

RECEIVED
DEPT OF REGIONAL
PLANNING
TR52047-1 REVISED
TENTATIVE MAP
DATE: 12 FEB 2015



LEGEND:

- W — PROJECT BOUNDARY
- S — PROPOSED WATER LINE
- SD — PROPOSED SEWER LINE
- SD — PROPOSED STORM DRAIN
- — PROPOSED RIGHT OF WAY
- — PROPOSED CENTERLINE
- 600 — PROPOSED CONTOUR LINE
- — TOE OF SLOPE
- — TOE OF SLOPE
- — DAYLIGHT LINE
- — PROPOSED EASEMENT
- — RETAINING WALL
- 800 — EXISTING CONTOUR
- ① — LOT NUMBER
- ▲ — PAD ELEVATION
- — OPEN SPACE MITIGATION AREA

NOTES:

1. EXISTING LAND USE: VACANT.
2. PROPOSED LAND USE: SINGLE-FAMILY RESIDENTIAL.
3. EXISTING ZONING: A-1-40,000.
4. SANITARY SEWER SERVICE BY LOS ANGELES COUNTY.
5. GENERAL PLAN: RH.
6. ZONE DISTRICT: COVINA HIGHLANDS.
7. DOMESTIC WATER SERVICE BY VALENCIA HEIGHTS WATER CO.
8. PROPOSED GRADING MAY BE SUBJECT TO MODIFICATION IN FINAL ENGINEERING.
9. LOT LINES MAY CHANGE AT FINAL ENGINEERING TO DRP SATISFACTION.
10. THIS IS AN APPLICATION FOR A DEVELOPMENT PERMIT.
11. INGRESS/EGRESS & UTILITY EASEMENTS SHOULD BE GRANTED TO THE PUBLIC OVER THE PRIVATE AND FUTURE STREETS.
12. A FINAL TRACT MAP TO BE PROCESSED THROUGH THE DIRECTOR OF PUBLIC WORKS PRIOR TO FILING WITH COUNTY RECORDER.
13. STREET NAME SIGNS SHALL BE INSTALLED PRIOR TO OCCUPANCY OF BUILDINGS.
14. CABLE TV OPERATOR TO BE CONTACTED FOR COMMON UTILITY TRENCH PRIOR TO FINAL APPROVAL.
15. ALL UTILITIES TO BE UNDERGROUND TO THE SATISFACTION OF THE DEPARTMENT OF PUBLIC WORKS.
16. POSTAL RECEPTACLES TO BE LOCATED BEHIND THE SIDEWALK AND IN GROUPS TO SERVE TWO OR MORE UNITS.
17. THE FUTURE IMPROVEMENT PLANS SHALL INDICATE MAIN LINE SEWER LATERALS, FIRE HYDRANTS, AND WATER MAINS.
18. PIPE SIZING FOR STORM DRAIN IMPROVEMENTS WILL BE DETERMINED WITH FINAL HYDROLOGY REPORT.
19. FOR AREAS GREATER THAN 2,500 SQ. FT., A LANDSCAPE AND IRRIGATION PLAN SHALL BE PROVIDED IN ACCORDANCE WITH ADOPTED WATER EFFICIENT LANDSCAPE ORDINANCE.
20. THE FUTURE HOMEOWNERS ARE TO JOIN EXISTING HOMEOWNERS ASSOCIATION AS PART OF GATED COMMUNITY.
21. ALL SLOPE DESIGNATIONS SHALL BE TYPE UNLESS OTHERWISE INDICATED ON MAP (C).
22. SUBSEQUENT TO ROUGH GRADING OPERATIONS, LOT 39 AND 40 SHALL BE PRESERVED AS NATURAL OPEN SPACE, PROTECTED BY A DEED RESTRICTION AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
23. OPEN SPACE MITIGATION AREAS SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION TO BE DELINEATED IN THE CCRs.
24. LOTS 1-12 ARE PERMITTED FOR CROSS LOT DRAINAGE TO ADDRESS SLOPE RUN OFF FROM EAST TO WEST.
25. LOTS 13-21-26-34 ARE PERMITTED FOR CROSS LOT DRAINAGE FROM NORTH TO SOUTH TO SUPPORT "OPEN SPACE MITIGATION AREAS."

RESIDENTIAL LOT SUMMARY TABLES

Lot No.	GROSS SF	GROSS AC
1	69,067	1.59
2	50,255	1.15
3	53,547	1.24
4	43,807	1.01
5	49,153	1.13
6	44,951	1.08
7	47,729	1.10
8	48,243	1.11
9	49,335	1.13
10	52,814	1.21
11	62,344	1.43
12	118,857	2.73
13	71,381	1.64
14	46,947	1.08
15	50,489	1.16
16	42,574	0.98
17	59,508	1.37
18	47,451	1.09
19	48,263	1.11
20	46,781	1.07
21	43,450	1.00
22	42,838	0.98
23	58,122	1.33
24	41,247	0.95
25	43,047	0.99
26	42,595	0.98
27	44,730	1.03
28	43,741	1.00
29	49,465	1.12
30	52,804	1.21
31	60,122	1.38
32	47,329	1.09
33	51,058	1.17
34	58,482	1.34
35	101,058	2.32
36	46,000	1.06
37	50,067	1.15
38	45,570	1.05
TOTAL	2,701,094	66.35
AVERAGE	71,344	1.72

Lot No.	NET SF	NET AC
1	66,741	1.53
2	47,902	1.09
3	47,784	1.09
4	40,447	0.93
5	45,955	1.06
6	43,846	1.01
7	45,100	1.04
8	45,615	1.05
9	46,694	1.07
10	49,702	1.14
11	58,658	1.35
12	114,751	2.63
13	54,091	1.24
14	40,219	0.92
15	40,910	0.94
16	41,051	0.95
17	43,806	1.01
18	40,919	0.94
19	41,435	0.95
20	40,463	0.93
21	41,205	0.95
22	41,510	0.95
23	57,511	1.32
24	40,250	0.92
25	40,363	0.93
26	40,707	0.93
27	40,955	0.94
28	41,052	0.94
29	45,101	1.02
30	41,893	0.96
31	47,428	1.09
32	42,206	0.97
33	45,291	1.04
34	56,353	1.29
35	100,303	2.30
36	43,044	0.99
37	46,741	1.07
38	42,972	0.99
TOTAL	1,845,983	42.37
AVERAGE	48,578	1.12

EARTHWORK BALANCED SUMMARY TABLE

Approximate Raw Quantities	500,050 cys
Approximate Remedial Quantities	915,890 cys
Approximate Overall Grading Quantities	1,415,940 cys

LAND USE TABLE

LOT NUMBER	LAND USE	AREA
1-38	RESIDENTIAL (GROSS)	46.4 AC±
39-40	OPEN SPACE	5.3 AC±
TOTAL		51.7 AC±

DEVIATION REQUESTED

- REQUEST DEVIATION FROM TITLE 21 SUBDIVISION CODE 21.24.100 TO CREATE A 15% GRADE 500' SECTION OF "C" STREET.
1. THE PROPOSED MINIMUM CENTERLINE RADIUS ON "A" AND "C" STREET, WHERE GRADE EXCEEDS 10% ARE 280 FEET.
 2. THE PROPOSED MINIMUM CENTERLINE CURVE RADI FOR CENTERLINE STREET RADIUS IS 280 FEET FOR "B" AND "D" STREET.
 3. THE PROPOSED MINIMUM TANGENT FOR BROKEN BACK CURVES IS 280 FEET FOR "B" AND "D" STREET.

SLOPE DESIGNATIONS

- (A) MAINTAINED BY PUBLIC AGENCY
- (B) MAINTAINED BY HOMEOWNERS ASSOCIATION
- (C) MAINTAINED BY PRIVATE OWNERS

LEGAL DESCRIPTION

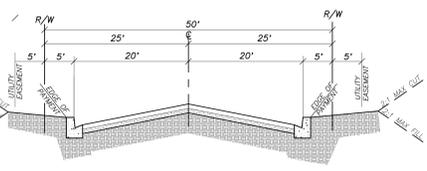
A PORTION OF LOT 2 OF THE SHOUSE AND CHAPMAN TRACT PER MAP RECORDED IN BOOK 2 PAGES 5 & 6 OF MAP RECORDS OF LOS ANGELES COUNTY.

STATEMENT OF OWNERSHIP

I HEREBY STATE THAT THIS MAP WAS PREPARED UNDER MY SUPERVISION AND THAT THE OWNER OF RECORD HAS KNOWLEDGE OF AND CONSENTS TO THE FILING OF THIS MAP.

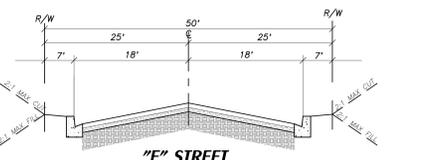


DATE _____



"A", "B", "C", AND "D" STREETS
(PRIVATE AND FUTURE PUBLIC STREETS)
N.T.S.

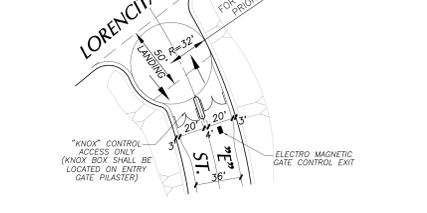
*NOTE: "B" STREET AND ALL STREETS NEED TO TO BE THE SAME R.O.W. AS "SURREY" DRIVE.



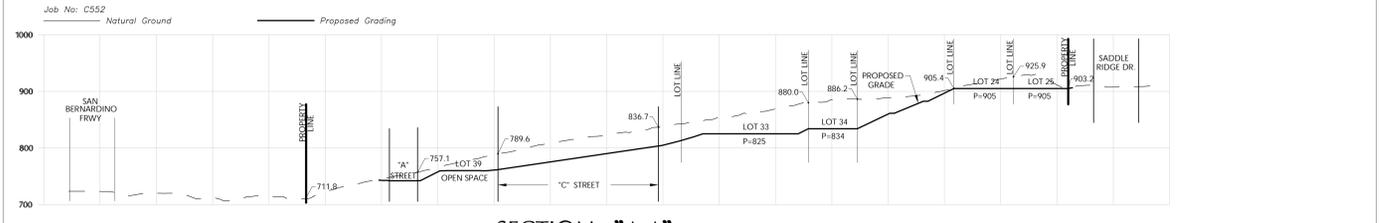
"E" STREET
(PRIVATE AND FUTURE PUBLIC STREETS)
N.T.S.



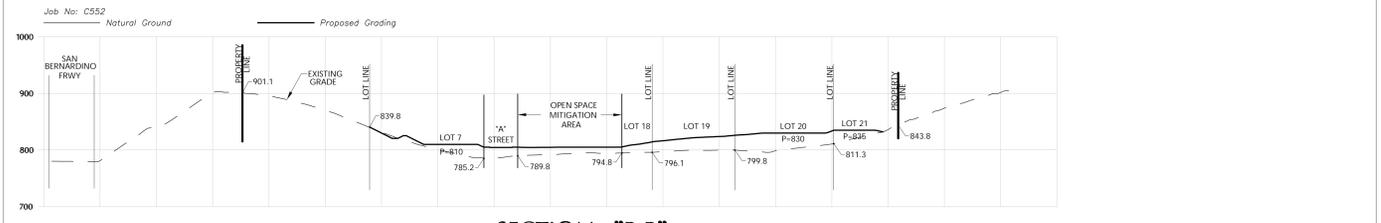
SECTION D-D DRAINAGE BERM & ACCESS (TYP.)
N.T.S.



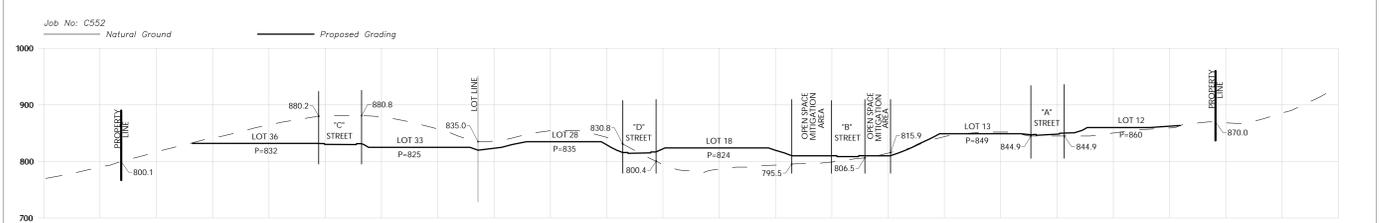
"E" STREET ENTRY GATE DETAIL
SCALE: 1" = 30'
SECONDARY EMERGENCY ACCESS
INGRESS - FIRE DEPARTMENT ONLY
EGRESS - RESIDENTS & FIRE DEPARTMENT



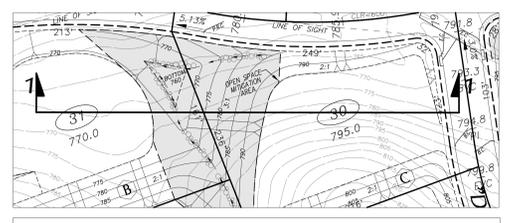
SECTION "A-A"



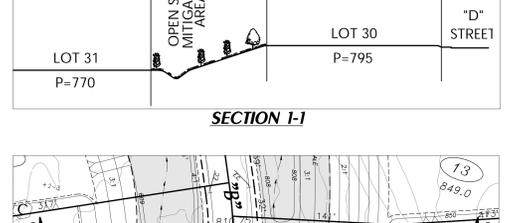
SECTION "B-B"



SECTION "C-C"



SECTION 1-1



SECTION 2-2

SCALE 1"=100'

DATE 01/27/2015

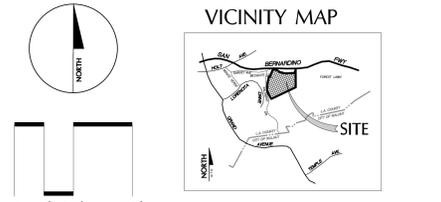
W.O. 2517-21

GROSS AREA 517 AC±

CONTOUR INTERVAL 1 FOOT

TOTAL LOTS 40

DESIGNED BY: Jack Tarr	DATE	REVISION
DRAFTED BY: MLP, JJC	4/3/03	SLOPES BET. LOTS 33,34,27,28
PROCESSED BY: Ted Fratton	1/17/02	STREET AND PAD GRADES



PREPARED FOR: Developer/Owner

PREPARED BY: HUNSAKER & ASSOCIATES

Bridlevast, Inc.
3600 Birch Street, Suite 250
Newport Beach, CA 92660

REVISED VESTING TENTATIVE TRACT NO. 52047

MAP DATE IDENTIFIER 01/07/2015 09:AM 01/07/15
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 2517-21 T.M. 2014-15