

Chapter 22.82 Parking

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22.82.010 Purpose

The purpose of this Chapter is to:

- A. Establish comprehensive parking provisions to effectively regulate the design of parking facilities and equitably establish the number of parking spaces required for various uses.
- B. Promote vehicular and pedestrian safety and efficient land use.
- C. Promote compatibility between parking facilities and surrounding neighborhoods and to protect property values by providing such amenities as landscaping, walls and setbacks.
- D. Establish that an adequate number of spaces be made available to accommodate anticipated demand in order to lessen traffic congestion and adverse impacts on surrounding properties.

22.82.020 Applicability

- A. **Vehicle Parking and Loading Spaces.** Vehicle parking and loading spaces shall be provided in compliance with this Chapter when:
 1. ***New Development.*** Any new building or structure is constructed and/or any new use is established.
 2. ***Alternation, Enlargement, Expansion or Intensification to an Existing Development.***
 - a. Any existing building, structure or use is altered, enlarged, expanded or intensified. Vehicle parking or loading spaces required shall be provided to serve the altered, enlarged, expanded or intensified building, structure or use.

- b. Alteration, enlargement, expansion or intensification includes increasing the number of dwelling units, guest rooms, floor area, occupant load, employees or any other unit of measurement used to establish required vehicle parking and loading spaces.
- B. Bicycle Parking.** Bicycle parking shall be provided in compliance with this Chapter when a new building or structure is constructed, altered or enlarged to increase floor area, where in the case of increased floor area, the alteration or enlargement results in the addition of at least 15,000 square feet of gross floor area.

22.82.030 Exemptions

This Chapter shall not apply to:

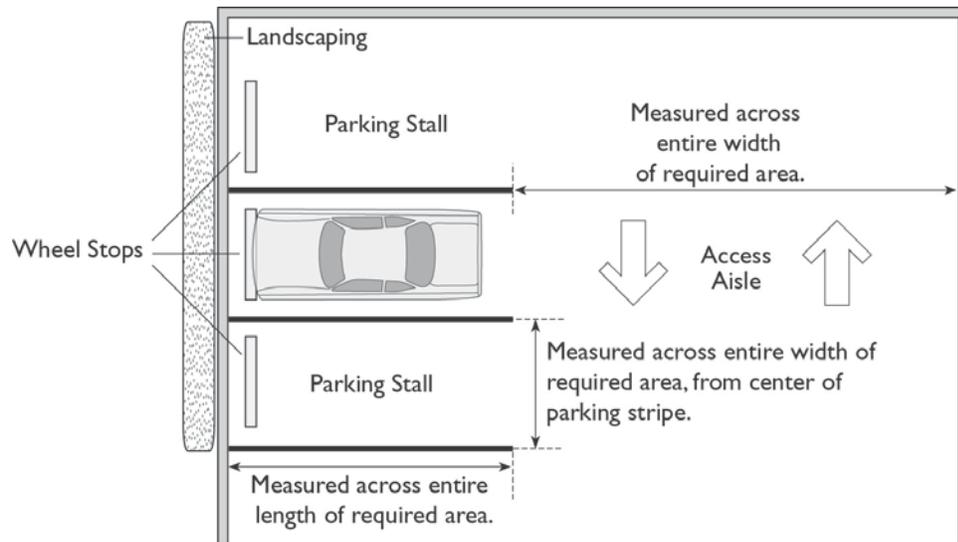
- A. **Santa Catalina or San Clemente Islands.** Property on Santa Catalina or San Clemente Islands.
- B. **Special Event Permits.** Temporary parking facilities authorized by an approved Special Event Permit, except where specifically required by the Director.
- C. **Community Standards Districts.** Community standards districts established by Volume II (Community Standards Districts), where different development standards are provided.
- D. **Housing.** For qualified projects, as provided for in Chapter 22.88 (Density Bonuses and Affordable Housing Incentives), either of the following shall apply:
 - 1. If requested by the applicant, the development standards described in Section 22.88.070 (Parking Reduction) shall apply; or
 - 2. The development standards described in this Chapter as waived or modified in accordance with Chapter 22.88 (Density Bonuses and Affordable Housing Incentives), as applicable.
- E. **Transit Oriented Districts.** Transit Oriented Districts established by Chapter 22.58 (Transit-Oriented Districts), where different development standards are provided.
- F. **Scientific Research and Development Zone.** Scientific Research and Development Zone established pursuant by Chapter 22.24.030 (Scientific Research and Development Zone), where different development standards are provided.
- G. **Nonconforming Due to Parking.** Buildings, structures and uses nonconforming due to parking may be continuously maintained, provided there is no alternation, enlargement, intensification or addition to any building or structure, no increase in occupant load, nor any enlargement of area, space or volume occupied by such a use.

- H. **Residential Uses on Lots of One Acre or More.** Any single-family residence, two-family residence, apartment house and other structure designed for or intended to be used as a dwelling on a lot having an area of one acre or more per dwelling unit shall be exempt from Section 22.82.060 (Required Vehicle Parking Spaces) and Section 22.82.110.D (Surfacing).
- I. **Access.** Where vehicular access to any vehicle parking space on the same lot as the residential structure to which it would be accessory is not possible from any highway or street due to topographical or other conditions, or is so difficult that to require such access is unreasonable in the opinion of the Director or Director of Public Works, such parking space is not required if:
1. Alternate parking facilities approved by either the Director or Director of Public Works are provided; or
 2. The Director or Director of Public Works finds that alternate parking facilities are not feasible.

22.82.040 **General Standards and Measurement for Parking and Loading Spaces**

- A. **Improved Prior to Occupancy.** Vehicle parking, loading spaces and bicycle parking required by and established in compliance with this Chapter shall be improved prior to:
1. Occupancy of new buildings or structures; or
 2. Occupancy of a new use in the case of an existing building or structure that has been altered, enlarged, expanded or intensified, in accordance with this Chapter.
- B. **Permanent Maintenance Required.** Vehicle parking, loading spaces and bicycle parking, when required by this Chapter, shall be conveniently accessible, permanently maintained and located on-site of the property it is intended to serve, unless and until substituted in full compliance with the provisions of this Title 22.
- C. **Measurement.** Measurement of space lengths, aisle widths and stacking areas for vehicle parking, loading spaces and bicycle parking are measured from across the entire width and length of the required areas. See Figure 22.82.040-A, below.

FIGURE 22.82.040-A: MEASUREMENT



1. Where single striping lines are used, parking space widths shall be measured from the center of the striping line.
2. Where double striping is used, parking space widths shall be measured from the midpoint between the striping lines.

22.82.050 Ownership of Required Parking and Loading Spaces

- A. **Ownership.** Except as provided in Subsection B, below, required parking and loading spaces shall be owned by the owner of the premises on which the use required to be served by said parking or loading.
- B. **Alternative Compliance.** Ownership of required parking and loading spaces is not necessary if another alternative is granted pursuant to Chapter 22.138 (Parking Permit).

22.82.060 Required Vehicle Parking Spaces

- A. **Required Vehicle Parking Spaces.** Table 22.82.060-A, below, identifies the minimum number of vehicle parking spaces required for each use.

TABLE 22.82.060-A: MINIMUM REQUIRED VEHICLE PARKING SPACES	
<i>Use</i>	<i>Minimum Parking Space Ratio</i>
Boat slips	0.75 spaces per boat slip
Bowling alleys	3 spaces per bowling alley
Churches, temples and other places of worship ¹	1 space per five persons based on occupant load of the largest assembly area
Commercial uses	
All commercial uses, including retail uses and medical and dental offices, excluding business and professional offices	1 space per 250 square feet

TABLE 22.82.060-A:MINIMUM REQUIRED VEHICLE PARKING SPACES	
<i>Use</i>	<i>Minimum Parking Space Ratio</i>
Business and professional offices, excluding medical and dental offices	1 space per 400 square feet
Electrical substations and similar public utilities which has no offices or places visited by the public	No spaces required
Day care facilities	
Adult day care	1 space per staff member and 1 space per vehicle used directly for the business
Child care center	1 space per staff member, 1 space per vehicle used directly for the business, 1 space per 20 children for whom a license has been issued by the State of California and 1 designated area for on-site drop-off and pickup for children
Entertainment assembly and dining	
Conference rooms	1 space per 3 persons based on the occupant load of all indoor and outdoor areas and A minimum of 10 spaces per use is required
Dining rooms, cafes, cafeterias, coffee shops, nightclubs, outdoor dining areas, restaurants and other similar uses	
Drinking establishments, bars, cocktail lounges, nightclubs, soda fountains, taverns and other similar uses	
Exhibit rooms, stages, lounges and other similar uses	
Theaters, auditoriums, lodge rooms, stadiums or other places of amusement and entertainment, not otherwise listed in this Chapter	
Mortuaries	
Dancehalls, skating rinks and gymnasiums	
Health clubs and centers	
Golf courses, excluding miniature golf courses	10 spaces per hole and parking for all other buildings, structures or uses, excluding starter offices, comfort stations and locker/shower rooms
Hospitals	
Convalescent hospitals	Spaces equal to the number of residents for whom a license has been issued by the State of California and spaces for each employee residential unit in the number required and subject to the same conditions as specified for Residential Uses, below
Hospitals ²	2 spaces per patient bed, with 25% reserved for employees and 1 space per 250 square feet for outpatient clinics, laboratories, pharmacies and other similar uses
Lodging	
Hotels	1 space per 2 guest rooms and 1 space per suite of guestrooms

TABLE 22.82.060-A:MINIMUM REQUIRED VEHICLE PARKING SPACES	
<i>Use</i>	<i>Minimum Parking Space Ratio</i>
Motels	1 space per guest room and Spaces for each dwelling unit in the number required and subject to the same conditions as specified for Residential Uses, below
Clubs, fraternity and sorority houses, dormitories, hostels	1 standard space per guest room and 1 space per 100 square feet of dormitory floor area.
Industrial uses – In any zone, excluding Zone SR-D	
All industrial/manufacturing, excluding scrap metal processing, automobile dismantling, junk/salvage yards and warehouses	1 space per 500 square feet and 1 space per vehicle directly used for the business
Scrap metal processing, automobile dismantling and junk and salvage yards ³	Spaces required by “All industrial/manufacturing...”, above, and 1 space per 7000 square feet or fraction thereof of yard area up to 42,000 square feet and 1 space per 20,000 square feet or fraction thereof of yard area in excess of 42,000 square feet. A minimum of 10 spaces per use is required.
Warehousing, as defined in Chapter 22.156 (Definitions)	1 space per 1,000 square feet used for warehousing and 1 space per 400 square feet used for office
Mobilehome parks ^{4,5,6}	2 standard spaces per mobilehome and 1 standard space for guests per 4 mobilehomes
Private and public parks⁷	
Private and public parks, up to 50 acres	1 space per 45 square feet in the largest public assembly area in each building excluding gymnasiums, 1 space per 100 square feet of the largest room in each gymnasium, 1 space per 400 square feet in the remaining area of each building in the park, excluding parking structures, maintenance and utility buildings, and other structures not open to the public, 1 space per half-acre of developed park up to 15 acres and 1 space per acre of developed park in excess of 15 acres
Private and public parks, over 50 acres	Spaces shall be required based on the occupant load of each facility. Where an occupant load is not available, the Director shall make a determination based on the recommendation of the Director of Parks and Recreation
Racquetball, tennis and similar courts	2 spaces per court
Residential uses⁴	
Adult residential facility	1 space per staff member on the largest shift and 1 space per vehicle directly used for the business
Apartments⁵	
<i>Bachelor</i>	1 covered standard space per dwelling unit
<i>Efficiency and one-bedroom</i>	1.5 covered standard space per dwelling unit
<i>Two or more bedrooms</i>	1.5 covered standard space per dwelling unit and 0.5 covered or uncovered standard spaces per dwelling unit
<i>Guest parking for apartment houses with at least 10 units⁶</i>	1 standard space for guests per 4 dwelling units of the total number of dwelling units

TABLE 22.82.060-A:MINIMUM REQUIRED VEHICLE PARKING SPACES	
<i>Use</i>	<i>Minimum Parking Space Ratio</i>
Two-family residences	3 covered standard spaces and 1 covered or uncovered standard space per two-family residence
Farmworker housing ⁸	Spaces for each dwelling unit in the number required and subject to the same conditions as specified for Residential Uses, below, and where farmworker housing consists of group living quarters, such as barracks or a bunkhouse, 1 space per 3 beds
Group homes for children	1 space per staff member on the largest shift and 1 space per vehicle used directly for the business
Housing developments for senior citizens and persons with disabilities ⁹	0.5 standard space per dwelling unit and 1 standard space for guests per 8 dwelling units
Joint live and work units	2 uncovered standard spaces per joint live and work unit
Second units ¹⁰	1 standard space per second unit with fewer than two bedrooms or 2 standard spaces per second unit with two or more bedrooms
Single-family residences	2 covered standard spaces per unit
Schools ¹	
Schools with classes up to sixth grade	1 space per classroom
Schools with classes beyond sixth grade	1 space per classroom and 1 space per five persons based on the occupant load of the auditorium or largest assembly room
Tasting rooms and remote tasting rooms, per Section 22.106.590 (Tasting Rooms, On-site and Remote)	1 space per 100 square feet, including any outdoor floor area
Wineries	1 space per 500 square feet of enclosed floor area

TABLE 22.82.060-A:MINIMUM REQUIRED VEHICLE PARKING SPACES	
<i>Use</i>	<i>Minimum Parking Space Ratio</i>
<p>1: Parking shall be located within 500 feet of the lot of the use.</p> <p>2: Parking shall be located within 500 feet of the lot of the use served.</p> <p>3: The parking spaces required herein shall not be used for the parking of vehicles used directly in the conducting of such use or of renovated, repaired or reassembled vehicles which are owned, operated or in the possession of the proprietor of the yard. The addition of automobile parking spaces on an adjacent lot or parcel of land for purposes of complying with the parking requirements of this section shall not be considered an expansion of the use.</p> <p>4: Tandem parking spaces for residential uses may be provided in compliance with Section 22.82.110.A.1.c (Tandem).</p> <p>5: Parking spaces shall be standard in size unless compact size spaces is granted pursuant to Chapter 22.138 (Parking Permits). At least one parking space shall be assigned to each dwelling unit.</p> <p>6: Guest spaces shall be clearly marked for guest parking only.</p> <p>7: A modification to the number of automobile parking spaces required for private and public parks may be granted pursuant to Chapter 22.150 (Discretionary Site Plan Review with Notification), where the following additional findings are substantiated:</p> <ul style="list-style-type: none"> a: That the Director of Parks and Recreation, in a written statement, has determined that due to location, size or other factors, anticipated client usage would indicate that a lesser parking requirement is adequate; b: That elimination of parking spaces in the number proposed will not result in traffic congestion, excessive off-site parking or unauthorized use of parking facilities developed to serve surrounding property; and c: That sufficient land area is reserved to insure that the parking requirements of this Section may be complied with should such additional parking be required in the future due to changes in client usage. <p>8: Parking spaces for farmworker housing may be uncovered and/or in tandem.</p> <p>9: Parking spaces may be covered or uncovered. If parking is uncovered, the screening requirements of Section 22.82.110.E (Screening) shall be followed. A deed restriction, covenant or similar document shall be recorded to assure that the occupancy of the units is restricted to senior citizens or persons with disabilities .</p> <p>10: A parking space for a second unit may be located in tandem with a space serving the existing single-family residence if the design is necessary to provide the required number of spaces for both units, and if either space may be accessed from the driveway without moving an automobile parked in the other space. In addition, notwithstanding the parking requirements for single-family dwelling units specified above, if tandem parking is provided, one of the spaces for the single-family residence may be uncovered.</p>	

B. Requirements for Unspecified Uses. Upon receipt of an application for a use for which no parking ratio is established by this Chapter, the Director shall apply the parking ratio that applies to the most similar use.

C. Parking Reduction. A reduction in the number of required vehicle parking spaces may be granted pursuant to Chapter 22.136 (Minor Parking Deviations) or Chapter 22.138 (Parking Permits).

D. Fractions. If the number of on-site parking spaces for a use required by this Chapter contains a fraction, that fraction shall be rounded to the nearest whole. Any such fraction equal to or greater than 0.50 shall be construed as a whole and any such fraction less than 0.50 shall be eliminated. For example, Use “A” requires 9.7 spaces and Use “B” requires 9.4 spaces. Use “A” rounds up and requires 10 spaces and Use “B” rounds down and requires 9 spaces. A total of 19 spaces would be required for the two uses.

E. **Parking as a Transitional Use.** Where parking as a transitional use is allowed by this Title 22, it shall comply with all locational and design standards of Section 22.106.440 (Parking as a Transitional Use).

F. **Compact Spaces.** A maximum of 40 percent of the required number of parking spaces may be compact automobile parking spaces, except as otherwise provided in this Chapter. Compact spaces shall be distributed throughout the parking area. Any compact parking spaces provided in excess of the number of required parking spaces shall be excluded from this Subsection F.

22.82.070 **Reduction in Required Vehicle Parking Spaces when Bicycle Parking Provided**

A. **Eligibility Requirements for a Parking Reduction.** A reduction in required vehicle parking spaces shall be granted pursuant to this Section, when:

1. The project provides more than the minimum number of required bicycle parking spaces provided in Section 22.82.120 (Bicycle Parking and Related Facilities); and
2. The project is located:
 - a. On or adjoining a lot or lots containing an existing or proposed bicycle path, lane, route or boulevard, and so designated in the County Bicycle Master Plan; and
 - b. Within a half-mile of a transit stop for a fixed rail or bus rapid transit or local bus system along a major or secondary highway.

B. **Reduction Calculation.** For every two bicycle parking spaces provided above the minimum number of such spaces required by Section 22.82.120 (Bicycle Parking and Related Facilities), the number of required vehicle parking spaces may be reduced by one, with a maximum reduction of five percent of the total number of such spaces otherwise required by this Chapter.

22.82.080 **Accessible Vehicle Parking for Persons with Disabilities**

Where parking spaces are provided, accessible parking shall be required as specified in Part 2, Volume 1, Chapters 11A and 11B of the California Building Code, except for parking lots providing 100 percent valet parking with an approved in accordance with Chapter 22.138 (Parking Permit).

22.82.090 **Calculation**

The following rules apply when calculating the number of required vehicle parking spaces:

A. **Multiple Uses.** When two or more uses are located on the same lot or within the same building or structure, the required parking for each use shall be calculated

separately. The number of on-site parking spaces required shall be the sum total of the requirements for the individual uses, unless as otherwise provided for by this Chapter.

B. Area-Based Standards.

1. Area-based parking space ratios shall be computed based on gross floor area in square feet. Gross floor area shall be calculated in compliance with Section 22.04.040.E (Gross Floor Area and Floor Area Ratio).
2. The Director is authorized to determine the area measurement for uses or portions of uses not located within buildings or structures.

C. Occupancy Load. Occupant load parking space ratios shall be computed based on the occupant load as determined by the Director of Public Works.

22.82.100 Location of Vehicle Parking Areas

A. Exemptions. The following shall be exempt from the requirements of this Section:

1. Density controlled developments, where off-site parking is specifically approved by the Hearing Officer or the Commission;
2. Off-site parking, when granted pursuant to Chapter 22.138 (Parking Permit); or
3. Unless as otherwise provided for by this Title 22.

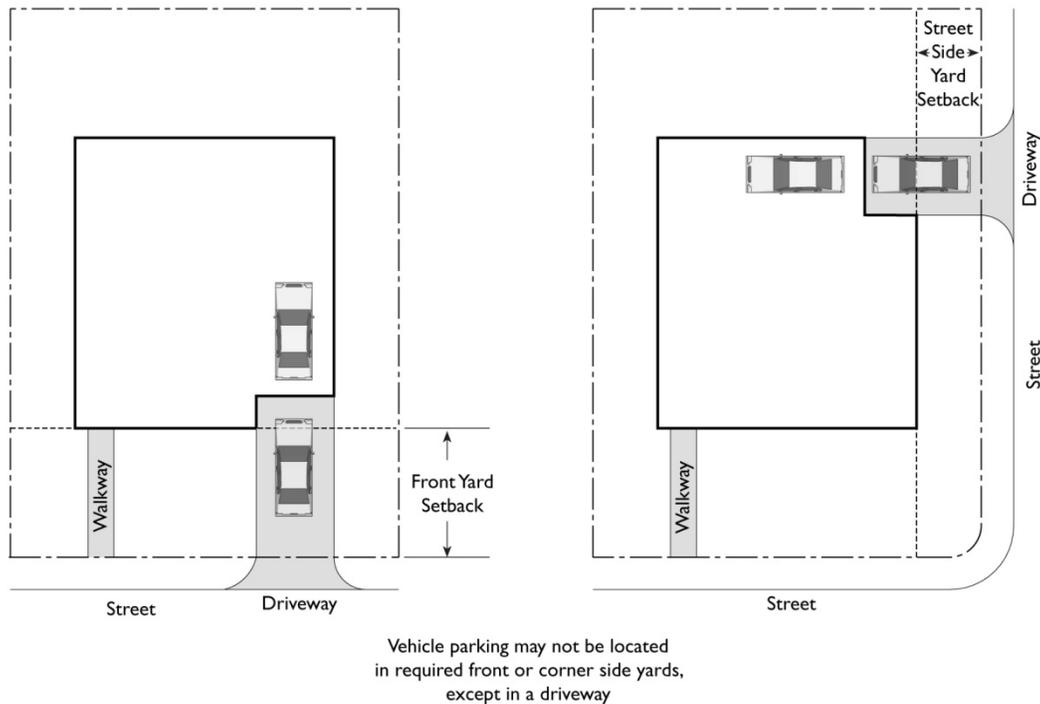
B. General. Every use shall provide the number of required vehicle parking spaces on the same lot on which the use is located. For the purposes of this Chapter, transitional parking spaces separated only by an alley from the use shall be considered to be located on the same lot.

C. Residential and Agricultural Zones. The following standards apply in all Residential and Agricultural Zones:

1. A person shall not keep, store, park, maintain or otherwise permit any vehicle or any component thereof in the front yard, corner side yard or any additional area of a lot situated between the road and any building or structure located thereon, except that the parking of passenger vehicles including pickup trucks, other than a motor home or travel trailer, is permitted on a driveway. See Figure 22.82.100-A, below.
2. A person shall not keep, store, park, maintain or otherwise permit an inoperative vehicle as defined in Division 2 (Definitions) in any Residential or Agricultural Zone. Inoperative vehicles shall be removed within 30 days of June 7, 1991, the effective date of this Subsection C.

3. Notwithstanding Subsections C.1 and C.2, above, a person may keep and maintain an historic vehicle collection, provided the Director finds it to be in full compliance with Section 22.106.270 (Historic Vehicle Collections).

FIGURE 22.82.100-A: LOCATION OF PARKING AREAS—RESIDENTIAL ZONES



22.82.110 Vehicle Parking Area Design

This Section applies to vehicle parking areas in all zones. Parking spaces shall be provided per this Section and Figure 22.82.110-A, below. Additional illustrations of parking areas with different parking stall angles are illustrated in Section 22.82.140 (Vehicle Parking Diagrams).

A. General Standards for Parking Spaces and Maneuvering Aisles.

1. *Parking Spaces.*

- a. *Standard.* Standard parking spaces shall have a minimum width of 8.5 feet and a minimum depth of 18 feet, based on a 90-degree parking layout.
- b. *Compact.* Compact parking spaces shall have a minimum width of 8 feet and a minimum depth 15 feet, based on a 90-degree parking layout.
- c. *Tandem.*
 - i. Tandem Parking Spaces for Residential Uses.

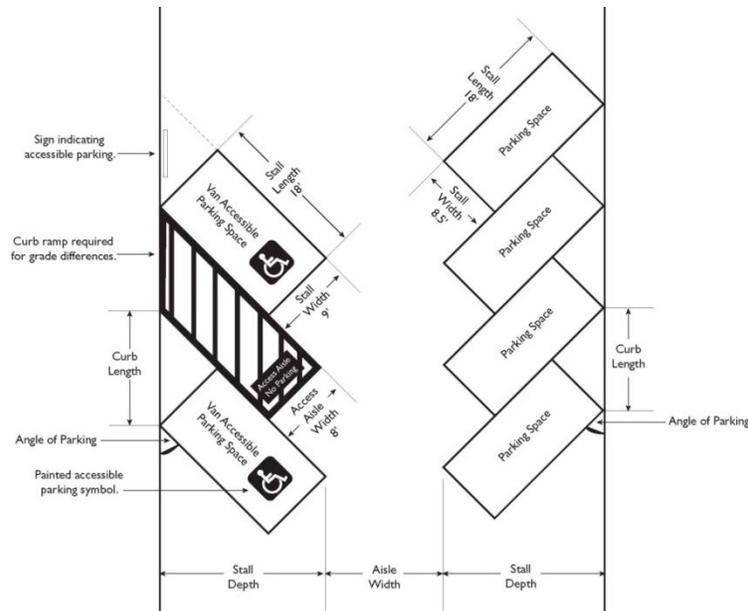
- (1) When two or more parking spaces are reserved or required for a dwelling unit, such spaces may be developed as tandem parking spaces.
- (2) Standard tandem parking spaces shall have a minimum width of 8.5 feet and a minimum depth of 36 feet to accommodate two vehicles for standard spaces.
- (3) Compact tandem parking spaces are allowed for apartment uses when granted pursuant to Chapter 22.138 (Parking Permit). Compact tandem parking spaces shall have a minimum width of 8 feet and minimum depth of 30 feet long to accommodate two vehicles.

- ii. Tandem Parking Spaces for Nonresidential Uses. Tandem parking spaces for nonresidential uses are allowed when granted pursuant to Chapter 22.138 (Parking Permits).

2. Parking Maneuvering Aisles.

- a. *Standard.* Any maneuvering aisle that contains standard parking spaces shall have a minimum width of 26 feet.
 - b. *Compact.* Any maneuvering aisle that contains only compact standard parking spaces shall have a minimum width of 23 feet, except where a 26 foot wide access road is required by the Fire Department.
3. **Covered Parking.** Where required, covered parking spaces shall be provided in a garage, carport or other suitable vehicle storage structure that complies with all applicable codes and ordinances. Tarps or other temporary structures do not count toward required covered parking spaces.
4. **Residential Uncovered Parking.** Vehicles shall not be parked between the street property line and the front of a residential unit except on a driveway.

FIGURE 22.82.110-A: PARKING SPACES DIMENSIONS AND PARKING AREA DESIGN



Angle of Parking (Degrees)	Stall Length (feet)	Curb Length (feet)	Stall Depth (feet)	Aisle Width (feet)	Overall Width (feet)
Standard Parking					
90	18	8' 6"	18	26 ¹	62 ¹
60	18	9' 10"	20	20 ²	60 ²
45	18	12	19	14 ²	52 ²
30	18	17	16	12 ²	44 ²
Compact Parking					
90	15	8	15	23 ¹	53 ¹
60	15	9' 5"	16' 6"	16 ²	49 ²
45	15	11' 4"	15' 6"	13 ²	44 ²
30	15	16	14'	12 ²	40 ²
1: Two-way aisle.					
2: One-way aisle, double-loaded parking.					

B. Striping and Marking.

1. Each parking space shall be clearly striped with paint or other similar distinguishable material, except that spaces established in a garage or carport having not more than three parking spaces need not be striped.
2. The Directory may approve alternate means of striping parking spaces if:
 - a. There is a dual use of the parking facility; or
 - b. An alternate surfacing material is allowed by the Department of Public Works, pursuant to Subsection D, below.

3. Each compact parking space shall be clearly marked with the words "Compact Only".

C. Wheel Stops.

1. Wheel stops shall be provided for parking lots with a slope of more than three percent, except that the installation of wheel stops is optional for parking stalls oriented at right angles to the direction of slope.
2. Wheel stops shall be provided along the perimeter of parking lots that are adjacent to walls, fences or pedestrian walkways.

D. Surfacing.

1. Where access to parking spaces is from a highway, street or alley that is paved with asphaltic or concrete surfacing, such parking spaces and related maneuvering areas and driveways used for access shall be paved with:
 - a. Concrete surfacing to a minimum thickness of three and one-half inches, with expansion joints as necessary; or
 - b. Asphalt surfacing, rolled to a smooth, hard surface having a minimum thickness of one and one-half inches after compaction, and laid over a base of crushed rock, gravel or other similar material compacted to a minimum thickness of four inches.
2. The Director of Public Works may approve alternatives to Subsection D.1, above, in order to achieve aesthetic and environmental objectives, such as improved appearance, increased water percolation, reduced erosion and runoff, increased aeration and water for tree roots, reduced glare, and increased area available for landscaping. The Director of Public Works may approve such alternative paving upon finding alternative surfacing paving materials, when installed according to manufacturer's specifications or engineer's analysis, will provide public aesthetic or environmental benefits, and is equal to or better than asphalt or concrete paving in terms of public safety, performance, strength, quality and durability.

E. Screening.

1. **Front Yards.** Where parking lots are located adjacent to the front lot line, a solid masonry wall not less than 30 inches nor more than 42 inches in height shall be established parallel to and not nearer than five feet to the front lot line, except that:
 - a. The required wall shall be set back at least to the line of the front or side yard line required in any adjacent Residential or Agricultural Zone for a distance of 50 feet from the common boundary line. See Figure 22.82.110-B, below.

- b. Where abutting and adjacent property is in a zone other than a Residential or Agricultural Zone, the Director may approve the establishment of the required wall in compliance with Subsection E.3, below, for:
 - i. Closer than five feet to the front property line, and/or
 - ii. To a height not exceeding six feet, except where a yard is required in the adjacent nonresidential zone. See Figure 22.82.110-C, below.

FIGURE 22.82.110-B: SCREENING WALL—FRONT YARD

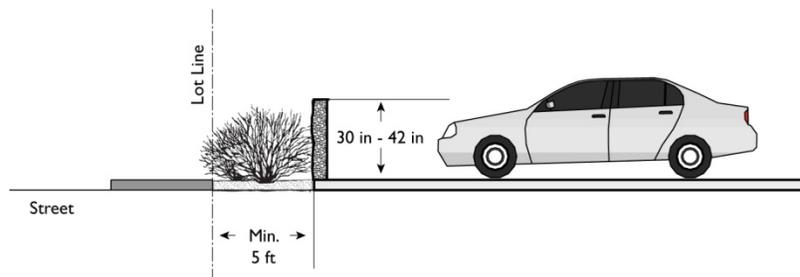
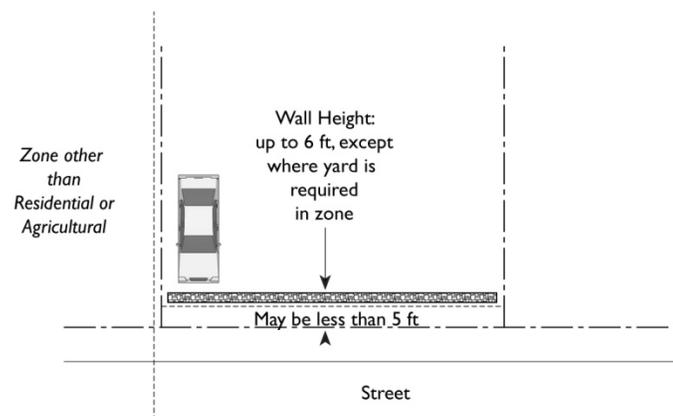


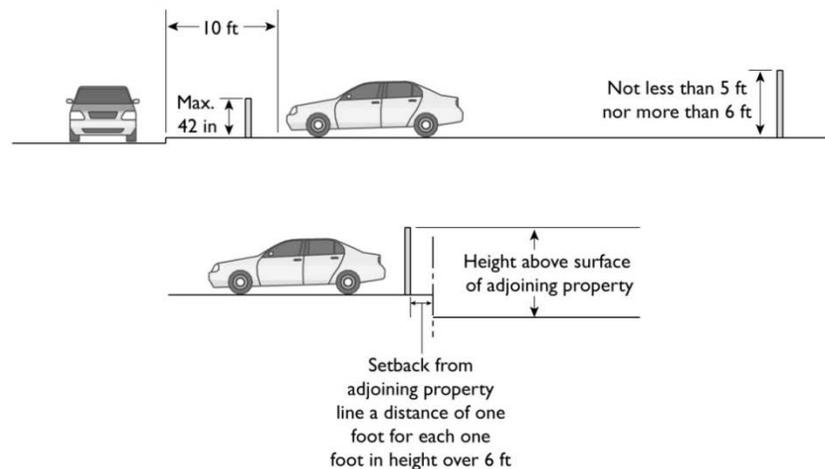
FIGURE 22.82.100-C: SCREENING WALL ADJACENT TO A RESIDENTIAL OR AGRICULTURAL ZONE



- 2. **Side and Rear Yards.** Where parking spaces are located on land adjoining a Residential or Agricultural Zone, a solid masonry wall not less than five feet nor more than six feet in height shall be established along the side and rear lot lines adjoining said zones except that:
 - a. Where such wall is located within 10 feet of any highway, street or alley and would interfere with the line-of-sight of the driver of a motor vehicle leaving the property on a driveway, or moving past a corner at the intersection of two streets or highways, said wall shall not exceed a height of 42 inches; and

- b. Such wall shall not be less than four feet in height above the surface of the adjoining property. If said wall is more than six feet in height above said adjoining property, it shall be set back from the adjoining property line a distance of one foot for each one foot in height above six feet. See Figure 22.82.110-D, below.

FIGURE 22.82.110-D:SCREENING WALLS—SIDE AND REAR YARDS



3. **Modification.** The Director may approve a Discretionary Site Plan Review with Notification application to modify Subsection E.1.b, above, or for the substitution of a decorative fence or wall, or landscaped berm where, in his opinion, such fence, wall or landscaped berm will adequately comply with the intent of this Section. Notwithstanding Chapter 22.150 (Discretionary Site Plan Review with Notification), the application shall comply with 22.162.160 (Notification Radius).

F. Landscaping.

1. Where a wall is required to be set back from a lot line, the area between said lot line and such wall shall be landscaped with a lawn, shrubbery, trees and/or flowers, and shall be continuously maintained in good condition.
2. Where more than 20 parking spaces exist on a lot, areas not used for vehicle parking or maneuvering, or for the movement of pedestrians to and from vehicles, shall be used for landscaping; and
 - a. At least two percent of the gross area of the parking lot shall be landscaped;
 - b. Landscaping shall be distributed throughout the parking lot, so as to maximize the aesthetic effect and compatibility with adjoining uses; and
 - c. This regulation shall not apply to parking areas on the roof or within a building or structure.

3. Where an improved curbed walkway is provided within a parking lot, a landscaped strip a minimum of four feet in width shall be required adjoining such walkway. Within the landscaped strip, one tree shall be planted every 25 linear feet of walkway, and shall be at least seven feet in height measured from the base of the tree to the bottom of the tree canopy at the time of planting.
 4. All landscaping materials and sprinkler systems shall be clearly indicated on the required site plans.
- G. **Lighting.** Parking area lighting shall be so arranged to prevent glare or direct illumination in to any Residential or Agricultural Zone.
- H. **Design.** Parking lots shall be designed so as to preclude the backing of vehicles over a sidewalk, public street, alley or highway. Parked vehicles shall not encroach on nor extend over any sidewalk.
- I. **Slope.** Parking lots shall not have a slope exceeding five percent, except for access ramps or driveways, which shall not exceed a slope of 20 percent.
- J. **Width, Paving and Slope of Driveways.**
1. ***Driveways with Multiple Residences.*** Access (e.g., driveways) to parking areas that serve three or more dwelling units shall comply with the following standards:
 - a. Driveways shall be at least 10 feet in width for each direction.
 - b. If the driveway is required to be paved, the pavement shall be at least 10 feet in width for its entire length, except that a center strip over which the wheels of a vehicle will not pass in normal use need not be paved.
 - c. Driveways longer than 50 feet in length shall include a landscaped median with a minimum width of three feet, for a total driveway width of not less than 23 feet.
 - d. Unless modified by the Director of Public Works because of topographical or other conditions, no portion of a driveway providing access to parking spaces may exceed a slope of 20 percent. Where there is a change in the slope of driveway providing such access, it must be demonstrated that vehicles will be able to pass over such change in slope without interference with their undercarriages.

22.82.120 **Bicycle Parking Spaces and Related Facilities**

- A. **Required Bicycle Parking Spaces.** Table 22.82.120-A, below, identifies the minimum number of bicycle parking spaces required for each use.

B. General Standards and Measurement for Bicycle Parking.

1. **Fractions.** If the calculation for required bicycle parking contains a fraction, Section 22.82.060.C (Fractions) shall apply.

TABLE 22.82.120-A: MINIMUM REQUIRED BICYCLE PARKING SPACES		
<i>Use</i>	<i>Short Term</i>	<i>Long Term</i>
Residential		
Multifamily residential including apartments, attached condominiums and townhouses (five dwelling units or more)	1 space for every 10 dwelling units ¹	1 space for every 2 dwelling units.
Commercial		
General retail, including restaurants	1 space for every 5,000 square feet ¹	1 space for every 12,000 square feet ¹
Hotels, motels, clubs, fraternity and sorority houses and dormitories	1 space for every 40 guestrooms ¹	1 space for every 20 guestrooms ¹
Office	1 space for every 20,000 square feet ¹	1 space for every 10,000 square feet ¹
Theaters, auditoriums, lodge rooms, stadiums or similar entertainment or amusement uses	1 space for every 50 intended visitors based on occupant load ¹	1 space for every 100 intended visitors based on occupant load ¹
Industrial/Institutional		
Industrial uses	1 space for every 20,000 square feet ¹	1 space for every 10,000 square feet ¹
Institutional uses, including hospitals, convalescent hospitals, adult residential care facilities and group homes for children	1 space for every 20,000 square feet ¹	1 space for every 10,000 square feet ¹
Schools, including trade schools, colleges, universities, and private elementary, middle and high schools	4 spaces for every 1 classroom ²	1 space for every 10 classrooms ¹
Churches, temples and other places of worship	1 space for every 50 intended visitors based on occupant load of the largest assembly area within the facility ¹	1 space for every 100 intended visitors based on occupant load of the largest assembly area within the facility ¹
1: A minimum of four spaces shall be provided. 2: A minimum of four spaces shall be provided.		

2. **Calculation.** For purposes of this Section, when floor area is used, all calculations for the specific use shall be based on gross floor area, in square feet, and shall include the gross floor area of any proposed addition to the involved structure or site.
3. **Combination of Uses.** For a combination of uses on a single lot, the number of required bicycle parking spaces shall be equal to the combined total of the required bicycle parking spaces for each of the individual uses.

C. Showers and Changing Facilities. Showers and changing facilities, of a size and at a location deemed appropriate by the Director, shall be provided in all new commercial and industrial buildings with 75,000 or more square feet of gross floor area and shall, at a minimum, be accessible to employees.

D. Development Standards for Bicycle Parking Spaces.

1. **General Requirements.** All bicycle parking spaces shall be:

- a. Directly adjacent to a bicycle rack or within a secure, single bicycle locker and allow for convenient, unobstructed access to such bicycle rack or locker; and
- b. Located so as not to block pedestrian entrances, walkways or circulation patterns in or around nearby facilities or structures.

2. **Bicycle Racks.** When using bicycle racks, they shall be:

- a. Located and installed to support an entire bicycle, including the frame and wheels, so that the frame and wheels can be locked without damage when using a customary, heavy-duty cable or U-shaped bicycle lock;
- b. Securely anchored to a permanent surface; and
- c. Installed to allow bicycles to remain upright when locked, without the use of a kickstand.

3. **Bicycle Lockers.** When using bicycle lockers, they shall be:

- a. Of sufficient size to hold an entire bicycle; and
- b. Securely anchored to a permanent surface.

4. **Location of Bicycle Parking Spaces.**

a. *Short-Term.* Short-term bicycle parking spaces shall be:

- i. Located to be visible from public areas such as public streets, store fronts, sidewalks and plazas, and to be convenient to the target users of the bicycle parking to the maximum extent feasible;
- ii. Installed as close to a structure's main entrance as feasible;
- iii. Separated with a barrier from areas where vehicles park, such as with a curb or wheel stop; and
- iv. Located in a well-illuminated area.

b. *Long-Term.* Long-term bicycle parking spaces shall be:

- i. Located in a well-illuminated, secure and covered area;
 - ii. Access to and from nearby public streets and sidewalks for the target users of the bicycle parking, who may or may not include the general public;
 - iii. Located at surface levels near main pedestrian entrance(s) to nearby facilities or structures, or in the parking garages of such facilities or structures;
 - iv. Accessible only to residents and owners, operators and managers of a residential facility when the involved use is residential; and
 - v. Accessible only to employees, tenants and owners of a commercial facility or structure when the involved use is commercial.
- c. *Signage.* For projects that include long-term parking, signage identifying the location of such bicycle parking shall be included in the project design. Preferred signage locations for this purpose shall be building access ways, streets and sidewalk approaches, and nearby bicycle paths or facilities.

22.82.130 Loading Spaces

Every nonresidential use shall provide and maintain on-site loading and unloading spaces for vehicles as required in this Section.

A. **Number of Spaces Required.** Table 22.82.130-A, below, identifies the minimum number of vehicle loading spaces required for each use.

TABLE 22.82.130-A: MINIMUM NUMBER OF REQUIRED LOADING SPACES	
<i>Gross Floor Area (square feet)</i>	<i>Number of Loading Spaces</i>
Office	
5,000 – 36,000	1 Type A
36,000 +	2 Type A
Commercial	
5,000 – 24,000	1 Type A
24,000 – 60,000	2 Type A
60,001 +	3 Type A
Industrial	
0 – 18,000	1 Type B
18,001 – 36,000	2 Type C
36,001 – 90,000	3 Type C
90,001 – 150,000	4 Type C
150,001 +	5 Type C
Warehouse	
0 – 18,000	1 Type B
18,001 – 36,000	2 Type C
36,001 – 50,000	3 Type C

TABLE 22.82.130-A:MINIMUM NUMBER OF REQUIRED LOADING SPACES	
<i>Gross Floor Area (square feet)</i>	<i>Number of Loading Spaces</i>
50,001 – 150,000	4 Type C
150,001 +	5 Type C

B. Minimum Dimensions for Loading Spaces. Table 22.82.130-B, below, identifies the minimum dimensions for loading spaces.

TABLE 22.82.130-B:MINIMUM DIMENSIONS FOR LOADING SPACES				
<i>Type of Facility Required (See Table 22.82.130-A)</i>	<i>Minimum Length (feet)</i>	<i>Minimum Width (feet)</i>	<i>Required Vertical Clearance (feet)</i>	<i>Length of Maneuvering Space (feet)</i>
Type A	24	12	None	36
Type B	30	12	None	45
Type C	40	12	14	60

C. General Standards and Measurement for Loading Spaces.

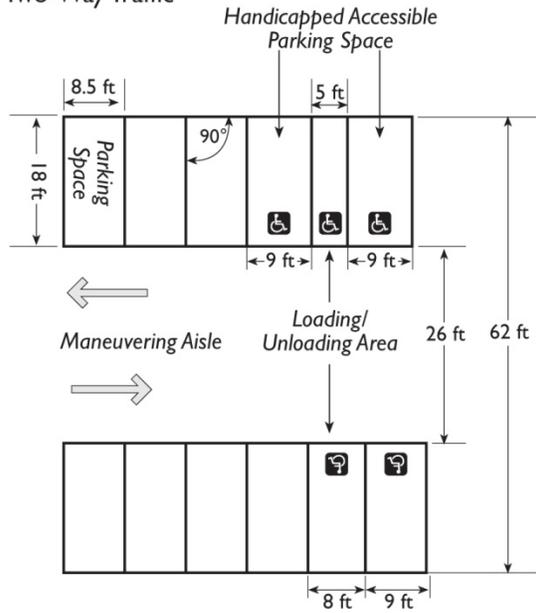
1. Loading spaces shall be located so that commercial vehicles do not back onto a public highway, street or alley.
2. All maneuvering operations shall be conducted on-site and not within required parking spaces.
3. The number of loading spaces required may be modified but not waived by the Director in special circumstances involving, but not necessarily limited to, the nature of the use and the design of the project. In no event shall the Director require less than one loading space on the subject property.
4. Office and commercial uses with a gross floor area of less than 5,000 square feet may be required to provide one Type A loading space when the Director deems it appropriate in order to prevent traffic congestion in the parking lot or adjacent streets and highways.

22.82.140 Vehicle Parking Diagrams

Figure 22.82.140-A, Figure 22.82.140-B and Figure 22.82.140-C, below, establish additional dimensional standards for vehicle parking areas and driveways.

FIGURE 22.82.140-A: PARKING AREA DESIGN: 90° PARKING SPACE

Double-Loaded Aisle
Two-Way Traffic



Single-Loaded Aisle
Two-Way Traffic

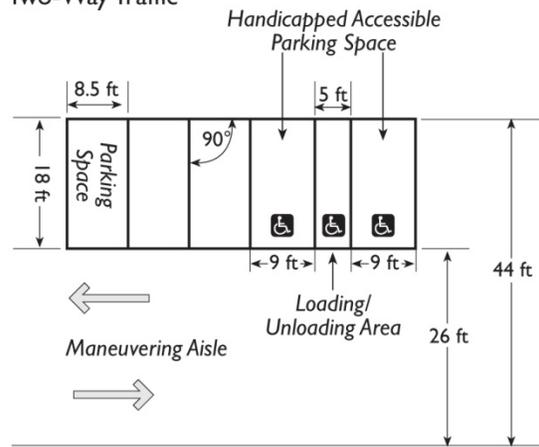


FIGURE 22.82.140-B: PARKING AREA DESIGN: 60° PARKING SPACES

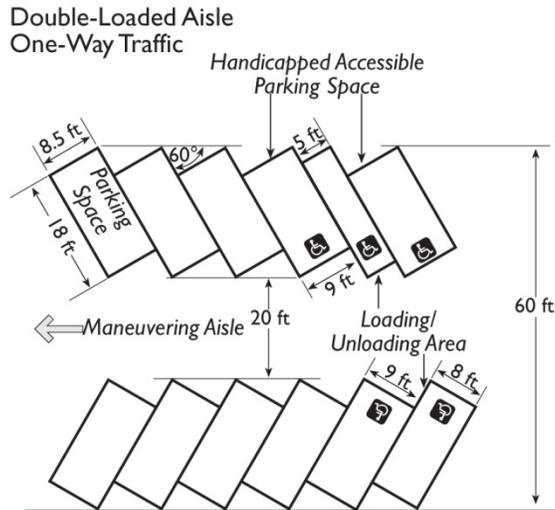
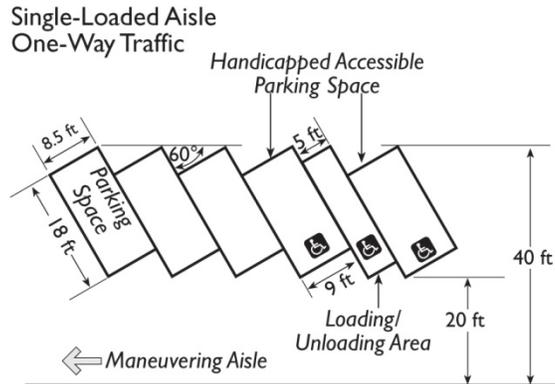


FIGURE 22.82.140-C: PARKING AREA DESIGN: 45° PARKING SPACE

