pine forest, wetland-riparian. Perennial herb that blooms Apr-Oct. Elevations below 8,200 feet.	Possible in or near streambanks in North Area.
<i>Symphyotrichum lanceolatum</i> var. <i>hesperium</i>	Western lance leaf aster	Locally uncommon	Wetlands in southern oak woodland, chaparral, sagebrush scrub, riparian habitats. Perennial herb that blooms Jul-Aug. Elevations of 130 to 7,700 feet.	Northeast of Malibu Lake (California).
Berberidaceae	Barberry Family			
<i>Berberis pinnata</i> ssp. <i>pinnata</i>	Coast barberry	Locally uncommon	Rocky slopes in coniferous forest, oak woodland at elevations from 0 to 3,900 feet. Shrub that blooms Feb-May.	Historic records from vicinity of Seminole Hot Springs and Old Topanga Cyn (California).
Boraginaceae	Borage Family			
<i>Amsinckia menziesii</i> var. <i>menziesii</i>	Small-flowered fiddleneck	Locally uncommon	Valley grassland at elevations between 30 and 7,200 feet. Annual herb that blooms Mar-May.	Multiple records in North Area (California).
<i>Pectocarya linearis</i> ssp. <i>ferocula</i>	Slender comb seed	Locally uncommon	Coastal sage scrub, chaparral, valley grassland, foothill woodland. Annual herb that blooms Mar-May. Elevations of 25 to 5,900 feet.	Vicinity of Malibu Creek State Park (California).
<i>Phacelia brachyloba</i>	Short-lobed phacelia	Locally uncommon	Disturbed soils in chaparral, coastal sage scrub. Annual herb that blooms Apr-May. Elevations of 360 to 6,900 feet.	Multiple records in and near North Area (California).
<i>Phacelia ramosissima</i> var. <i>austrolitoralis</i>	South coast branching phacelia	CRPR 3.2	Sandy, sometimes rocky soils in chaparral, coastal dunes, coastal scrub, and coastal salt marshes and swamps. Perennial herb that blooms Mar-Aug. Elevations of 15 to 1,000 feet.	Possible in North Area, but recorded primarily at the coast (California).
<i>Plagiobothrys collinus</i> var. <i>californicus</i>	California popcorn flower	Locally uncommon	Valley grassland, coastal sage scrub. Annual herb that blooms Feb-May. Elevations of 30 to 5,600 feet.	Suitable habitat throughout North Area,
<i>Plagiobothrys collinus</i> var. <i>fulvescens</i>	Rusty haired popcorn flower	Locally uncommon	Chaparral, coniferous forest at elevations between 2,000 and 6,600 feet. Annual herb that blooms Mar-Jun.	Possible in North Area.
<i>Plagiobothrys tenellus</i>	Slender popcorn flower	Locally uncommon	Chaparral, foothill woodland, yellow pine forest, wetland-riparian at elevations of 60	Possible in North Area.

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
			to 6,700 feet. Annual herb that blooms Mar-May.	
Brassicaceae	Mustard Family			
<i>Caulanthus coulteri</i>	Coulter's jewel flower	Locally uncommon	Slopes in valley grassland, chaparral, foothill woodland. Annual herb that blooms Mar-Jul. Elevations of 420 to 6,000 feet.	Historic record ½ mi west of Topanga Summit (Calflora).
<i>Caulanthus heterophyllus</i> var. <i>heterophyllus</i> or <i>Caulanthus heterophyllus</i> var. <i>pseudosimulans</i>	Slender pod jewelflower	Locally uncommon	Disturbed places in coastal sage scrub, chaparral. Annual herb that blooms Mar-May. Elevations of 60 to 5,400 feet.	Malibu Creek State Park, Cornell (Calflora).
<i>Draba cuneifolia</i>	Wedge leaved draba	Locally uncommon	Pinyon-juniper woodland, chaparral, coastal sage scrub, creosote bush scrub. Annual herb that blooms Jan-May. Elevations of 100 to 8,000 feet.	Possible in North Area.
<i>Lepidium latipes</i>	Dwarf pepper grass	Locally uncommon	Wetlands in valley grassland. Annual herb that blooms Mar-May. Elevations below 8,900 feet.	Historic record at Cheeseboro Cyn (Calflora).
<i>Rorippa curvisiliqua</i>	Curvepod yellow cress	Locally uncommon	Wetlands. Annual or perennial herb that blooms May-Aug. Elevations below 10,800 feet.	Several historic records in North Area (Calflora).
<i>Stanleya pinnata</i>	Prince's plume	Locally uncommon	Creosote bush scrub, Joshua tree woodland, pinyon-juniper woodland. Perennial herb or shrub that blooms Apr-Sept. Elevations of 200 to 8,800 feet.	Several historic records from Calabasas near North Area (Calflora).
<i>Thysanocarpus conchuliferus</i>	Santa Cruz Island fringe-pod	FE, CRPR 1B.2	Rocky soils in chaparral, cismontane woodland. Annual herb that blooms Mar-May. Known from fewer than 15 occurrences. Elevations of 150 to 2,200 feet.	Malibu Creek State Park and just outside North Area in Triunfo Creek Park.
Campanulaceae	Bellflower Family			
<i>Githopsis diffusa</i> ssp. <i>diffusa</i>	Southern blue cup	Locally uncommon	Wetland areas in chaparral. Annual herb that blooms Apr-Jun. Elevations of 880 to 5,000 feet.	Possible in North Area.
<i>Heterocodon rariflorum</i>	Rareflower heterocodon	Locally uncommon	Yellow pine forest, red fir forest, lodgepole forest, subalpine forest, foothill woodland, chaparral, valley grassland, (many plant communities), wetland-riparian. Annual herb that blooms May-Jul. Elevations of 100 to 7,800 feet.	Possible in North Area.
<i>Lobelia dunnii</i> var. <i>serrata</i>	Dunn's lobelia	Locally uncommon	Wetlands, occasionally uplands in canyons within coastal sage scrub, chaparral. Perennial herb that blooms Jul-Oct. Elevations of 700 to 4,600 feet.	Nearest records along coast (Calflora), but could occur in North Area.
<i>Nemacladus ramosissimus</i>	Nuttall's nemacladus	Locally uncommon	Chaparral, coastal sage scrub. Annual herb that blooms Apr-May. Elevations of 400 to 5,000 feet.	Several historic records in and near North Area (Calflora).
<i>Triodanis biflora</i>	Venus looking glass	Locally uncommon	Disturbed areas in variety of habitats including chaparral, valley grassland, foothill woodland, lodgepole forest, red fir forest, yellow pine forest. Annual herb that	Nearest record is along coast (Calflora), but could occur in North Area.

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
			blooms Apr-Jun. Elevations of 50 to 4,800 feet.	
Caprifoliaceae	Honeysuckle Family			
<i>Lonicera hispidula</i>	Pink honeysuckle	Locally uncommon	Streambanks and slopes in mixed evergreen forest, redwood forest, Douglas-fir forest, foothill woodland. Vine or shrub that blooms Apr-Jul. Elevations below 5,300 feet.	Malibu Creek State Park (California) and south of North Area.
Caryophyllaceae	Pink Family			
<i>Loeflingia squarrosa</i>	Spreading pygmyleaf	Locally uncommon	Coastal sage scrub, chaparral, valley grassland. Annual herb that blooms Apr-May. Elevations of 200 to 4,800 feet.	Liberty Cyn just north of U.S. 101 (California).
<i>Silene verecunda</i>	Dolores campion	Locally uncommon	Slopes in coastal strand, northern coastal scrub. Annual herb that blooms Mar-Jun. Elevations of 50 to 11,900 feet.	Historic record south of North Area (California).
Chenopodiaceae	Chenopod Family			
<i>Atriplex serenana</i> var. <i>davidsonii</i>	Davidson's saltscale	CRPR 1B.2	Coastal bluff scrub, coastal scrub in alkaline soil. Blooms Apr-Oct. Elevations of 10 to 820 feet.	Known from King Gillette Ranch just south of North Area.
Convolvulaceae	Morning Glory Family			
<i>Calystegia collina</i> ssp. <i>venusta</i>	South Coast Range morning-glory, Parry's pussypaws	CRPR 4.3, Locally uncommon	Serpentine or sedimentary soils in chaparral, cismontane woodland, and grassland habitats. Blooms Apr-Jun. Elevations of 1,400 to 4,900 feet.	Known from volcanic-derived soils in Malibu Lake/Paramount Ranch area.
<i>Calystegia purpurata</i> ssp. <i>purpurata</i>	Smooth western morning glory	Locally uncommon	Chaparral, northern coastal scrub. Perennial herb that blooms Apr-Sept. Elevations below 2,800 feet.	Hennesy Property near Seminole Hot Springs (California).
<i>Convolvulus simulans</i>	Small-flowered morning glory	CRPR 4.2	Seeps, serpentine soils in valley grassland, northern coastal scrub, coastal sage scrub. Annual herb that blooms Mar-Jul. Elevations of 30 to 2,800 feet.	Chesebro Rd. just north of U.S. 101 (California).
<i>Dichondra occidentalis</i>	Western dichondra	CRPR 4.2	Chaparral, valley grassland, foothill woodland, northern coastal scrub, coastal sage scrub. Perennial (rhizomatous) herb that blooms Mar-Jul. Elevations of 10 to 2,100 feet.	Nearest records along coast (California), but could occur in North Area.
Crassulaceae	Stonecrop Family			
<i>Dudleya blochmaniae</i> ssp. <i>blochmaniae</i>	Blochman's dudleya	CRPR 1B.1	Rocky, often clay or serpentine soils in coastal bluff scrub, chaparral, coastal sage scrub, and valley and foothill grassland habitats. Blooms Apr-Jun. Elevations of 15 to 1,480 feet.	Recorded outside of North Area at Point Dume, Chatsworth Reservoir, and near Malibu Beach.
<i>Dudleya cymosa</i> ssp. <i>agouensis</i>	Agoura Hills dudleya	FT, CRPR 1B.2	Rocky, volcanic outcrops in chaparral and cismontane woodlands. Known only from	Populations at upper end and central portion of Triunfo Canyon, along Kanan Road and

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
			the western Santa Monica Mtns Blooms May-Jun. Elevations of 650 to 1,640 feet.	Cornell Road south of Agoura Hills, and NW side of Mulholland Hwy about 1 mile SW of Seminole Hot Springs.
<i>Dudleya cymosa</i> ssp. <i>marcescens</i>	Marcescent dudleya	FT, SR, CRPR 1B.2	Volcanic, rocky soils in chaparral. Blooms Apr-Jul. Known from fewer than 10 occurrences in the Santa Monica Mtns Elevations of 500 to 1,700 feet.	Recorded near Lake Malibu spillway, and in Malibu Creek State Park on the border of the Plan Area.
<i>Dudleya cymosa</i> ssp. <i>ovatifolia</i>	Santa Monica Mountains dudleya	FT, CRPR 1B.1	Volcanic or sedimentary rock outcrops in chaparral and coastal scrub habitats. Blooms Mar-Jun. Elevations of 490 to 5,500 feet.	Recorded at several locations south of the Plan Area.
<i>Dudleya multicaulis</i>	Many-stemmed dudleya	CRPR 1B.2	Often clay soils in chaparral, coastal scrub, and grassland habitats. Blooms Apr-Jul. Elevations of 50 to 2,600 feet.	Historic record east of Plan Area near Chatsworth Reservoir in Simi Hills.
Ericaceae	Heath Family			
<i>Comarostaphylis diversifolia</i> ssp. <i>planifolia</i>	Summer holly	Locally uncommon	Dry slopes in coastal chaparral. Shrub that blooms Apr-Jun. Elevations of 230 to 2,300 feet.	Several records in Santa Monica Mtns south of North Area (California).
Fabaceae	Legume Family, Pea Family			
<i>Acmispon micranthus</i> (<i>Lotus hamatus</i>)	Small-flowered lotus	Locally uncommon	Coastal sage scrub, chaparral. Annual herb that blooms Mar-Jun. Elevations of 10 to 4,200 feet.	Cornell (California).
<i>Amorpha californica</i>	False indigo	Locally uncommon	Slopes in yellow pine forest, chaparral, mixed evergreen forest, northern oak woodland. Shrub that blooms Apr-Jul. Elevations of 40 to 8,500 feet.	Several records in North Area and vicinity (California).
<i>Astragalus brauntonii</i>	Braunton's milk-vetch	FE, CRPR 1B.1	Recently burned or disturbed areas usually on sandstone soils with carbonate layers in chaparral, coastal scrub, and valley and foothill grassland habitats. Blooms Jan-Aug. Elevations of 10 to 2,100 feet.	Historically recorded in Topanga Canyon area (possibly extirpated) and known also from locations in the Coastal Zone and the Simi Hills, including in largely urbanized areas. Only emerges following fire, so presence is difficult to confirm until conditions are favorable for germination.
<i>Glycyrrhiza lepidota</i>	American licorice	Locally uncommon	Disturbed soils in yellow pine forest, red fir forest, lodgepole forest, subalpine forest, foothill woodland, chaparral, valley grassland, (many plant communities), wetland-riparian. Perennial herb that blooms Jun-Aug. Elevations below 7,600 feet.	Possible in North Area.
<i>Pickeringia montana</i> var. <i>montana</i>	Chaparral pea	CRPR 4.3	Gabbroic, granitic, clay soils in chaparral habitats.	Recorded in the Coastal Zone, possible in the North Area.
<i>Rupertia physodes</i>	Common rupertia, California tea	Locally uncommon	Brush and wooded areas below 7,500 feet, many cismontane plant communities from San Bernardino and Orange Cos. North. Perennial herb that blooms May-Jul.	Malibu Creek State Park, historic record in Stokes Cyn (California).

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
<i>Trifolium depauperatum</i> var. <i>truncatum</i>	Dwarf sack clover	Locally uncommon	Grassy flats, disturbed slopes, openings in woodlands. Annual herb that blooms Feb-May. Elevations below 2,600 feet.	Possible in North Area.
<i>Vicia hassei</i>	Hasse's vetch	Locally uncommon	Variety of coastal and inland habitats. Vine that blooms Mar-May. Elevations of 30 to 3,700 feet.	Lobo Cyn Rd near Triunfo Cyn Rd and Kanan Rd (California).
<i>Vicia ludoviciana</i>	Louisiana vetch	Locally uncommon	Variety of upland habitats. Annual herb that blooms Mar-Jun. Elevations of 30 to 4,100 feet.	Malibu Creek State Park (California)
Fagaceae	Oak Family			
<i>Quercus wislizeni</i> var. <i>frutescens</i>	Bush interior live oak	Locally uncommon	Tree or shrub that grows in canyons, slopes, and valleys, at elevations from 1,000 to 6600 feet.	Several records south of North Area (California).
Gentianaceae	Gentian Family			
<i>Zeltnera exaltata</i> (<i>Centaurium exaltatum</i>)	Cancha lagua	Locally uncommon	Coastal sage scrub, chaparral, creosote bush scrub, wetland-riparian. Annual herb that blooms May-Aug. Elevations of 360 to 5,300 feet.	Possible in North Area.
Geraniaceae	Geranium Family			
<i>California macrophylla</i>	Round-leaved filaree	CRPR 1B.2	Clay soils in cismontane woodland, grassland habitats. Annual herb that blooms Mar-May. Elevations of 50 to 4,000 feet.	Liberty Canyon area, including Chesebro/Fran Pavley Meadow.
Juglandaceae	Walnut Family			
<i>Juglans californica</i>	Southern California black walnut	CRPR 4.2	Southern oak woodland, wetland-riparian. Tree that blooms Mar-Jun. Elevations of 15 to 5,900 feet.	Multiple records throughout North Area (California).
Lamiaceae	Mint Family			
<i>Clinopodium douglasii</i> (<i>Satureja douglasii</i>)	Yerba buena	Locally uncommon	Northern coastal scrub, closed-cone pine forest, redwood forest, chaparral, mixed evergreen forest. Perennial herb that blooms May-Jul. Elevations below 3,300 feet.	Possible in North Area, but may be south of current range.
<i>Lepechinia fragrans</i>	Fragrant pitcher sage	CRPR 4.2	Chaparral habitats. Perennial shrub that blooms Mar-Oct. Elevations of 60 to 4,300 feet.	Recorded just outside of the Plan Area in Decker Cyn.
<i>Monardella breweri</i> ssp. <i>lanceolata</i> (<i>Monardella lanceolata</i>)	Mustang mint	Locally uncommon	Locally common in dry places and open, rocky often disturbed sites up to 8,000 feet in chaparral and woodland. Annual herb that blooms from May-Oct.	Historic record from Stokes Cyn, Topanga State Park (California).
<i>Monardella hypoleuca</i> ssp. <i>hypoleuca</i>	White-veined monardella, white leaf monardella	CRPR 1B.3	Chaparral, cismontane woodland. Blooms Apr-Dec. Elevations of 160 to 5,000 feet.	Historic collection from the Topanga Canyon area. Also known from Stunt Ranch, Santa Ynez Cyn outside of North Area.
Montiaceae	Miner's Lettuce Family			
<i>Calandrinia breweri</i>	Brewer's calandrinia	CRPR 4.2	On disturbed sites and burned areas with sandy or loamy soils in chaparral and coastal sage scrub habitats. Blooms Mar-Jun, possibly as early as Jan. Elevations of 30 to 4,000 feet.	Along Mulholland Hwy north of Castro Crest (J. Decruyenaere). Extremely variable in occurrence, typically post-fire only.

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
<i>Claytonia exigua</i> ssp. <i>exigua</i>	Serpentine spring beauty	Locally uncommon	Serpentine soils in foothill woodland, chaparral, valley grassland, mixed evergreen forest, yellow pine forest. Annual herb that blooms Feb-May. Elevations of 30 to 6,900 feet.	Along Ventura-Los Angeles County line near Lake Eleanor (California).
<i>Lewisia rediviva</i>	Bitterroot	Locally uncommon	Slopes (often on serpentine soils) in yellow pine forest, sagebrush scrub, foothill woodland, mixed evergreen forest, pinyon-juniper woodland. Perennial herb that blooms May-Jun. Elevations of 460 to 9,700 feet.	Historic record along Ventura-Los Angeles County line near Lake Eleanor (California).
Onagraceae	Evening Primrose Family			
<i>Epilobium campestre</i> (<i>Epilobium pygmaeum</i>)	Smooth boisduvalia	Locally uncommon	Wetlands. Annual herb that blooms Jun-Aug. Elevations below 7,100 feet.	Possible in North Area.
Orobanchaceae	Broomrape Family			
<i>Orobanche californica</i>	California broomrape	Locally uncommon	Coastal strand, northern coastal scrub, sagebrush scrub, yellow pine forest, red fir forest, pinyon-juniper woodland. Parasitic perennial herb that blooms May-Aug. Elevations below 9,200.	Possible in North Area.
<i>Orobanche fasciculata</i>	Clustered broom rape	Locally uncommon	Variety of habitats including sagebrush scrub, yellow pine forest, red fir forest, lodgepole forest, subalpine forest, pinyon-juniper woodland. Parasitic perennial herb that blooms Mar-Aug. Elevations of 30 to 10,300 feet.	Cornell (California).
<i>Orobanche uniflora</i>	Naked broom rape	Locally uncommon	Woodland areas. Parasitic perennial herb that blooms Apr-Jul. Elevations of 130 to 9,500 feet.	Malibu Creek State Park (California).
Papaveraceae	Poppy Family			
<i>Meconella denticulata</i>	Small flowered meconella	Locally uncommon	Chaparral, coastal sage scrub. Annual herb that blooms Mar-Jun. Elevations of 450 to 4,100 feet.	Several (mostly historic) records in and near North Area (California).
<i>Papaver heterophyllum</i> (<i>Stylomecon heterophylla</i>)	Wind poppy	Locally uncommon	Slopes in chaparral, valley grassland, foothill woodland, southern oak woodland, northern oak woodland. Annual herb that blooms Apr-May. Elevations of 15 to 5,400 feet.	Several (mostly historic) records in North Area (California).
<i>Platystemon californicus</i>	Cream cups	Locally uncommon	Coastal sage scrub, northern oak woodland, southern oak woodland, foothill woodland, chaparral, valley grassland; often on serpentine soils. Annual herb that blooms Feb-May. Elevations below 6,200 feet.	Triunfo Creek Park, Malibu Creek State Park (California).
Phrymaceae	Lopseed Family			
<i>Mimulus floribundus</i>	Many flowered monkey flower	Locally uncommon	Wetlands. Annual herb that blooms Apr-Jul. Elevations of 30 to 10,400 feet.	Mulholland Hwy at Rocky Oaks Park (California).
<i>Mimulus pilosus</i>	Snouted monkey flower	Locally uncommon	Usually in wetlands in a variety of habitats including yellow pine forest, red fir forest, lodgepole forest, subalpine forest, foothill woodland, chaparral, valley grassland.	Malibu Creek State Park, several records south of North Area (California).

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
			Annual herb that blooms Apr-Oct. Elevations of 30 to 9,500 feet.	
Plantaginaceae	Plantain Family			
<i>Collinsia parryi</i>	Parry's collinsia	Locally uncommon	Chaparral. Annual herb that blooms Apr-May. Elevations of 300 to 5,800 feet.	Historic records from Stokes Cyn, vicinity of Mulholland Hwy and Old Topanga Rd (California)
Polemoniaceae	Phlox Family			
<i>Eriastrum densifolium</i> ssp. <i>elongatum</i>	Perennial wool star	Locally uncommon	Coastal strand, coastal sage scrub, Joshua tree woodland, pinyon-juniper woodland, chaparral, yellow pine forest, red fir forest. Perennial herb that blooms May-Sept. Elevations of 200 to 8,600 feet.	Possible in North Area
<i>Eriastrum filifolium</i>	Lavender eriastrum	Locally uncommon	Coastal sage scrub, chaparral. Annual herb that blooms Apr-Jul. Elevations of 40 to 6,600 feet.	Historic records from Century Ranch/Malibu Creek State Park (California)
<i>Leptosiphon ciliatus</i>	Whiskerbrush	Locally uncommon	Variety of habitats including yellow pine forest, red fir forest, lodgepole forest, subalpine forest, foothill woodland, chaparral, valley grassland. Annual herb that blooms Apr-Jun. Elevations of 230 to 10,400 feet.	Possible in North Area
<i>Navarretia atractyloides</i>	Holly leaf navarretia	Locally uncommon	Many plant communities in dry places to 2,000 feet, coastal sage scrub, chaparral, widely distributed. Annual herb that blooms May-Jun.	Possible in North Area
<i>Navarretia ojaiensis</i>	Ojai navarretia	CRPR 1B.1	Openings in chaparral, coastal scrub, grassland habitats. Annual herb that blooms May-Jul. Elevations of 900 to 2,000 feet.	Historic record from near Malibu Lake. Also recorded in La Sierra Canyon, Cheeseboro Meadow, and scattered occurrences south of Agoura Rd between Kanan Rd and Lindero Cyn Rd. Remains one of the rarest plants in the Santa Monica Mountains.
Polygalaceae	Milkwort Family			
<i>Polygala cornuta</i> var. <i>fishiae</i>	Fish's milkwort	CRPR 4.3	Chaparral, cismontane woodland, riparian woodland. Perennial deciduous shrub that blooms May-Aug. Elevations of 300 to 3,300 feet.	Present sporadically along the base of the north side of Ladyface Mtn and at King Gillette Ranch (California); also historic occurrences in Triunfo Cyn and Malibu Creek State Park. Additional records south of North Area in Coastal Zone.
Polygonaceae	Buckwheat Family			
<i>Chorizanthe parryi</i> var. <i>fernandina</i>	San Fernando Valley spineflower	Proposed FT, SE, CRPR 1B.1	Sandy soils in coastal scrub, grassland habitats. Annual herb that blooms Apr-Jul. Elevations of 500 to 4,000 feet.	After having been thought to be extinct, was rediscovered in 1999 at Laskey Mesa just north of the Plan Area.
<i>Chorizanthe parryi</i> var. <i>parryi</i>	Parry's spineflower	CRPR 1B.1, Locally uncommon	Openings in chaparral, coastal sage scrub. Annual herb that blooms Apr-Jun. Elevations of 950 to 3,800 feet.	Possible in North Area

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
<i>Eriogonum angulosum</i>	Angle-stem wild buckwheat	Locally uncommon	Valley grassland, foothill woodland, Joshua tree woodland, pinyon-juniper woodland. Annual herb that blooms year-round. Elevations of 260 to 5,600 feet.	One record in Santa Monica Mtns at Paramount Ranch in North Area (California).
<i>Eriogonum cithariforme</i> var. <i>agninum</i>	Santa Ynez wild buckwheat, Cithara buckwheat	Locally uncommon	Sandy soils. West Transverse Range, Liebre Mts, desert side of San Gabriels, Rock Creek area, Mt. Gleason, south side of Table Mt above Wrightwood. Annual herb that blooms May-Oct. Elevations of 1,400 to 6,300 feet.	Single historic record in North Area (California).
<i>Eriogonum wrightii</i> var. <i>membranaceum</i>	Wright's buckwheat	Locally uncommon	Dry stony places to 7,500 feet, chaparral to pinyon-juniper woodland, SW California. Perennial herb or shrub that blooms Jun-Aug.	Several records south of North Area (California).
<i>Lastarriaea coriacea</i>	Leather spineflower	Locally uncommon	Coastal sage scrub, chaparral. Annual herb that blooms Apr-Jun. Elevations of 20 to 3,500 feet.	Possible in North Area
Ranunculaceae	Buttercup Family			
<i>Delphinium parryi</i> ssp. <i>maritimum</i>	Seaside larkspur	Locally uncommon	Valley grassland, coastal sage scrub, chaparral, southern oak woodland, yellow pine forest. Perennial herb that blooms Apr-May. Elevations of 200 to 3,500 feet.	Several records south of North Area (California).
Rhamnaceae	Buckthorn Family			
<i>Ceanothus tomentosus</i> var. <i>olivaceus</i>	Woolly leaf ceanothus	Locally uncommon	Slopes in chaparral, foothill woodland, yellow pine forest. Shrub that blooms Mar-May. Elevations of 100 to 4,800 feet.	Possible in North Area.
Rosaceae	Rose Family			
<i>Chamaebatia australis</i>	Southern mountain misery, southern bearclover	CRPR 4.2, Locally uncommon	Chaparral. Shrub that blooms Nov-May. Elevations of 850 to 6,300 feet.	Rocky Oaks Park (California).
<i>Holodiscus discolor</i>	Oceanspray	Locally uncommon	Slopes, sometimes serpentine soils, in redwood forest, Douglas-fir forest, yellow pine forest, red fir forest, lodgepole forest, mixed evergreen forest, chaparral, wetland-riparian. Shrub that blooms May-Jul. Elevations up to 11,500 feet.	Several records south and east of North Area (California).
<i>Horkelia cuneata</i> ssp. <i>cuneata</i>	Wedge-leaved horkelia	Locally uncommon	Coastal strand, closed-cone pine forest, foothill woodland, northern coastal scrub, chaparral, coastal sage scrub. Perennial herb that blooms Feb-Jul. Elevations up to 5,600 feet.	Possible in North Area.
<i>Horkelia cuneata</i> var. <i>puberula</i>	Mesa horkelia	CRPR 1B.1	On sandy or gravelly sites in chaparral, cismontane woodland, coastal scrub. Elevations of 230 to 2,660 feet. Blooms Feb-Sep.	Historic collection from near the junction of U.S. 101 and Las Virgenes Road, but likely extirpated from Santa Monica Mountains.
Sapindaceae	Soapberry Family			
<i>Acer macrophyllum</i>	Bigleaf maple	Locally uncommon	Streambanks, canyons. Tree that blooms Apr-May. Elevations up to 6,400 feet.	Several locations in North Area, including Malibu Creek State Park and La Sierra Canyon.

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
Saxifragaceae	Saxifrage Family			
<i>Boykinia occidentalis</i>	Western boykinia	Locally uncommon	Northern coastal scrub, mixed evergreen forest, redwood forest, chaparral, yellow pine forest, wetland-riparian. Perennial herb that blooms Jun-Aug. Elevations of 50 to 4,900 feet.	Recorded south of the North Area (California).
<i>Boykinia rotundifolia</i>	Round leaved boykinia	Locally uncommon	Riparian areas. Perennial herb that blooms May-Jul. Elevations of 550 to 6,800 feet.	Historic records along Malibu Cyn Rd south of North Area (California)
Solanaceae	Nightshade Family			
<i>Nicotiana quadrivalvis</i>	Indian tobacco	Locally uncommon	Variety of habitats including yellow pine forest, foothill woodland, chaparral, valley grassland, coastal sage scrub, wetland-riparian. Annual herb that blooms May-Oct. Elevations below 6,400 feet.	Several locations in North Area, including King Gillette Ranch, Paramount Ranch, Malibu Creek State Park (California)
Theophrastaceae	Threophrasta Family			
<i>Samolus parviflorus</i>	Water pimpernel	Locally uncommon	Wetlands. Perennial herb that occurs at elevations up to 3,200 feet.	Recorded south of North Area (California).
VASCULAR PLANTS - Monocotyledons				
Alliaceae	Onion Family, Garlic Family			
<i>Allium praecox</i>	Early onion	Locally uncommon	Chaparral, southern oak woodland. Perennial herb (bulb) that blooms Mar-May. Elevations of 40 to 3,400 feet.	Possible in North Area.
Cyperaceae	Sedge Family			
<i>Carex barbarae</i>	Valley sedge	Locally uncommon	Slopes in valley grassland, foothill woodland, coastal prairie, mixed evergreen forest, wetland-riparian. Perennial grasslike herb that blooms Jun-Aug. Elevations below 6,900 feet.	Recorded south of North Area (California).
<i>Carex globosa</i>	Round fruit sedge	Locally uncommon	Southern oak woodland, northern coastal scrub, mixed evergreen forest, redwood forest. Perennial grasslike herb that occurs from 20 to 5,800 feet elevation.	Seminole Hot Springs (California).
<i>Carex praegracilis</i>	Field sedge	Locally uncommon	Usually in wetlands within coastal strand, valley grassland, coastal sage scrub, creosote bush scrub, yellow pine forest, red fir forest, wetland-riparian. Perennial grasslike herb that blooms May-Jun. Elevations to 10,700 feet.	Calabasas near North Area boundary (California).
<i>Carex spissa</i>	San Diego sedge	Locally uncommon	Coastal sage scrub, chaparral, southern oak woodland, wetland-riparian. Perennial grasslike herb that occurs from 20 to 4,200 feet elevation.	Recorded south of North Area (California).
<i>Carex triquetra</i>	Triangular fruit sedge	Locally uncommon	Coastal sage scrub, chaparral. Perennial grasslike herb that occurs from 60 to 5,400 feet elevation.	Recorded south and east of North Area (California).
<i>Isolepis cernua</i> (<i>Scirpus cernuus</i>)	Low bulrush	Locally uncommon	Wetlands. Perennial grasslike herb that occurs to 7,700 feet elevation.	Possible in North Area
<i>Scirpus microcarpus</i>	Mountain bog bulrush	Locally uncommon	Wetlands. Perennial grasslike herb that occurs to 9,700 feet elevation.	Historic record near Seminole Hot Springs (California).

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
Juncaceae	Rush Family			
<i>Juncus patens</i> or <i>Juncus textilis</i>	Basket rush	Locally uncommon	Wetlands, occasionally uplands. Perennial grasslike herb that occurs to 4,700 feet elevation.	Recorded south and east of North Area (California).
Liliaceae	Lily Family			
<i>Calochortus albus</i>	White fairy lantern	Locally uncommon	Foothill woodland, chaparral, yellow pine forest. Perennial herb that blooms Apr-May. Elevations of 20 to 5,800 feet.	Multiple records in and near North Area (California).
<i>Calochortus catalinae</i>	Catalina mariposa lily	CRPR 4.2	Chaparral, cismontane woodland, coastal scrub, and valley and foothill grassland habitats. Blooms Feb-Jun. Elevations of 50 to 2,300 feet.	Locally abundant throughout North Area, on clay soil.
<i>Calochortus clavatus</i> var. <i>gracilis</i>	Slender mariposa-lily	CRPR 1B.2	Chaparral, coastal scrub, and grassland habitats. Perennial bulbiferous herb that blooms Mar-Jun. Elevations of 1,000 to 3,300 feet.	Locally common in a variety of habitats, including openings within chaparral and in oak woodland understory.
<i>Calochortus plummerae</i>	Plummer's mariposa-lily	CRPR 4.2	Granitic, rocky soils in chaparral, coastal scrub, grasslands, cismontane woodland, and lower montane coniferous forest. Perennial bulbiferous herb that blooms May-Jul. Elevations of 300 to 5,600 feet.	Locally common (to abundant) in chaparral and coastal sage scrub throughout North Area, particularly south of U.S. 101.
<i>Calochortus splendens</i>	Splendid mariposa lily	Locally uncommon	Chaparral, foothill woodland, yellow pine forest. Perennial herb that blooms Apr-Jul. Elevations of 50 to 9,000 feet.	Multiple records in and near North Area (California).
<i>Calochortus venustus</i>	Butterfly mariposa lily	Locally uncommon	Valley grassland, foothill woodland, yellow pine forest. Perennial herb that blooms May-Jun. Elevations of 300 to 7,200 feet.	Cheeseboro Cyn several additional historic records in north Area (California)
<i>Lilium humboldtii</i> ssp. <i>ocellatum</i>	Ocellated humboldt lily	CRPR 4.2	Openings in chaparral, coastal scrub, cismontane woodland, lower montane coniferous forest, and riparian woodland. Perennial bulbiferous herb that blooms Mar-Aug. Elevations of 100 to 5,900 feet.	Historic record in La Sierra Cyn; several records south of the North Area (California).
Orchidaceae	Orchid Family			
<i>Piperia elegans</i>	Rein orchid	Locally uncommon	Chaparral, foothill woodland, yellow pine forest, red fir forest, northern coastal scrub, closed-cone pine forest. Perennial herb that blooms Jul-Oct. Elevations to 4,500 feet.	Possible in North Area.
<i>Piperia unalascentis</i>	Alaska piperia	Locally uncommon	Chaparral, valley grassland, foothill woodland, southern oak woodland, northern oak woodland, mixed evergreen forest, yellow pine forest, red fir forest, wetland-riparian. Perennial herb that blooms Apr-Jul. Elevations of 300 to 7,900 feet.	Several records in and near North Area (California).
Poaceae	Grass Family			
<i>Festuca octoflora</i> (<i>Vulpia octoflora</i>)	Sixweeks grass	Locally uncommon	Native annual bunchgrass that grows in open, sunny places on sandy soils between shrubs and in burn areas (common fire follower). Blooms Mar-Jun. Elevations of 50 to 7,600 feet.	Several historic records near North Area; some are extirpated (California).
<i>Hordeum depressum</i>	Alkali barley	Locally uncommon	Annual grass that grows in moist habitats such as vernal pools. Blooms Apr-May. Elevations to 7,100 feet.	Recent record in Calabasas near North Area (California).

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
<i>Koeleria macrantha</i>	June grass	Locally uncommon	Perennial bunchgrass that occupies a variety of habitats, especially prairie. Blooms May-Jun. Elevations up to 14,200 feet.	Several records in and near North Area (California).
<i>Leymus triticoides</i>	Beardless wild rye	Locally uncommon	Perennial grass that often grows in moist habitat, sometimes with heavy and saline soils. Blooms Jun-Jul. Elevations to 10,200 feet.	Recent record at Stunt Ranch, south of the North Area (California).
<i>Melica californica</i>	California melicgrass	Locally uncommon	Perennial grass that grows on slopes and ridges in a variety of habitats. Blooms Jun-Aug. Elevations of 25 to 7,200 feet.	Several records in and near North Area (California).
<i>Muhlenbergia rigens</i>	Deergrass	Locally uncommon	Valley grassland, chaparral, yellow pine forest, wetland-riparian. Perennial grass that blooms May-Jun. Elevations of 60 to 7,300 feet.	Several records in and near North Area, including Rocky Oaks Park (California).
Ruscaceae Butcher's Broom Family				
<i>Nolina cismontana</i>	Chaparral nolina	CRPR 1B.2	Sandstone or gabbro soils in chaparral and coastal scrub habitats. Blooms Mar-Jul. Elevations of 450 to 4,200 feet.	Found with <i>Astragalus brauntonii</i> in Simi Hills at northern edge of North Area; also known from near Chatsworth Reservoir.
Themidaceae Brodiaea Family				
<i>Brodiaea terrestris</i> ssp. <i>kernensis</i>	Kern dwarf brodiaea	Locally uncommon	Grasslands, open woodlands. Perennial herb that blooms May-Jun. Elevations of 160 to 5,700 feet.	Just north of North Area at Kanan Rd and Agoura Rd in Agoura Hills (California).
VASCULAR PLANTS - Conifers				
Cupressaceae Cypress Family				
<i>Juniperus californica</i>	California juniper	Locally uncommon	Slopes in pinyon-juniper woodland, Joshua tree woodland, foothill woodland. Shrub that occurs at elevations of 200 to 10,300 feet.	Cornell, Paramount Ranch (California).
VASCULAR PLANTS - Ferns				
Blechnaceae Chain Fern Family				
<i>Woodwardia fimbriata</i>	Western chain fern	Locally uncommon	Forests, seeps or near springs in shade or part shade. Elevations of 10 to 5,700 feet.	Several records in and near North Area (California).
Pteridaceae Maidenhair Fern Family				
<i>Cheilanthes newberryi</i>	Newberry's lip fern	Locally uncommon	Chaparral, coastal sage scrub.	Historic record just outside North Area near Lake Eleanor (California).
<i>Notholaena californica</i>	California cloak fern	Locally uncommon	Coastal sage scrub, creosote bush scrub. Elevations of 300 to 4,900 feet.	Cornell (California).
Thelypteridaceae Marsh Fern Family				
<i>Thelypteris puberula</i> var. <i>sonorensis</i>	Sonoran maiden fern	CRPR 2B.2	Meadows, seeps, stream banks. Elevations of 160 to 2,000 feet.	Present on Triangle Ranch, east of Kanan Rd. Additional historic records south of North Area.
NON-VASCULAR PLANTS - Bryophytes				
Pottiaceae Moss Family				
<i>Tortula californica</i>	California screw moss	CRPR 1B.2	Sandy soils in chenopod scrub and valley and foothill grassland habitats. Elevations of 30 to 4,800 feet.	Recorded at Newton Falls in Newton Cyn 1 mi south of North Area.

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
NON-VASCULAR PLANTS - Lichens				
Teloschistaceae	Lichen Family			
<i>Teloschistes chrysophthalmus</i>	Gold-eye lichen	Locally uncommon	On oak in valley and foothill woodlands and coastal scrub, from sea level to 2,000 feet.	Possible in North Area.
WILDLIFE – Insects and Arachnids				
Acrididae	Short-Horned Grasshoppers			
<i>Trimerotropis occidentiloides</i>	Santa Monica grasshopper	SA	Bare hillsides and along dirt trails in chaparral.	1973 collection from Kanan Road west of Saratoga Hills.
Apidae	Cuckoo, Carpenter, Digger, Bumble, and Honey Bees			
<i>Bombus crotchii</i>	Crotch bumble bee	SA	Grassland and scrub habitats, feeds on milkweeds, dustymaidens, lupines, medics, phacelias, and sages. Nests underground. Thought to have declined ~67% from historic range.	Multiple records from the Santa Monica Mtns outside North Area, but suitable habitat occurs.
Haplotrematidae	Predatory Land Snails			
<i>Haplotrema caelatum</i>	Slotted lancetooth snail	Locally uncommon	Predatory terrestrial snail known from Los Angeles, San Diego, Santa Barbara, and Ventura Cos.	Possible in North Area.
Helminthoglyptidae	Air-Breathing Land Snails			
<i>Helminthoglypta tudiculata</i>	Southern California shoulderband snail	Locally uncommon	Terrestrial snail known from Los Angeles, Riverside, and San Bernardino Cos.	Possible in North Area.
<i>Helminthoglypta willeti</i>	Matilija shoulderband snail	Locally uncommon	Terrestrial snail that occurs in a variety of habitats, including coastal sage scrub, chaparral, oak woodland, and riparian woodland.	Possible in North Area.
Lycaenidae	Gossamer-Winged Butterflies			
<i>Lycaena arota</i>	Cloudy tailed-copper	Locally uncommon	Open mixed woodland, sagebrush, chaparral.	Recorded east of Stokes Cyn (iNaturalist).
<i>Lycaena gorgon</i>	Gorgon copper	Locally uncommon	Chaparral, grasslands, oak or oak-pine woodlands, and granitic sand slopes with its host plants (<i>Eriogonum</i> spp.).	Possible in North Area.
<i>Satyrium auretorum fumosum</i>	Santa Monica Mountains hairstreak	Locally uncommon	Oak hillsides and chaparral.	Known from the western Santa Monica Mtns in Los Angeles and Ventura Cos.; distribution not well understood.
Nymphalidae	Brush-Footed Butterflies			
<i>Danaus plexippus</i> pop. 1	Monarch - California overwintering population	SA	Winter roost sites extend along the coast from northern Mendocino to Baja California, Mexico. Roosts located in wind-protected tree groves (eucalyptus, Monterey pine, cypress), with nectar and water sources nearby.	Common year-round in North Area, but large overwintering roosting sites in the Santa Monica Mtns are on the immediate coast, outside of the North Area.
<i>Euphydryas editha quino</i>	Quino checkerspot butterfly	FE	Larvae may use either dwarf plantain (<i>Plantago erecta</i>) or exserted Indian paintbrush (<i>Castilleja exserta</i> spp. <i>exserta</i> ; also called purple owl's clover), both of	Populations in Santa Monica Mtns apparently extirpated, but host plants are present.

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
			which may be common in meadows and upland sage scrub/ chaparral habitat.	
<i>Polygonia satyrus</i>	Satyr anglewing	Locally uncommon	Valley bottoms, along streams, wooded prairie ravines, marshes, openings in riparian woods, fields and edges near moist woods. Host plant is various nettles (<i>Urticaceae</i> spp.)	Possible in North Area.
<i>Speyeria callippe comstocki</i>	Comstock's fritillary	Locally uncommon	Larval host plant is Johnny jumpup (<i>Viola pedunculata</i>).	Populations are near extirpation in Santa Monica Mtns (iNaturalist).
Tettigoniidae	Bush Crickets			
<i>Aglaothorax longipennis</i>	Santa Monica shieldback katydid	SA	Nocturnal, occurs in chaparral and canyon stream-bottom vegetation in Santa Monica Mtns. Associated with introduced iceplant and native chaparral plants.	Historic collection from Big Rock Canyon at the coast, outside of the North Area.
Timematodea	Stick Insects			
<i>Timema monikensis</i>	Santa Monica Mountains timema	Locally uncommon	Chaparral in the western Santa Monica Mtns.	Possible in the North Area.
Zoropsidae	False Wolf Spiders			
<i>Socalchemmis gertschi</i>	Gertsch's socalchemmis spider	SA	Sage scrub, chaparral, oak woodland, coniferous forest usually on rocky outcrops or talus slopes.	Historic collection from Old Topanga Canyon just south of North Area.
WILDLIFE - Fish				
Cyprinidae	Carps, True Minnows, and Relatives			
<i>Gila orcuttii</i>	Arroyo chub	CSSC	Native to streams from Malibu Creek to San Luis Rey River basin. Slow water stream sections with mud or sand bottoms. Feeds on aquatic vegetation and associated invertebrates.	Malibu Creek, Las Virgenes Creek.
Gobiidae	Gobies			
<i>Eucyclogobius newberryi</i>	Tidewater goby	FE, CSSC	Brackish water habitats along the Calif coast from Agua Hedionda Lagoon, San Diego Co. to the mouth of the Smith River. Found in shallow lagoons and lower stream reaches, they need fairly still but not stagnant water and high oxygen levels.	Malibu Creek and Lagoon downstream of North Area.
Salmonidae	Salmon			
<i>Oncorhynchus mykiss irideus</i>	Steelhead - southern California DPS	FE	Federal listing refers to runs in coastal basins from the Santa Maria River south to the U.S.-Mexico border. Anadromous adults migrate upstream to spawn in cool, clear, well-oxygenated streams. Juveniles remain in fresh water for 1 or more years before migrating downstream to the ocean. Requires perennial stream and barrier-free passage to the Pacific Ocean.	Both resident (rainbow trout) and anadromous (steelhead) forms are present in Malibu Creek and Lagoon, Arroyo Sequit and Leo Carillo, and Topanga Creek and Beach; all downstream of North Area (R. Dagit pers. comm.).

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
WILDLIFE - Amphibians				
Hylidae	Treefrogs			
<i>Pseudacris cadaverina</i>	California treefrog	Locally uncommon	Typically found around canyon streams and rocky washes with permanent quiet pools. Found in desert streams and palm oases, coastal streams, and up into the mountain pine belt.	Several locations in and near North Area including Malibu Creek State Park (iNaturalist), but becoming less common in the Santa Monica Mtns.
Pelobatidae	Spadefoot Toads and Relatives			
<i>Spea hammondi</i>	Western spadefoot	CSSC	Occurs in numerous habitat types, primarily in grasslands but can be found in valley-foothill hardwood woodlands, sage scrubs, chaparral where pooled/ponded water, supporting typically clay-rich soils, remains through early spring (April/May); in some areas, vernal pools, stock ponds, and road pools are essential for breeding, egg-laying, and larval development.	Recorded in the Simi Hills north of the North Area (iNaturalist).
Ranidae	True Frogs			
<i>Rana draytonii</i>	California red-legged frog	FT, CSSC	Endemic to California. Associated with quiet perennial to intermittent ponds, stream pools and wetlands. Prefers shorelines with extensive riparian and/or emergent vegetation. Documented to disperse through upland habitats after rains.	Natural population in the Simi Hills in Las Virgenes Creek watershed (has been used as a source population to reintroduce the species at other locations in the watershed. Successful reproduction at one of the reintroduction sites was recorded in 2017.)
Salamandridae	Newts			
<i>Taricha torosa torosa</i>	Coast Range newt	CSSC	Coastal drainages from Mendocino County to San Diego County; CSSC status applies only from the Salinas River south. Lives in terrestrial habitats (generally forest and woodland) and will migrate over 1 kilometer to breed in ponds, reservoirs and slow-moving streams.	Known from Topanga Canyon (iNaturalist).
WILDLIFE - Reptiles				
Anniellidae	North American Legless Lizards			
<i>Anniella stebbinsi</i> (formerly <i>A. pulchra pulchra</i>)	Southern California legless lizard	CSSC	Burrowing species found in loose sandy or loamy soils within beach, chaparral, woodland and other habitats. Soil must be suitably moist for survival.	Recorded in the Santa Monica Mtns outside of the North Area, but suitable habitat occurs.
Boidae	Boas			
<i>Lichanura orcutti</i> (<i>L. trivirgata</i>)	Rosy boa	Locally uncommon	Arid scrublands, semi-arid shrublands, rocky shrublands, rocky deserts, canyons, and other rocky areas. Appears to be common in riparian areas, but does not require permanent water.	Possible in the North Area.
Colubridae	Colubrid Snakes			
<i>Arizona elegans occidentalis</i>	California glossy snake	CSSC	Arid scrub, rocky washes, grasslands, chaparral.	Possible in the North Area.
<i>Coluber constrictor</i>	Yellow-bellied racer	Locally uncommon	Prefers open areas with sunny exposure - meadows, grassland, sagebrush flats,	Occurs in the North Area (NPS data).

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
			brushy chaparral, woodlands, riparian areas such as pond edges, and forest openings. Found in arid and moist habitats, but not usually found in deserts or high mountains.	
<i>Diadophis punctatus modestus</i>	San Bernardino ringneck snake	SA	Canyons with rocky outcrops or rocky talus slopes in conifer forest or chaparral habitats.	Common in North Area (NPS data, iNaturalist).
<i>Lampropeltis zonata</i>	San Diego mountain kingsnake	WL	Inhabits variety of habitats incl. valley-foothill hardwood, coniferous, chaparral, riparian, and wet meadows.	Recorded at various locations in the Santa Monica Mtns, including just outside the Plan Area in Topanga Cyn (CNDDDB, NPS data).
<i>Rhinocheilus lecontei</i>	Long-nosed snake	Locally uncommon	Arid and semi-arid deserts, grasslands, shrublands, and prairies up to 6,200 feet.	Possible in North Area.
<i>Salvadora hexalepis virgulata</i>	Coast patch-nosed snake	CSSC	Brushy or shrubby vegetation in coastal southern California. Requires small mammal burrows for refuge and overwintering sites.	Malibu Creek State Park (iNaturalist).
<i>Thamnophis hammondi</i>	Two-striped gartersnake	CSSC	Occurs in coastal California from vicinity of Salinas to northwest Baja California. Highly aquatic, found in or near freshwater. Often along streams with rocky beds and riparian growth.	Triunfo Creek; likely occurs in several streams with perennial water in the Plan Area.
<i>Thamnophis sirtalis</i>	California red-sided garter snake	CSSC	Often near ponds, marshes, or streams in a variety of habitats including forests, mixed woodlands, grasslands, chaparral, and farmlands.	Extirpated from region.
Emydidae	Box and Basking Turtles			
<i>Actinemys pallida</i>	Southern western pond turtle	CSSC	Occurs in perennial ponds, lakes, rivers and streams with suitable basking habitat (mud banks, mats of floating vegetation, partially submerged logs), submerged shelter and terrestrial nest sites. Requires friable soil for breeding. Documented to disperse and wander over upland habitats.	Las Virgenes Creek, unnamed tributary to Old Topanga Creek, Medea Creek, Triunfo Creek. Apparently declining and disappearing from drainages throughout the Santa Monica Mtns (Cooper and Hamilton, 2014).
Phrynosomatidae	Spiny Lizards			
<i>Phrynosoma blainvillii</i>	Coast horned lizard	CSSC	Loose, fine soils in a variety of habitats including coastal sage scrub, chaparral, grassland, coniferous forest, oak woodland, riparian woodland, and the margins of higher-elevation deserts in juniper desert chaparral. Abundant prey base of native ants and other insects required.	Recorded in several locations; widespread but localized in scrub and grassland habitats where specific conditions occur (sandy soils, abundant native ants).
Teiidae	Whiptails and Racerunners			
<i>Aspidoscelis tigris stejnegeri</i>	Coastal whiptail	CSSC	Found in deserts and semi-arid habitats with sparse vegetation and open areas; also found in woodland and riparian habitats; substrates may be firm soil, sandy, or rocky.	Common in North Area in intact habitat (NPS data, iNaturalist).

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
WILDLIFE - Birds				
Accipitridae	Kites, Hawks, Eagles, and Allies			
<i>Accipiter cooperii</i>	Cooper's hawk	WL	Woodland, chiefly of open, interrupted, or marginal type; nest sites mainly in riparian growths of deciduous trees.	Abundant breeding resident (eBird).
<i>Accipiter striatus</i>	Sharp-shinned hawk	WL	Prefers, but not restricted to riparian habitats; breeds in ponderosa pine, black oak, riparian deciduous, mixed conifer, and Jeffrey pine habitats; requires north-facing slopes with perches.	Multiple records in and around the North Area (eBird).
<i>Aquila chrysaetos</i>	Golden eagle	FP, WL, BCC, CSB	Resident, though wanders widely. Found in rolling foothill and mountain areas, sage-juniper flats, dessert. Cliff-walled canyons provide nesting habitat in most parts of range.	Historically nested (prior to 2000); now rare in fall/winter (eBird).
<i>Buteo regalis</i>	Ferruginous hawk	WL, BCC, CSB	Forages in grasslands and agricultural fields.	Cheeseboro Cyn (eBird).
<i>Buteo swainsoni</i>	Swainson's hawk	ST, BCC, CSB	Breeds in grasslands with scattered trees, juniper sage flats, riparian areas, savannahs, and agricultural or ranch land. Requires suitable foraging areas such as grasslands, or alfalfa or grain fields supporting rodent populations.	Not know to nest in the region, but may fly over during migration.
<i>Circus cyaneus</i>	Northern harrier	CSSC, CSB	Prefer open country, grasslands, steppes, wetlands, meadows, agriculture fields; roost and nest on ground in shrubby vegetation often at edge of marshes.	Regular in fall and winter to extensive grassland (eBird).
<i>Elanus leucurus</i>	White-tailed kite	FP, CSB	Typically nests at lower elevations in riparian trees, including oaks, willows, and cottonwoods; forages over open country.	Formerly nested widely across North Area and at urban-wildland interface (NPS data); few records since 2012, likely due to drought.
<i>Haliaeetus leucocephalus</i>	Bald eagle	SE, FP, BCC, CSB	Nests on large trees in the vicinity of large lakes, reservoirs and rivers. Wintering birds are most often found near large concentrations of waterfowl or fish.	Malibu Creek State Park (eBird).
Alaudidae	Larks			
<i>Eremophila alpestris actia</i>	California horned lark	WL, CSB	Occurs in open habitats, forages in bare dirt in short and/or sparse grassland and areas of scattered shrubs.	King Gillette Ranch, Malibu Creek State Park (eBird).
Alcedinidae	Kingfishers			
<i>Megasceryle alcyon</i>	Belted kingfisher	CSB	Need access to bodies of water for feeding, and vertical earthen banks for nesting. Hunt in unclouded water that allows them to see prey below the surface, with perches nearby but minimal vegetation obstructing the water. Some of their most common habitats are streams, rivers, ponds, lakes, estuaries, and calm marine waters.	Recorded at multiple locations in North Area including Malibou Lake, Paramount Ranch, Malibu Creek State Park (eBird).

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
Anatidae	Ducks, Geese, and Swans			
<i>Anser albifrons</i>	Greater white-fronted goose	CSB	Marshes, prairies, fields, lakes, bays; breeds on tundra in summer. Generally in open country; most spend winter where agricultural fields (for foraging) are close to extensive shallow waters (for roosting).	Several lakes and waterbodies in and near North Area, including Malibu Creek State Park, Lake Sherwood, Lake Calabasas (eBird).
<i>Aythya americana</i>	Redhead	CSSC, CSB	Lakes, saltwater bays, estuaries; in summer, fresh marshes. For nesting season favors large marshes in prairies or intermountain valleys. Migrants gather on large lakes. In winter, mainly on coastal bays and lagoons, also on freshwater lakes inland.	Several lakes and waterbodies in and near North Area, including Malibu Creek State Park, Lake Sherwood, Lake Calabasas (eBird).
Apodidae	Swifts			
<i>Chaetura vauxi</i>	Vaux's swift	CSSC	Breeds in coniferous and mixed coniferous forests; requires large-diameter, hollow trees for breeding and roosting; forages in areas of open water where insect prey congregates.	Regularly observed in and around North Area during migration (eBird).
<i>Cypseloides niger</i>	Black swift	CSSC, BCC, CSB	Open sky over mountains, coastal cliffs. Forages widely over most terrain but is very local in occurrence, probably limited to regions with suitable nesting sites. Nests on ledges or in crevices in steep cliffs, either along coast or near streams or waterfalls in mountains.	Regularly observed in and around North Area during migration (eBird).
Ardeidae	Hérons, Egrets, and Bitterns			
<i>Botaurus lentiginosus</i>	American bittern	CSB	Marshes, reedy lakes. Breeds in freshwater marshes, mainly large, shallow wetlands with much tall marsh vegetation (cattails, grasses, sedges) and areas of open shallow water. Winters in similar areas, also in brackish coastal marshes. Sometimes feeds in dry grassy fields.	Historic records just west and south of North Area (eBird).
<i>Ixobrychus exilis</i>	Least bittern	CSSC, BCC, CSB	Fresh marshes, reedy ponds. Mostly freshwater marsh but also brackish marsh, in areas with tall, dense vegetation standing in water. May be over fairly deep water, because it mostly climbs in reeds rather than wading. Sometimes in salt marsh or in mangroves.	Resident at Lake Sherwood just west of North Area (eBird); may occur at Malibu Lake, in cattail/reed marshes.
Caprimulgidae	Nightjars			
<i>Chordeiles acutipennis</i>	Lesser nighthawk	CSB	Arid scrub, dry grassland, desert washes. Found in open arid habitats including desert, grassland, brushy country.	Possible in North Area.
<i>Phalaenoptilus nuttallii</i>	Common poorwill	CWL	Dry hills, open brush. Various kinds of open dry terrain at low elevation in the west, including rocky mesas with scattered shrubs, washes and hills in Sonoran desert, scrubby areas in dry open pine forest. May be found in open grassland, but usually only around rocky outcrops.	Regularly recorded in and near North Area (eBird).

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
Cardinalidae	Cardinals			
<i>Passerina cyanea</i>	Indigo bunting	CWL	Brushy pastures, bushy wood edges. For nesting favors roadsides, old fields growing up to bushes, edges of woodlands, and other edge habitats such as along rights-of-way for powerlines or railroads. Also in clearings within deciduous woods, edges of swamps. In the west, usually near streams. During winter in the tropics, most common around brushy edges of farm fields.	Paramount Ranch, Malibu Creek State Park (eBird).
<i>Pheucticus melanocephalus</i>	Black-headed grosbeak	CWL	Deciduous and mixed woods. Breeds mainly in oak woodland, streamside groves of cottonwood and willow, pine-oak woods in mountains, pinyon-juniper woodland; seldom in purely coniferous forest. In migration, occurs in any kind of open woods, streamside trees, suburbs, mesquite groves, desert washes. Winters in open woods and brush of the tropics, from lowlands to mountains.	Breeds in North Area.
Cathartidae	New World Vultures			
<i>Cathartes aura</i>	Turkey vulture	CSB	Widespread over open country, woods, deserts, foothills. Most common over open or semi-open country, especially within a few miles of rocky or wooded areas providing secure nesting sites. Generally avoids densely forested regions.	Resident throughout North Area.
Cuculidae	Cuckoos and Relatives			
<i>Geococcyx californianus</i>	Greater roadrunner	CSB	Deserts, open country with scattered brush. Most common in Sonoran desert and in other kinds of brushy country, including chaparral, in areas with a mix of open ground and dense low cover. At limits of range, found in dry grassland, forest edges, and limestone hills with scattered junipers.	Resident in North Area (eBird).
Emberizidae	Sparrows, Buntings, Warblers, and Relatives			
<i>Aimophila ruficeps canescens</i>	Southern California rufous-crowned sparrow	WL, CWL	Resident in southern California coastal sage scrub and sparse mixed chaparral. Prefers steep rocky hillsides with grass and forb patches.	Abundant breeding resident (eBird).
<i>Ammodramus savannarum</i>	Grasshopper sparrow	CSSC, CSB	Grassland, hayfields, prairies. Breeds in rather dry fields and prairies, especially those with fairly tall grass and weeds and a few scattered shrubs. Also nests in overgrown pastures and hayfields, and sometimes in fields of other crops.	Rare and sporadic in spring/summer in extensive grassland (eBird).
<i>Amphispiza bilineata</i>	Black-throated sparrow	CWL	Arid brush, creosote-bush deserts. Lives in a variety of dry open habitats, from Sonoran desert with its mix of shrubs and cactus to very barren flats of creosote bush	Possible in North Area.

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
			or saltbush. Also locally in grassland with scattered cactus, sagebrush flats, open pinyon-juniper woods.	
<i>Artemisiospiza belli belli</i>	Bell's sage sparrow	WL, BCC, CWL	Found in shrubby habitats including coastal sage scrub and chaparral, primarily of the chamise type.	Local breeding resident in chamise-dominated chaparral throughout North Area (eBird).
<i>Melospiza crissalis</i>	California towhee	CWL	Brushy areas, chaparral, coastal scrub, gardens. Found in a wide variety of dense low habitats, including streamside thickets, chaparral, pinyon-juniper woods, coastal sage scrub, semi-desert scrub, edges and openings in oak woodland, and well-vegetated gardens and city parks.	Abundant breeding resident (eBird).
<i>Piranga rubra</i>	Summer tanager	CSSC, CSB	Breeds in mature, desert riparian habitats dominated by cottonwood and willow.	Possible in North Area in winter.
<i>Pooecetes gramineus</i>	Vesper sparrow	CSB	Meadows, fields, prairies, roadsides. At all seasons, favors open grassy or weedy fields, often in rather dry situations with much open soil. May be in weedy roadsides, gravel pits, high mountain grasslands, stubble fields, grassy areas just above sandy beaches. Often breeds where there are a few taller plants for use as song perches.	Occasionally recorded in and around North Area in fall/winter (eBird).
<i>Spizella atrogularis</i>	Black-chinned sparrow	CWL	Brushy mountain slopes, open chaparral, sagebrush. Found mostly in arid scrub on hillsides, from low foothills up to almost 7,000 feet in mountains, in chaparral and open thickets of manzanita, scrub oak, sagebrush, chamise, and other low shrubs. In winter also found locally in desert areas, mesquite thickets.	Rocky Oaks Park (eBird).
<i>Spizella breweri</i>	Brewer's sparrow	BCC, CWL	Sagebrush, brushy plains; in winter, also weedy fields. In summer typically in open flats covered with sagebrush; sometimes in stands of saltbush, on open prairie, or in pinyon-juniper woodland.	Occasionally recorded in and around North Area (eBird).
Falconidae	Falcons and Caracaras			
<i>Falco columbarius</i>	Merlin	WL	Wide variety of habitats including marshes, deserts, seacoasts, open woodlands, fields.	Uncommon winter resident throughout North Area (eBird).
<i>Falco mexicanus</i>	Prairie falcon	WL, BCC, CSB	Rare in southern California; nests along cliff faces or rocky outcrops; forages over open spaces, agricultural fields.	Formerly nested on Simi Peak (NPS data), now a scarce fall/winter visitor (eBird).
<i>Falco peregrinus anatum</i>	American peregrine falcon	FP, BCC	Resident and winter visitor. Winters throughout the Central Valley and along portions of the coast; breeds at various coastal sites. Requires protected cliffs and ledges for nesting. Feeds primarily on water birds.	Frequent in fall/winter (eBird); recent nesting in Topanga Canyon State Park (NPS data).

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
Fringillidae	Finches and Relatives			
<i>Spinus lawrencei</i>	Lawrence's goldfinch	BCC	Breeds in a variety of habitats throughout its range in southern California, including mixed conifer-oak forest, blue oak savannah, pinyon-juniper woodland, chaparral, riparian woodland, and desert oases.	Uncommon breeding resident (somewhat nomadic) throughout North Area (eBird).
Hirundinidae	Swallows			
<i>Progne subis</i>	Purple martin	CSSC, CSB	Towns, farms, semi-open country near water; in west, also mountain forest, saguaro desert. In the west, isolated colonies breed around woodland edges, clearings in mountain forest, and lowland desert with giant saguaro cactus.	Possible in North Area.
<i>Riparia riparia</i>	Bank swallow	ST, CSB	Colonial nester; nests primarily in riparian and other lowland habitats west of the desert; requires vertical banks/cliffs with fine-textured/sandy soils near streams, rivers, lakes, or the ocean to dig a nesting hole.	Rare transient in migration (extirpated as a nester in southern California).
Icteridae	New World Blackbirds			
<i>Agelaius tricolor</i>	Tricolored blackbird	Cand. SE, CSSC, BCC, CSB	Highly colonial species, most numerous in central valley & vicinity. Largely endemic to California. Requires open water, protected nesting substrate, & foraging area with insect prey within a few km of the colony.	Recorded at a pond near a rural residence about ¼ mile NE of Mulholland Hwy and Zuma Ridge Fire Road. Thought to be nesting here, CNDDDB record notes that additional surveys planned for spring 2017.
<i>Sturnella neglecta</i>	Western meadowlark	CSB	Grasslands, cultivated fields and pastures, meadows, prairies. Breeds mostly in natural grasslands, abandoned weedy fields, rangeland, also sometimes on cultivated land. In winter, often in stubble fields and other farmland.	Routinely observed in and around North Area (eBird).
<i>Xanthocephalus xanthocephalus</i>	Yellow-headed blackbird	CSSC, CSB	Fresh marshes. Forages in fields, open country. Breeds in freshwater sloughs, marshy lake borders, tall cattails growing in water up to 3-4 feet deep. Forages around marshes and also commonly in open pastures, plowed fields, cattle pens, feedlots.	Occasionally observed in North Area during migration (eBird).
Laniidae	Shrikes			
<i>Lanius ludovicianus</i>	Loggerhead shrike	CSSC, BCC, CSB	Savannah, pinyon-juniper woodland, Joshua tree woodland, riparian woodland, desert oases, scrub, and washes; prefers open country for hunting with perches for scanning and fairly dense shrubs and brush for nesting.	Uncommon in fall, rare in winter (eBird). Formerly bred widely, e.g., Las Virgenes Canyon (WFVZ).
Laridae	Gulls, Terns, and Skimmers			
<i>Hydroprogne caspia</i>	Caspian tern	BCC, CSB	Large lakes, coastal waters, beaches, bays. Found on both fresh and salt water, favoring protected waters such as bays, lagoons, rivers, lakes, not usually foraging	Mostly recorded along the coast, but occasional records at inland areas such as Malibu

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
			over open sea. Inland, more likely on large lakes than on small ponds. Nests on open ground on islands, coasts.	Creek State Park and Lake Sherwood (eBird).
Odontophoridae	Partridge and Quail			
<i>Oreortyx pictus</i>	Mountain quail	CWL	Dense brush in wooded foothills and mountains. Most common in pine-oak woodland, coniferous forest, and chaparral; sometimes in pinyon-juniper woods or in scrub at lower elevations. May be common in areas of second-growth brush after fires or clearcuts. Requires dense low thickets for cover. During hot weather, rarely found more than a mile from water.	Locally uncommon. Possible in chaparral habitats throughout North Area.
Paridae	Titmice and Relatives			
<i>Baeolophus inornatus</i>	Oak titmouse	BCC, CWL	Oak woods, pinyon-juniper; locally river woods, shade trees. Along Pacific seaboard, occurs most commonly in oak woodland, including areas where oaks meet streamside trees or pines; also in well-wooded suburbs, rarely in coniferous forest in mountains. In the interior, also occurs in some woodlands dominated by pine or juniper.	Abundant breeding resident (eBird).
Parulidae	New World Warblers			
<i>Geothlypis tolmiei</i>	MacGillivray's warbler	CWL	Low dense undergrowth; shady thickets. Breeds in thickets of willow and alder, near stream bottoms or at edge of coniferous or mixed forest. Favors new growth in logged or burned areas (especially with dead and fallen trees), brushy thickets near low moist ground, and thicketed mountain canyons.	Possible in North Area in spring/summer.
<i>Icteria virens</i>	Yellow-breasted chat	CSSC, CSB	Inhabits riparian thickets of willow and other brushy tangles near water courses; nests in low, dense riparian vegetation; nests and forages within 10 feet of ground.	Localized breeder in spring/summer in riparian areas, including Malibu Creek State Park and Las Virgenes Canyon watershed (eBird).
<i>Oreothlypis ruficapilla</i>	Nashville warbler	CWL	Cool, open mixed woods with undergrowth; forest edges, bogs. Breeds in deciduous, coniferous, and streamside woodlands, also bogs and thickets. Favors cedar and spruce bogs in northern part of range, abandoned fields and mountain pastures with saplings and young trees in eastern United States. In the west, breeds in thickets of manzanita and other shrubs near belts of pine and fir.	Occasionally recorded in North Area in spring/summer (eBird).
<i>Setophaga occidentalis</i>	Hermit warbler	CWL	Conifer forests; in migration, conifers and deciduous woods. Breeds mostly in moist, dense forests near sea level, especially in forests of Douglas-fir, hemlock, and western redcedar. Also nests in cooler, wetter forests of fir and other trees at higher elevations. In winter found in pine-	Occasionally recorded in North Area during migration (eBird).

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
			oak forests of mountains in Mexico, also in oaks and conifers along California coast.	
<i>Setophaga petechia</i>	Yellow warbler	CSSC, CSB	Nests in several larger canyons with permanent water and mature riparian woodland. In coastal southern California, rarely breeds away from willows (e.g., largely absent from oak woodland).	Breeds in drainages within and near Plan Area, including Malibu Creek, Cold Creek, and Topanga Cyn drainages.
<i>Cardellina pusilla</i>	Wilson's warbler	CSB	Thickets along wooded streams, moist tangles, low shrubs, willows, alders. Breeds as far north as timberline, in thickets, second-growth, bogs, or in alder and willow groves near streams and ponds. In migration and winter, occurs from hot lowland thickets up to cool mountain woods; always in scrubby overgrown clearings and thin woods, not in the interior of dense forest.	Commonly recorded in North Area spring through fall (eBird).
Picidae	Woodpeckers			
<i>Picoides villosus</i>	Hairy woodpecker	CSB	Forests, woodlands, river groves, shade trees. Accepts wide variety of habitats so long as large trees present; found in deciduous, coniferous, and mixed forest, groves along rivers in prairie country, open juniper woodland, swamps.	Recorded at several locations in the north and central portions of the North Area (eBird).
Podicipedidae	Grebes			
<i>Podiceps nigricollis</i>	Eared grebe	CSB	Prairie lakes, ponds; in winter, open lakes, salt bays. Favored nesting areas are lakes or large ponds with extensive marshy borders. Opportunistic, it may quickly occupy new or temporary habitats. During migration and winter, mainly on large freshwater or alkaline lakes.	Recorded at several water bodies in and near the North Area, including Malibou Lake (eBird).
Poliophtidae	Gnatcatchers			
<i>Poliophtila californica californica</i>	Coastal California gnatcatcher	FT, CSSC, CSB	Various sage scrub communities, often dominated by California sage and buckwheat; generally avoids nesting in areas with a slope of greater than 40%, and typically less than 820 feet in elevation.	Recorded once in coastal sage scrub in the northern North Area, between the Upper Las Virgenes Canyon Open Space and the Mont Calabasas development. Resident vic. Montclef Ridge formation west of Thousand Oaks and in Moorpark area (Ventura County).
Rallidae	Rails, coots, and gallinules			
<i>Porzana carolina</i>	Sora	CSB	Fresh marshes, wet meadows; in winter, also salt marshes. Occurs in a variety of marshy situations, from extensive river marshes to grassy edges of small ponds. Also in damp meadows, and sometimes in tall-grass fields some distance from water. Breeds mostly in freshwater habitat with large stands of cattails, but moves into salt marshes at times, especially in winter.	Recorded at several locations in and near the North Area, including Malibou Lake and Paramount Ranch (eBird).

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
<i>Rallus limicola</i>	Virginia rail	CSB	Fresh and brackish marshes; in winter, also salt marshes. Nests in a variety of marshy situations, mostly fresh, but also brackish marsh near coast. Often moves into salt marshes in winter. During migration, sometimes found in odd spots, even city streets.	Recorded at several water bodies in and near the North Area, including Malibu Lake (eBird).
Regulidae	Kinglets			
<i>Regulus calendula</i>	Ruby-crowned kinglet	CWL	Winter visitor. Common in woods and thickets during migration and winter.	Regularly recorded in North Area in winter (eBird).
<i>Regulus satrapa</i>	Golden-crowned kinglet	CWL	Winter visitor. During migration, stop in a broad range of habitats at medium to high elevations, including coniferous and deciduous forests, old fields, parks, and backyards. Winter in a variety of coniferous and deciduous habitats, bottomland hardwoods, swamps, riverside habitats, cities, and suburbs.	Regularly recorded in North Area in winter (eBird).
Scolopacidae	Sandpipers and Relatives			
<i>Numenius americanus</i>	Long-billed curlew	WL, BCC, CSB	Generally nests in short grasses including grass prairies or agricultural fields, and moves to denser grasslands after young have fledged. Winter at the coast and in Mexico.	Malibu Creek State Park (eBird).
Sittidae	Nuthatches			
<i>Sitta canadensis</i>	Red-breasted nuthatch	CWL	Conifer forests and stands of ornamental conifers.	Common winter visitor in North Area (eBird).
Strigidae	True Owls			
<i>Asio otus</i>	Long-eared owl	CSSC, CSB	Resident and visitor in the region. Nests in a variety of woodland habitats, including oak and riparian. Requires adjacent open land with rodents for foraging, and the presence of old nests of crows, hawks, magpies etc. for breeding.	Breeding resident in Upper Las Virgenes Open Space and possibly elsewhere (NPS data).
<i>Athene cunicularia</i>	Burrowing owl	CSSC, BCC, CSB	Resident and winter visitor in open, dry annual or perennial grasslands and scrub habitats with low-growing vegetation, perches and abundant mammal burrows. Preys upon insects and small vertebrates. Nests and roosts in old mammal burrows, generally those of ground squirrels.	Extirpated; formerly nested in colony in present-day Oak Park, near Kanan Rd. and Lindero Canyon Rd. (NPS data).
Threskiornithidae	Ibises and spoonbills			
<i>Plegadis chihi</i>	White-faced ibis	WL, CSB	Fresh marshes, irrigated land, tules. For foraging, favors very shallow water, as in marshes, flooded pastures, irrigated fields. Sometimes in damp meadows with no standing water. Prefers fresh water marsh, but sometimes forages in salt marsh.	Recorded at Lake Sherwood west of the North Area (eBird); could occur at lakes/marshes within North Area.
Troglodytidae	Wrens			
<i>Catherpes mexicanus</i>	Canyon wren	CWL	Resident that occupies cliffs, canyons, rocky outcrops, and boulder piles.	Regularly recorded in North Area (eBird).

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
<i>Cistothorus palustris clarkae</i>	Clark's marsh wren	CSSC, CSB	Resident of southern California coast from Los Angeles basin south to Mexican border. Restricted to freshwater and brackish marshes dominated by bulrushes (<i>Scirpus</i> spp.) or cattails (<i>Typha</i> spp.).	Two known sites near the North Area along Arroyo Sesquit.
Turdidae	Thrushes			
<i>Catharus guttatus</i>	Hermit thrush	CWL	Winter visitor, often in lower-elevation forests with dense understory and berry bushes, including pine, broadleaf evergreen, and deciduous woods.	Regularly recorded in North Area in winter (eBird).
<i>Catharus ustulatus</i>	Swainson's thrush	CSB	Summer visitor; breeds in deciduous streamside woodlands, alder or willow thickets, and occasionally in coastal scrub in coastal CA. Found in a variety of habitats during migration.	Multiple locations in North Area including Malibu Creek State Park (eBird).
<i>Sialia currucoides</i>	Mountain bluebird	CSB	Winter visitor in open woodlands, pastures, meadows, grasslands, pinyon-juniper and oak-juniper woodlands, agricultural areas.	Malibu Creek State Park (eBird).
Tyrannidae	Tyrant Flycatchers			
<i>Contopus cooperi</i>	Olive-sided flycatcher	CSSC, BCC, CSB	Summer visitor. Variety of montane forests and coastal areas. Often associated with snags during breeding and migration.	Recorded at Cheeseboro/Palo Comado Canyon, Malibu Creek State Park, and other locations in and around the North Area (eBird).
<i>Contopus sordidulus</i>	Western wood-pewee	CWL	Breeds in open forest, forest edge, and riparian zones.	Regularly recorded in North Area in spring through fall (eBird).
<i>Empidonax traillii extimus</i>	Southwestern willow flycatcher	FE, SE, CSB	Summer resident in the southern third of California and the Southwest. Typically breeds in dense riparian vegetation associated with standing water. Vegetative microhabitats used for nesting variable; willows, mulefat, blackberry and cottonwood are commonly used. Nests typically within ten feet of the ground.	Willow flycatcher is a regular transient through region (eBird), but no breeding has been documented in Santa Monica Mountains, including historically.
Vireonidae	Vireos			
<i>Vireo bellii pusillus</i>	Least Bell's vireo	FE, SE, CSB	Summer visitor. Breeds in riparian woodland and scrub along perennial or nearly perennial streams; prefers early successional vegetation. Willows and mulefat typically used for nesting.	Recent spring/summer records for Las Virgenes Canyon watershed (eBird), but no indication of breeding.
<i>Vireo huttoni</i>	Hutton's vireo	CWL	Year-round resident in mixed evergreen forests and woodlands of western North America; particularly common in areas where live (evergreen) oaks predominate.	Recorded throughout North Area (eBird).
<i>Vireo plumbeus</i>	Plumbeous vireo	CWL	Typically breeds in warm, dry, often montane forests of pine, oak and juniper.	Infrequently recorded in North Area (eBird).
WILDLIFE - Mammals				
Molossidae	Free-Tailed Bats			
<i>Eumops perotis californicus</i>	Western mastiff bat	CSSC	Wide variety of open, arid and semi-arid habitats. Distribution appears to be tied to large rock structures which provide suitable	Recorded at Paramount Ranch, Peter Strauss Ranch, Malibu Creek State Park (CNDDB).

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
			roosting sites, including cliff crevices and cracks in boulders.	Suitable habitat throughout North Area.
Phyllostomidae	Leaf-Nosed Bats			
<i>Macrotus californicus</i>	California leaf-nosed bat	CSSC	Prefers caves, mines and rock shelters in Sonoran desert scrub.	Recorded in the Santa Monica Mtns outside of the North Area (historic record, CNDDDB).
Vespertilionidae	Evening Bats			
<i>Antrozous pallidus</i>	Pallid bat	CSSC	Deserts, grasslands, shrublands, woodlands, and forests. Roost sites include old ranch buildings, rocky outcrops and caves within sandstone outcroppings. Roosts must protect bats from high temperatures. Very sensitive to disturbance of roosting sites.	Recorded in the Santa Monica Mtns outside of the North Area, but suitable habitat occurs (CNDDDB).
<i>Euderma maculatum</i>	Spotted bat	CSSC	Occupies a wide variety of habitats from arid deserts and grasslands, to mixed conifer forests; feeds over water and along washes; needs rock crevices in cliffs or caves for roosting.	Recorded at Malibu Creek State Park; suitable habitat occurs throughout North Area (CNDDDB).
<i>Lasiurus blossevillii</i>	Western red bat	CSSC	Typically solitary, roosting primarily in the foliage of trees or shrubs. Day roosts are commonly in edge habitats adjacent to streams or open fields. There may be an association with intact riparian habitat.	Paramount Ranch, Peter Strauss Ranch; suitable habitat throughout North Area especially in riparian zones (CNDDDB).
<i>Lasiurus cinereus</i>	Hoary bat	SA	Prefers open habitats or habitat mosaics, with access to trees for cover & open areas or habitat edges for feeding. Roosts in dense foliage of medium to large trees. Feeds primarily on moths. Requires water.	Peter Strauss Ranch; suitable habitat throughout North Area (CNDDDB).
<i>Myotis ciliolabrum</i>	Western small-footed myotis	SA	Occurs in a wide variety of arid upland habitats at elevations ranging from sea level to 2,700 meters (8,860 feet); day roosts include rock crevices, caves, tunnels and mines, and, sometimes, buildings and abandoned swallow nests.	Suitable habitat occurs throughout North Area.
<i>Myotis yumanensis</i>	Yuma myotis	SA	Preferred habitats are open forests and woodlands with sources of water over which to feed. Distribution is closely tied to bodies of water. Maternity colonies occur in caves, mines, buildings, or crevices.	Peter Strauss Ranch, Malibu Creek State Park; suitable habitat throughout North Area (CNDDDB).
Leporidae	Hares and Rabbits			
<i>Lepus californicus bennettii</i>	San Diego black-tailed jackrabbit	CSSC, Locally uncommon	Abundant at lower elevations in herbaceous and desert-shrub areas and open, early stages of forest and chaparral habitats.	Apparently extirpated from North Area.
Mephitidae	Skunks			
<i>Spilogale gracilis</i>	Spotted skunk	Locally uncommon	Mixed woodlands, open areas, and farmlands.	Suitable habitat throughout North Area.

Special-Status Species Potentially Occurring in the Santa Monica Mountains North Area				
Scientific Name	Common Name	Status ¹	Habitat	Notes
Muridae	Rats, Mice, and Relatives			
<i>Neotoma lepida intermedia</i>	San Diego desert woodrat	CSSC	Coastal scrub of southern Calif. from San Diego County to San Luis Obispo County. Moderate to dense canopies preferred. Particularly abundant in rock outcrops, rocky cliffs, & slopes.	Suitable habitat throughout North Area.
Mustelidae	Weasels			
<i>Taxidea taxus</i>	American badger	CSSC	Most abundant in drier open stages of most shrub, forest, and herbaceous habitats, with friable soils. Requires friable soils and open, uncultivated ground. Preys on burrowing rodents.	Multiple records in the Santa Monica Mtns, including within the North Area. Suitable habitat widespread.
Procyonidae	Raccoons and Relatives			
<i>Bassariscus astutus</i>	Ringtail	CFP	Occurs in chaparral, coastal sage scrub, riparian scrub, oak woodlands, and riparian woodlands in proximity to permanent water.	Malibu Creek State Park; potential to occur elsewhere in North Area in a variety of habitats.
Sciuridae	Squirrels and Relatives			
<i>Sciurus griseus</i>	Western grey squirrel	Locally uncommon	Woodland areas with enough tree cover for arboreal travel. Commonly associated with California black walnut (<i>Juglans californica</i>) and black oak (<i>Q. kelloggii</i>) trees, but also uses a variety of other native and non-native trees.	Small populations in native and nonnative stands of trees in North Area (iNaturalist).

Source: CDFW, 2017a; CNPS, 2017; CCH, 2017; Calflora, 2018; Audubon, 2018; eBird, 2017; iNaturalist, 2017; Shuford and Gardali, 2008; NPS n.d.

Federal Rankings:

FE = Federally Endangered
 FT = Federally Threatened
 BCC = USFWS Bird of Conservation Concern

State Rankings:

SE = State Endangered
 ST = State Threatened
 SR = State Rare
 CST = Candidate for listing as State Threatened
 CFP = California Fully Protected
 SA = CDFW Special Animal
 WL = CDFW Watch List
 CSSC = California Species of Special Concern

Local Rankings

CSB = Sensitive Bird in Los Angeles County (Allen et al., 2009)
 CWL = Los Angeles County Bird Watch List (Allen et al., 2009)
 Locally Uncommon

CRPR Rankings:

CRPR 1A – Presumed extinct in California
 CRPR 1B – Rare or endangered in California and elsewhere
 CRPR 2 – Rare or endangered in California, more common elsewhere
 CRPR 3 – More information needed
 CRPR 4 – Limited distribution (Watch List)

For each CRPR Ranking, the following sub-categories apply:

- .1 = Seriously endangered in California (over 80 percent of occurrences threatened/high degree and immediacy of threat)
- .2 = Fairly endangered in California (20 to 80 percent occurrences threatened)
- .3 = Not very endangered in California (less than 20 percent of occurrences threatened or no current threats known)

ATTACHMENT 3

VEGETATION AND LANDFORMS IN THE NORTH AREA

ATTACHMENT 3 – VEGETATION AND LANDFORMS IN THE NORTH AREA

The North Area falls almost entirely within the Santa Monica Mountains Significant Ecological Area (SEA), and the vegetation descriptions that follow are drawn from the vegetation descriptions and classification presented in the *Draft General Plan 2035, Technical Appendix E* (LA County, 2012) and the National Park Service's (NPS's) *Vegetation Classification of the Santa Monica Mountains National Recreation Area and Environs in Ventura and Los Angeles Counties, California* (CDFG et al., 2006), and reflect the NPS's vegetation mapping spatial data as described in Section 2.4 of this report. Each general vegetation or land cover type is described along with its distribution in the North Area and the corresponding Manual of California Vegetation alliances, as mapped in the NPS vegetation project (Sawyer et al., XXX; CDFG et al., 2006; AIS, 2007).

While the vegetation of the Santa Monica Mountains is extremely varied, it can be categorized broadly as chaparral, coastal sage scrub, oak woodlands, riparian woodlands, and grasslands. Within each general category exists many "alliances", or subgroupings defined by the dominant or co-dominant species present. Thus, there can be multiple different alliances that fall into a general category; these all exhibit the same general structure and similar ecological attributes, but vary somewhat in the species composition. Often these subtle differences in species composition reflect different levels of moisture availability, sun exposure, whether the area has experienced a recent or historic fire, soil differences, and different levels of disturbance. The following describes the alliances mapped in the North Area by the NPS and cooperating agencies that fall within each category, and highlights several unique and remarkable vegetation types and landcovers that do not fall within a defined vegetation type (such as developed or open water areas).

As described in Section 2.4, the vegetation information presented in this report is primarily based on the NPS Santa Monica Mountains vegetation mapping project, and several caveats are warranted. First, vegetation coverage is dynamic and changes over time; the NPS data is currently the best available information on the Area-wide vegetation composition and coverage but some areas will have changed since this mapping effort was completed in 2006. In addition, as noted in the vegetation classification report that accompanied the NPS vegetation mapping data (CDFG et al., 2006):

- The development of a vegetation classification and concomitant map is a complex project. Not all vegetation types are equally mappable at a certain scale. Coordination between the vegetation classification team and the aerial photo interpreters is needed to resolve the best way to map the types, whether directly at the finest association level, at the higher-classification levels (such as at the alliance), or as a mosaic or complex. Thus, not all types described in this report are necessarily mapped directly.

Vegetation communities can also overlap in certain characteristics and, over time, may shift from one community type to another. Note also that all vegetation maps and descriptions are subject to imprecision resulting from several sources, including:

- Vegetation types typically intergrade on the landscape, without precise boundaries. In some cases, vegetation boundaries are distinct, often resulting from events such as wildfire or flood. These boundaries may become much less apparent after years of post-disturbance succession. Therefore, mapped boundaries represent best professional judgment, but should not be interpreted as literal delineations between sharply defined vegetation types.

- Natural vegetation tends to exist in general recognizable types, but also may vary over time and geographic region. Written descriptions cannot reflect all local or regional variation. Many stands of natural vegetation do not strictly fit into any named type. Therefore, a mapped unit is given the best name available in the classification, but this name does not imply that the vegetation unambiguously matches written descriptions.
- Vegetation tends to be patchy. Small patches of one named type are often included within larger stands mapped as units of another type.
- Photo interpretation of some types may be difficult. Accuracy of a vegetation map will vary depending on the level of ground-truthing efforts. For the purposes of this Biological Resources Assessment, key areas were field-verified and updated as needed; however, the large size of the North Area precluded detailed field verification across the entire mapped area.

Chaparral

Chaparral consists of broad-leaved or needle-leaved, sclerophyllous (hard-leaved), medium height to tall shrubs that form a dense cover on steep slopes below 5,000 feet in Southern California. Dominant species found within this community include ceanothus, toyon, scrub oak, sugar bush, holly-leaved cherry, holly leaf redberry, chamise, laurel sumac, and manzanita. This plant community occurs throughout the North Area and occupies most of the higher elevations and steep slopes.

Corresponding alliances and NPS mapping units:

- Big Pod Ceanothus (*Ceanothus megacarpus*) and Greenbark Ceanothus (*Ceanothus spinosus*) and Birch Leaf Mountain Mahogany (*Cercocarpus betuloides*) Shrubland Superalliance
- Big Pod Ceanothus Shrubland Alliance
- Birch Leaf Mountain Mahogany Shrubland Alliance
- Ceanothus and Birch Leaf Mountain Mahogany Shrubland Superalliance
- Ceanothus-Chamise (*Adenostoma fasciculatum*) Shrubland Mapping Unit
- Chamise Shrubland Alliance
- Chamise-Black Sage (*Salvia mellifera*) Shrubland Alliance
- Chamise-Eastwood Manzanita (*Arctostaphylos glandulosa*) Shrubland Alliance
- Chamise-Hoary Leaf Ceanothus (*Ceanothus crassifolius*) Shrubland Alliance
- Chamise-Redshank (*Adenostoma sparsifolium*) Shrubland Alliance
- Chamise-Wedge Leaf Ceanothus (*Ceanothus cuneatus*) Shrubland Alliance
- Greenbark Ceanothus Shrubland Alliance
- Hoary Leaf Ceanothus Shrubland Alliance
- Scrub Oak (*Quercus berberidifolia*) Shrubland Alliance
- Scrub Oak-Birch Leaf Mountain Mahogany Shrubland Alliance
- Scrub Oak-Chamise Shrubland Alliance
- Sugar Bush (*Rhus ovata*) Shrubland Alliance

- Wedge Leaf Ceanothus and Chamise-Wedge Leaf Ceanothus Shrubland Superalliance
- Wedge Leaf Ceanothus Shrubland Alliance

Sensitive corresponding alliances and NPS mapping units:

- Hairy Leaf Ceanothus (*Ceanothus oliganthus*) Shrubland Alliance
- Holly Leaf Cherry (*Prunus ilicifolia*) Shrubland Alliance
- Toyon (*Heteromeles arbutifolia*) Shrubland Alliance

Redshank Chaparral

Redshank chaparral is similar to the chaparral described above, with the exception that red shank is the dominant species with lesser amounts of other chaparral species. This community is less common in the North Area. It occurs in small patches, on steep slopes in the far western portion of the North Area. It often occurs within a mosaic of other chaparral communities, and is adapted to slightly cooler and drier microhabitats.

Sensitive corresponding alliances and NPS mapping units:

- Redshank (*Adenostoma sparsifolium*) Shrubland Alliance

Coastal Sage Scrub

Coastal sage scrub consists of drought-deciduous, low, soft-leaved shrubs and herbs on gentle to steep slopes under 1,500 feet in elevation. This community is dominated by California sagebrush, California buckwheat, black sage, purple sage, and California encelia. Coastal sage scrub is distributed throughout the North Area along dry ridgelines, slopes, and areas previously disturbed by fire. Most coastal sage species can regenerate after fires by sprouting new leaves and branches from the base of the burned shrub. The giant wild rye herbaceous alliance tends to be the first recovery stage after fire, later followed by establishment and development of other coastal sage shrubs. In the North Area, giant wild rye can persist independently of fire in areas of human disturbance and urban runoff or in other coastal sage scrub communities where natural slumping and seeps occur (CDFG et al., 2006). Coyote brush shrubland is another type of coastal sage scrub that can follow fire or other disturbance, and typically contains a large component of non-native plants.

Corresponding alliances and NPS mapping units:

- Black Sage Shrubland Alliance
- Black Sage-California Sagebrush (*Artemisia californica*) Shrubland Alliance
- Bush Mallow (*Malacothamnus fasciculatus*) Shrubland Alliance
- California Buckwheat (*Eriogonum fasciculatum*) Shrubland Alliance
- California Sagebrush Shrubland Alliance
- California Sagebrush-California Buckwheat Shrubland Alliance
- Coyote Brush (*Baccharis pilularis*) Shrubland Alliance
- Deerweed (*Lotus scoparius*) Shrubland Alliance

- Laurel Sumac (*Malosma laurina*) Shrubland Alliance
- Poison Oak (*Toxicodendron diversilobum*) Shrubland Alliance
- Purple Sage (*Salvia leucophylla*) Shrubland Alliance

Sensitive corresponding alliances and NPS mapping units:

- Ashy Buckwheat (*Eriogonum cinereum*) Shrubland Alliance
- Bush Monkey Flower (*Mimulus aurantiacus*) Shrubland Alliance
- California Buckwheat-White Sage (*Salvia apiana*) Shrubland Alliance
- California Encelia (*Encelia californica*) Shrubland Alliance
- Giant Wild Rye (*Leymus condensatus*) Herbaceous Alliance
- Sawtooth Goldenbush (*Hazardia squarrosa*) Shrubland Alliance

Riparian Communities

Riparian Scrub

In the North Area, vegetation mapped as riparian scrub is dominated by mule fat. This vegetation occurs on gentle to steep slopes and is widespread across the North Area in intermittent drainages. It is locally variable, and co-occurring shrubs can include arroyo willow, coyote brush, tree tobacco (nonnative), California sagebrush, and laurel sumac. Riparian scrub has sparse tree cover, but emergent or scattered coast live oak, California sycamore, and red willow can occur. Although alliances dominated by mule fat are not considered sensitive by CDFW, they are considered sensitive for the purposes of this report because riparian habitats are increasingly rare in California and they provide habitat for a disproportionately high number of species compared with most upland habitats, including rare and listed species.

Sensitive corresponding alliances and NPS mapping units:

- Mule Fat (*Baccharis salicifolia*) Shrubland Alliance

Riparian Woodland

Riparian woodlands occur along perennial and intermittent streams in the North Area, and have a well-established tree layer usually with sparse to open shrub and herbaceous layers. Riparian woodlands can be dominated or co-dominated by California sycamore, red willow, and arroyo willow. California walnut and coast live oak can also be present. Riparian woodlands are important wildlife habitats in the North Area.

Sensitive corresponding alliances and NPS mapping units:

- California Sycamore (*Platanus racemosa*) Woodland/Forest Alliance
- Willow (*Salix laevigata*-*Salix lasiolepis*) Woodland/Forest Superalliance Mapping Unit

Broad group Category: Woodlands

Coast Live Oak Woodland

Coast live oak woodland is dominated by coast live oak and has a poorly developed shrub layer, which may include toyon, currant, gooseberry, laurel sumac, elderberry, and mulefat. Some coast live oak woodlands in the area include scattered California walnut or valley oaks. This community occurs throughout the North Area, often along canyon bottoms and more mesic, north-facing slopes.

Oak trees are recognized by the County as significant historical, aesthetic, and ecological resources, and impacts to oaks are regulated under the County's Oak Tree Ordinance which requires an oak tree permit for any impacts to oak trees. Although not considered a sensitive alliance by CDFW, for the purposes of this report coast live oak woodland is considered sensitive consistent with County ordinances and regulations.

Sensitive corresponding alliances and NPS mapping units:

- Coast Live Oak (*Quercus agrifolia*) Woodland/Forest Alliance

Valley Oak Woodland

An open woodland community dominated by valley oak. The understory is a grassy savannah composed mostly of non-native grasses. Valley oak woodland occurs mostly in the north and central portions of the North Area in shaded ravines and on north-facing slopes. Stands of valley oaks typically occur inland and at lower elevations, in savannas on lower slopes of rolling hills, valley bottoms, and upper terraces of floodplains. This community is rare and does not occur in extensive stands. (AIS, 2007)

Sensitive corresponding alliances and NPS mapping units:

- Valley Oak (*Quercus lobata*) Woodland/Forest Alliance

California Bay Woodland

California bay woodland is usually associated with a water source such as seeps or drainages below seeps. It occurs on moist north-facing concave to neutral slopes and protected ravine and canyon bottoms, but can also occur on similar south facing situations. Steepness can vary from gently sloping to extremely steep on bottoms to upper slopes. (AIS, 2007)

Sensitive corresponding alliances and NPS mapping units:

- California Bay (*Umbellularia californica*) Woodland/Forest Alliance

California Walnut Woodland

California walnut woodland is an open woodland dominated by Southern California black walnut. Occurring on moist, fine-textured soils, the open tree canopy usually has a grassy understory. Other characteristic species include coast live oak, sugar bush, and skunk bush. This community occurs in shaded ravines and on north-facing slopes. The North Area includes some of the largest remaining stands of California walnut woodland.

Sensitive corresponding alliances and NPS mapping units:

- California Walnut (*Juglans californica*) Woodland/Forest Alliance

- California Walnut/Undifferentiated Tall Shrubs Shrubland Mapping Unit

Annual Grassland

Grassland communities consist of low, herbaceous vegetation that is dominated by grasses. Grasslands also harbor native forbs and bulbs, as well as naturalized annual forbs. Grasslands within the North Area include both non-native grasslands and native grasslands. Non-native grassland consists of dominant invasive annual grasses that are primarily of Mediterranean origin. Dominant species found within this community include wild oat, slender oat, red brome, ripgut brome, and herbs, such as black mustard and wild radish. Annual grasslands are mapped in small to large patches throughout the North Area in previously disturbed areas, cattle pastures, valley bottoms, and along road sides. Some areas mapped as annual grasslands contain a high proportion of native bunchgrasses and wildflowers such as mariposa lilies (many of which are considered rare species). Small patches of native grasslands and wildflower fields also occur within openings in broader areas mapped as coastal sage scrub.

Corresponding alliances and NPS mapping units:

- California Annual Grassland/Herbaceous Alliance
- “Native Grasslands” although maybe not mapped for this plan

Wetland

Only a few wetland sites were mapped in the NPS’s mapping effort. This habitat contains dense to intermittent herbaceous vegetation in wet soil or shallow standing water, usually at the edge of a water body. It has high cover of herbs. (AIS, 2007)

Sensitive corresponding alliances and NPS mapping units:

- Wetland Undifferentiated Superalliance

Land Forms and Features

Rock Outcrop

This mapping category consists of a sparsely vegetated community occurring on cliffs and rock outcroppings of sedimentary, metamorphic, and volcanic rocks along the ridges and peaks of the hills and mountains. Between the rocks and in the crevices, the few plants found are usually representative of a chaparral species composition. Other plants often found on the rock faces in protected areas include *Dudleya*, *Selaginella*, and various lichens. Agoura Hills dudleya (*Dudleya cymosa* ssp. *agouensis*) is federally listed as Threatened and occurs on rock outcrops in and near the North Area. It is an endemic plant that occurs nowhere else. Rock outcrops are found throughout the North Area, especially in areas of steeper topography.

Sensitive corresponding alliances and NPS mapping units:

- Rock Outcrop Mapping Unit
- Rock Outcrop/Herbaceous Mapping Unit

Water

Areas mapped as water include all natural and man-made water bodies, including creeks, ponds, lakes, open reservoirs, estuaries, and ocean. It also includes the sparsely vegetated to non-vegetated sandy, cobble-covered, or gravelly area within a stream floodplain. A sand or gravel bar is a level flat surface that may be a transitory feature. (AIS, 2007)

Sensitive corresponding alliances and NPS mapping units:

- Sand/Gravel Bar Mapping Unit
- Water Mapping Unit

Agriculture

Most of the agriculture mapped in the North Area consists of vineyard and orchards. This land cover type is most prevalent around Mulholland Highway and Kanan Road and in Triunfo Canyon; in fact, additional vineyards have been developed in these areas since the NPS mapping project data was compiled in 2006.

Corresponding alliances and NPS mapping units:

- Agriculture Mapping Unit

Exotic Vegetation

Corresponding alliances and NPS mapping units:

- Giant Reed (*Arundo donax*) Herbaceous Alliance
- Undifferentiated Exotic Vegetation Mapping Unit

Disturbed

Areas mapped as Disturbed include artificial cuts and embankments, cleared land, fire breaks, and areas that are regenerating after fire or clearing. Disturbed areas often support more ruderal plants such as black mustard, thistle, and tumbleweed.

Corresponding alliances and NPS mapping units:

- Artificial cuts/Embankments Undifferentiated Vegetation Mapping Unit
- Cleared Land Mapping Unit
- Firebreak Early Seral Undifferentiated Vegetation Mapping Unit
- Post-fire and Post-Clearance Shrub Regeneration Mapping Unit

Developed

Developed areas include residential and commercial developments and other built-up areas. Many areas broadly mapped as developed contain pockets or matrices of native vegetation; therefore, this mapping unit does not preclude an area's use as wildlife habitat.

Corresponding alliances and NPS mapping units:

- Urban/Disturbed or Built-up Undifferentiated Mapping Unit

ATTACHMENT 4

REGULATORY SETTING

REGULATORY SETTING

There are a number of laws, regulations, and ordinances that relate to the conservation of biological resources in the North Area; these are summarized below.

Federal Regulations

Federal Endangered Species Act. The Endangered Species Act (ESA) (16 USC 1531 et seq.) establishes legal requirements for the conservation of endangered and threatened species and the ecosystems upon which they depend.

Section 9. Section 9 of the ESA lists those actions that are prohibited under the ESA, including take (i.e., to harass, harm, pursue, hunt, wound, or kill) of listed species without special exemption. “Harm” is further defined to include significant habitat modification or degradation that results in death or injury to listed species by significantly impairing behavioral patterns such as breeding, feeding, or shelter. “Harass” is further defined as actions that create the likelihood of injury to listed species to an extent as to significantly disrupt normal behavior patterns which include breeding, feeding, and shelter.

Section 10. Section 10 allows for the "incidental take" of endangered and threatened species by non-federal entities. Incidental take is defined by the ESA as take that is "incidental to, and not the purpose of, the carrying out of an otherwise lawful activity." Section 10 requires an applicant for an incidental take permit to submit a habitat conservation plan that specifies, among other things, the impacts that are likely to result from the taking and the measures the applicant will undertake to minimize and mitigate such impacts.

Critical Habitat. Designation of an area as critical habitat provides a means by which the habitat of an endangered or threatened species can be protected from adverse changes or destruction resulting from federal activities or projects. A critical habitat designation does not set up a preserve or refuge and usually applies only when federal funding, permits, or projects are involved.

Clean Water Act. The Clean Water Act (33 USC 1251 et seq.) establishes legal requirements for the restoration and maintenance of the chemical, physical, and biological integrity of the nation’s waters.

Section 401. Section 401 requires that an applicant for a federal license or permit that allows activities resulting in a discharge to waters of the United States must obtain a State certification that the discharge complies with other provisions of the Clean Water Act. The Regional Water Quality Control Boards (RWQCBs) administer the certification program in California.

Section 404. Section 404 establishes a permit program administered by the U.S. Army Corps of Engineers (USACE) regulating the discharge of dredged or fill material into waters of the United States, including wetlands. Implementing regulations by the USACE are found at 33 CFR Parts 320-330. Guidelines for implementation are referred to as the Section 404(b)(1) Guidelines and were developed by the EPA in conjunction with the USACE (40 CFR Parts 230). The Guidelines allow the discharge of dredged or fill material into the aquatic system only if there is no practicable alternative that would have less adverse impacts.

Migratory Bird Treaty Act. The Migratory Bird Treaty Act (MBTA) (16 USC 703-711) is a treaty signed by the United States, Canada, Mexico, and Japan that prohibits take of any migratory bird, including eggs or active nests, except as permitted by regulation (e.g., hunting waterfowl or upland game species). Under the

MBTA, “migratory bird” is broadly defined as “any species or family of birds that live, reproduce or migrate within or across international borders at some point during their annual life cycle” and thus applies to most native bird species.

Bald and Golden Eagle Protection Act. The BGEPA (16 USC, 668, enacted by 54 Stat. 250) protects bald and golden eagles by prohibiting the taking, possession, and commerce of such birds and establishes civil penalties for violation of this act. Under BGEPA, take includes “disturb,” which means “to agitate or bother a bald eagle or a golden eagle to a degree that causes, or is likely to cause, based on the best scientific information available, (1) injury to an eagle, (2) a decrease in its productivity, by substantially interfering with normal breeding, feeding, or sheltering behavior, or (3) nest abandonment, by substantially interfering with normal breeding, feeding, or sheltering behavior.”

Plant Protection Act of 2000. Prevents importation, exportation, and spread of pests that are injurious to plants, and provides for the certification of plants and the control and eradication of plant pests. The Act consolidates requirements previously contained within multiple federal regulations including the Federal Noxious Weed Act, the Plant Quarantine Act, and the Federal Plant Pest Act.

State Regulations

California Endangered Species Act. The California Endangered Species Act (CESA) (Fish and Game Code 2050 et seq.) establishes the policy of the state to conserve, protect, restore, and enhance threatened or endangered species and their habitats. CESA mandates that state agencies not approve projects that would jeopardize the continued existence of threatened or endangered species if reasonable and prudent alternatives are available that would avoid jeopardy. For projects that affect a species listed under both CESA and the federal ESA, compliance with the federal ESA will satisfy CESA if CDFW determines that the federal incidental take authorization is consistent with CESA under Fish and Game Code Section 2080.1. For projects that will result in take of a species listed under CESA but not under the federal ESA, the applicant must apply for a take permit under Section 2081(b).

Fully Protected Designations – California Fish and Game Code Sections 3511, 4700, 5515, and 5050. Prior to enactment of CESA and the federal ESA, California enacted laws to “fully protect” designated wildlife species from take, including hunting, harvesting, and other activities. Unlike the subsequent CESA and ESA, there was no provision for authorized take of designated fully protected species. Currently, 36 fish and wildlife species are designated as fully protected in California, including golden eagle.

California Senate Bill 618 (signed by Governor Brown in October 2011) authorizes take of fully protected species, where pursuant to a Natural Conservation Community Plan, approved by CDFW. The legislation gives fully protected species the same level of protection as is provided under the Natural Community Conservation Planning Act for endangered and threatened species.

Native Birds – California Fish and Game Code Sections 3503 and 3513. California Fish and Game Code Section 3503 prohibits take, possession, or needless destruction of bird nests or eggs except as otherwise provided by the Code; Section 3503.5 prohibits take or possession of birds of prey or their eggs except as otherwise provided by the Code; and Section 3513 provides for the adoption of the MBTA’s provisions (above). With the exception of a few non-native birds such as European starling, the take of any birds or loss of active bird nests or young is regulated by these statutes. Most of these species have no other special conservation status as defined above. The administering agency for these sections is the CDFW. As with the MBTA, these statutes offer no statutory or regulatory mechanism for obtaining an incidental take permit for the loss of non-game migratory birds.

California Native Plant Protection Act – California Fish and Game Code Sections 1900 *et seq.* Prior to enactment of CESA and the federal ESA, California adopted the Native Plant Protection Act (NPPA). CESA (above) generally replaces the NPPA for plants originally listed as endangered under the NPPA. However, plants originally listed as rare retain that designation, and take is regulated under provisions of the NPPA. The California Fish and Game Commission has adopted revisions to the NPPA allowing CDFW to issue incidental take authorization for listed rare plants, effective January 1, 2015.

Lake and Streambed Alteration Agreements – California Fish and Game Code Sections 1600-1616. Under these sections of the Fish and Game Code, an applicant is required to notify CDFW prior to constructing a project that would divert, obstruct, or change the natural flow, bed, channel, or bank of a river, stream, or lake. Preliminary notification and project review generally occur during the environmental review process. When a fish or wildlife resource may be substantially adversely affected, CDFW is required to propose reasonable project changes to protect the resource. These modifications are formalized in a Lake and Streambed Alteration Agreement (LSAA) that becomes part of the plans, specifications, and bid documents for the project. CDFW jurisdiction is determined to occur within the water body of any natural river, stream, or lake. The term “stream,” which includes creeks and rivers, is defined in Title 14, CCR, Section 1.72.

California Porter-Cologne Water Quality Control Act. Pursuant to the California Porter-Cologne Water Quality Control Act, the State Water Resources Control Board (SWRCB) and the nine RWQCB may require permits (“waste discharge requirements”) for the fill or alteration of “Waters of the State.” The term “Waters of the State” is defined as “any surface water or groundwater, including saline waters, within the boundaries of the state” (California Water Code, Section 13050[e]). Although “waste” is partially defined as any waste substance associated with human habitation, the SWRCB interprets this to include fill discharge into water bodies. The SWRCB and the RWQCB have interpreted their authority to require waste discharge requirements to extend to any proposal to fill or alter “Waters of the State,” even if those same waters are not under the jurisdiction of the USACE.

Pursuant to this authority, the SWRCB and the RWQCB may require the submission of a “report of waste discharge” under Water Code Section 13260, which is treated as an application for a waste discharge requirement.

Oak Woodlands Conservation (SB 1344). California Public Resources Code Section 21083.4 requires each county in California to consider a project’s impacts to oak woodlands during the CEQA environmental review process. If a county determines that there would be significant impacts to oak woodlands, it must require one or more specified mitigation alternatives to mitigate the significant effect of the conversion of oak woodlands.

County of Los Angeles Plans and Ordinances

Santa Monica Mountains North Area Plan (2000). A component of the Los Angeles County General Plan, the SMMNAP’s primary role is to provide more focused policy for the regulation of development within the unincorporated area of the Santa Monica Mountains west of the City of Los Angeles and north of the Coastal Zone boundary--the planning area--as part of the overall General Plan area of Los Angeles County. The North Area Plan refines the policies of the county-wide General Plan as it applies to this planning area. It includes goals and policies to preserve and protect biological resources including undeveloped areas, key watersheds, and biological habitats and linkages.

Santa Monica Mountains Community Standards District. The Santa Monica Mountains North Area Community Standards District is established to implement the goals and policies of the Santa Monica Mountains North Area Plan in a manner that protects the health, safety, and welfare of the community, especially the surrounding natural environment.

Los Angeles County Oak Woodlands Conservation Management Plan (2011). The main goal of the Plan is to preserve and restore oak woodlands so they are conserved in perpetuity with no net loss of existing woodlands. There are three important objectives of the Plan: prioritize the preservation of oak woodlands, promote conservation by integrating oak woodlands into the development process in a sustainable manner, and effectively mitigate the loss of oak woodlands. The Plan implements these objectives through a series of recommendations that are grouped in the following categories:

- Alterations to the County’s development and environmental review process;
- Revisions to the process by which County agencies address impacts to oak woodlands;
- Expansion of goals and policies contained in the County’s General Plan;
- Changes to the County Zoning Code; and
- Long-range implementation and monitoring efforts.

Significant Ecological Areas. SEAs are officially designated areas within Los Angeles County identified as having irreplaceable biological resources. These areas represent the wide-ranging biodiversity of the County and contain some of the County’s most important biological resources. Each individual SEA was configured to support sustainable populations of its component species, and includes undisturbed to lightly disturbed habitat along with linkages and corridors that promote species movement. The Santa Monica Mountains North Area is almost entirely within the Santa Monica Mountains SEA. The County’s SEA Ordinance is currently undergoing an update.

Hillside Management Areas Ordinance. The policies of the Los Angeles County General Plan, and area and community plans where applicable, seek to preserve significant natural features in hillside areas. The Hillside Management Areas Ordinance and the Hillside Design Guidelines implement those policies by ensuring that hillside development projects use sensitive and creative engineering, architectural, and landscaping site design techniques.

Oak Tree Ordinance. The purpose of the County’s Oak Tree Ordinance is to preserve and maintain healthy oak trees in the development process. It requires a permit for impacts to oak trees and their protected zones (i.e., the area within an oak tree’s dripline plus five feet outside the dripline, or 15 feet from the trunk(s) of the oak, whichever is greater).

Rural Outdoor Lighting District Ordinance. This ordinance is an amendment to Title 22 – Planning and Zoning of the Los Angeles County Code to establish a rural outdoor lighting district and regulate outdoor lighting in the district to promote and maintain dark skies at night for the residents and wildlife in the district. The Santa Monica Mountains North Area is within the rural outdoor lighting district.

Vineyard Ordinance. On December 8, 2015, the Los Angeles County Board of Supervisors adopted an ordinance amending Title 22, Section 22.44.133 – Santa Monica Mountains North Area Community Standards District (CSD), which regulates vineyard development in the Santa Monica Mountains North Area. The ordinance defines vineyards as a use, requires a Conditional Use Permit (CUP) for all new and expanding vineyards, and establishes development standards for all new, expanding, and existing vineyards. The regulations contained in the vineyard ordinance are intended to address the potential impacts of vineyard development in the Santa Monica Mountains North Area.

Appendix 4

Tribal Consultation

NATIVE AMERICAN HERITAGE COMMISSION

Cultural and Environmental Department
1550 Harbor Blvd., Suite 100
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Phone (916) 373-3710



August 8, 2018

Anita Gutierrez
Los Angeles County
320 West Temple Street
Los Angeles, CA 90012

Also sent via e-mail: smmnortharea@planning.lacounty.gov

RE: SCH# 2018071065, Santa Monica Mountains North Area Plan and CSD Update Project, Cities of Calabasas, Agoura Hills, and Los Angeles; Los Angeles County, California

Dear Ms. Gutierrez:

The Native American Heritage Commission has received the Notice of Preparation (NOP) for Draft Environmental Impact Report for the project referenced above. The California Environmental Quality Act (CEQA) (Pub. Resources Code § 21000 et seq.), specifically Public Resources Code section 21084.1, states that a project that may cause a substantial adverse change in the significance of an historical resource is a project that may have a significant effect on the environment. (Pub. Resources Code § 21084.1; Cal. Code Regs., tit. 14, § 15064.5 (b) (CEQA Guidelines Section 15064.5 (b)). If there is substantial evidence, in light of the whole record before a lead agency, that a project may have a significant effect on the environment, an environmental impact report (EIR) shall be prepared. (Pub. Resources Code § 21080 (d); Cal. Code Regs., tit. 14, § 15064 subd. (a)(1) (CEQA Guidelines § 15064 (a)(1)). In order to determine whether a project will cause a substantial adverse change in the significance of a historical resource, a lead agency will need to determine whether there are historical resources with the area of project effect (APE).

CEQA was amended significantly in 2014. Assembly Bill 52 (Gatto, Chapter 532, Statutes of 2014) (AB 52) amended CEQA to create a **separate category of cultural resources**, "tribal cultural resources" (Pub. Resources Code § 21074) and provides that a project with an effect that may cause a substantial adverse change in the significance of a tribal cultural resource is a project that may have a significant effect on the environment (Pub. Resources Code § 21084.2). Please reference California Natural Resources Agency (2016) "Final Text for tribal cultural resources update to Appendix G: Environmental Checklist Form," <http://resources.ca.gov/ceqa/docs/ab52/Clean-final-AB-52-App-G-text-Submitted.pdf>. Public agencies shall, when feasible, avoid damaging effects to any tribal cultural resource. (Pub. Resources Code § 21084.3 (a)). **AB 52 applies to any project for which a notice of preparation or a notice of negative declaration or mitigated negative declaration is filed on or after July 1, 2015.** If your project involves the adoption of or amendment to a general plan or a specific plan, or the designation or proposed designation of open space, on or after March 1, 2005, it may also be subject to Senate Bill 18 (Burton, Chapter 905, Statutes of 2004) (SB 18). **Both SB 18 and AB 52 have tribal consultation requirements.** If your project is also subject to the federal National Environmental Policy Act (42 U.S.C. § 4321 et seq.) (NEPA), the tribal consultation requirements of Section 106 of the National Historic Preservation Act of 1966 (154 U.S.C. 300101, 36 C.F.R. § 800 et seq.) may also apply.

The NAHC recommends **lead agencies consult with all California Native American tribes** that are traditionally and culturally affiliated with the geographic area of your proposed project as early as possible in order to avoid inadvertent discoveries of Native American human remains and best protect tribal cultural resources. Below is a brief summary of portions of AB 52 and SB 18 as well as the NAHC's recommendations for conducting cultural resources assessments. **Consult your legal counsel about compliance with AB 52 and SB 18 as well as compliance with any other applicable laws.**

AB 52

AB 52 has added to CEQA the additional requirements listed below, along with many other requirements:

1. Fourteen Day Period to Provide Notice of Completion of an Application/Decision to Undertake a Project: Within fourteen (14) days of determining that an application for a project is complete or of a decision by a public agency to undertake a project, a **lead agency** shall provide formal notification to a designated contact of, or tribal representative of, traditionally and culturally affiliated California Native American tribes that have requested notice, to be accomplished by at least one written notice that includes:
 - a. A brief description of the project.
 - b. The lead agency contact information.
 - c. Notification that the California Native American tribe has 30 days to request consultation. (Pub. Resources Code § 21080.3.1 (d)).
 - d. A "California Native American tribe" is defined as a Native American tribe located in California that is on the contact list maintained by the NAHC for the purposes of Chapter 905 of Statutes of 2004 (SB 18). (Pub. Resources Code § 21073).
2. Begin Consultation Within 30 Days of Receiving a Tribe's Request for Consultation and Before Releasing a Negative Declaration, Mitigated Negative Declaration, or Environmental Impact Report: A **lead agency** shall begin the consultation process within 30 days of receiving a request for consultation from a California Native American tribe that is traditionally and culturally affiliated with the geographic area of the proposed project. (Pub. Resources Code § 21080.3.1, subds. (d) and (e)) and prior to the release of a negative declaration, mitigated negative declaration or environmental impact report. (Pub. Resources Code § 21080.3.1(b)).
 - a. For purposes of AB 52, "consultation shall have the same meaning as provided in Gov. Code § 65352.4 (SB 18). (Pub. Resources Code § 21080.3.1 (b)).
3. Mandatory Topics of Consultation If Requested by a Tribe: The following topics of consultation, if a tribe requests to discuss them, are mandatory topics of consultation:
 - a. Alternatives to the project.
 - b. Recommended mitigation measures.
 - c. Significant effects. (Pub. Resources Code § 21080.3.2 (a)).
4. Discretionary Topics of Consultation: The following topics are discretionary topics of consultation:
 - a. Type of environmental review necessary.
 - b. Significance of the tribal cultural resources.
 - c. Significance of the project's impacts on tribal cultural resources.
 - d. If necessary, project alternatives or appropriate measures for preservation or mitigation that the tribe may recommend to the lead agency. (Pub. Resources Code § 21080.3.2 (a)).
5. Confidentiality of Information Submitted by a Tribe During the Environmental Review Process: With some exceptions, any information, including but not limited to, the location, description, and use of tribal cultural resources submitted by a California Native American tribe during the environmental review process shall not be included in the environmental document or otherwise disclosed by the lead agency or any other public agency to the public, consistent with Government Code sections 6254 (r) and 6254.10. Any information submitted by a California Native American tribe during the consultation or environmental review process shall be published in a confidential appendix to the environmental document unless the tribe that provided the information consents, in writing, to the disclosure of some or all of the information to the public. (Pub. Resources Code § 21082.3 (c)(1)).
6. Discussion of Impacts to Tribal Cultural Resources in the Environmental Document: If a project may have a significant impact on a tribal cultural resource, the lead agency's environmental document shall discuss both of the following:
 - a. Whether the proposed project has a significant impact on an identified tribal cultural resource.
 - b. Whether feasible alternatives or mitigation measures, including those measures that may be agreed to pursuant to Public Resources Code section 21082.3, subdivision (a), avoid or substantially lessen the impact on the identified tribal cultural resource. (Pub. Resources Code § 21082.3 (b)).

7. Conclusion of Consultation: Consultation with a tribe shall be considered concluded when either of the following occurs:
- a. The parties agree to measures to mitigate or avoid a significant effect, if a significant effect exists, on a tribal cultural resource; or
 - b. A party, acting in good faith and after reasonable effort, concludes that mutual agreement cannot be reached. (Pub. Resources Code § 21080.3.2 (b)).
8. Recommending Mitigation Measures Agreed Upon in Consultation in the Environmental Document: Any mitigation measures agreed upon in the consultation conducted pursuant to Public Resources Code section 21080.3.2 shall be recommended for inclusion in the environmental document and in an adopted mitigation monitoring and reporting program, if determined to avoid or lessen the impact pursuant to Public Resources Code section 21082.3, subdivision (b), paragraph 2, and shall be fully enforceable. (Pub. Resources Code § 21082.3 (a)).
9. Required Consideration of Feasible Mitigation: If mitigation measures recommended by the staff of the lead agency as a result of the consultation process are not included in the environmental document or if there are no agreed upon mitigation measures at the conclusion of consultation, or if consultation does not occur, and if substantial evidence demonstrates that a project will cause a significant effect to a tribal cultural resource, the lead agency shall consider feasible mitigation pursuant to Public Resources Code section 21084.3 (b). (Pub. Resources Code § 21082.3 (e)).
10. Examples of Mitigation Measures That, If Feasible, May Be Considered to Avoid or Minimize Significant Adverse Impacts to Tribal Cultural Resources:
- a. Avoidance and preservation of the resources in place, including, but not limited to:
 - i. Planning and construction to avoid the resources and protect the cultural and natural context.
 - ii. Planning greenspace, parks, or other open space, to incorporate the resources with culturally appropriate protection and management criteria.
 - b. Treating the resource with culturally appropriate dignity, taking into account the tribal cultural values and meaning of the resource, including, but not limited to, the following:
 - i. Protecting the cultural character and integrity of the resource.
 - ii. Protecting the traditional use of the resource.
 - iii. Protecting the confidentiality of the resource.
 - c. Permanent conservation easements or other interests in real property, with culturally appropriate management criteria for the purposes of preserving or utilizing the resources or places.
 - d. Protecting the resource. (Pub. Resource Code § 21084.3 (b)).
 - e. Please note that a federally recognized California Native American tribe or a nonfederally recognized California Native American tribe that is on the contact list maintained by the NAHC to protect a California prehistoric, archaeological, cultural, spiritual, or ceremonial place may acquire and hold conservation easements if the conservation easement is voluntarily conveyed. (Civ. Code § 815.3 (c)).
 - f. Please note that it is the policy of the state that Native American remains and associated grave artifacts shall be repatriated. (Pub. Resources Code § 5097.991).
11. Prerequisites for Certifying an Environmental Impact Report or Adopting a Mitigated Negative Declaration or Negative Declaration with a Significant Impact on an Identified Tribal Cultural Resource: An environmental impact report may not be certified, nor may a mitigated negative declaration or a negative declaration be adopted unless one of the following occurs:
- a. The consultation process between the tribes and the lead agency has occurred as provided in Public Resources Code sections 21080.3.1 and 21080.3.2 and concluded pursuant to Public Resources Code section 21080.3.2.
 - b. The tribe that requested consultation failed to provide comments to the lead agency or otherwise failed to engage in the consultation process.
 - c. The lead agency provided notice of the project to the tribe in compliance with Public Resources Code section 21080.3.1 (d) and the tribe failed to request consultation within 30 days. (Pub. Resources Code § 21082.3 (d)).

This process should be documented in the Cultural Resources section of your environmental document.

The NAHC's PowerPoint presentation titled, "Tribal Consultation Under AB 52: Requirements and Best Practices" may be found online at: http://nahc.ca.gov/wp-content/uploads/2015/10/AB52TribalConsultation_CalEPAPDF.pdf

SB 18

SB 18 applies to local governments and requires **local governments** to contact, provide notice to, refer plans to, and consult with tribes prior to the adoption or amendment of a general plan or a specific plan, or the designation of open space. (Gov. Code § 65352.3). Local governments should consult the Governor's Office of Planning and Research's "Tribal Consultation Guidelines," which can be found online at: https://www.opr.ca.gov/docs/09_14_05_Updated_Guidelines_922.pdf

Some of SB 18's provisions include:

1. **Tribal Consultation:** If a local government considers a proposal to adopt or amend a general plan or a specific plan, or to designate open space it is required to contact the appropriate tribes identified by the NAHC by requesting a "Tribal Consultation List." If a tribe, once contacted, requests consultation the local government must consult with the tribe on the plan proposal. **A tribe has 90 days from the date of receipt of notification to request consultation unless a shorter timeframe has been agreed to by the tribe.** (Gov. Code § 65352.3 (a)(2)).
2. **No Statutory Time Limit on SB 18 Tribal Consultation.** There is no statutory time limit on SB 18 tribal consultation.
3. **Confidentiality:** Consistent with the guidelines developed and adopted by the Office of Planning and Research pursuant to Gov. Code section 65040.2, the city or county shall protect the confidentiality of the information concerning the specific identity, location, character, and use of places, features and objects described in Public Resources Code sections 5097.9 and 5097.993 that are within the city's or county's jurisdiction. (Gov. Code § 65352.3 (b)).
4. **Conclusion of SB 18 Tribal Consultation:** Consultation should be concluded at the point in which:
 - a. The parties to the consultation come to a mutual agreement concerning the appropriate measures for preservation or mitigation; or
 - b. Either the local government or the tribe, acting in good faith and after reasonable effort, concludes that mutual agreement cannot be reached concerning the appropriate measures of preservation or mitigation. (Tribal Consultation Guidelines, Governor's Office of Planning and Research (2005) at p. 18).

Agencies should be aware that neither AB 52 nor SB 18 precludes agencies from initiating tribal consultation with tribes that are traditionally and culturally affiliated with their jurisdictions before the timeframes provided in AB 52 and SB 18. For that reason, we urge you to continue to request Native American Tribal Contact Lists and "Sacred Lands File" searches from the NAHC. The request forms can be found online at: <http://nahc.ca.gov/resources/forms/>

NAHC Recommendations for Cultural Resources Assessments

To adequately assess the existence and significance of tribal cultural resources and plan for avoidance, preservation in place, or barring both, mitigation of project-related impacts to tribal cultural resources, the NAHC recommends the following actions:

1. Contact the appropriate regional California Historical Research Information System (CHRIS) Center (http://ohp.parks.ca.gov/?page_id=1068) for an archaeological records search. The records search will determine:
 - a. If part or all of the APE has been previously surveyed for cultural resources.
 - b. If any known cultural resources have been already been recorded on or adjacent to the APE.
 - c. If the probability is low, moderate, or high that cultural resources are located in the APE.
 - d. If a survey is required to determine whether previously unrecorded cultural resources are present.
2. If an archaeological inventory survey is required, the final stage is the preparation of a professional report detailing the findings and recommendations of the records search and field survey.
 - a. The final report containing site forms, site significance, and mitigation measures should be submitted immediately to the planning department. All information regarding site locations, Native American human remains, and associated funerary objects should be in a separate confidential addendum and not be made available for public disclosure.

- Please contact me if you need any additional information at gayle.totton@nahc.ca.gov.

Gayle Totton

cc: State Clearinghouse

NATIVE AMERICAN HERITAGE COMMISSION
Cultural and Environmental Department
1550 Harbor Blvd., Suite 100 West Sacramento, CA 95691 Phone: (916) 373-3710
Email: nahc@nahc.ca.gov
Website: <http://www.nahc.ca.gov>
Twitter: @CA_NAHC



October 29, 2018

A. Gutierrez

County of Los Angeles

VIA Email to: agutierrez@planning.lacounty.gov

RE: Santa Monica Mountains North Area Plan and Community Standards District, Los Angeles County.

Dear Mr./Ms. Gutierrez:

A record search of the Native American Heritage Commission (NAHC) Sacred Lands File (SLF) was completed for the information you have submitted for the above referenced project. The results were positive. Please contact the Gabrielino-Tongva Tribe on the attached list for more information. Other sources of cultural resources should also be contacted for information regarding known and recorded sites.

Attached is a list of Native American tribes who may also have knowledge of cultural resources in the project area. This list should provide a starting place in locating areas of potential adverse impact within the proposed project area. I suggest you contact all of those indicated; if they cannot supply information, they might recommend others with specific knowledge. By contacting all those listed, your organization will be better able to respond to claims of failure to consult with the appropriate tribe. If a response has not been received within two weeks of notification, the Commission requests that you follow-up with a telephone call or email to ensure that the project information has been received.

If you receive notification of change of addresses and phone numbers from tribes, please notify me. With your assistance, we are able to assure that our lists contain current information. If you have any questions or need additional information, please contact me at my email address: katy.sanchez@nahc.ca.gov.

Sincerely,

A handwritten signature in blue ink that reads "Katy Sanchez".

Katy Sanchez
Associate Environmental Planner

Attachment

Appendix 4-1

SB 18 Tribal Consultation



Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director of Regional Planning

Dennis Slavin
Chief Deputy Director,
Regional Planning

October 3, 2019

Barbareno/Ventureno Band of Mission Indians
Julie Lynn Tumamait-Stenslie, Chair
365 North Poli Ave.
Ojai, CA 93023

**SUBJECT: SENATE BILL (SB) 18 CONSULTATION (GOVERNMENT CODE §65352.3)
PROJECT NO. 2017-003501-(3)
PLAN NO. RPPL2017005966 / RPPL2017005967
SANTA MONICA MOUNTAINS NORTH AREA UPDATE AND
COMMUNITY STANDARDS DISTRICT UPDATE**

The Los Angeles County ("County") Department of Regional Planning ("Department") is issuing this courtesy letter as notification of the proposed project described below. Pursuant to Government Code section 65352.3, the proposed project is subject to the SB-18 Tribal Consultation requirements because a General Plan amendment is required.

The Native American Heritage Commission ("NAHC") has identified your tribe as one with traditional lands or cultural places located within the proposed boundary of the above-referenced project. However, a Sacred Lands File Search conducted by the NAHC **did not** find the presence of Native American cultural resource sites associated with your tribe within the project area. Should your tribe have information yielding confirmed Native American cultural resource sites associated with your tribe within the proposed project boundary, please contact the lead agency.

Project Description

The County is proposing comprehensive updates to the policies of the Santa Monica Mountains North Area Plan ("SMMNAP") and to development standards in the Santa Monica Mountains North Area Community Standards District ("CSD"). The SMMNAP is a component of the County's General Plan with focused objectives and policies for the Santa Monica Mountains North Area. The CSD implements the policies of the SMMNAP and includes development standards that are specific to the Santa Monica Mountains North Area. The updates are proposed to address concerns that have developed since the adoption of the SMMNAP in 2000, to strengthen existing environmental resources

SB 18 Courtesy Notice

October 3, 2019

Page 2

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Project Location

The proposed project boundary is located north of the Santa Monica Mountains Coastal Zone boundary, west of the City of Los Angeles, and south of the cities of Westlake Village, Agoura Hills, and Calabasas. The Santa Monica Mountains North Area also contains unincorporated land north of the 101 freeway between the cities of Agoura Hills and Calabasas and between Calabasas and Hidden Hills. A map depicting the proposed project boundary is enclosed for your reference.

Lead Agency Contact:

Luis Duran
Coastal Permits Section
Department of Regional Planning
320 W. Temple Street, 13th Floor
Los Angeles, CA 90012
Tel: (213) 974-6465
Email: LDuran@planning.lacounty.gov

Sincerely,

AMY J. BODEK, AICP
Director of Regional Planning



Luis Duran, Regional Planner
Coastal Permits Section

Encl: Map of Project Boundary

AB:RG:TH:LD



Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director of Regional Planning

Dennis Slavin
Chief Deputy Director,
Regional Planning

October 3, 2019

Barbareno/Ventureno Band of Mission Indians
Patrick Tumamait
922 El Camino Corto
Ojai, CA 93023

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Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director of Regional Planning

Dennis Slavin
Chief Deputy Director,
Regional Planning

October 3, 2019

Barbareno/Ventureno Band of Mission Indians
Eleanor Arrellanes
P.O. Box 5687
Ventura, CA 93005

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SB 18 Courtesy Notice

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Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



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Barbareno/Ventureno Band of Mission Indians
Raudel Joe Banuelos, Jr.
331 Mira Flores Court
Camarillo, CA 93012

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Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director of Regional Planning

Dennis Slavin
Chief Deputy Director,
Regional Planning

October 3, 2019

Fernandeno Tataviam Band of Mission Indians
Beverly Folkes
1019 Second St., Suite 1
San Fernando, CA 91340

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Regional Planning

October 3, 2019

Gabrieleno Band of Mission Indians – Kizh Nation
Andrew Salas, Chairperson
P.O. Box 393
Covina, CA 91723

**SUBJECT: SENATE BILL (SB) 18 CONSULTATION (GOVERNMENT CODE §65352.3)
PROJECT NO. 2017-003501-(3)
PLAN NO. RPPL2017005966 / RPPL2017005967
SANTA MONICA MOUNTAINS NORTH AREA UPDATE AND
COMMUNITY STANDARDS DISTRICT UPDATE**

The Los Angeles County ("County") Department of Regional Planning ("Department") is issuing this courtesy letter as notification of the proposed project described below. Pursuant to Government Code section 65352.3, the proposed project is subject to the SB-18 Tribal Consultation requirements because a General Plan amendment is required.

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Project Description

The County is proposing comprehensive updates to the policies of the Santa Monica Mountains North Area Plan ("SMMNAP") and to development standards in the Santa Monica Mountains North Area Community Standards District ("CSD"). The SMMNAP is a component of the County's General Plan with focused objectives and policies for the Santa Monica Mountains North Area. The CSD implements the policies of the SMMNAP and includes development standards that are specific to the Santa Monica Mountains North Area. The updates are proposed to address concerns that have developed since the adoption of the SMMNAP in 2000, to strengthen existing environmental resources

SB 18 Courtesy Notice

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Project Location


The proposed project boundary is located north of the Santa Monica Mountains Coastal Zone boundary, west of the City of Los Angeles, and south of the cities of Westlake Village, Agoura Hills, and Calabasas. The Santa Monica Mountains North Area also contains unincorporated land north of the 101 freeway between the cities of Agoura Hills and Calabasas and between Calabasas and Hidden Hills. A map depicting the proposed project boundary is enclosed for your reference.

Lead Agency Contact:

Luis Duran
Coastal Permits Section
Department of Regional Planning
320 W. Temple Street, 13th Floor
Los Angeles, CA 90012
Tel: (213) 974-6465
Email: LDuran@planning.lacounty.gov

Sincerely,

AMY J. BODEK, AICP
Director of Regional Planning



Luis Duran, Regional Planner
Coastal Permits Section

Encl: Map of Project Boundary

AB:RG:TH:LD



Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director of Regional Planning

Dennis Slavin
Chief Deputy Director,
Regional Planning

October 3, 2019

Owl Clan
Dr. Kote & Lin A-Lul'Koy Lotah
48825 Sapaque Road
Bradley, CA 93426

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Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



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Qun-tan Shup
48825 Sapaque Road
Bradley, CA 93426

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Director of Regional Planning



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Coastal Permits Section

Encl: Map of Project Boundary

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Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director of Regional Planning

Dennis Slavin
Chief Deputy Director,
Regional Planning

October 3, 2019

San Luis Obispo County Chumash Council
Chief Mark Steve Vigil
1030 Ritchie Road
Grover Beach, CA 93433

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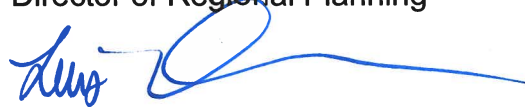
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Coastal Permits Section

Encl: Map of Project Boundary

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Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director of Regional Planning

Dennis Slavin
Chief Deputy Director,
Regional Planning

October 3, 2019

Santa Ynez Band of Chumash Indians
Kenneth Kahn, Chairperson
P.O. Box 517
Santa Ynez, CA 93460

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Sincerely,

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Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director of Regional Planning

Dennis Slavin
Chief Deputy Director,
Regional Planning

October 3, 2019

Santa Ynez Band of Chumash Indians
Tribal Admin/Counsel Sam Cohen
P.O. Box 517
Santa Ynez, CA 93460

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Luis Duran, Regional Planner
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Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director of Regional Planning

Dennis Slavin
Chief Deputy Director,
Regional Planning

October 3, 2019

Santa Ynez Tribal Elders Council
Antonia Flores, Chairperson
P.O. Box 365
Santa Ynez, CA 93460

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Amy J. Bodek, AICP
Director of Regional Planning

Dennis Slavin
Chief Deputy Director,
Regional Planning

October 3, 2019

Santa Ynez Tribal Elders Council
Freddie Romero, Cultural Resources Coordinator
P.O. Box 365
Santa Ynez, CA 93460

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Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director of Regional Planning

Dennis Slavin
Chief Deputy Director,
Regional Planning

October 7, 2019

Gabrieleno/Tongva San Gabriel Band of Mission Indians
Anthony Morales, Chairperson
P.O. Box 693
San Gabriel, CA 91778

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320 West Temple Street • Los Angeles, CA 90012 • 213-974-6411 • TDD: 213-617-2292

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Amy J. Bodek, AICP
Director of Regional Planning

Dennis Slavin
Chief Deputy Director,
Regional Planning

October 7, 2019

Gabrielino/Tongva Nation
Sandonne Goad, Chairperson
106 ½ Judge John Aiso St., #231
Los Angeles, CA 90012

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Coastal Permits Section
Department of Regional Planning
320 W. Temple Street, 13th Floor
Los Angeles, CA 90012
Tel: (213) 974-6465
Email: LDuran@planning.lacounty.gov

Sincerely,

AMY J. BODEK, AICP
Director of Regional Planning



Luis Duran, Regional Planner
Coastal Permits Section

Encl: Map of Project Boundary

AB:RG:TH:LD



Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director of Regional Planning

Dennis Slavin
Chief Deputy Director,
Regional Planning

October 7, 2019

Gabrielino Tongva Indians of California Tribal Council
Robert F. Dorame, Chairman
P.O. Box 490
Bellflower, CA 90707

**SUBJECT: SENATE BILL (SB) 18 CONSULTATION (GOVERNMENT CODE §65352.3)
PROJECT NO. 2017-003501-(3)
PLAN NO. RPPL2017005966 / RPPL2017005967
SANTA MONICA MOUNTAINS NORTH AREA UPDATE AND
COMMUNITY STANDARDS DISTRICT UPDATE**

The Los Angeles County ("County") Department of Regional Planning ("Department") is issuing this courtesy letter as notification of the proposed project described below. Pursuant to Government Code section 65352.3, the proposed project is subject to the SB-18 Tribal Consultation requirements because a General Plan amendment is required.

The Native American Heritage Commission ("NAHC") has identified your tribe as one with traditional lands or cultural places located within the proposed boundary of the above-referenced project. However, a Sacred Lands File Search conducted by the NAHC **did not** find the presence of Native American cultural resource sites associated with your tribe within the project area. Should your tribe have information yielding confirmed Native American cultural resource sites associated with your tribe within the proposed project boundary, please contact the lead agency.

Project Description

The County is proposing comprehensive updates to the policies of the Santa Monica Mountains North Area Plan ("SMMNAP") and to development standards in the Santa Monica Mountains North Area Community Standards District ("CSD"). The SMMNAP is a component of the County's General Plan with focused objectives and policies for the Santa Monica Mountains North Area. The CSD implements the policies of the SMMNAP and includes development standards that are specific to the Santa Monica Mountains North Area. The updates are proposed to address concerns that have developed since the adoption of the SMMNAP in 2000, to strengthen existing environmental resources

320 West Temple Street • Los Angeles, CA 90012 • 213-974-6411 • TDD: 213-617-2292



@LACDRP | planning.lacounty.gov

SB 18 Courtesy Notice

October 3, 2019

Page 2

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Project Location

The proposed project boundary is located north of the Santa Monica Mountains Coastal Zone boundary, west of the City of Los Angeles, and south of the cities of Westlake Village, Agoura Hills, and Calabasas. The Santa Monica Mountains North Area also contains unincorporated land north of the 101 freeway between the cities of Agoura Hills and Calabasas and between Calabasas and Hidden Hills. A map depicting the proposed project boundary is enclosed for your reference.

Lead Agency Contact:

Luis Duran
Coastal Permits Section
Department of Regional Planning
320 W. Temple Street, 13th Floor
Los Angeles, CA 90012
Tel: (213) 974-6465
Email: LDuran@planning.lacounty.gov

Sincerely,

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Director of Regional Planning



Luis Duran, Regional Planner
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Encl: Map of Project Boundary

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Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director of Regional Planning

Dennis Slavin
Chief Deputy Director,
Regional Planning

October 7, 2019

Gabrielino-Tongva Tribe
Charles Alvarez, Councilmember
23454 Vanowen St.
West Hills, CA 91307

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Project Description

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SB 18 Courtesy Notice

October 3, 2019

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AMY J. BODEK, AICP
Director of Regional Planning



Luis Duran, Regional Planner
Coastal Permits Section

Encl: Map of Project Boundary

AB:RG:TH:LD



Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director of Regional Planning

Dennis Slavin
Chief Deputy Director,
Regional Planning

October 7, 2019

Gabrielino-Tongva Tribe
Linda Candelaria, Chairperson
80839 Camino Santa Juliana
Indio, CA 92203

**SUBJECT: SENATE BILL (SB) 18 CONSULTATION (GOVERNMENT CODE §65352.3)
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October 3, 2019

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Luis Duran
Coastal Permits Section
Department of Regional Planning
320 W. Temple Street, 13th Floor
Los Angeles, CA 90012
Tel: (213) 974-6465
Email: LDuran@planning.lacounty.gov

Sincerely,

AMY J. BODEK, AICP
Director of Regional Planning



Luis Duran, Regional Planner
Coastal Permits Section

Encl: Map of Project Boundary

AB:RG:TH:LD

Appendix 4-2

AB 52 Tribal Consultation

Luis Duran

From: Jairo Avila <jairo.avila@tataviam-nsn.us>
Sent: Monday, November 26, 2018 4:30 PM
To: Alyssa Netto
Cc: Anita Gutierrez; Luis Duran
Subject: Re: FTBMI Consultation on SMMNAP and CSD

Hello Alyssa,

Thank you for updating the language on policy-108/109.

Given the sensitivity of the area, the THCP department would review and consult on all projects that require ground disturbing activities within the project area. THCP would also like to request that the applicant be required to consult with the FTBMI and other Tribes as part of the CUP process. I would appreciate if you can provide a copy of the SMMNAP and CSD once complete.

This communication concludes FTBMI's input on this project, at this time, and no additional consultation pursuant to CEQA is required unless there is an unanticipated discovery of cultural resources during future project implementation. I appreciate your time and look forward to future updates.

Thank you,
Jairo Avila

On Tue, Nov 20, 2018 at 9:16 AM Alyssa Netto <ANetto@planning.lacounty.gov> wrote:

Hello Jairo,

Thank you for your comments.

We have updated the language on policy CO-108 to reference SCCIC and NAHC instead of SCIC and UCLA. The policy now reads:

CO-108: The County should coordinate with appropriate agencies, South Central Coastal Information Center (SCCIC), Native American Heritage Commission, and local Native American tribes, to identify archaeologically-sensitive areas. Such information should be kept confidential to protect archaeological resources.

The CSD does have a requirement for a conditional use permit (CUP) for grading in excess of 500 cubic yards. We can include a requirement that the applicant must consult with FTBMI and other tribes as part of that CUP process.

Does FTBMI have any other comments regarding the scope of the project or additional mitigation measures to be included in the Environmental Document as part of our consultation under AB 52?

Thank you,

ALYSSA NETTO, AICP

Regional Planner

Community Studies West

Los Angeles County Department of Regional Planning

320 W. Temple St, 13th Floor, Los Angeles, CA 90012

(213) 974-0307

From: Jairo Avila [mailto:jairo.avila@tataviam-nsn.us]

Sent: Thursday, October 25, 2018 10:10 AM

To: Anita Gutierrez <agutierrez@planning.lacounty.gov>

Cc: Alyssa Netto <ANetto@planning.lacounty.gov>; Luis Duran <LDuran@planning.lacounty.gov>

Subject: Re: FTBMI Consultation on SMMNAP and CSD

Hello Anita,

Thank you for the opportunity to review the CSD draft and SMMNAP draft, provided on October 3 2018. The Tribal Historic and Cultural Preservation (THCP) department of the Fernand  o Tataviam Band of Mission Indians (FTBMI) would like to consult once projects requiring ground disturbing activities are proposed within the project area. As previously mentioned, the FTBMI considers the project area to be highly sensitive for Native American resources and therefore, would like to provide comments and recommendations prior to any ground disturbance. The FTBMI would like to assure that all cultural materials on the surface and subsurface (if any), and any inadvertent discoveries, are properly documented, salvaged, and protected.

In review of the SMMNAP draft, the THCP Department would like to request for the following Goal/Policy under Archaeological, Paleontologist, and Historical Cultural Resource to be revised.

The SCIC and UCLA Archaeological Center have a limited ability to provide such information. The County should primarily coordinate with the South Central Coastal Information Center (SCCIC), Native American Heritage Commission (NAHC Sacred Lands File), and local Native American Tribes. The SCCIC is continuously updated with cultural resource reports and location information of culturally sensitive areas.

Please provide the final copy of the project plan conditions so that THCP may review the included language. If you have any further questions, please feel free to contact me.

Respectfully,

Jairo Avila

On Wed, Aug 29, 2018 at 11:12 AM, Anita Gutierrez <agutierrez@planning.lacounty.gov> wrote:

Ok, sounds good.

We will add you to our project e-mail list so you will be notified when the Plan and CSD are released. I'm copying Alyssa Netto and Luis Duran on our project team as well so they are aware.

We will be in touch soon.

Thank you,

Anita D. Gutierrez, MPL, AICP | Supervising Regional Planner

Community Studies West Section

Los Angeles County Department of Regional Planning
[320 W. Temple Street, 13th Floor | Los Angeles, CA 90012](#)
Phone: 213.974.6422

From: Jairo Avila [mailto:jairo.avila@tataviam-nsn.us]
Sent: Wednesday, August 29, 2018 11:06 AM
To: Anita Gutierrez <agutierrez@planning.lacounty.gov>
Subject: Re: FTBMI Consultation on SMMNAP and CSD

Anita,

Thank you for the prompt response.

It would be best if we wait until the draft CSD and Community Plan is out. We can schedule the consultation meeting once the Tribe has a chance to review the documents.

Until then, I appreciate your time and look forward to discussing this project with you soon.

Thank you,

On Wed, Aug 29, 2018 at 10:53 AM, Anita Gutierrez <agutierrez@planning.lacounty.gov> wrote:

Hello Jairo,

We would be happy to set up a meeting. The actual draft of the CSD and Community Plan will be out in about a month. Would you like to wait until the draft is out to schedule a meeting?

Anita D. Gutierrez, MPL, AICP | Supervising Regional Planner

Community Studies West Section

Los Angeles County Department of Regional Planning
[320 W. Temple Street, 13th Floor | Los Angeles, CA 90012](#)
Phone: 213.974.6422

From: Jairo Avila [mailto:jairo.avila@tataviam-nsn.us]
Sent: Wednesday, August 29, 2018 10:35 AM
To: Anita Gutierrez <agutierrez@planning.lacounty.gov>
Subject: FTBMI Consultation on SMMNAP and CSD

Tribal Historic & Cultural Preservation Department

Project: *Santa Monica Mountains North Area Plan and Community Standards*

Address: *The Santa Monica Mountains North Area*

Hello Anita,

On behalf of the Tribal Historic and Cultural Preservation (THCP) department of the Fernandeño Tataviam Band of Mission Indians (Tribe), thank you for the formal notification and opportunity to consult on the project referenced above. The project area is located within the traditional Tataviam ancestral territory, which encompasses the lineage-villages from which members of the Tribe descend. The Tribe considers the project area to be highly sensitive for Native American resources and our records indicate the presence of various prehistoric and historic cultural resources in and around the project boundary. For these reasons, the Tribe would like to participate in consultation to address concerns related to cultural resources and discuss the objectives and policies for the Santa Monica Mountains North Area Plan and Community Standard District.

Would it be possible to schedule a meeting to discuss the proposed project? I would appreciate if you can provide me with more information on the plans before our meeting.

Thank you for your time.

Respectfully,

--

Jairo F. Avila, M.A., RPA.

Tribal Historic and Cultural Preservation Officer

Fernandeño Tataviam Band of Mission Indians

1019 Second Street, Suite 1

San Fernando, California 91340

Office: [\(818\) 837-0794](tel:8188370794)

Website: <http://www.tataviam-nsn.us>

--

Jairo F. Avila, M.A., RPA.

Tribal Historic and Cultural Preservation Officer

Fernandeño Tataviam Band of Mission Indians

1019 Second Street, Suite 1

San Fernando, California 91340

Office: [\(818\) 837-0794](tel:8188370794)

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Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director

Dennis Slavin
Chief Deputy Director

November 26, 2018

Chief Anthony Morales
Gabrieleno Tongva
Post Office Box 693
San Gabriel, CA 91778

Dear Chief Morales,

**TRIBAL CULTURAL RESOURCES UNDER THE CALIFORNIA ENVIRONMENTAL
QUALITY ACT, ASSEMBLY BILL 52 (GATTO, 2014)
NOTIFICATION TO CLOSE CONSULTATION OF THE PROPOSED PROJECT
PURSUANT TO PUBLIC RESOURCES CODE §21080.3.1**

On July 24, 2018, the Los Angeles County Department of Regional Planning mailed a letter to you requesting a Tribal Consultation pursuant to Assembly Bill (AB) 52. As of November 20, 2018, we have not received a confirmation or request to begin the Tribal Consultation. Therefore, we will be concluding the AB-52 process.

Proposed Project: Santa Monica Mountains North Area Plan and
Community Standards District Update
Plan Nos. RPPL2017005966 & RPPL2017005967

If you would like further information, please contact me at (213) 974-6465 or
lduran@planning.lacounty.gov.

Sincerely,

Luis Duran, Regional Planner
Coastal Permits Section

LD:ems



Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director

Dennis Slavin
Chief Deputy Director

June 3, 2019

Andrew Salas, Chairman
Gabrieleño Band of Mission Indians – Kizh Nation
Post Office Box 393
Covina, CA 91723

Dear Mr. Salas,

**TRIBAL CULTURAL RESOURCES UNDER THE CALIFORNIA ENVIRONMENTAL
QUALITY ACT, ASSEMBLY BILL 52 (GATTO, 2014)
NOTIFICATION TO CLOSE CONSULTATION OF THE PROPOSED PROJECT
PURSUANT TO PUBLIC RESOURCES CODE §21080.3.1**

Proposed Project: Santa Monica Mountains North Area Plan and
Community Standards District Update
Plan Nos. RPPL2017005966 & RPPL2017005967

On September 13, 2018, staff from the Los Angeles County Department of Regional Planning (Department) participated in a Tribal Consultation requested by Andrew Salas and Matthew Teutimez pursuant to Assembly Bill (AB) 52.

The Department's presentation focused on the purpose, goals and timeline of the Department's Santa Monica Mountains North Area Plan (SMMNAP) and Community Standards District (CSD) Update. Mr. Salas and Mr. Teutimez requested that language on the history of the Gabrieleño Band of Mission Indians – Kizh Nation (Tribe) in the project area be included. It was agreed that the Tribe would provide specific draft language. On September 19, 2018, Mr. Salas provided a broader overview of information on the history of the Gabrieleño people beyond the scope of the project area. Specific draft language on the Tribe's history in the project area was not received.

On March 14, 2019, Mr. Salas e-mailed a further document titled "Protection of Tribal Cultural Resources". These measures appear to be geared more toward discretionary, site-specific project reviews. The SMMNAP Update is a general update of goals, policies and development standards for the project area. These types of measures would not be applicable.

Mr. Andrew Salas
March 13, 2019
Page 2

Please be advised that if specific draft language as discussed in our consultation on September 13, 2018, is not received within 7 business days of receipt of this letter, we will deem the consultation concluded and consider the matter closed. If you have any questions or need further information, please feel free to contact me at (213) 974-0051 or SMMNorthArea@planning.lacounty.gov.

Sincerely,

A handwritten signature in blue ink, appearing to read "Luis Duran", with a long horizontal flourish extending to the right.

Luis Duran, Regional Planner
Coastal Permits Section

LD:ems



Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director of Regional Planning

Dennis Slavin
Chief Deputy Director,
Regional Planning

October 3, 2019

Freddie Romero
Santa Ynez Tribal Elders Council
P.O. Box 365
Santa Ynez, CA 93460

SUBJECT: COURTESY NOTIFICATION OF PROPOSED PROJECT

The Los Angeles County ("County") Department of Regional Planning ("Department") is issuing this courtesy letter as a follow-up to a phone call between Mr. Freddie Romero and Luis Duran on September 25, 2019. The Department has completed Assembly Bill (AB) 52 consultation, but believes the proposed project described below would be of interest to your tribe. As of the date of this letter, the Santa Ynez Chumash Tribal Elders Council has not formally requested to be included on our list of notifications under AB 52. To be included in future consultations under AB 52, please see the instructions at the end of this letter.

Below please find a description of the proposed project, a map showing the project boundary, and our contact information. The proposed project draft documents are posted on our project webpage: www.planning.lacounty.gov/smmnap.

Proposed Project: Santa Monica Mountains North Area Plan and Community Standards District Update
Project No. 2017-003501-(3)
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Project Description: The County is proposing comprehensive updates to the policies of the Santa Monica Mountains North Area Plan ("SMMNAP") and to development standards in the Santa Monica Mountains North Area Community Standards District ("CSD"). The SMMNAP is a component of the County's General Plan with focused objectives and policies for the Santa Monica Mountains North Area. The CSD implements the policies of the SMMNAP and includes development standards that are specific to the Santa Monica Mountains North Area. The updates are proposed to address concerns that have developed since the adoption of the SMMNAP in 2000, to strengthen existing

AB 52 Notification

environmental resources policies, and to identify policies and standards that continue to support the community's rural and semi-rural lifestyle. In addition, the County which is updating the SMMNAP and CSD which govern the northern half of the Santa Monica Mountains to align with many of the environmental protection policies in the recently State certified Santa Monica Mountains Local Coastal Program ("LCP") which govern the southern half of the Santa Monica Mountains.

Project Location: The proposed project boundary is located north of the Santa Monica Mountains Coastal Zone boundary, west of the City of Los Angeles, and south of the cities of Westlake Village, Agoura Hills, and Calabasas. The Santa Monica Mountains North Area also contains unincorporated land north of the 101 freeway between the cities of Agoura Hills and Calabasas and between Calabasas and Hidden Hills. A map depicting the proposed project boundary is enclosed for your reference.

Lead Agency Contact Information: Luis Duran
Coastal Permits Section
Department of Regional Planning
320 W. Temple Street, 13th Floor
Los Angeles, CA 90012
Tel: (213) 974-6422
Email: LDuran@planning.lacounty.gov

Written requests for future notifications under AB 52 from our Department should include a lead contact person and, if possible, a map of the affiliated geographic area. Please send requests to:

Los Angeles County Department of Regional Planning
Attention: Patricia Hachiya
Environmental Planning and Sustainability Section
320 W. Temple Street, Room 1356
Los Angeles, CA 90012

Our office hours are Monday through Thursday, 7:30 a.m. to 5:30 p.m. We are closed on Fridays.

Sincerely,

AMY J. BODEK, AICP
Director of Regional Planning



Luis Duran, Regional Planner
Coastal Permits Section

Encl: Map of Project Boundary

AJB:RG:TH:LD

**Figure 1:
Planning Area Boundary**





Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director of Regional Planning

Dennis Slavin
Chief Deputy Director,
Regional Planning

October 3, 2019

Kenneth Kahn
Santa Ynez Band of Chumash Indians
P.O. Box 517
Santa Ynez, CA 93460

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AB 52 Notification

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AMY J. BODEK, AICP
Director of Regional Planning



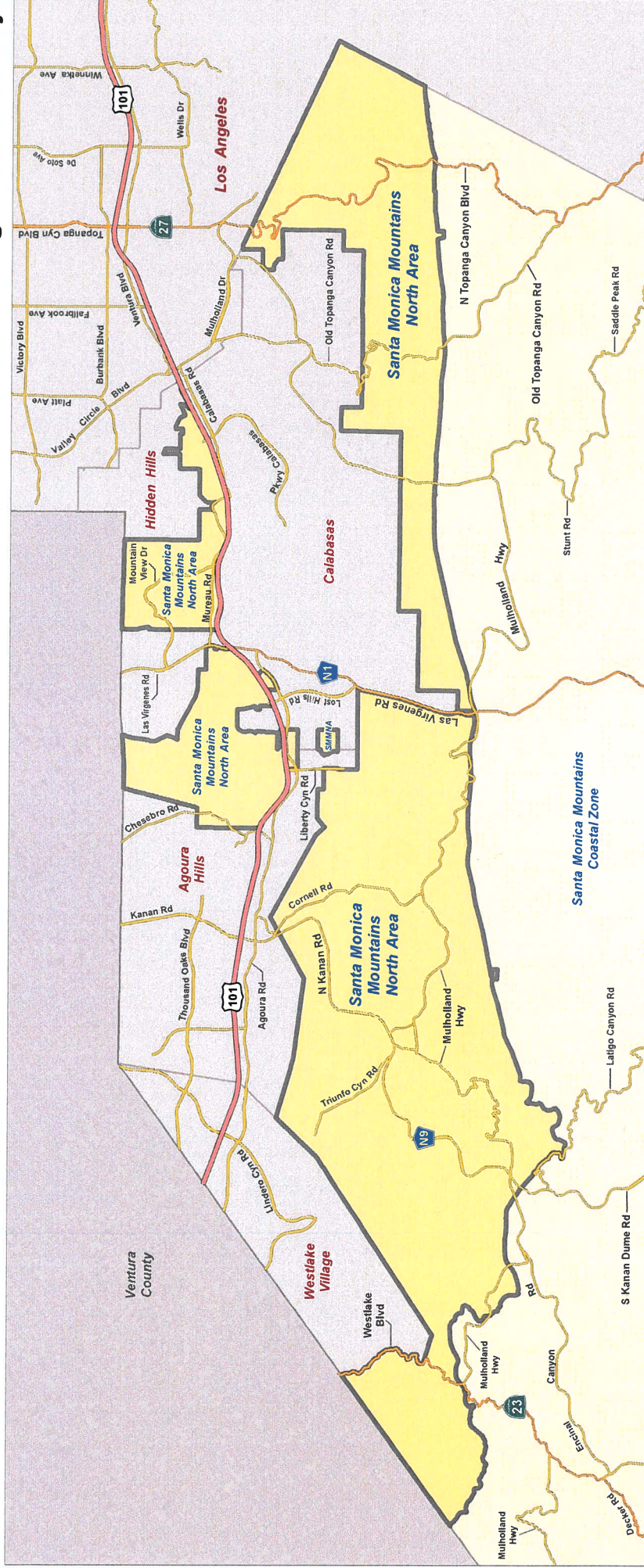
Luis Duran, Regional Planner
Coastal Permits Section

Encl: Map of Project Boundary

AJB:RG:TH:LD

Santa Monica Mountains North Area

Figure 1:
Planning Area Boundary



Santa Monica Mountains North Area (SMMNA)



Other Unincorporated Area

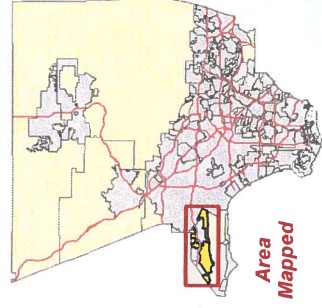


Incorporated City

Major Road

Highway

Freeway



LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple St.
Los Angeles, CA 90012



Prepared by DRP GIS Section / September 2019



Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director of Regional Planning

Dennis Slavin
Chief Deputy Director,
Regional Planning

October 3, 2019

Sam Cohen
Santa Ynez Band of Chumash Indians
P.O. Box 517
Santa Ynez, CA 93460

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Project Description: The County is proposing comprehensive updates to the policies of the Santa Monica Mountains North Area Plan ("SMMNAP") and to development standards in the Santa Monica Mountains North Area Community Standards District ("CSD"). The SMMNAP is a component of the County's General Plan with focused objectives and policies for the Santa Monica Mountains North Area. The CSD implements the policies of the SMMNAP and includes development standards that are specific to the Santa Monica Mountains North Area. The updates are proposed to address concerns that have developed since the adoption of the SMMNAP in 2000, to strengthen existing

AB 52 Notification

environmental resources policies, and to identify policies and standards that continue to support the community's rural and semi-rural lifestyle. In addition, the County which is updating the SMMNAP and CSD which govern the northern half of the Santa Monica Mountains to align with many of the environmental protection policies in the recently State certified Santa Monica Mountains Local Coastal Program ("LCP") which govern the southern half of the Santa Monica Mountains.

Project Location: The proposed project boundary is located north of the Santa Monica Mountains Coastal Zone boundary, west of the City of Los Angeles, and south of the cities of Westlake Village, Agoura Hills, and Calabasas. The Santa Monica Mountains North Area also contains unincorporated land north of the 101 freeway between the cities of Agoura Hills and Calabasas and between Calabasas and Hidden Hills. A map depicting the proposed project boundary is enclosed for your reference.

Lead Agency Contact Information: Luis Duran
Coastal Permits Section
Department of Regional Planning
320 W. Temple Street, 13th Floor
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Written requests for future notifications under AB 52 from our Department should include a lead contact person and, if possible, a map of the affiliated geographic area. Please send requests to:

Los Angeles County Department of Regional Planning
Attention: Patricia Hachiya
Environmental Planning and Sustainability Section
320 W. Temple Street, Room 1356
Los Angeles, CA 90012

Our office hours are Monday through Thursday, 7:30 a.m. to 5:30 p.m. We are closed on Fridays.

Sincerely,

AMY J. BODEK, AICP
Director of Regional Planning



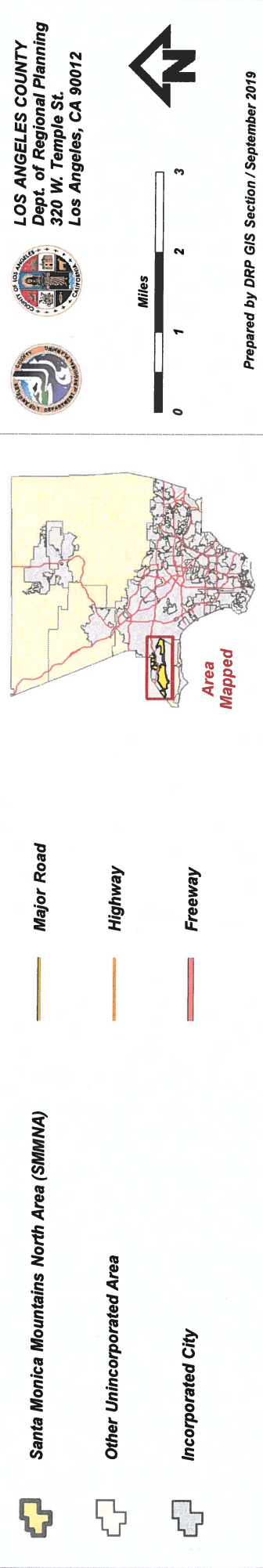
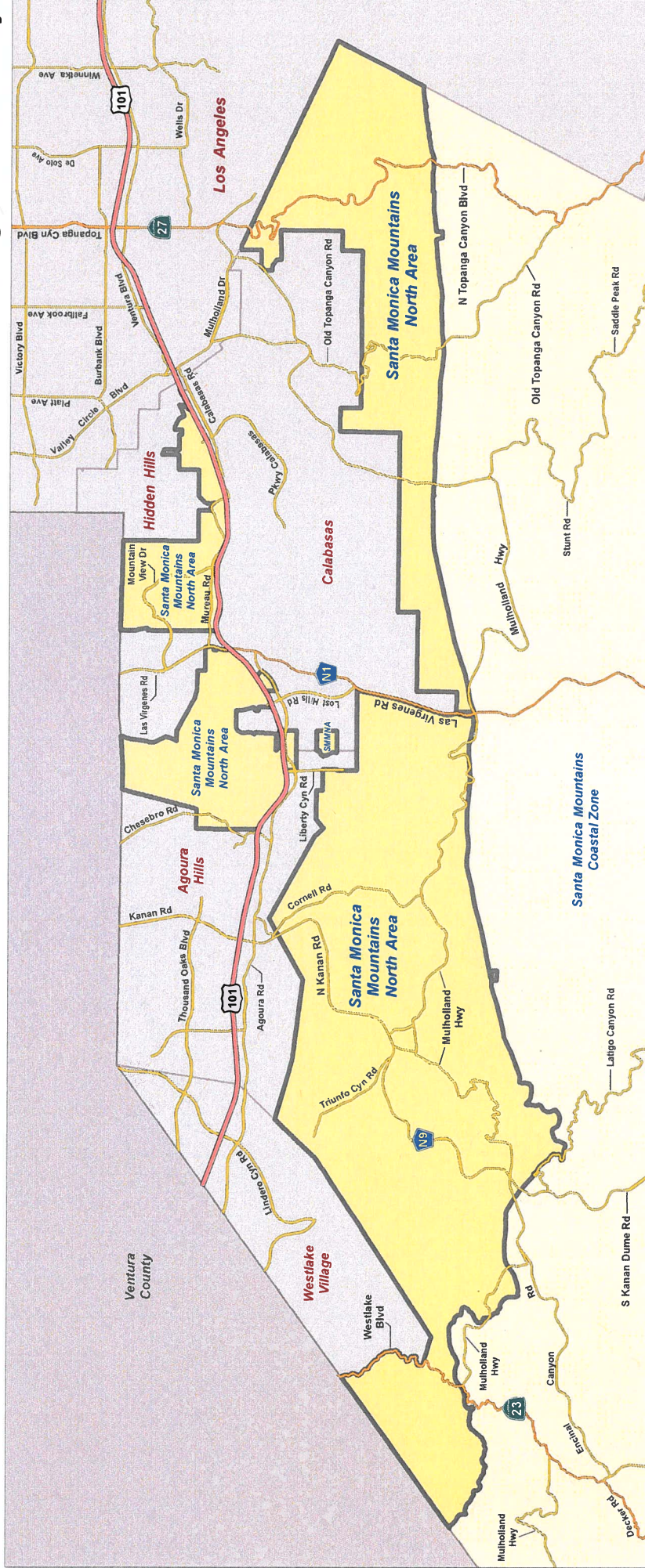
Luis Duran, Regional Planner
Coastal Permits Section

Encl: Map of Project Boundary

AJB:RG:TH:LD

Santa Monica Mountains North Area

Figure 1:
Planning Area Boundary



Appendix 5

Noise Technical Report



Santa Monica Mountains

North Area Plan and Community Standards District Update

Noise Technical Report



Prepared for:



Los Angeles County
Department of Regional Planning

Prepared by:



October 2018

Santa Monica Mountains North Area Plan and Community Standards Update Noise Technical Report

Prepared For:



County of Los Angeles Department of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

Prepared by:



October 2018

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Attachment A: Ambient Noise Measurement Details

1.0 Introduction

This Noise Technical Report provides background information on acoustical terms, common indoor and outdoor noise levels, presents ambient noise conditions measured in four separate study areas, identifies the applicable regulatory setting of the North Area, and provides recommended noise considerations within the North Area as they relate to regulating outdoor noise levels on adjacent sensitive receptors. This study was prepared in support of the County of Los Angeles, Department of Regional Planning’s environmental analysis of the County’s proposed update to the Santa Monica Mountains North Area Plan (NAP) and Community Standards District (CSD).

1.1 General Information on Noise

The assessment of noise utilizes specialized terminology that is not typically used in everyday conversations. Therefore, to assist in understanding the subsequent analysis, Table 1 provides definitions for technical terms used in this Report.

Table 1. Summary of Acoustical Terms	
Term	Definition
Decibel (dB)	A unit describing the amplitude of sound, equal to 20 times the logarithm to the base 10 of the ratio of the pressure of the sound measured to the reference pressure, which is 20 micropascals (20 micronewtons per square meter).
A-Weighted Sound Level (dBA)	The sound level in decibels as measured on a sound level meter using the A weighted filter network. The A-weighted filter de-emphasizes the very low and very high frequency components of sound in a manner similar to the frequency response of the human ear and correlates well with subjective reactions to noise. All sound levels in this report are A-weighted.
Ambient Noise Level	The composite noise from all sources resulting in the existing normal level of environmental noise at a given location.
Equivalent Noise Level (Leq)	The average dBA level, on an equal energy basis, during the measurement period.
Maximum Noise Level (Lmax)	The maximum noise level during a sound measurement period.
Minimum Noise Level (Lmin)	The minimum noise level during a sound measurement period.
Percentile Noise Level (L90)	The noise level that occurs 90 percent of the time during the measurement period. Comparing the L90 level to the Leq is useful within urban environments. The greater the difference between these two metrics, the more ambient conditions represent noise sources that quickly peak and dissipate (like a vehicle pass by). When the Leq and L90 levels show less difference, ambient conditions contain noise sources with less fluctuation.

The effects of noise on people can be grouped into three general categories:

- Subjective effects of annoyance, nuisance, dissatisfaction;
- Interference with activities such as speech, sleep, learning; and
- Physiological effects such as startling and hearing loss.

In most cases, noise sources produce effects in the first two categories. No satisfactory way exists to measure the subjective effects of noise, or to measure the corresponding reactions of annoyance and dissatisfaction. This lack of a common standard is due primarily to the wide variation in individual thresholds of annoyance and habituation to noise. Thus, an important way of determining a person’s subjective reaction to a new noise is by comparison with the normal ambient noise environment at a receptor location.

Ambient noise is generally considered low when below 50 dBA, moderate in the 50–65 dBA range, and high above 65 dBA (FTA, 2006). Although people often accept higher noise levels in urban residential and residential–commercial zones, high–noise levels are nevertheless considered to be an annoyance and may be adverse to public health. In general, the more the dBA level or tonal (frequency) variations of a noise exceed ambient conditions, the less acceptable the new noise will be, depending on each person’s tolerance for noise. When comparing sound levels from similar sources (for example, changes in traffic noise levels), an increase of 3 dBA is considered to be a just–perceivable difference, 5 dBA is clearly perceivable, and 10 dBA is considered a doubling in perceived loudness. Figure 1 illustrates typical noise levels for common sounds.

The land uses surrounding a receptor often dictate what ambient noise levels would be considered acceptable or unacceptable. Lower levels are expected in rural or suburban areas than what would be expected for urban areas, commercial, or industrial zones. Nighttime ambient levels in urban environments are typically seven decibels lower than the corresponding daytime levels. In rural areas away from roads and other human activity, the day–to–night difference can be considerably less. Areas with full–time human occupation that are subject to nighttime noise are often considered objectionable because of the likelihood of disrupting sleep. Noise levels above 45 dBA at night can result in the onset of sleep interference effects. At 70 dBA, sleep interference effects become considerable (USEPA, 1974).

2.0 Environmental Setting

2.1 Sensitive Receptors

Noise sensitive land uses, or sensitive receptors, are generally considered to include those uses where noise exposure could result in health-related risks to individuals, as well as places where individuals expect quiet to be an essential element of the location. Residential dwellings are of primary concern because of the potential for increased and prolonged exposure of individuals to both interior and exterior noise and potential sleep disruptions. Additional land uses, such as parks, historic sites, cemeteries, and recreation areas, are also considered sensitive to exterior noise. Schools, places of worship, hotels, libraries, nursing homes, retirement residences, and other places where low interior noise levels are essential are also considered noise sensitive land uses/sensitive receptors. However, the majority of noise sensitive land uses in the study area are residential.

2.2 Study Area

The scope of this technical report is to identify noise–generating land uses (e.g. vineyards and parks with outdoor events), sensitive receptors, and baseline noise measurements as well as recommends measures to address potential noise in the North Area. Based on this objective, coordination with County of Los Angeles Regional Planning and County of Los Angeles Department of Public Health occurred to identify the study area for this report. This coordination and identification of the study area also considered public complaints from these specific types of noise–generating land uses and previous noise investigations conducted by County of Los Angeles Department of Public Health (as discussed later in Section 4.2). The selection of the study area also considered noise from these special event land use types to be of concern to residents within the North Area boundary, with the selection of the study area and ambient noise measurement locations based on previous complaints and noise investigation studies.

Within the North Area Plan boundary, a number of special event locations were identified. These locations were selected due to their ability to generate noise during outdoor events (weddings, parties, etc.) and were

mapped for their distance to nearby residences (key sensitive receptors of concern with respect to night-time noise). These event locations are identified in Table 2 and shown in Figure 2. When considering the event locations shown in Table 2 and Figure 2, the following factors were considered to select four general study area locations where short-term ambient noise measurements would be conducted:

- Distance to nearest residential receptor.
- Land use type (wedding location, public park, etc.) and potential for nuisance noise outside normal hours.
- If ambient noise data was collected during previous County of Los Angeles noise studies.
- If roadways with significant traffic volumes were located adjacent to the event location and receptors, resulting in elevated ambient noise levels (which would mask event noise).
- Confirmation that outdoor wedding and event activities are advertised as available at the location.
- If the primary noise generating areas of the location (assumed outdoor event area and parking areas) face the nearest residential receptors.

Table 2. North Area Plan Boundary: Outdoor Wedding and Entertainment Locations			
Map ID	Name and Location	Land Use Type	Distance to Nearest Residential Receptor¹
1	Triunfo Creek Vineyards 2714 Triunfo Canyon Rd. Agoura Hills, 91301	Vineyard Wedding Venue	547 feet southwest
2	Malibu Wine Safaris 3211 Mulholland Hwy. Malibu, 90265	Vineyard Wedding Venue	549 feet west
3	Cielo Malibu Wines 31424 Mulholland Hwy. Malibu, 90265	Vineyard Wedding Venue	224 feet west
4	Semler Malibu Estate Wines 31727 Mulholland Hwy. Malibu, 90265	Vineyard Wedding Venue	1,738 feet southeast
5	Blackberry Creek Farm 1801 N Topanga Canyon Blvd. Topanga, 90290	Ranch/Farm Wedding Venue	353 feet east
6	Rocky Oaks Estates 340 Kanan Rd. Malibu, 90265	Private Estate Wedding Venue	832 feet west
7	Lobo Castle 31400 Lobo Canyon Rd. Agoura Hills, 91301	Private Estate Wedding Venue	215 feet east
8	Malibu Lake Mountain Club 29033 Lake Vista Dr. Agoura Hills, 91301	Private Club Wedding Venue	264 feet south
9	The 1909 1909 N Topanga Canyon Blvd. Topanga, 90290	Wedding Venue	228 feet west
10	The Mountain Mermaid 20421 Callon Dr. Topanga, 90290	Wedding Venue	102 feet west
11	SaddleRock Ranch 31727 Mulholland Hwy. Malibu, 90265	Vineyard Wedding Venue	1,012 feet east

Table 2. North Area Plan Boundary: Outdoor Wedding and Entertainment Locations

Map ID	Name and Location	Land Use Type	Distance to Nearest Residential Receptor ¹
12	Paramount Ranch 2903 Cornell Rd. Agoura Hills, 91301	Regional Park Entertainment Venue	1,667 feet southeast
13	Peter Strauss Ranch 30000 Mulholland Hwy. Agoura Hills, 91301	Regional Park Entertainment Venue Wedding Venue	414 feet north
14	Sage Hill Ranch 4206 Cornell Rd. Agoura Hills, 91301	Vineyard Wedding Venue	174 feet west
15	Gates Canyon Park 25801 Thousand Oaks Blvd. Calabasas, 91302	Regional Park Entertainment Venue	533 feet west
16	Vasa Park 2854 Triunfo Canyon Rd. Agoura Hills, 91301	Regional Park Entertainment Venue	420 feet south
17	Camp Keystone 2854 Triunfo Canyon Rd. Agoura Hills, 91301	Summer Camp Entertainment Venue	906 feet northwest
18	Brookview Ranch 2972 Triunfo Canyon Rd. Agoura Hills, 91301	Wedding Venue	425 feet northwest and northeast
19	Oak Canyon Ranch 3272 Triunfo Canyon Rd. Agoura Hills, 91301	Wedding Venue Entertainment Venue	900 feet east

¹ – Distance was calculated using Google Earth from the center of the event location to the nearest confirmed residence (not assumed as part of the event location). Due to the aerial nature of this search, structures that did not appear habitable or present residential characteristics were not utilized.

Based on the above considerations, four general areas were selected for study as subsets of the greater North Area, shown in Figure 2. These four study areas include:

- Mulholland/Kanan Area, shown in Figure 3.
- Triunfo Canyon Area, shown in Figure 4.
- Malibou Lake Area, shown in Figure 5.
- Topanga Canyon Area, shown in Figure 6.

Ambient noise measurements were taken within these four study areas at nearby accessible public locations between the source (e.g. potential noise-generating venue) and receptor property line (e.g. where property lines meet, along a public roadway where the property lines meet, or at the receptor property line facing the source if property lines are not adjoined).

2.3 Ambient Noise Conditions

Short-term (one-hour) noise measurements were conducted between August 6 (Monday) through August 9 (Thursday), 2018 at two different times (i.e. 1 pm and 8 pm) for each day of the four-day period. These measurements represent typical daytime and evening ambient (background) noise conditions at residential receptor locations (near event locations) within the four study areas. The results of these measurements are provided in Table 3 and their locations are shown in Figures 3 through 6. Additional details of these measurements are provided in Attachment A.

Noise Source and Distance	A-Weighted Sound Level (dBA)	Subjective Impression
Civil defense siren (100 ft)	130	Pain threshold
Jet takeoff (200 ft)	120	
Rock music concert (50 ft)	110	
Pile driver (50 ft)	100	Very loud
Ambulance siren (100 ft)	90	
Diesel locomotive (25 ft)	85	Loud
Pneumatic drill (50 ft)	80	
Freeway (100 ft)	70	Moderately loud
Vacuum cleaner (10 ft)	60	
Light traffic (100 ft)	50	
Large transformer (200 ft)	40	Quiet
Soft whisper (5 ft)	30	Threshold of hearing

Source: USEPA 1974 and 1978

Figure 1
Typical Sound Levels Measured
in the Environment and Industry

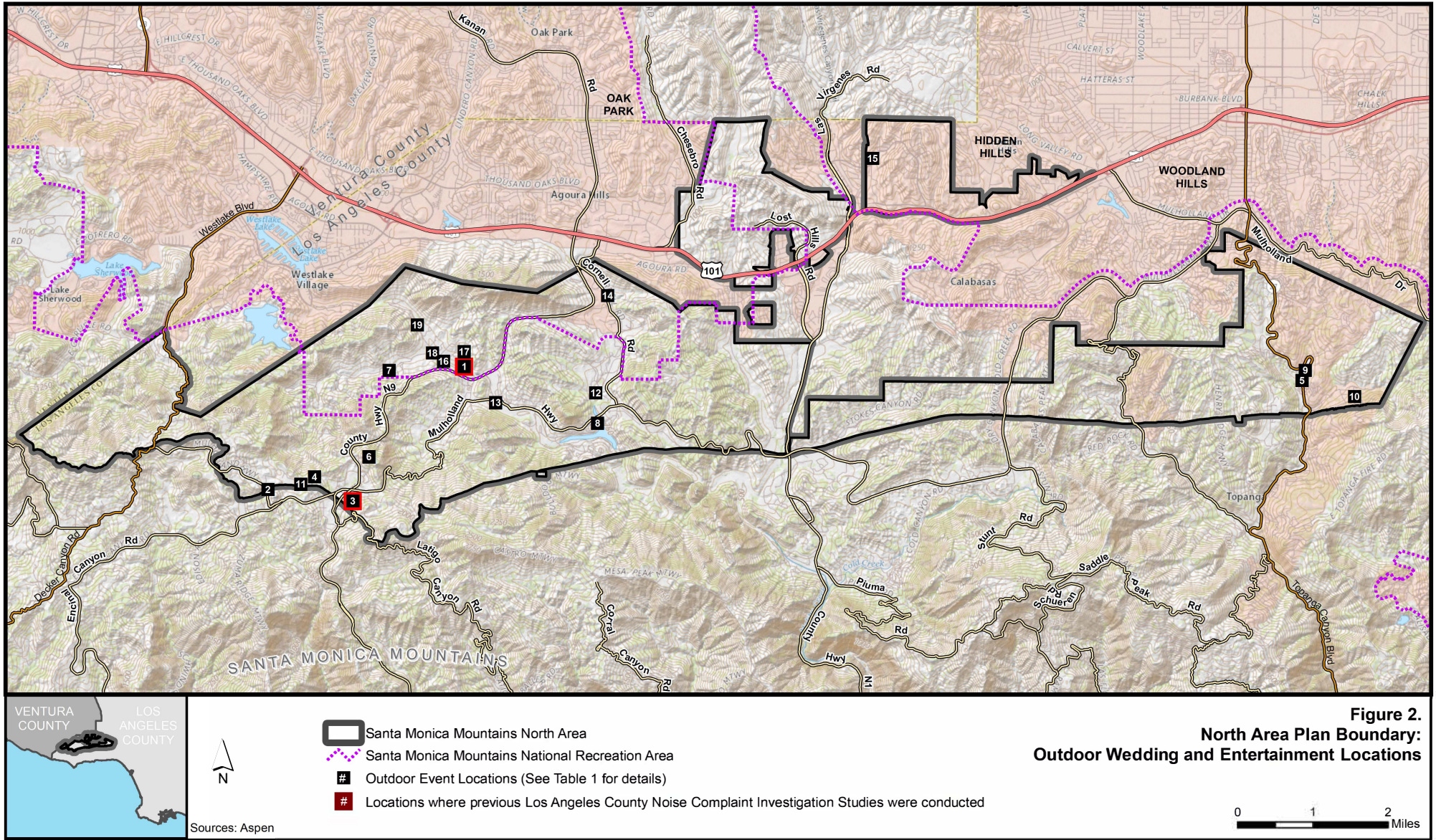
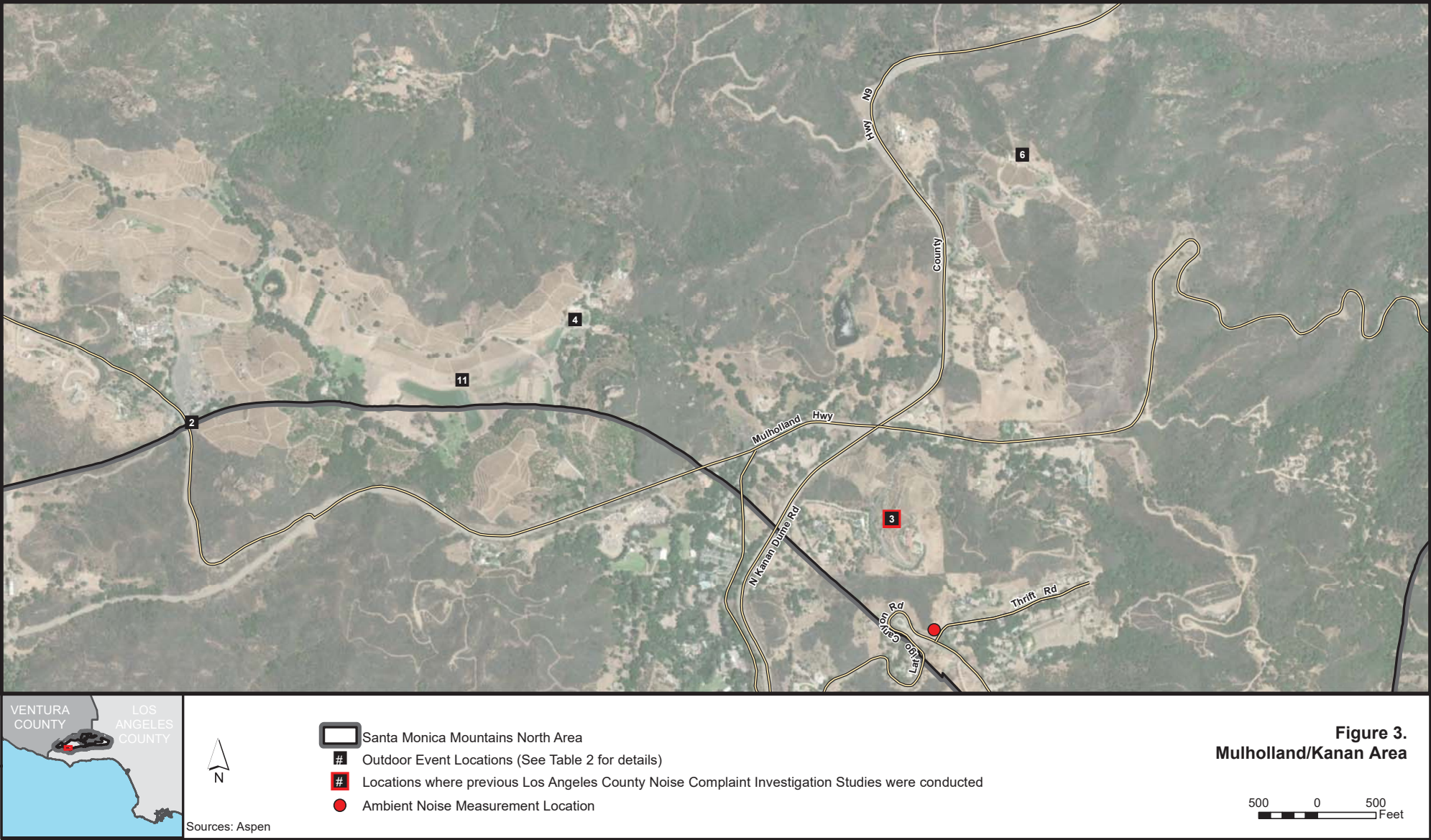


Figure 2.
North Area Plan Boundary:
Outdoor Wedding and Entertainment Locations









As shown in Table 3, measurement locations 1 and 2 show afternoon and evening average ambient noise levels (Leq) representative of rural areas. While, measurement locations 3 and 4 show slightly greater afternoon and evening average ambient noise levels (Leq), more representative of suburban areas. At all locations, the primary source of ambient noise was traffic on nearby roadways.

Table 3. Ambient Noise Measurement Levels									
Location	Duration	Measured Ambient Level (dBA)					County Thresholds¹		Ambient Exceed Threshold ?
		Lmin	Leq	Lmax	L90	L50	Lmax	L50	
1 – Mulholland/Kanan Area	1:00 p.m. – 2:00 p.m.	31.9	50.9	84.6	32.2	33.7	70	50	Yes (Lmax)
	8:00 p.m. – 9:00 p.m.	32.1	41.1	57.7	33.1	36.0	70	50	No
2 – Triunfo Canyon Area	1:00 p.m. – 2:00 p.m.	32.1	43.7	69.7	33.7	37.5	70	50	No
	8:00 p.m. – 9:00 p.m.	31.8	46.9	67.8	32.4	47.3	70	50	No
3 – Malibou Lake Area	1:00 p.m. – 2:00 p.m.	38.8	51.4	70.3	42.8	45.7	70	50	Yes (Lmax)
	8:00 p.m. – 9:00 p.m.	31.9	50.8	80.1	36.5	40.5	70	50	Yes (Lmax)
4 – Topanga Canyon Area	1:00 p.m. – 2:00 p.m.	32.0	55.6	78.7	38.7	52.0	70	50	Yes (Both)
	8:00 p.m. – 9:00 p.m.	32.4	56.8	85.1	50.0	52.7	70	50	Yes (Both)

Notes: Additional details of these noise measurements are provided in Attachment A.

¹ County Noise Ordinance Thresholds are provided below in Section 3.2, Table 4

All acoustical measurements were conducted with a Quest SoundPro SE/DL–1 sound level meter, which conform to ANSI S.14–1961 for Type 1 precision sound level metering. All equipment was calibrated before use by Pine Environmental.

3.0 Regulatory Environment

3.1 Applicable State Regulations

California Government Code Section 65302 encourages each local government entity to implement a noise element as part of its general plan. In addition, the California Governor’s Office of Planning and Research has developed guidelines for preparing noise elements, which include recommendations for evaluating the compatibility of various land uses as a function of community noise exposure. These recommendations have been incorporated into the applicable local plans and policies discussed below.

3.2 Applicable Local Plans and Regulations

The North Area Plan boundary is completely located within unincorporated County of Los Angeles lands. Therefore, the applicable noise–related plans and policies are provided below.

3.2.1 County of Los Angeles General Plan, Noise Element

Within the County of Los Angeles General Plan Noise Element, the following policy components are applicable to event noise within the North Area boundary (County of Los Angeles, 2015):

- *Policy N1.1:* Utilize land uses to buffer noise sensitive uses from sources of adverse noise impacts.
- *Policy N1.2:* Reduce exposure to noise impacts by promoting land use compatibility.
- *Policy N1.3:* Minimize impacts to noise sensitive land uses by ensuring adequate site design, acoustical construction, and use of barriers, berms, or additional engineering controls through Best Available Technologies (BAT).

In addition to these policies, the County has adopted the following noise thresholds within their General Plan to develop exterior noise standards, as presented in Table 4.

Table 4. Exterior Noise Standards							
Noise Zone	Receptor Type	Time Period	Threshold dBA (Noise Cannot Exceed)				
			L50 (30 Min/Hr.)	L25 (15 Min/Hr.)	L8.3 (5 Min/Hr.)	L1.7 (1 Min/Hr.)	Lmax (At No Time)
I	Sensitive	Anytime	45	50	55	60	65
II	Residential	10 PM to 7 AM	45	50	55	60	65
		7 AM to 10 PM	50	55	60	65	70
III	Commercial	10 PM to 7 AM	55	60	65	70	75
		7 AM to 10 PM	60	65	70	75	80
IV	Industrial	Anytime	70	75	80	85	90

Source: County of Los Angeles, 2015

3.2.2 County of Los Angeles Municipal Code, Section 12.08 Noise Regulations

The County of Los Angeles Municipal Code Section 12.08.390, Exterior Noise Standards, provides an enforceable regulation of the exterior noise level limits for operation of a facility/event established within the General Plan (County of Los Angeles, 2018a). Therefore, the noise level thresholds established by Municipal Code Section 12.08.390 are identical to those presented in Table 4 for the County of Los Angeles General Plan Noise Element.

4.0 Impact Assessment

4.1 Thresholds of Significance

Regulatory Thresholds. As discussed in Sections 3.2.1 and 3.2.2, both the County of Los Angeles General Plan and Municipal Code Section 12.08 establish ambient noise thresholds and standards for residential locations between 7:00 a.m. and 10:00 p.m. and from 10:00 p.m. to 7:00 a.m. These standards are shown in Table 4. This study focuses on Municipal Code Section 12.08 Lmax and L50 thresholds, as these noise metrics were recorded during ambient noise measurements conducted for this study as well as previous noise investigations conducted by County of Los Angeles. According to the applicable thresholds shown in Table 4, a noise generator would be in non-compliance with the County of Los Angeles General Plan and Municipal Code Section 12.08 if the following occurs:

- Ambient noise levels at an affected residential property line exceed 70 dBA Lmax or 50 dBA L50 between 7:00 a.m. and 10:00 p.m.
- Ambient noise levels at an affected residential property line exceed 65 dBA Lmax or 45 dBA L50 between 10:00 p.m. and 7:00 a.m.

Nuisance Thresholds. In addition to compliance with the County’s threshold described above, potential noise impacts should be considered with respect to levels over ambient conditions. These include a substantial temporary or periodic increase in ambient noise levels in the vicinity of an event above levels existing without the event. As discussed earlier, when comparing sound levels an increase of 3 dBA is considered to be a just-perceivable difference, a 5-dBA increase is clearly perceivable, and a 10-dBA increase is considered a doubling in perceived loudness from a source. Based on these considerations, a noise generator would have a significant impact on ambient noise levels if the following occurs:

- Event noise levels at an affected residential property line exceed 5–10 dBA over typical ambient conditions.

4.2 Previous Assessments – Special Event Noise Levels

In response to public complaints of noise generated during wedding and other special events, the County of Los Angeles Department of Public Health has conducted noise investigations at Cielo Malibu Wines and Triunfo Creek Vineyards. These locations are identified in Table 2 as Map Locations #1 and #3, respectively, with their locations shown in Figures 2, 3, and 4. The following describes these previous noise investigations:

- **Cielo Malibu Wines (Mulholland/Kanan Area).** The County of Los Angeles Department of Public Health has conducted five (5) separate noise investigations at this event location within 2017 and 2018 (County of Los Angeles 2017a, 2017b, 2018b, and 2018c). The Cielo Malibu Wines property includes a vineyard and residence within the southern portion of the property, with a barn area in the approximate center of the property where special events are held. The entrance to Cielo Malibu Wines is located on Mulholland Highway, with special event participants traversing the entire site to access a parking area located in the southern portion of the property. Several residences are located immediately west of the Cielo Malibu Wines property. Ongoing complaints from these adjacent residences of excessive noise generated during special events triggered the County of Los Angeles Department of Public Health to conduct these five specific investigations.

These investigations continuously measured noise levels at these adjacent residences prior to the special event (weddings), during special event set-up/arrival/departure, and during the special event itself to document both ambient noise levels and noise levels during the event at nearby residential receptors to determine if event noise levels were exceeding County of Los Angeles Municipal Code Section 12.08 thresholds (refer to Table 4). Each investigation included measuring noise levels continuously from two locations at the Cielo Malibu Wines property line adjoining with adjacent residences. The dates of these investigations, duration of noise measurements, and compliance findings are summarized in Table 5. As shown, noise levels were found to exceed County of Los Angeles Municipal Code Section 12.08 thresholds during two separate special events, while found in compliance during the other three separate investigations.

- **Triunfo Creek Vineyards (Triunfo Canyon Area).** A noise investigation was conducted at the Triunfo Creek Vineyard facility to determine compliance with Los Angeles County Code, Title 12 Chapter 12.08 Noise Control Ordinance. The noise investigation was requested by Los Angeles County Board of Supervisor Kuehl’s Office in response to complaints received by local residents of alleged intrusive noise from events (i.e., weddings) held at this location (County of Los Angeles 2017c). The ambient (background) noise levels were measured as well as event noise levels (ambient + wedding noise) by

Department of Public Health staff during the period of Friday March 24, 2017 through Sunday morning, March 26, 2017. The wedding period included event set-up, event, and event take-down noise. The measurements were made from the nearest residences (property line). The investigation included continuous long-term (24-hour) noise measurements at one residential receptor location and several short-term (one-hour) measurements were taken at various locations near the Triunfo Creek Vineyard west property line on Triunfo Canyon Road. The findings of this investigation are summarized in Table 5. As shown, noise levels were found in compliance with County of Los Angeles Municipal Code Section 12.08 thresholds.

Table 5. Noise Investigation Summary Results					
Location	Date/Duration of Noise Measurements	Measurement Distance from Source	Maximum Recorded Noise Level During Measurement Period (dBA)¹		Compliance Determination
			Lmax	L50	
Cielo Malibu Wines	4/2/17 (11:00 a.m.–4:30 p.m.)	200–feet	89	55	Event noise was found to exceed County of Los Angeles Municipal Code Section 12.08 thresholds
Cielo Malibu Wines	8/12/17 (4:20 p.m.–9:00 p.m.)	200–feet	81	54	Event noise was found to exceed County of Los Angeles Municipal Code Section 12.08 thresholds
Cielo Malibu Wines	4/21/18 (3:00 p.m.–11:00 p.m.)	1,000–feet	69	50	Event noise was found consistent with County of Los Angeles Municipal Code Section 12.08 thresholds
Cielo Malibu Wines	5/5/18 (3:00 p.m.–10:00 p.m.)	300–feet	78	56	Event noise was found consistent with County of Los Angeles Municipal Code Section 12.08 thresholds
Cielo Malibu Wines	5/12/18 (3:00 p.m.–11:00 p.m.)	300–feet	77	49	Event noise was found to exceed County of Los Angeles Municipal Code Section 12.08 thresholds
Triunfo Creek Vineyards	3/24/17 and 3/25/17 (9:00 a.m.–12:00 a.m. on 3/25 and 12:00 a.m.–11:59 a.m. on 3/25)	800–feet	71	49	Event noise was found consistent with County of Los Angeles Municipal Code Section 12.08 thresholds

Notes: This table presents the maximum measured peak (Lmax) and L50 noise levels recorded during each noise investigation (levels measured during special events), as maximum recorded levels would be utilized for compliance by the County of Los Angeles Department of Public Health.

1 - Maximum noise levels may have been generated by an ambient source (traffic, etc.) and not from the event. However, because measured maximum levels were used for compliance determinations during the noise investigation, they are shown here as being likely noise levels from event activities.

4.3 Analysis and Considerations

During daytime hours, ambient conditions shown in Table 3 would likely reduce the potential for event-related noise to exceed County of Los Angeles Municipal Code Section 12.08 thresholds or the nuisance threshold of 10 dBA over ambient. This is because higher traffic volumes and frequent vehicle noise exceeds the County of Los Angeles Municipal Code Section 12.08 thresholds under ambient conditions. Additionally, daytime hours are typically less sensitive to residences. Event noise during daytime hours is less likely to trigger nuisance impacts and complaints.

Event noise generated during the evening hours is of greatest concern. Table 6 compares typical ambient levels measured during the evening hours at rural residences proximate to event locations to noise levels recorded during special events.

Table 6. Evening Hours Ambient Versus Estimated Event Noise Comparison		
Noise Metric	Typical Evening Ambient Levels at Residences (dBA)¹	Estimated Potential Maximum Noise Levels During Special Event 200 Feet from Source (dBA)²
Lmax	73	85
L50	44	55
L90	38	Unavailable

1 - Averaged from Table 3, evening hour ambient noise measurements.

2 - Averaged from Table 5, Noise Investigations on 4/24/17 and 8/12/17, due to both measurements being conducted at the same distance from the source (200–feet).

County of Los Angeles Municipal Code Section 12.08 Thresholds. Based on previous noise investigations, event noise is likely to exceed Municipal Code Section 12.08 thresholds at residences within 500–feet of the event. At distances greater than this, event noise is attenuating to comply with the noise standards shown in Table 4.

Nuisance Noise Threshold. No satisfactory way exists to measure the subjective effects of noise, or to measure the corresponding reactions of annoyance and dissatisfaction. This lack of a common standard is due primarily to the wide variation in individual thresholds of annoyance and habituation to noise. Thus, an important way of determining a person’s subjective reaction to a new noise is by comparison with the normal /typical ambient noise environment at a receptor location.

Noise levels typically attenuate at an average rate of 4–6 dBA every doubling of distance depending on adjacent surfaces and noise spreading (FTA, 2006). Therefore, as shown in Table 6, impulse Lmax and L50 noise levels from events are expected to only create nuisance impacts at adjacent receptors within 400–feet of the source. However, due to ambient levels in these rural study areas being heavily influenced by traffic trips, the L90 metric is relevant to determining potential nuisance impacts as it represents the typical ambient noise level 90 percent of the time at adjacent receptors. Under typical conditions, noticeable noise at these locations is limited to momentary sources such as a vehicle passing by or neighbor sources (dog barking, etc.).

As shown in Tables 3 and 6, during the evening hours, ambient noise levels at residences proximate to event locations experience very low noise conditions 90 percent of the time (L90 levels). Therefore, special event noise, both momentary impulse sources (laughter, clapping, etc.) and sustained sources (music, loud talking, etc.), would be very noticeable at adjacent receptors compared to recorded L90 ambient levels. Event noise is not a typical source under normal ambient (background) conditions and could exceed the nuisance threshold (10 dBA over ambient L90 conditions) at residences within 2,000–1,500 feet of an event location in quieter rural areas within the North Area boundary.

5.0 Recommendations

The following are recommended measures for consideration as part of the North Area Plan effort to reduce noise from special events on nearby sensitive receptors. See Figure 7 for a summary of the findings of this report, which support the recommendations noted below.

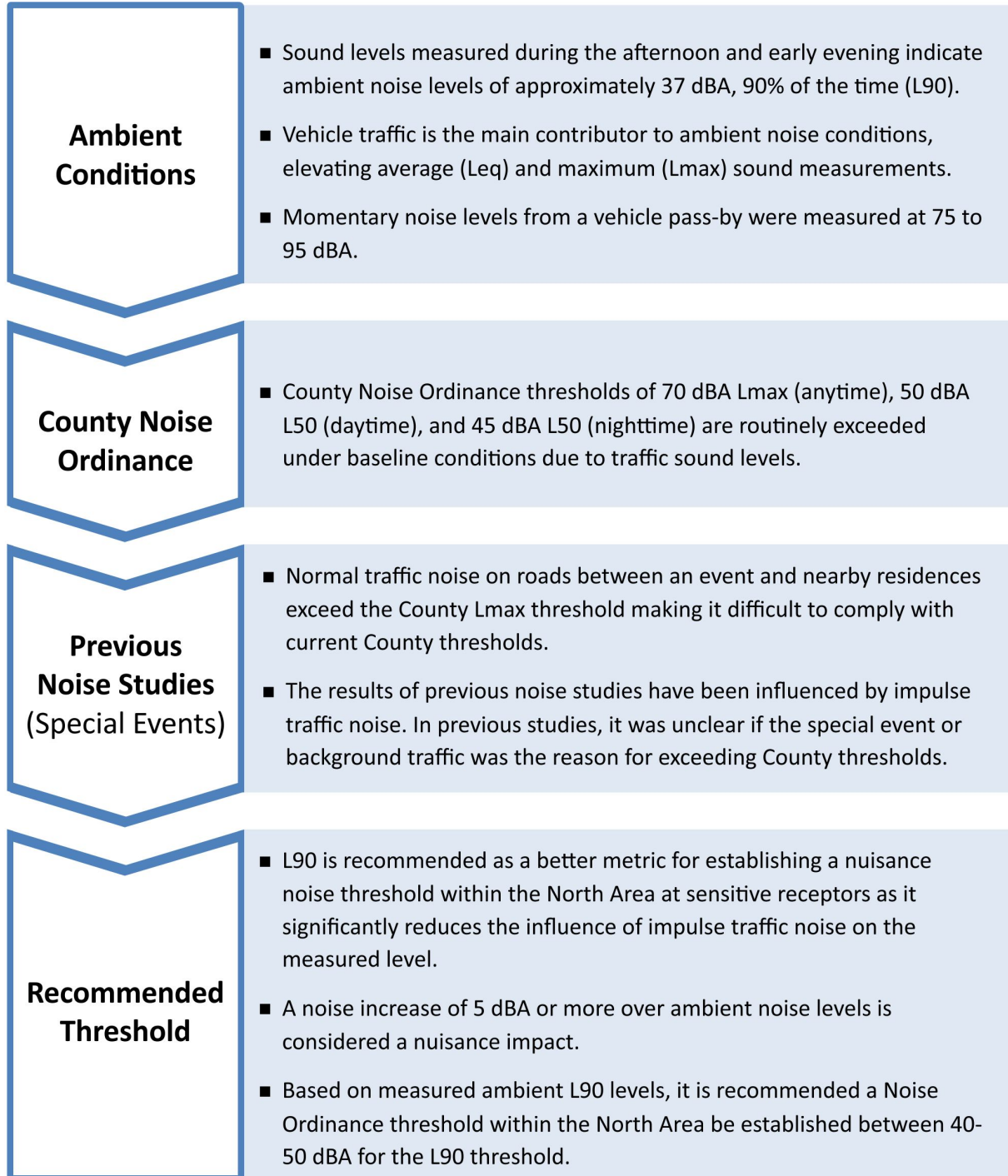
New Noise Ordinance Threshold

- Consider establishing a new Municipal Code Noise Ordinance L90 threshold within the North Area Plan boundary that more accurately reflects the quieter rural levels of the area (L90 threshold is currently not part of the established Municipal Code Section 12.08 thresholds).
- Based on measured ambient L90 levels, it is recommended a Noise Ordinance threshold within the North Area be established between 40-50 dBA L90, during both the daytime and nighttime. As shown in Table 3, ambient L90 measurements did not vary significantly between afternoon and evening hours, except along Topanga Canyon Boulevard where high evening commute traffic volumes increases the ambient L90 level.

Additional Measures

- Implement a permit application process specific to outdoor events exceeding 25–persons within the North Area boundary. Permit applications could require information including, but not limited to:
 - Use of sound amplification systems, which should include a site layout of the amplification system (if utilized) to ensure that all speakers are directed away from residences. The backside of all speakers should be wrapped in sound attenuation blankets.
 - Location of parking areas, which should be selected to maximize distance to adjacent residences.
 - Location of foot traffic corridors between event location, food and beverage service areas, restrooms, parking areas, etc., which should be selected to maximize distance to adjacent residences
 - Measures to reduce automobile trip generation of events, such as carpooling or bus programs from authorized off–site park and ride areas.
 - Assurances to limit noise–generating activities after 10:00 p.m.
 - Assurances that applicable telephone number(s) of the event location supervisor(s) have been provided to residents within 2,000–feet of event to call with questions or register noise complaints. All calls shall be returned within 30–minutes during the event, and within 24–hours before and after the event, to answer questions and handle complaints. Recommended email address for the County of Los Angeles also be provided to document the frequency of complaints. Documentation of the complaint and resolution shall be maintained and provided to the County of Los Angeles when requested. Coordination with the County should be established when resolution of noise problems cannot be solved.
- Establish fines for event locations exceeding standards, found out of compliance with permit requirements, or regularly receiving noise complaints.
- Consider implementing requirements for the erection of temporary sound abatement structures along all site perimeter(s) facing residences to the maximum extent feasible. These walls should be a minimum of 10–12 feet in height and seek to reduce noise a minimum of 6–10 dBA.
- If noise complaints are regularly received, receptor exposure levels shall be determined through additional noise investigations (as necessary) and additional measures implemented to reduce excessive noise at the receptor, as feasible. The cost of additional noise investigations and staff time should be burdened by the event location.

Figure 7. Summary of Noise Levels and Compliance for North Area



6.0 References

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- _____. 2017c. Noise Complaint Investigation. Triunfo Creek Vineyards 2714 Triunfo Canyon Road, Cornell CA. County of Los Angeles Department of Public Health. May 1.
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- FTA (Federal Transit Authority). 2006. Transit Noise and Vibration Impact Assessment.
- USEPA (United States Environmental Protection Agency). 1974. Information on Levels of Environmental Noise Requisite to Protect Public Health and Welfare with an Adequate Margin of Safety. March.
- _____. 1978. Protective Noise Levels. Condensed Version of EPA Levels document. November.

ATTACHMENT A

AMBIENT NOISE MEASUREMENT DETAILS



Location 1: Mulholland/Kanan Area

Immediately surrounded by rolling hills and canyons, the Cielo Malibu Wine primary structures sits atop a hill within this area, with the vineyard and other areas developed along the northern and western slopes. The main entrance to the vineyard is located on Mulholland Highway, just east of Kanan Road. Residences are located directly west and south of the vineyard. The ambient noise measurement location was selected due to residences near this location being at equal elevation and having direct line-of-sight to the primary structure on the Cielo Malibu Wine property.

Ambient noise levels at this location are low, typical of rural areas. The key noise source characterizing ambient levels was traffic on Latigo Canyon Road. As shown, ambient levels spike due to impulse noise from vehicle trips, then drastically reduce to quiet rural levels. Traffic volumes on Latigo Canyon Road were observed to be almost double during the afternoon hours compared to the evening, resulting in daytime average ambient levels (Leq) higher than those during the evening.

Table A-1. Ambient Noise Measurement Summary: Location 1 (Mulholland/Kanan Area)

Date/Time	Measurement (dBA)					Notes
	Lmin	Leq	Lmax	L90	L50	
August 6, 2018 1:00 p.m. – 2:00 p.m.	31.9	50.9	84.6	32.2	33.7	<ul style="list-style-type: none"> ▪ The primary daytime noise source was vehicle traffic on Latigo Canyon Road. Meter was approximately 70' from centerline. Due to the incline of Latigo Canyon Road, vehicles travelling uphill require extensive acceleration, which produces more noise. Vehicles travelling downhill require little, if any, acceleration. One-way traffic counts during the measurement period included: <ul style="list-style-type: none"> – <u>Passenger Vehicles</u>: 12 trips uphill; 14 trips downhill. – <u>Large Trucks</u> (UPS/FedEx, trash pickup, sewer pumping): 7 trips uphill, 3 trips downhill. – <u>Motorcycles</u>: 2 uphill trips, in succession, at 1:15 p.m. Motorcycles had loud performance exhaust systems. ▪ Secondary noise sources included distant traffic on Kanan Road, bird calls, several distant aircraft overflights (general aviation and jet), distant construction activities.
August 6, 2018 8:00 p.m. – 9:00 p.m.	32.1	41.1	57.7	33.1	36.0	<ul style="list-style-type: none"> ▪ Primary evening noise sources vehicle traffic on Latigo Canyon Road. Vehicles were observed traveling at a reduced rate of speed compared to afternoon hours. One-way traffic counts during the measurement period included: <ul style="list-style-type: none"> – <u>Passenger Vehicles</u>: 16 trips uphill; 6 trips downhill. ▪ Secondary noise sources included distant traffic on Kanan Road, distant dog barking, and minor insect calls.

Chart 1a.
Ambient Noise Measurement Summary: Location 1 (Mulholland/Kanan Area); Afternoon (1:00–2:00 PM)

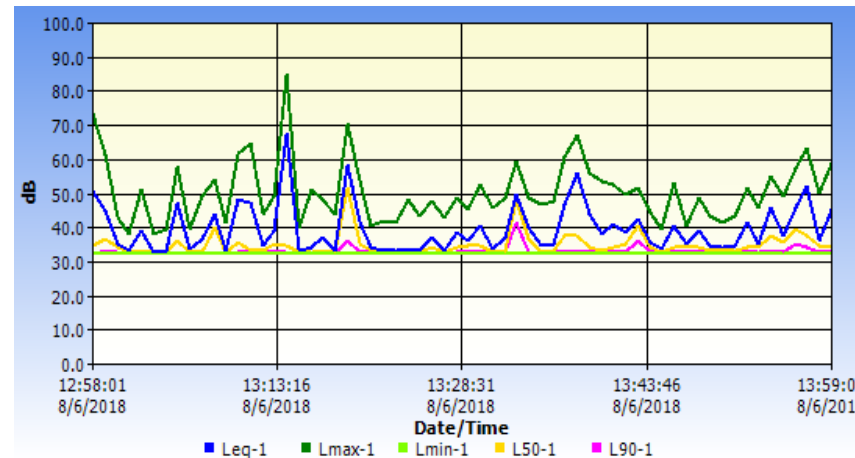
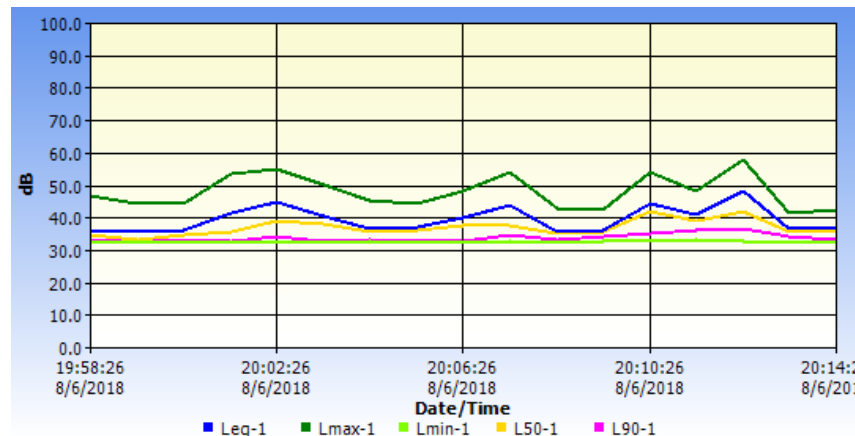


Chart 1b.
Ambient Noise Measurement Summary: Location 1 (Mulholland/Kanan Area); Evening (8:00–8:15 PM)*



* As shown in Table A-1, a one-hour measurement was conducted between 8:00 p.m. and 9:00 p.m. The data in Table A-1 was transcribed directly from the noise meter after the measurement period. However, a data transfer error between the noise meter and the external computer software occurred. This error limited graphable data to only 8:00 p.m. to 8:15 p.m. Based on field observation, the graphed data shown in Chart 1b is representative of the full hour period.



Location 2: Triunfo Canyon Area

This location includes several event facilities located on the north/northeast side of Triunfo Canyon Road. Traffic noise on Kanan Road quickly attenuates as the receptor is distanced from this road, due to topography along the southern side of Triunfo Canyon Road (hill separates Kanan Road and Triunfo Canyon Road). Residences are scattered along the southern side Triunfo Canyon Road, with increased residential density occurring along Lobo Canyon Road. The ambient noise measurement location was selected due to this location being central to both event facilities and representative of ambient levels at all receptors in the area not directly proximate to Kanan Road.

Ambient noise levels at this location are low, typical of rural areas. Key noise source characterizing the ambient levels include traffic on Triunfo Canyon Road and wildlife calls. As shown, ambient levels spike due to intermittent impulse noise from vehicle trips, then drastically reduce to quiet rural levels. Traffic volumes on Triunfo Canyon Road were observed to be almost double during the afternoon hours compared to the evening. However, as shown in Table A-2 and Chart 2a, the emergence of steady insect calls between 8:10–8:20 p.m. resulted in average ambient noise levels (Leq) being greater in the evening hours compared to afternoon conditions.

Table A-2. Ambient Noise Measurement Summary: Location 2 (Triunfo Canyon Area)

Date/Time	Measurement (dBA)					Notes
	Lmin	Leq	Lmax	L90	L50	
August 7, 2018 1:00 p.m. – 2:00 p.m.	32.1	43.7	69.7	33.7	37.5	<ul style="list-style-type: none"> ▪ The primary daytime noise source was vehicle traffic on Triunfo Canyon Road. Meter was approximately 60' from centerline. One-way traffic counts during the measurement period included: <ul style="list-style-type: none"> – Passenger Vehicles: 57 trips. – Large Trucks (UPS/FedEx, trash pickup): 3 trips. ▪ Secondary noise sources included distant children playing outdoors at Camp Keystone, bird calls, several distant general aviation aircraft overflights.
August 7, 2018 8:00 p.m. – 9:00 p.m.	31.8	46.9	67.8	32.4	47.3	<ul style="list-style-type: none"> ▪ Primary evening noise sources included insect calls and vehicle traffic on Triunfo Canyon Road. Meter was approximately 60' from centerline. One-way traffic counts during the measurement period included: <ul style="list-style-type: none"> – Passenger Vehicles: 26 trips. ▪ Secondary noise sources included distant traffic noise on Kanan Road and distant dog barking.

Chart 2a.
Ambient Noise Measurement Summary: Location 2 (Triunfo Canyon Area); Afternoon (1:00–2:00 PM)

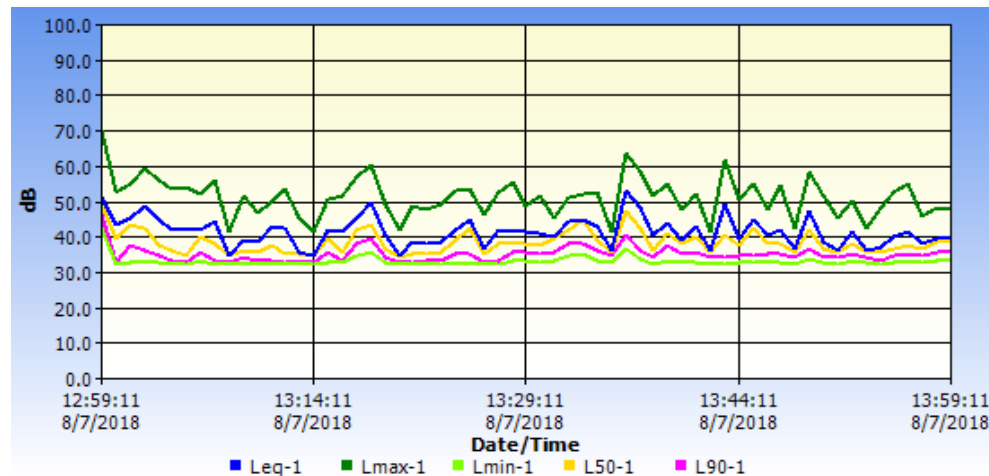
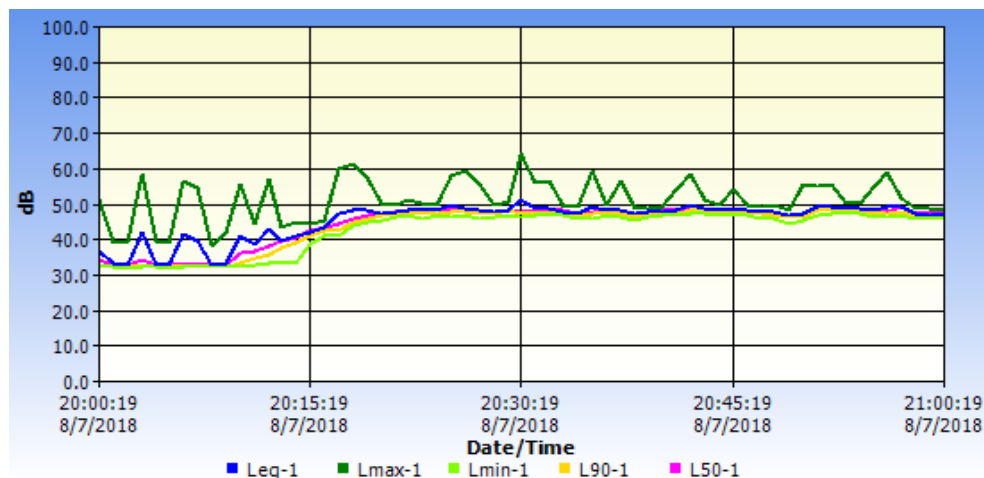


Chart 2b.
Ambient Noise Measurement Summary: Location 2 (Triunfo Canyon Area); Evening (8:00–9:00 PM)





Location 3: Malibou Lake Area

Situated around Malibou Lake, this location is primarily flat with residential development surrounding the event location. This ambient noise measurement location was selected to represent typical ambient levels of residences nearest the main event location entrance and staging area. Ambient noise levels at this location are lower, typical of suburban residential areas. Key noise source characterizing the ambient levels include traffic on Lakeshore Drive. As shown, ambient levels spike due to intermittent impulse noise from vehicle trips, then drastically reduce to quieter levels. Traffic volumes on Lakeshore Drive were observed to be greater during the evening hours compared to the afternoon. This is likely due to the scenic destination features of the lake. Vehicles were observed to stop along the northern bank of the lake (Lakeshore Drive shoulder) for scenic and starwatching observation. This resulted in similar afternoon and evening average ambient noise levels (Leq), with slightly lower L90 evening levels.

Table A-3. Ambient Noise Measurement Summary: Location 3 (Malibou Lake Area)

Date/Time	Measurement (dBA)					Notes
	Lmin	Leq	Lmax	L90	L50	
August 8, 2018 1:00 p.m. – 2:00 p.m.	38.8	51.4	70.3	42.8	45.7	<ul style="list-style-type: none"> Primary daytime noise sources included a permanent water pump system operating at the northwestern corner of the Lake Vista Drive bridge and vehicle traffic on Lake Vista Drive. Meter was approximately 50' from centerline. One-way traffic counts during the measurement period included: <ul style="list-style-type: none"> – Passenger Vehicles: 29 trips. – Large Trucks (UPS/FedEx, moving truck, school bus): 4 trips. Secondary noise sources included distant traffic on Mulholland Highway, bird calls, several distant general aviation aircraft overflights, and a nearby central air conditioner compressor operating intermittently.
August 8, 2018 8:00 p.m. – 9:00 p.m.	31.9	50.8	80.1	36.5	40.5	<ul style="list-style-type: none"> Primary evening noise sources included insect calls and vehicle traffic Lake Vista Drive. Meter was approximately 50' from centerline. One-way traffic counts during the measurement period included: <ul style="list-style-type: none"> – Passenger Vehicles: 46 trips. – <u>Motorcycles</u>: 2 motorcycles with loud performance exhaust systems in succession at 8:34 p.m. Secondary noise sources included distant traffic noise on Mulholland Highway, distant dog barking, and a nearby electric gate allowing resident vehicle access onto Lake Shore Drive.

Chart 3a.

Ambient Noise Measurement Summary: Location 3 (Malibou Lake Area); Afternoon (1:00–2:00 PM)

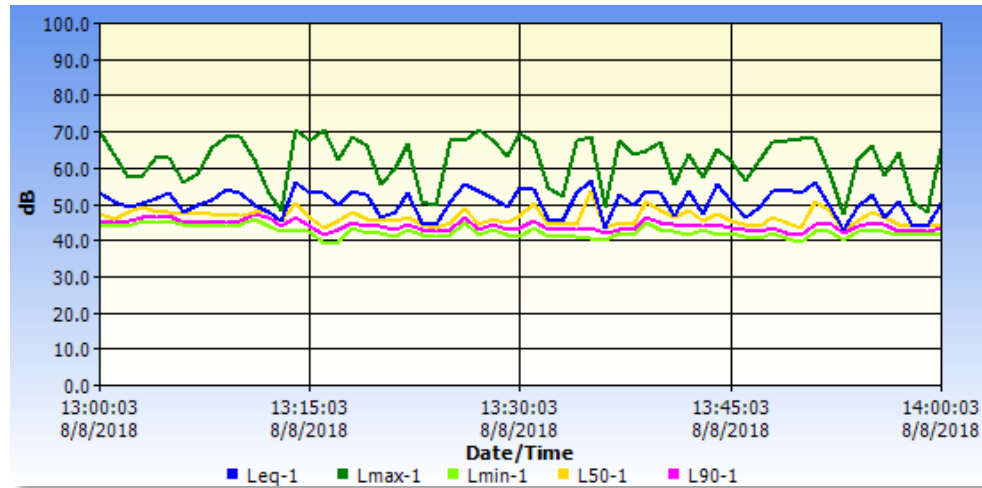
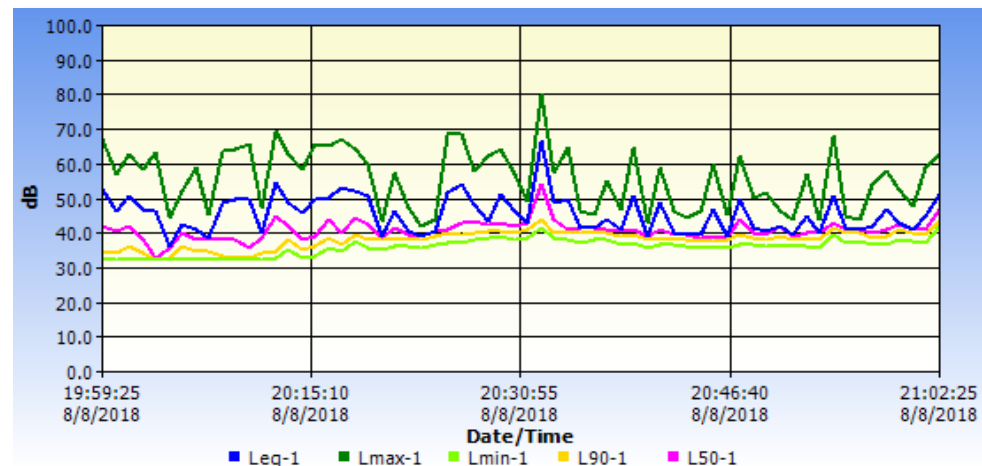


Chart 3b.

Ambient Noise Measurement Summary: Location 3 (Malibou Lake Area); Evening (8:00–9:00 PM)





Location 4: Topanga Canyon Area

This location includes two event facilities located on the west side of Topanga Canyon Boulevard. Residences are scattered along the both sides of Topanga Canyon Boulevard. While both residences and the event locations are located at a lower elevation than Topanga Canyon Boulevard, field observation found the selected ambient noise measurement location was representative of ambient levels at all receptors in the area due to the influence of Topanga Canyon Boulevard traffic on ambient noise conditions.

Ambient noise levels at this location are typical of suburban or quiet urban areas. Key noise source characterizing the ambient levels include traffic on Topanga Canyon Boulevard and wildlife calls. Due to high traffic volumes on Topanga Canyon Boulevard, ambient levels spikes due to intermittent impulse noise from vehicle trips were primarily limited to heavy trucks or vehicles with loud exhaust systems. As shown in Table A-2 and Chart 2a, the emergence of steady insect calls between 8:00–8:10 p.m. resulted in average ambient noise (Leq) and L90 levels being greater in the evening hours compared to afternoon conditions.

Table A-4. Ambient Noise Measurement Summary: Location 4 (Topanga Canyon Area)						
Date/Time	Measurement (dBA)					Notes
	Lmin	Leq	Lmax	L90	L50	
August 9, 2018 1:00 p.m. – 2:00 p.m.	32.0	55.6	78.7	38.7	52.0	<ul style="list-style-type: none"> ▪ The primary daytime noise source is vehicle traffic on Topanga Canyon Boulevard. Meter was approximately 100' from centerline. One-way traffic counts during the measurement period included: <ul style="list-style-type: none"> – Passenger Vehicles: ~1200 trips. – Large Trucks (UPS/FedEx, moving truck, school bus): ~20 trips. – <u>Motorcycles</u>: One motorcycle with loud performance exhaust system at 1:24 p.m. ▪ Secondary noise sources included street parking on Topanga Canyon Boulevard for nearby restaurant and bird calls.
August 9, 2018 8:00 p.m. – 9:00 p.m.	32.4	56.8	85.1	50.0	52.7	<ul style="list-style-type: none"> ▪ Primary evening noise sources included insect calls and vehicle traffic Lake Vista Drive. Meter was approximately 100' from centerline. One-way traffic counts during the measurement period included: <ul style="list-style-type: none"> – <u>Passenger Vehicles</u>: ~800 trips. One loud performance exhaust system at 8:30 p.m. – <u>Motorcycles</u>: Three motorcycles in succession with loud performance exhaust systems at 8:55 p.m.

Chart 4a.
Ambient Noise Measurement Summary: Location 4 (Topanga Canyon Area); Afternoon (1:00–2:00 PM)

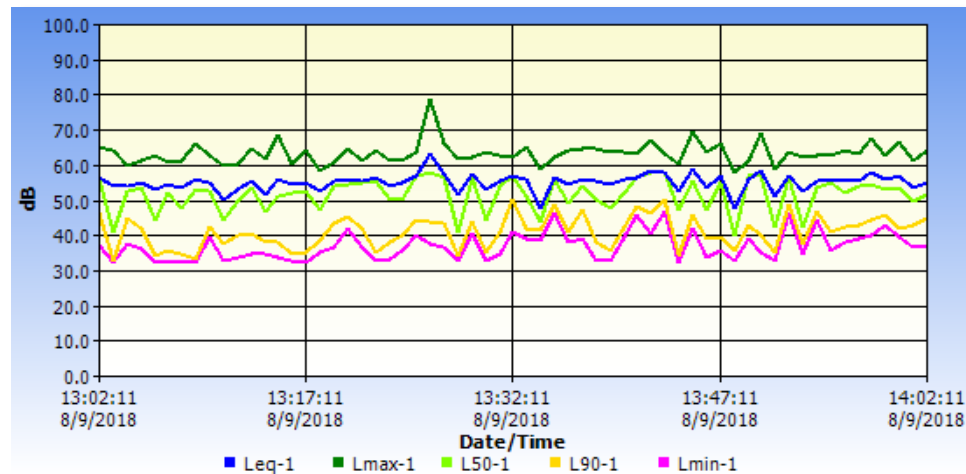


Chart 4b.
Ambient Noise Measurement Summary: Location 4 (Topanga Canyon Area); Evening (8:00–9:00 PM)

