



Department of Regional Planning
320 West Temple Street
Los Angeles, California 90012

PROJECT NUMBER

92-074-(5)

HEARING DATE

TBD

REQUESTED ENTITLEMENTS

Revised Vesting Tentative Tract Map No. 51644-1
Conditional Use Permit No. 200600210
Oak Tree Permit No. 201000029
Environmental Assessment No. 200600166

SUBDIVISION COMMITTEE REPORT

OWNER / APPLICANT

BLC Tesoro, LLC

MAP/EXHIBIT DATE:

12/22/15

SCM REPORT DATE:

01/19/16

SCM DATE:

01/28/16

PROJECT OVERVIEW

Revised Tentative Tract Map for the unrecorded portion of TR 51644, a density-controlled development of 1,791 residential units originally approved in 1998. Of this number, 1,077 dwelling units have been recorded and developed on the southern portion of the tract. The applicant proposes to revise the northern portion of the tract to include the developments remaining 714 authorized dwelling units, as well as 81 additional units. In order to accommodate this additional density, the applicant is requesting a 17% density bonus in return for dedicating 105 units for sale to senior citizens. In addition, 8 park lots, 18 open space lots, and 9 public facilities lots are proposed, for a total of 842 lots. A total of 19.6 million cubic yards (9.8 million cut, 9.8 million fill) of earthmoving is proposed, to be balanced on-site.

The applicant also requests a Significant Ecological Area Conditional Use Permit (SEA-CUP) for a density-controlled development within an SEA and a hillside management area and grading of more than 100,000 cubic yards, and an Oak Tree Permit for the removal of and encroachment upon an unspecified number of oak trees.

MAP STAGE

Tentative:

Revised:

Amendment:

Amended :
Exhibit %A+

Modification to :
Recorded Map

Other:

MAP STATUS

Initial:

1st Revision:

2nd Revision:

Additional Revisions (4th):

LOCATION

North of Avenida Tesoro, Santa Clarita Valley

ACCESS

Avenida Tesoro

ASSESSORS PARCEL NUMBER(S)

3244-150-017 thru -025; 3244-161-001 thru -023; 3244-162-001 thru -006; 3244-163-003 thru -007; 3244-164-001 thru -009 (all inclusive)

SITE AREA

1,795 acres

GENERAL PLAN / LOCAL PLAN

Santa Clarita Valley Area Plan (1990)

ZONED DISTRICT

Castaic Canyon

SUP DISTRICT

5

LAND USE DESIGNATION

HM (Hillside Management), N1 (Non Urban 1- 0.5 du/ac), W (Watershed)

ZONE

R-1 (Single Family Residence), A-2-2 (Heavy Agricultural- Two Acre Minimum Required Lot Area)

PROPOSED DWELLING UNITS (DU/AC)

795 units (0.44 DU/AC)

MAX DENSITY/UNITS (DU/AC)

477 units (0.27 DU/AC)

COMMUNITY STANDARDS DISTRICT

None (Map predates adoption of Castaic CSD)

ENVIRONMENTAL DETERMINATION (CEQA)

Pending- May be supplemental to original EIR

SUBDIVISION COMMITTEE DEPARTMENT CLEARANCE

Department

Status

Contact

Regional Planning	Hold	Tyler Montgomery (213) 974-6433 tmontgomery@planning.lacounty.gov
Public Works	Hold	Henry Wong (626) 458-4961 hwong@dpw.lacounty.gov
Fire	Hold	Juan Padilla (323) 890-4243 jpadilla@fire.lacounty.gov
Parks & Recreation	Cleared	Clement Lau (213) 351-5120 clau@parks.lacounty.gov
Public Health	Hold	Vicente Banada (626) 430-5382 vbanada@ph.lacounty.gov

SUBDIVISION COMMITTEE STATUS

Tentative Map Revision Required: <input checked="" type="checkbox"/>	Reschedule for Subdivision Committee Meeting: <input checked="" type="checkbox"/>
Exhibit Map/Exhibit Map +Revision Required: <input checked="" type="checkbox"/>	Reschedule for Subdivision Committee Reports Only: <input type="checkbox"/>
Revised Application Required: <input checked="" type="checkbox"/>	Other Holds (see below): <input checked="" type="checkbox"/>

REGIONAL PLANNING ADDITIONAL COMMENTS AND HOLDS

Tentative Map:

- Please revise title block to indicate ~~Revised~~ Vesting Tentative Tract No. 51644-1.+
- Add gross and net areas to map notes.
- Include all proposed street cross sections, per the requirements of County Code Section 21.24.090.
- Correct proposed and existing land uses (RL5, H2) to existing applicable land uses (HM, N1, and W).
- All proposed lots must be individually numbered, and these numbers must match across all sheets.
- Line work should better differentiate lot boundaries from other features. This is particularly apparent in the similarity between lot lines, existing trails, grading lines, driveways, water tanks, and park boundaries.
- Please include the dimensions of all proposed lot lines on the large-scale sheets.
- The proposed senior citizen lots should be specifically labeled as such, and the associated private driveway lots should be better indicated through labels and lot numbering.
- Please indicate whether or not the western access to Tapia Ranch is proposed as a public right-of-way.
- The indicated street width for six of the seven gated entrances does not seem to match the width or layout that is proposed on Sheet 7. Please rectify this.
- Please delineate the existing canopies and protected zones of all on-site oak trees. They are currently shown as numbered triangles. In addition, oak trees 35, 36, and 38 are labeled as ~~saved~~+but are shown within a proposed grading area. Please rectify this.
- Existing and proposed easements should be numbered and labeled. Please revise.
- Please indicate which, if any, of the existing hiking trails are to remain and whether they will be maintained by the HOA in any way.
- Please indicate the proposed access to the park on the southernmost portion of the project site.

Exhibit ~~Map~~±:

- An Exhibit ~~Map~~+Map is required for the SEA-CUP and Oak Tree Permit. In addition to the standard features of an Exhibit ~~Map~~±, the hillside management component of the project requires conceptual layouts, elevations, and materials of the single-family residences and senior citizen units, the plans and location of decorative landscaping, and the location and labeling of all natural and manufactured open space.

Administrative:

- The requested 17% density bonus for providing 105 senior citizen dwelling units (22% of the 477 units allowed on the site prior to density transfer) requires an **Administrative Housing Permit**. Please make an appointment to submit the relevant application and fees.
- Six years have elapsed since the project's existing oak tree report was prepared. Please have the arborist revise this report or prepare a new one. In addition, clearly indicate which oak trees are to remain and which are proposed for removal or encroachment.
- Please prepare a Biological Constraints Analysis (~~BCA~~±) for review by our biologist and the Significant Ecological Area Technical Advisory Committee (~~SEATAC~~±) as part of the SEA-CUP process.
- Please submit all additional application materials required for CUPs within SEAs and hillside management areas, as listed in County Code Section 22.56.215.D and Section 22.56.217.D. This includes, but is not limited to, slope maps, open space exhibits, and structure and landscape information.

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

1. An approved hydrology report is required. Please see attached Hydrology review sheet (Comments 1 and 5) for requirements.
2. Please see attached Hydrology review sheet (Comments 6, 7, and 8) for additional requirements.
3. An updated geotechnical consultant report/letter is required. Please see attached Geologic and Soils Engineering review sheet (Comments G1 and S1 to S3) for comments and requirements.
4. Please see attached Grading review sheet (Comments 2 and 3) for requirements.
5. As previously requested, an approved traffic study is required. Please see attached Road review sheet (Comment 3) for comments and requirements.
6. Please see attached Road review sheet (Comments 1 and 2) for additional requirements.
7. An updated approved sewer area study is required. Please see attached Sewer review sheet (Comment 1) for comments and requirements.
8. Please see attached Sewer review sheet (Comment 2) for additional requirements.
9. Please see attached Water review sheet (Comments 1 to 3) for requirements.
10. A revised tentative map is required to show the following additional items:
 - a. Provide the signature of the Civil Engineer.
 - b. Provide a phasing map showing the proposed phasing sequences.
 - c. Note 16 on Sheet 1 of 9 is not acceptable. All applicable notes on the previously approved tentative map need to be identified and indicated in the revised map.

- d. Please see attached Hydrology review sheet (Comments 2 to 4) for requirements.
 - e. Please see attached Geologic and Soils Engineering review sheet (Comment G2) for requirement.
 - f. Please see attached Grading review sheet (Comment 1) and checked prints for comments and requirements.
 - g. Please see attached Road review sheet (Comment 4) and checked prints for comments and requirements.
 - h. Please see attached Sewer review sheet (Comment 3) for requirements.
8. A revised exhibit map is required to show the following additional items:
- a. Provide the signature of the Civil Engineer.
 - b. Note 16 on Sheet 1 of 9 is not acceptable. All applicable notes on the previously approved tentative map need to be identified and indicated in the revised map.
 - c. Please see attached Hydrology review sheet (Comments 3 and 4) for comments and requirements.
 - d. Please see attached Grading review sheet (Comment 1) and checked prints for comments and requirements.
 - e. Please see attached Road review sheet (Comment 4) and checked prints for comments and requirements.
 - c. Please see attached Sewer review sheet (Comment 4) for requirements.



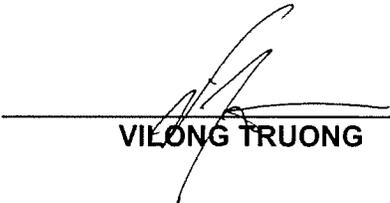
COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS
LAND DEVELOPMENT DIVISION
HYDROLOGY UNIT

TRACT NO. 51644-1

(REVISED) TENTATIVE MAP DATED 12/22/15
EXHIBIT MAP 12/22/15

Approval and clearance of the tentative map is subjected to compliance with the following **drainage** comments:

1. Prior to tentative map approval for drainage, submit a hydrology report showing the extent of drainage impacts and provide mitigation acceptable to the County. The analysis should address increases in runoff, any change in drainage patterns, debris producing areas, and the capacity of existing storm drain facilities. Provide line identification of all proposed drainage facilities. Preliminary soils and geology reports related to debris, retention, and detention basins may be required based on geographic and adverse geotechnical conditions. Provide engineering calculations to support sizing of debris, retention, and detention basins. Provide approximate flood hazard and bank erosion setbacks and lot identifications (as needed). Show slopes for existing and proposed streets. Provide a drainage/grading covenant for any offsite work.
2. Add a note to the tentative map stating, "The Developer/Engineer acknowledge that the size of the water quality and/or flood control basin will be reviewed at the improvement plan stage. Significant change of the size of the basin from what is shown on the tentative map may result in revising planning documents by the Department of Regional Planning."
3. Prior to tentative map approval for drainage, submit a revised tentative and exhibit map showing and calling out all debris/desilting areas and desilting drainage devices. Identify whether publicly or privately maintained.
4. Prior to tentative map approval for drainage, submit a revised tentative and exhibit map showing all publicly maintained debris basins as a fee title lot. Clearly delineate the fee title lot boundary.
5. A water quality section of the Hydrology Report is required to comply with the LID requirements of Los Angeles County Code Section 12.84 (<http://library.municode.com/index.aspx?clientId=16274>).
6. Mitigate portions of the property with proposed improvements that are lying in and adjacent to the natural drainage courses and are subject to flood hazard.
7. Prior to tentative map approval for drainage, submit easement documents for all proposed offsite publicly maintained facilities.
8. A Drainage Benefit Assessment Area (DBAA) will be required to fund the ongoing operation, maintenance, and replacement (if required) of the proposed publically maintained water quality devices.

Reviewed by  Date 01/19/16 Phone (626) 458-4921
VILONG TRUONG

County of Los Angeles Department of Public Works
Geotechnical and Materials Engineering Division
GEOLOGIC AND SOILS ENGINEERING REVIEW SHEET
900 S. Fremont Avenue, Alhambra, CA 91803

Tentative Tract _____ 51644-1 _____ Tentative Map Dated 12/22/15 (Rev./Exhib.) Parent Tract 51644
Grading By Subdivider? [Y] (Y or N) _____ 9.8 M_{yd}³ Location Santa Clarita APN _____
Geologist AGI Geotechnical, Inc. Subdivider BLC Tesoro LLC
Soils Engineer AGI Geotechnical, Inc. Engineer/Arch. Sikand

Review of:

Geologic Report(s) Dated: _____
Soils Engineering Report(s) Dated: _____
Geotechnical Report(s) Dated: 9/27/10, 4/7/10, 5/11/09, 3/2/09, 1/21/09, 9/19/07, 10/2/06, 3/6/01
References: _____

TENTATIVE MAP FEASIBILITY IS NOT RECOMMENDED FOR APPROVAL. PRIOR TO RECOMMENDING APPROVAL OF THE TENTATIVE TRACT OR PARCEL MAP:

- G1. Submit an updated geotechnical consultant report/letter, which addresses and evaluates current site conditions and the most recent plans, for all reports older than one year, to verify the validity and applicability of the original soils report. Digital reports shall include an electronically generated representation of the licensee's seal, signature, and date of signing.
- G2. Depict lot numbers on the Tentative Map.
- S1. Show the following on the geotechnical map:
 - a. Existing and proposed grades.
 - b. Approximate limits and depth of removal and recompaction of unsuitable soils, if applicable.
 - c. Location of "Restricted Use Areas", if applicable.
- S2. All geotechnical reports submitted for review must include an electronic copy of the report in Adobe® Portable Document Format (PDF). The electronic version shall include an electronically generated representation of the licensee's seal, signature, and date of signing. The submittal in response to this review must include an electronic version of the original report and the supplemental report in response to this review.
- S3. The Geotechnical and Materials Engineering Division is now accepting review submittals through a web application at the following URL: <https://dpw.lacounty.gov/apps/esubmissions/qme/default.aspx>. Please use this web portal to submit documents in response to this review.

NOTE: Provide a copy of this review sheet with your resubmittal.



It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

1. A revised tentative map and exhibit map are required to show the following additional items:
 - a. Most updated benchmark information.
 - b. More precise pad elevations for all proposed rough grading or reserve the right on the map to change it within a certain range.
 - c. Earthwork volume, including cut, fill, import, and export, as applicable.
 - d. Indicate maintenance responsibilities for all drainage devices. Identify such device with kind, size, debris cone, access road, easement and lot lines, etc.
2. Approval of the latest drainage concept/hydrology/Low Impact Development (LID) plan by the Storm Drain and Hydrology Section of Land Development Division.
3. Prior to tentative map approval submit a covenant or easement documents indicating acceptance of any off-site impacts or permission for any public off-site improvements.
4. Additional Comments on the attached map check print.



Name Nazem Said Date 01-20-2016 Phone (626) 458-4921
P:\dpub\SUBPCHECK\Plan Checking Files\Tract Map\TR 51644\GP 51644\2015-12-22 TTR 51644 SUBMITTAL

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

1. As previously requested, provide proof that the subdivider has obtained the necessary off-site right of way/easement to construct the offsite street improvements and grading required to complete the "H" Lane connection to the existing Casa Luna Place, the Reye Adobe Way connection to the existing Reyes Adobe Way, the connection/turnaround of "G-5" Lane at the TR 53822 boundary, the connection and/or turnaround of "J" Lane at the TR 53189 boundary, and the offsite realignment and widening of Avenida Rancho Tesoro. It shall be the sole responsibility of the subdivider to acquire the necessary easements to perform any offsite grading or construction related to any public improvement.
2. As previously requested, obtain approval from the Fire Department for all residential streets greater than 1000 feet like on "D" Lane and "G" Lane. If approval is not obtained, revise the tentative map to account for this maximum required length.
3. As previously requested, a traffic study is required. Please contact Andrew Ngumba of our Traffic and Lighting Division at 626 458 4851.
4. The Tentative and Exhibit maps need to be revised to address comments on the attached check print.



It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

1. The result of any approved sewer area study is only valid for two years from the date of approval; hence the previously approved sewer area study (PC 12009AS) is no longer acceptable and a new study should be submitted for review and approval

Prior to tentative map approval the subdivider shall submit an area study to Public Works to determine if capacity is available in the proposed and existing sewerage system servicing this land division. If the system is found to have insufficient capacity, upgrade of the proposed and existing sewerage system is required to the satisfaction of Public Works. The sewer area study and outlet approval shall also be reviewed and approved by the City of Santa Clarita.

2. Provide proof that the subdivider has acquired any necessary off-site easements to construct the off-site sewer improvements prior to tentative map approval to the satisfaction of Public Works.
3. A revised tentative map is required to show the following item:
 - a. Label existing sewer main lines to serve the proposed development with the PC or CI number.
 - b. Clearly show and call out the lot number on the tentative map.
 - c. Call out the proposed point of connection to the existing sewer line on the map.
4. A revised exhibit map is required to show the following item:
 - a. Show the separate house laterals to serve each lot in the land division.
 - b. Clearly show and call out the Lot number on the exhibit map.

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

- (1) A written statement from the water purveyor indicating that the entire subdivision will be within the boundaries of its service area and that the purveyor will serve the proposed subdivision to the satisfaction of Public Works.
- (2) Provide a "Water Supply Assessment" from the water supplier to indicate the availability of adequate water supply as required per Section 10910 and Section 10912 of the California Water Code (SB 610) prior to tentative map approval. For additional information, please contact Mr. Andy Narag of Land Development Division at (626) 458-4921.
- (3) Acquire off-site easement along E-6 Drive (Sheet 5), granted to the appropriate serving agency, for access to all water facilities.



Prepared by Tony Khalkhali
tr51644-1w-rev3.doc

Phone (626) 458-4921

Date 01-14-2016

COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
LAND DEVELOPMENT DIVISION – SUBDIVISION
TRACT NO. 051644-1 (Rev'd)

Page 1/1

TENTATIVE MAP DATED 12-22-2015
EXHIBIT "A" DATED 12-22-2015

- If this recommendation of disapproval is changed to a recommendation of approval based on additional information, the following reports would be recommended for inclusion in the conditions of tentative approval:

Prepared by Aissa Carrillo
tr51644-1L-rev'dmap-rev4.doc
<http://planning.lacounty.gov/case/view/92074-5>

Phone (626) 458-3126

Date 01-20-2016

The following report consisting of ____ pages are the recommendations of Public Works.

The subdivision shall conform to the design standards and policies of Public Works, in particular, but not limited to the following items:

1. Details and notes shown on the tentative map are not necessarily approved. Any details or notes which may be inconsistent with requirements of ordinances, general conditions of approval, or Department policies must be specifically approved in other conditions, or ordinance requirements are modified to those shown on the tentative map upon approval by the Advisory agency.
2. Easements are tentatively required, subject to review by the Director of Public Works to determine the final locations and requirements.
3. Easements shall not be granted or recorded within areas proposed to be granted, dedicated, or offered for dedication for public streets, highways, access rights, building restriction rights, or other easements until after the final map is filed with the Registrar-Recorder/County Clerk's Office. If easements are granted after the date of tentative approval, a subordination must be executed by the easement holder prior to the filing of the final map.
4. In lieu of establishing the final specific locations of structures on each lot/parcel at this time, the owner, at the time of issuance of a grading or building permit, agrees to develop the property in conformance with the County Code and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Ordinance, Highway Permit Ordinance, Mechanical Code, Zoning Ordinance, Underground of Utilities Ordinance, Water Ordinance, Sanitary Sewer and Industrial Waste Ordinance, Electrical Code, and Fire Code. Improvements and other requirements may be imposed pursuant to such codes and ordinances.
5. Adjust, relocate, and/or eliminate lot lines, lots, streets, easements, grading, geotechnical protective devices, and/or physical improvements to comply with ordinances, policies, and standards in effect at the date the County determined the application to be complete all to the satisfaction of Public Works.
6. All easements existing at the time of final map approval must be accounted for on the approved tentative map. This includes the location, owner, purpose, and recording reference for all existing easements. If an easement is blanket or indeterminate in nature, a statement to that effect must be shown on the tentative map in lieu of its location. If all easements have not been accounted for, submit a corrected tentative map to the Department of Regional Planning for approval.

7. If applicable, quitclaim or relocate easements running through proposed structures.
8. Furnish Public Works' Street Name Unit with a list of street names acceptable to the subdivider. These names must not be duplicated within a radius of 20 miles.
9. A Mapping & Property Management Division house numbering clearance is required prior to approval of the final map.
10. If unit filing occurs, reserve reciprocal easements for drainage, ingress/egress, utilities, and maintenance purposes, in documents over the private driveways and delineate on the final map to the satisfaction of Public Works.
11. The boundaries of the unit final maps shall be designed to the satisfaction of the Departments of Regional Planning and Public Works.
12. The first unit of this subdivision shall be filed as Tract No. 51644-01, the second unit, Tract No. 51644-02, and the last unit, Tract No. 51644.
13. Extend lot lines to the center of private and future streets or provide separate lots for the private and future streets.
14. Grant ingress/egress and utility easements to the public over the private and future or future streets.
15. Show open space lots on the final map and dedicate residential construction rights over the open space lots.
16. Depict all line of sight easements on grading and/or landscaping plans.
17. If possible, modify the boundaries of the open space lots or add additional open space lots to include the airspace easements for sight distance to the satisfaction of Regional Planning and Public Works.
18. A final tract map must be processed through the Director of Public Works prior to being filed with the Registrar-Recorder/County Clerk's Office.

19. Prior to submitting the tract map to the Director of Public Works for examination pursuant to Section 66442 of the Government Code, obtain clearances from all affected Departments and Divisions, including a clearance from the Subdivision Mapping Section of the Land Development Division of Public Works for the following mapping items; mathematical accuracy; survey analysis; and correctness of certificates, signatures, etc.
20. A final guarantee will be required at the time of filing of the final map with the Registrar-Recorder/County Clerk's Office.
21. Within 30 days of the approval date of this land use entitlement or at the time of first plan check submittal, the applicant shall deposit the sum of \$5,000 (Major Land Divisions) with Public Works to defray the cost of verifying conditions of approval for the purpose of issuing final map clearances. This deposit will cover the actual cost of reviewing conditions of approval for Conditional Use Permits, Tentative Tract Maps, Vesting Tentative Tract Maps, Oak Tree Permits, Specific Plans, General Plan Amendments, Zone Changes, CEQA Mitigation Monitoring Programs and Regulatory Permits from State and Federal Agencies (Fish and Game, USF&W, Army Corps, RWQCB, etc.) as they relate to the various plan check activities and improvement plan designs. In addition, this deposit will be used to conduct site field reviews and attend meetings requested by the applicant and/or his agents for the purpose of resolving technical issues on condition compliance as they relate to improvement plan design, engineering studies, highway alignment studies and tract map boundary, title and easement issues. When 80% of the deposit is expended, the applicant will be required to provide additional funds to restore the initial deposit. Remaining balances in the deposit account will be refunded upon final map recordation.

Preliminary Conditions

1. Comply with all conditions on the originally approved tentative map.
2. The minimum centerline radius on a local street with an intersection street on the concave side shall comply with design speeds per the Subdivision Plan Checking Section's "Requirements for Street Plans" and sight distances. Maintain a minimum centerline radius of 550 feet (64 feet R/W)/400 feet (60 feet R/W)/200 feet (58 feet R/W) along curved intersections where the minor leg is on the concave side or provide for adequate sight distance to the satisfaction of Public Works.
3. The centerline of all local streets shall be aligned without creating jogs of less than 150 feet. A one-foot jog may be used where a street changes width from 60 feet to 58 feet of right of way.
4. The central angles of the right of way radius returns shall not differ by more than 10 degrees on local streets.
5. Driveways will not be permitted within 25 feet upstream of any catch basins when street grades exceed 6 percent.
6. Permission is granted for street grades up to 10 percent on all local streets and grades up to 6% on all highways to the satisfaction of Public Works. Permission is not granted for street grades up to 12% along "G" Drive from "K-5" Drive to 400 feet southerly unless approved by Regional Planning.
7. Provide maximum 6 percent grade through the knuckles.
8. Provide minimum landing area of 100 feet for local collectors, 50 feet for local access roads, and 25 feet for cul-de-sacs at a maximum 3 percent grade on all "tee" intersections.
9. At tee intersections involving local streets, the maximum permissible grade of the through street across the intersection is 10 percent. For intersections involving multi-lane highways, the maximum permissible grade of the through street is three percent. For 4-legged intersections, the maximum permissible grade of the through street is 8 percent.

10. The extended length of residential streets over 1000 feet like on "D" Lane and "G" Lane must be approved by the Fire Department.
11. Dedicate right of way as depicted on the typical sections on sheet 9 to the satisfaction of Public Works. For all streets approved to be behind gates, make an offer of private and future right of way to the satisfaction of Public Works.
12. Permission is granted for streets within Areas B and C to be private and future streets only for streets within where gates are allowed.
13. Whenever there is an offer of a future street or a private and future street, provide a drainage statement/letter.
14. The typical section for "G-5" Lane as shown on sheet 9 is not necessarily approved and is subject to a detail review to address proper drainage and slope easements to the satisfaction of Public Works. Ultimate improvements as shown on sheet 17 may be required in order for the County to accept "G-5" Lane for public maintenance.
15. The alternate 1 detail for "G-5" Lane if offsite easements are not obtained as shown on sheet 12 is not necessarily approved and is subject to a detail review to delineate the required slope and drainage easement.
16. Provide a reciprocal easement along "E-6" Drive for ingress and egress to the northerly property to the satisfaction of Public Works.
17. Provide intersection sight distance for a design speed of:
 - a. 40 mph (415 feet) on "G" Drive from "G-1" Lane (both directions); on "B" Street from "I-3" Lane (southerly direction); on "B" Street from "I-2" Lane (northerly direction); "A" Street from "C" Dr (northerly direction); "A" Street from "F-1" Drive (northerly direction); "A" Street from "N" Drive (northerly direction);
 - b. 30 mph (310 feet) on "E-1" Drive from "E-4" Drive (both directions); "A-1" Drive from "K-3" Drive (southerly directions); "A-1" Drive from "K-4" Drive (easterly direction)

Line of sight shall be within right of way or dedicate airspace easements to the satisfaction of Public Works. Additional grading may be required. With respect to the position of the vehicle at the minor road, the driver of the vehicle is presumed to be located 4 feet right of centerline and 10 feet back from the top of curb (TC) or flow line (FL) prolongation. When looking left, we consider the target to be located at the center of the lane nearest to the parkway curb. We use 6 feet from TC. When looking right, the target is the center of the lane nearest to the centerline or from the median TC (when present).

18. Provide stopping sight distance on all points along curved sections of a street for a design speed of:
 - (a) 40 mph (300 feet) on "H" Lane (in the vicinity of lot 2495); on "G" Lane in the vicinity of lots 1760, 1761, 1743 and 1744; on "A" Street in the vicinity of lots 2028, 2029, 2288, 2289 and 2490; at "J" Lane in the vicinity of lot 1832

Line of sight shall be within right of way or dedicate airspace easements to the satisfaction of Public Works. Additional grading may be required. With respect to the position of the vehicle, the driver of the vehicle is presumed to be located 6 feet from TC and the target to be located 6 feet from TC.

19. Depict all line of sight easements on the landscaping and grading plans.
20. Provide property line return radii of 13 feet at all local street intersections and 27 feet at the intersection of all local streets with planned highways plus additional right of way for corner cut off to meet current Americans with Disabilities Act (ADA) guidelines to the satisfaction of Public Works.
21. Provide off-site easements and/or right of way to allow for the construction of the necessary off-site grading and street improvements in the vicinity of "G-5" Lane; Casa Luna Place, Reyes Adobe Way and "J" Lane to the satisfaction of Public Works. It shall be the sole responsibility of the subdivider to acquire the necessary right of way and/or easements.
22. All proposed gates are not approved if they are placed at a street that provides direct access to an offsite property and if streets are public streets. In order to allow the proposed gates, obtain concurrence from adjoining properties clarifying that they are not dependent on this subdivision for their means of access. If

gates are allowed, label all streets within the gates as private and future streets; otherwise, these streets are to remain as public streets. Alternate 1 gate system as shown on sheet 17 of the tentative map is the county's preferred gate alternative since TR 53189 has primary access through Stoney Creek Road and require "J" Lane as a secondary means of access.

23. For all approved gates, locate the entry gate or key pad (if one is provided) a minimum of 50 feet beyond the right of way and construct a turnaround with a minimum turnaround radius of 32 feet in the private driveway and firelane preceding the gated entrance to the satisfaction of Public Works. The minimum gate setback shall be increased, if necessary, to accommodate adequate stacking distance as determined in each case by the traffic engineering consultant at final engineering. Setback the raised median nose in the private driveway a minimum of 20 feet from the right of way to the satisfaction of Public Works. The details of the gated access as shown on the tentative map are not necessarily approved.
24. The median plan as shown on sheet 10 is not necessarily approved and is subject to a detail review to the satisfaction of Public Works. All proposed medians shall be 14 feet minimum and use a standard nose parabolic flare with a minimum median nose of 4 feet or terminate the raised median within the reverse taper to the satisfaction of Public Works.
25. Conform with the standard roundabout plans for all proposed privately maintained roundabouts to the satisfaction of Public Works.
26. Construct new driveway to the satisfaction of Public Works.
27. Construct curb, gutter, base, pavement, and sidewalk (5 feet sidewalk adjacent to the property line) along the property frontage on all local streets to the satisfaction of Public Works. Permission is granted to use the alternate section on Casa Luna Place to the satisfaction of Public Works. Alternate sections as shown on the typical sections on sheet 9 are not necessarily approved and subject to final review to the satisfaction of Public Works.
28. Construct full-width sidewalk and curb ramp at all returns.
29. Repair any displaced, broken or damaged curb, gutter, sidewalk, driveway apron and pavement during construction to the satisfaction of Public Works.

30. Plant street trees along all streets within this subdivision to the satisfaction of Public Works.
31. Construct drainage improvements (including bridges and parkway drains, if needed) and offer easements needed for street drainage or slopes and maintenance purposes to the satisfaction of Public Works. Where streets or highways are located within flood hazard areas or subject to inundation, provide adequate freeboard and slope protection to the satisfaction of Public Works. Construct adequate embankment protection along any sections of highways or streets located within flood plain boundaries or subject to inundation. Adequate freeboard shall also be provided.
32. Construct bridge/drainage structures on D Drive and G Drive to the satisfaction of Public Works.
33. Execute a covenant for private maintenance of curb/parkway drains; if any, to the satisfaction of Public Works.
34. Provide and install street name signs prior to occupancy of buildings.
35. Install postal delivery receptacles in groups to serve two or more residential lots.
36. If the alternative park site as shown on sheet 13 is constructed, provide an intersection line of sight of 40 mph (415 feet) at the park entrance to the satisfaction of Public Works.
37. Underground all existing service lines and distribution lines that are less than 50 KV and new utility lines to the satisfaction of Public Works and Southern California Edison. Please contact Public Works' Construction Division at (626) 458-3129 for new location of any above-ground utility structure in the parkway. (Does not apply to minor land divisions)
38. Establish a Landscape Maintenance District, subject to the approval of the Department of Parks and Recreation, for the purpose of maintaining landscaped medians and parkways on all streets and highways.
39. Prior to final map approval, enter into an agreement with the County franchised cable TV operator (if an area is served) to permit the installation of cable in a

common utility trench to the satisfaction of Public Works; or provide documentation that steps to provide cable TV to the proposed subdivision have been initiated to the satisfaction of Public Works.

40. Comply with the mitigation measures identified in the attached February 23, 2010, memoranda/letter from our Traffic and Lighting Division to the satisfaction of Public Works and comply with all mitigation measures as required by Caltrans.
41. Prior to final map approval, pay the fees established by the Board of Supervisors for the Valencia Bridge and Major Thoroughfare Construction Fee District. The fee is to be based upon the fee rate in effect at the time of final map recordation. The current applicable fee is \$20,640 per factored unit and is subject to change.
42. Prior to approval of the final map, if any improvements constructed by the subdivider are included as District improvements in the Valencia Bridge and Major Thoroughfare Construction Fee District, then the cost of such improvements may be credited against the project's District fee obligation if approved by Public Works. If the amount to be credited exceeds the subdivider's fee obligation, the subdivider may use the excess credits to satisfy the fee obligation of another project within the District, transfer the credit to another subdivider within the District, or be reimbursed by the District at the discretion of Public Works if funds are available. If District improvements are constructed after approval of the final map, the subdivider will receive credit equal to the cost of such improvements, which may be used to satisfy the fee obligation for another project within the District, transferred to another subdivider within the District, or reimbursed at the discretion of Public Works.
43. Phasing of map shall be addressed in the traffic study. The phasing map shall address construction phasing for schools and other units if phased grading is proposed. The phasing map shall also address access requirements for each unit. Address all grading impacts under each phase and address it adequately in the CEQA document.
44. Comply with the following street lighting requirements:
 - a. Provide street lights on concrete poles with underground wiring within the tract boundaries and along the property frontage on all streets and highways / non-gated private and future streets / gated private and future streets with fixtures acceptable to Southern California Edison to the

streets with fixtures acceptable to Southern California Edison to the satisfaction of Public Works. Submit street lighting plans along with existing/proposed underground utilities plan as soon as possible for review and approval to the Street Lighting Section of the Traffic and Lighting Division. For additional information, please contact the Street Lighting Section at (626) 300-4726.

- b. The operation and maintenance of the street lights on the private and future street shall remain the responsibility of the Developer / Property Owner / Home Owners Association until such time as the street(s) are accepted for maintenance by the County. Assessments will be imposed on portions of the development served by gated private and future streets (if any) as a result of benefits derived from existing or future street lights on adjacent public roadways.
- c. The proposed development is within an existing Lighting District. For acceptance of street light transfer of billing, all street lights in the development, or the current phase of the development, must be constructed according to Public Works approved plans. The contractor shall submit one complete set of "as-built" plans. Provided the above conditions are met, all street lights in the development, or the current phase of the development, have been energized, and the developer has requested a transfer of billing at least by January 1 of the previous year, the Lighting District can assume responsibility for the operation and maintenance of the street lights by July 1 of any given year. The transfer of billing could be delayed one or more years if the above conditions are not met. The Lighting District cannot pay for the operation and maintenance of street lights on gated private and future street(s).

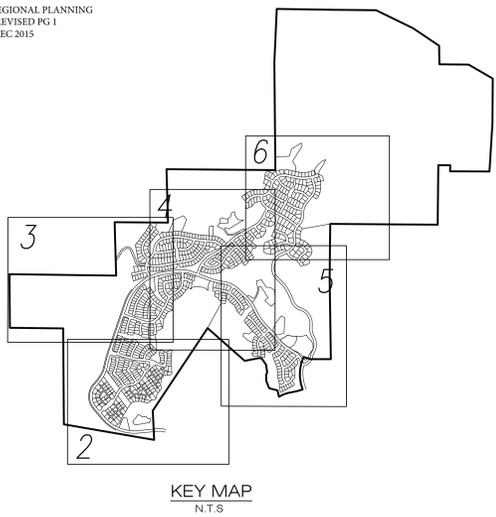


Prepared by Sam Richards

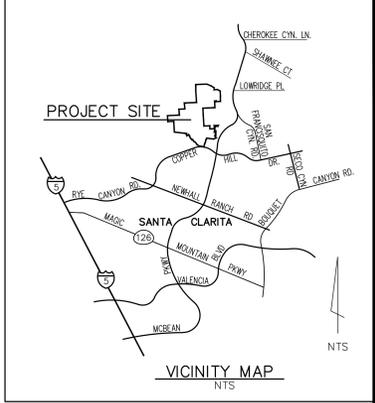
Phone (626) 458-4921

Date 01-19-2016

P:\ldpub\SUBPCHECK\Road\Rd Projects\TR 51644\tr51644r-rev'dmaprev4.doc



TO SEE A DETAILED LAYOUT OF THE PREVIOUSLY APPROVED MAPS, SEE THE MAPS THAT ARE ON FILE WITH SUBDIVISION SECTION OF LOS ANGELES COUNTY DEPT. OF REGIONAL PLANNING.



LOT SUMMARY	
ESTATE LOTS	46
EXECUTIVE LOTS	99
RESIDENTIAL S F LOTS	432
SENIOR LOTS (S F)	103
SENIOR LOTS (VILLAS)	115
RESIDENTIAL (LOTS 1716 TO 2510)	795
STREET LOTS	4
PARK LOTS	3
LINEAR PARK LOTS	2
RECREATION LOTS	3
WATER TANK LOTS (1 PROP., 2 EX.)	1
HELI LOT	1
BASIN LOTS	9
PASEO LOTS	4
OPEN SPACE LOTS	18
TOTAL UNIT	842

PROJECT SUMMARY	
TOTAL LOT AREA:	1795 ± acres
REVISED AREA:	1263.0 ± acres PLANNING AREA B
TOTAL REMAINING DWELLING UNITS:	795 RESIDENTIAL UNITS (INCL. 115 SENIOR UNITS)
TOTAL NO. OF LOTS:	842
DENSITY:	±1.04 du/ac (1872 DU / 1795 AC)
PROPOSED AND EXISTING ZONING:	R-1, A-2-2
PROPOSED AND EXISTING LAND USE:	RL5, H-2
GRADING:	CUT 9.8 MILLION CY, FILL 9.8 MILLION CY (BALANCED ON SITE)
OPEN SPACE:	TOTAL AREA IN AREA B IS 1263.0 AC
ASSESSOR'S MAPS:	APN # 3244-30-3 & 27, 3244-160-ALL PARCELS ON SHT. 1, 3244-160-043 & 048 ON SHT. 2, 3244-161-ALL PARCELS, 3244-162-ALL PARCELS, 3244-163-ALL PARCELS, 3244-163-ALL PARCELS, 3244-164-ALL PARCELS.

- NOTE**
- PERMISSION IS REQUESTED TO CREATE ADDITIONAL OPEN SPACE LOTS.
 - ALL STREET LANDINGS ARE 3% OR LESS EXCEPT WHERE REQUESTED.
 - PREVIOUS CASES ARE CUP 92-074, ZC 92-074 AND GPA 92-074 AND ARE STILL IN EFFECT.
 - 1077 DU'S IN PLANNING AREA "A" HAVE BEEN BUILT. THE MASTER CUP 92-074 ALLOWS FOR A TOTAL OF 1791 DU'S WITHIN THE ENTIRE LIMITS OF TRACT NO. 51644. THIS EXCLUDES THE ADDITIONAL SENIOR UNITS WHICH ARE PERMITTED PER 22.52:1830
 - A DENSITY CONTROLLED CUP HAS BEEN FILED CONCURRENTLY TO INCREASE THE NUMBER OF UNITS IN PLANNING AREA B.
 - PERMISSION IS REQUESTED FOR PRIVATE AND FUTURE STREETS IN PLANNING AREA B.
 - PERMISSION IS REQUESTED TO HAVE THE ABILITY TO HAVE A SECOND UNIT (GRANNY FLAT) ON ALL UNBUILT LOTS IN ALL PLANNING AREAS.
 - INDIVIDUAL RESIDENTIAL LOTS WHICH HAVE O/S AREA, WILL HAVE AN EASEMENT GRANTED TO THE HOA FOR BUILDING RESTRICTIONS, MAINTENANCE AND OPEN SPACE RIGHTS.
 - AN LLAD WILL BE FORMED FOR PUBLIC R/W FOR COMMON AREA MAINTENANCE AND AN HOA WILL BE FORMED FOR ALL O/S LOTS.
 - ALL NATURAL AND MANUFACTURED TRAILS TO BE DEDICATED TO THE COUNTY OF LOS ANGELES.
 - ALL LOTS TO BE SERVED BY PUBLIC SEWER.
 - PERMISSION IS REQUESTED FOR UNIT PHASING.
 - ALL PUBLIC BASINS TO BE MAINTAINED BY LACFGD.
 - ALL STREETS LOCATED 'BEHIND' THE GATES ARE TO BE PRIVATE AND FUTURE EXCEPT WHERE CALLED OUT.
 - ALL STREET CURB RADIUS ARE 25' OR OTHERWISE STATES IN THE PLAN.
 - ALL NOTES ON PREVIOUSLY APPROVED TENT. MAP WHERE APPLICABLE STILL APPLY (SEE NOTES 14-19.23 W/ ADDITIONAL LANGUAGE, AND 24-28 ON PREVIOUSLY APPROVED MAP).
 - OIL WELL (TEXACO, INC WAYSIDE CYN. UNIT TRACT B PER 1989 MUNGER MAP) LOCATED ADJACENT TO 'V' STREET HAVE BEEN ABANDONED AND CAPPED PER DEPT. OF OIL AND GAS STANDARDS.
 - ALL PROPOSED WALLS OVER 6' TALL ARE CALLED OUT.

SHEET SUMMARY	
SHEET	DESCRIPTION
1	COMPOSITE MAP / TITLE SHEET (INCLUDES RECORDED MAPS IN PLANNING AREA A)
2	LAYOUT DETAILS (100 SCALE)
3	LAYOUT DETAILS (100 SCALE)
4	LAYOUT DETAILS (100 SCALE)
5	LAYOUT DETAILS (100 SCALE)
6	LAYOUT DETAILS (100 SCALE)
7	PROPOSED DETAILS TYPICAL STREET SECTIONS
8	CONCEPTUAL MASTER TRAILS PLAN
9	EASEMENT LOCATION MAP

Identify which is public on the map.

Call out all lot numbers.

Consider calling out each pad elevations or request pad elevation variance range on the map to avoid requesting DRP approval at the time of the grading plan check.

For all basins, identify the maintenance responsibility (public/private), boundary limits (easement/fee lot), and debris cone.

For all private drainage devices, identify the following: function (debris basin, bulk flow inlet, etc.), size, debris cone, and proper access road.

All debris deslating areas that will be privately maintained must be called out on the tent map as a catchment area and provide debris volume, and proper access road.

For all drainage devices that convey debris flow, be sure to have self cleaning velocity. This will be checked with the grading plans.

Call out the elevations of the main contour lines of proposed grading within the lots locations.

For all trail on all sheets including sheet 8, clearly show and call out the segment of the trail that required to be improved with this map. Any segment outside the grading limits showed not be improved per this map.

Provide earthwork volume.

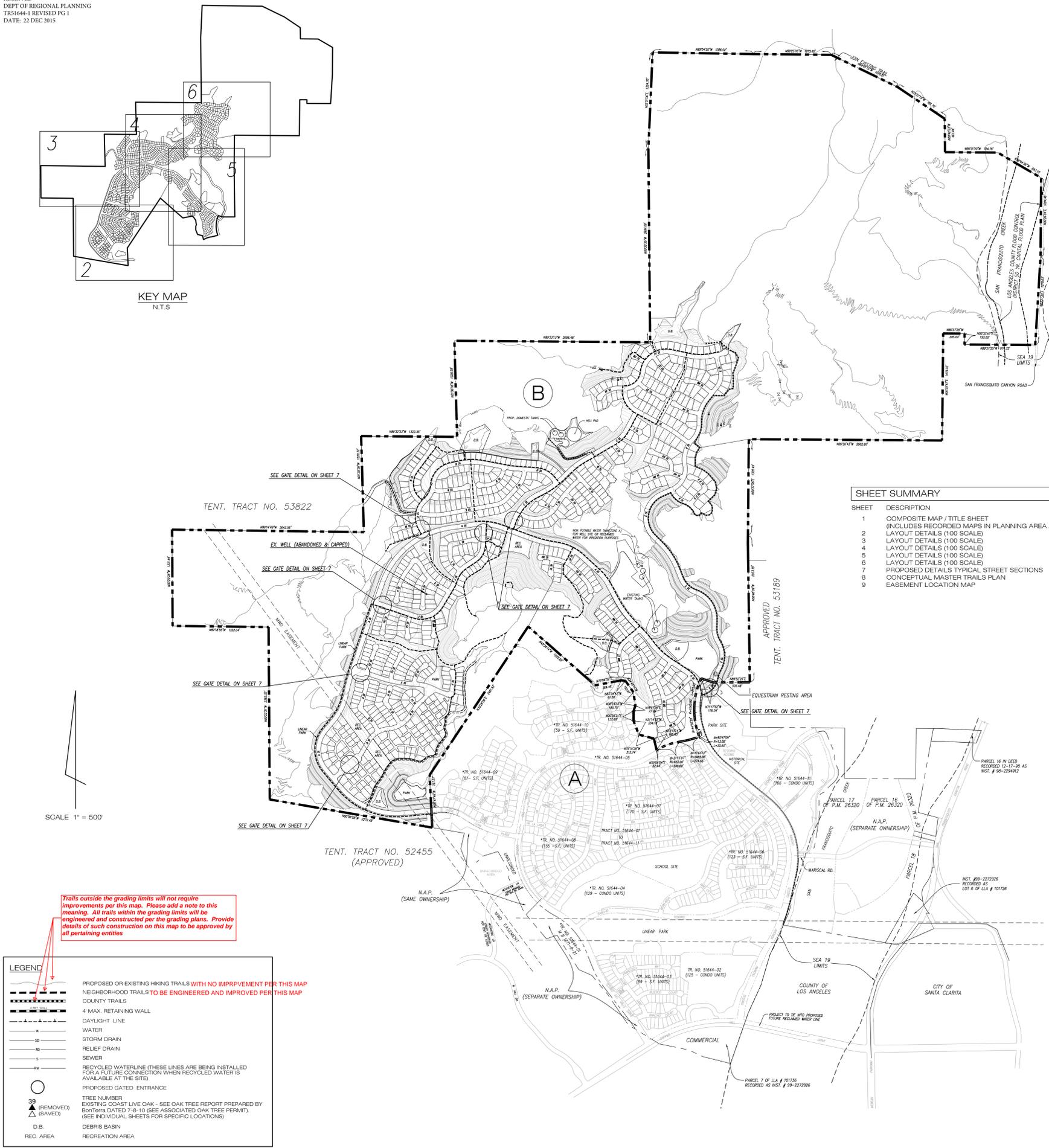
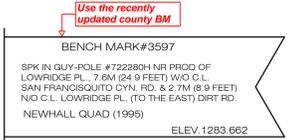
Call out all retaining walls regardless the height.

PLANNING AREA SUMMARY / INDEX SHEET				
	AREA A	SHT. NO.	AREA B	SHT. NO.
ESTATE LOTS		(SHT.1)	46	(SHT.6)
EXECUTIVE LOTS			99	(SHT.6)
RESIDENTIAL LOTS	1077	(SHT.1)	432	(SHT.2,3,4,5,6)
SENIOR LOTS			218	(SHT.2)
STREET LOTS			4	(SHT.2,3,4,5,6)
PARK LOTS			8	(SHT.2,3,4,5)
COMMON LOTS			-	
PROP. TANK LOTS			1	(SHT.4)
EXIST. TANK LOTS			2	(SHT.5)
HELI LOT			1	(SHT.4)
BASIN LOTS		(SHT.1)	9	(SHT.2,3,4,5,6)
PASEO LOTS			4	(SHT.2,3,4,5,6)
MANUFACTURED OPEN SPACE LOTS			10	(SHT.2,3,4,5,6)
NATURAL OPEN SPACE LOTS		(SHT.1)	8	(SHT.2,3,4,5,6)

LOT HISTORY
LOTS 1 THRU 714 HAS ALL BEEN RECORDED AS UNITS OF TR. NO.51644 (AREA A) LOTS 715-976 WERE ORIGINAL LOT NO'S. FOR AREA B. LOTS 977-1710 WERE PREVIOUSLY DELETED PER THE OLD MAP PRIOR TO APPROVAL. LOTS 1711-1713, 1715 ARE RECORDED LOTS IN AREA A & D. (SEE ORIGINAL TRACT MAP) THE FOLLOWING OLD NUMBERS WERE NOT RECORDED, THEY ARE: 680,682,702,703, 863 & 1714. FOUR ESTATE LOTS HAVE BEEN PREVIOUSLY APPROVED AND NO CHANGES ARE REQUESTED. THEY ARE LOT 1714 IN PLANNING AREA A, LOT 962 IN PLANNING AREA C AND LOTS 702 & 703 IN PLANNING AREA D.

LOT SIZE MINIMUM	
ESTATE LOTS	46
EXECUTIVE LOTS	99
65' X 100'	140
60' X 100'	124
55' X 100'	74
50' X 100'	94
SUBTOTAL	577
SENIOR S F (65' X 100')	103
SENIOR VILLAS	115
SUBTOTAL	218
TOTAL	795

REVISED
AMENDED MAP

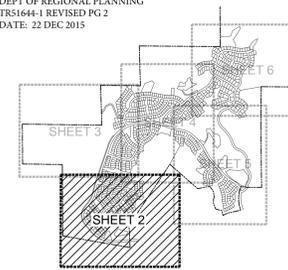


LEGEND	
	PROPOSED OR EXISTING HIKING TRAILS WITH NO IMPROVEMENT PER THIS MAP
	NEIGHBORHOOD TRAILS TO BE ENGINEERED AND IMPROVED PER THIS MAP
	COUNTY TRAILS
	4 MAX. RETAINING WALL
	DAYLIGHT LINE
	WATER
	STORM DRAIN
	RELIEF DRAIN
	SEWER
	RECYCLED WATERLINE (THESE LINES ARE BEING INSTALLED FOR A FUTURE CONNECTION WHEN RECYCLED WATER IS AVAILABLE AT THE SITE)
	PROPOSED GATED ENTRANCE
	TREE NUMBER
	EXISTING COAST LIVE OAK - SEE OAK TREE REPORT PREPARED BY BENTON DATED 7-16-10 (SEE ASSOCIATED OAK TREE PERMIT) (SEE INDIVIDUAL SHEETS FOR SPECIFIC LOCATIONS)
	EXISTING COAST LIVE OAK - SEE OAK TREE REPORT PREPARED BY BENTON DATED 7-16-10 (SEE ASSOCIATED OAK TREE PERMIT) (SEE INDIVIDUAL SHEETS FOR SPECIFIC LOCATIONS)
	DEBRIS BASIN
	REC. AREA

Trails outside the grading limits will not require improvements per this map. Please add a note to this meaning. All trails within the grading limits will be engineered and constructed per the grading plans. Provide details of such construction on this map to be approved by all pertaining entities.

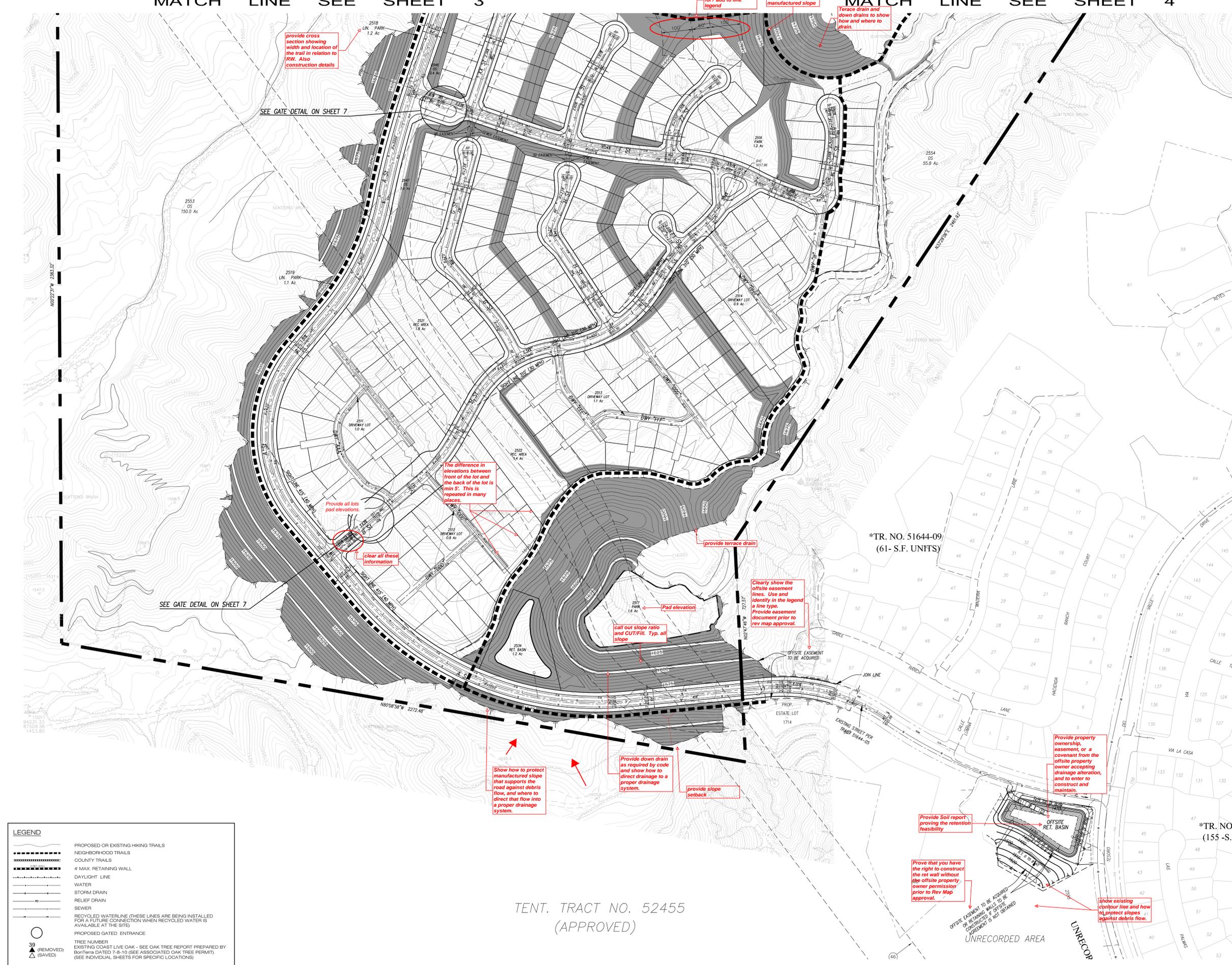
<p>PREPARED FOR: BLC TESORO LLC C/O IHP CAPITAL PARTNERS 100 BAYMEW CIRCLE, STE 2000 NEWPORT BEACH, CA 92660 ATTN: ERIC PFAHLER TEL. 310-864-3330</p>	<p>WATER SYSTEMS CIVILTEC 188 W. LIME AVE. MONROVIA, CA 91016 TEL. 626-357-0588</p>	<p>SOILS ENGINEER & GEOLOGIST RMA GEOSCIENCE, INC 9854 GLEN OAKS BLVD SUN VALLEY, CA 91352 ATTN: MARK SWATEK TEL. 800-762-4396</p>	<p>LAND PLANNING & LANDSCAPING PLACEWORKS 3 MACARTHUR PLACE STE 1100 SANTA ANA, CA 92707 TEL. 714-966-9220</p>	<p>ENVIRONMENTAL BONTERRA CONSULTING 3452 E. FOOTHILL BLVD. PASADENA, CA 91107 TEL. 626-351-2000</p>	<p>CONSULTANT MARTIN & ASSOC, LLC 3545 CORPORATE COSTA MESA CA 92626 TEL. 714-641-9022</p>	<p>LEGAL DESCRIPTION BEING PORTIONS OF SECTIONS 21, 22, 27, 28, 33 AND 34, TOWNSHIP 5 NORTH, RANGE 16 WEST, SAN BERNARDINO MERIDIAN TOGETHER WITH PORTIONS OF RANCHO SAN FRANCISCO RECORDED IN BOOK 1, PAGE 521 AND 522 OF PATENTS IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY.</p>	<p>REVISION DATE: 12/22/2015 D.W.C. NO. 5093-023-05E SHEET 1 OF 9</p>	<p>SCALE: AS SHOWN</p>	<p>APPROVED BY: [Signature]</p>	<p>DATE: 12/22/2015</p>	<p>D.W.C. NO. 5093-023-05E</p>	<p>BY: [Signature]</p>	<p>APP: [Signature]</p>	<p>PROJECT ENGINEER: [Signature]</p>	<p>15230 Burbank Blvd. Van Nuys, CA 91411 Tel: (818) 787-8550 Fax: (818) 901-7451 info@sikand.com</p>	<p>MAJOR LAND DIVISION VESTING TENTATIVE TRACT NO 51644 LOCATED IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA</p>
--	--	---	---	---	---	--	---	------------------------	---------------------------------	-------------------------	--------------------------------	------------------------	-------------------------	--------------------------------------	---	--

GRADING



KEY MAP SCALE: 1" = 2000'

MATCH LINE SEE SHEET 5



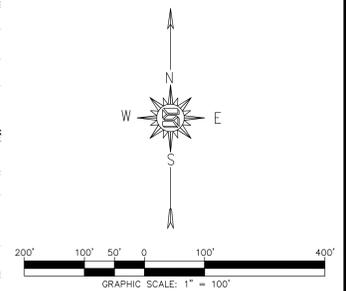
*TR. NO. 51644-09 (61- S.F. UNITS)

*TR. NO. 5 (155-S.F.)

TENT. TRACT NO. 52455 (APPROVED)

LEGEND

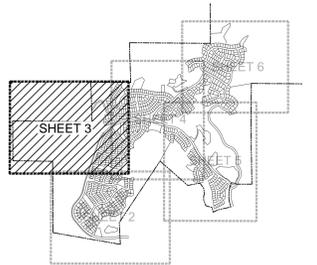
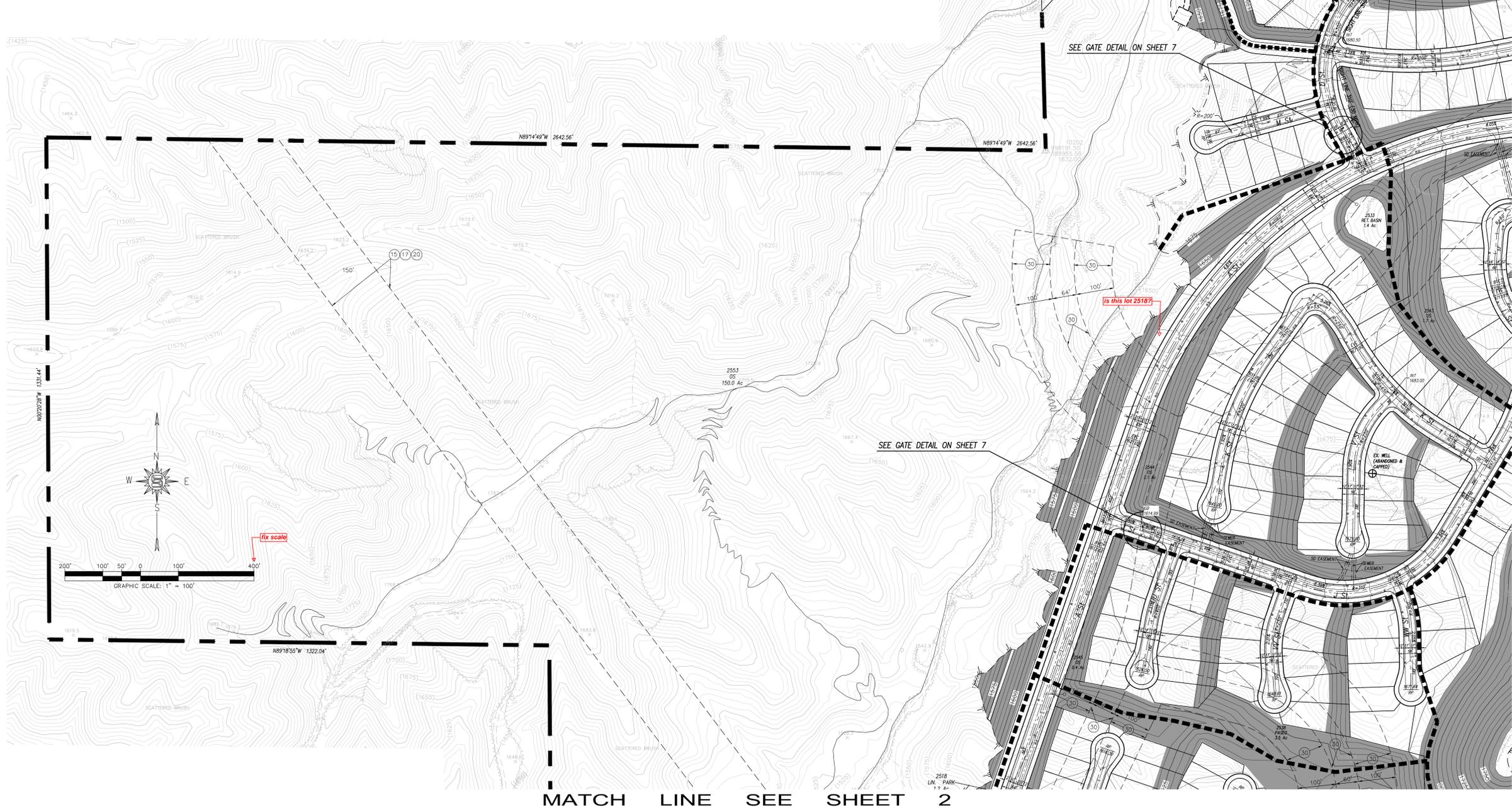
	PROPOSED OR EXISTING HIKING TRAILS
	NEIGHBORHOOD TRAILS
	COUNTY TRAILS
	4' MAX. RETAINING WALL
	DAYLIGHT LINE
	WATER
	STORM DRAIN
	RELIEF DRAIN
	SEWER
	RECYCLED WATERLINE (THESE LINES ARE BEING INSTALLED FOR A FUTURE CONNECTION WHEN RECYCLED WATER IS AVAILABLE AT THE SITE)
	PROPOSED GATED ENTRANCE
	TREE NUMBER
	EXISTING COAST LIVE OAK - SEE OAK TREE REPORT PREPARED BY BON TERRA DATED 7-8-10 (SEE ASSOCIATED OAK TREE PERMIT) (SEE INDIVIDUAL SHEETS FOR SPECIFIC LOCATIONS)
	(REMOVED)
	(SAVED)



PREPARED FOR: BLC TESORO LLC C/O IHP CAPITAL PARTNERS 100 BAYVIEW CIRCLE, STE 2000 NEWPORT BEACH, CA 92660 ATTN: ERIC PFAHLER TEL. 310-864-3330	WATER SYSTEMS CIVILTEC 188 W. LIME AVE. MONROVIA, CA 91016 TEL. 626-357-0588	SOILS ENGINEER & GEOLOGIST RMA GEOSCIENCE, INC 9854 GLEN OAKS BLVD SUN VALLEY, CA 91352 ATTN: MARK SWATEK TEL. 800-762-4396	LAND PLANNING & LANDSCAPING PLACEWORKS 3 MACARTHUR PLACE STE 1100 SANTA ANA, CA 92707 TEL. 714-966-9220	ENVIRONMENTAL BONTERRA CONSULTING 3452 E. FOOTHILL BLVD. SUITE 420 PASADENA, CA 91107 TEL. 626-351-2000	CONSULTANT MARTIN & ASSOC, LLC 3545 CORPORATE COSTA MESA CA 92626 TEL. 714-641-9022	LEGAL DESCRIPTION BEING PORTIONS OF SECTIONS 21, 22, 27, 28, 33 AND 34, TOWNSHIP 5 NORTH, RANGE 16 WEST, SAN BERNARDINO MERIDIAN TOGETHER WITH PORTIONS OF RANCHO SAN FRANCISCO RECORDED IN BOOK 1, PAGE 521 AND 522 OF PATENTS IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY.	<table border="1"> <tr><td>4</td><td>12-22-15</td><td>REVISE MAP TO 75% (U) INCLUDING 115 SIGNERS, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA 14</td></tr> <tr><td>3</td><td>9-20-10</td><td>CLARIFY STREET NAMES, WOODY GATE LOC, REV. TRAIL SYSTEM, ADD LINE OF SIGHT, NEU-SPOT EASEMENT & REC. SIGN'S</td></tr> <tr><td>2</td><td>2-17-10</td><td>SHOW FIRE STATION AS ALTERNATE, ADD MEDIAN, CALL OUT 241 DOTS AS > 1 AC, REDUCE DOTS FROM 75 TO 100, REV. TRAIL SYSTEM</td></tr> <tr><td>1</td><td>11-04-08</td><td>ADDED EXISTING WATER TANK LOTS AND RENAMED LOTS PER PHASING AND ADDED DESIGNING DRAIN, TERRACE DRAIN & WIC. REV. HOLLOWED TO LOTS FROM AREA C TO AREA B</td></tr> </table>	4	12-22-15	REVISE MAP TO 75% (U) INCLUDING 115 SIGNERS, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA 14	3	9-20-10	CLARIFY STREET NAMES, WOODY GATE LOC, REV. TRAIL SYSTEM, ADD LINE OF SIGHT, NEU-SPOT EASEMENT & REC. SIGN'S	2	2-17-10	SHOW FIRE STATION AS ALTERNATE, ADD MEDIAN, CALL OUT 241 DOTS AS > 1 AC, REDUCE DOTS FROM 75 TO 100, REV. TRAIL SYSTEM	1	11-04-08	ADDED EXISTING WATER TANK LOTS AND RENAMED LOTS PER PHASING AND ADDED DESIGNING DRAIN, TERRACE DRAIN & WIC. REV. HOLLOWED TO LOTS FROM AREA C TO AREA B	<table border="1"> <tr><td>SCALE:</td><td>CHK'D BY:</td><td>APPROVED BY:</td><td>DATE:</td><td>D.W.C. NO.:</td><td>SHEET</td><td>OF</td></tr> <tr><td>AS SHOWN</td><td></td><td></td><td>12/22/2015</td><td>5093-023-05E</td><td>2</td><td>9</td></tr> </table>	SCALE:	CHK'D BY:	APPROVED BY:	DATE:	D.W.C. NO.:	SHEET	OF	AS SHOWN			12/22/2015	5093-023-05E	2	9			15230 Burbank Blvd. Van Nuys, CA 91411 Tel: (818) 787-8550 Fax: (818) 901-7451 info@sikand.com	MAJOR LAND DIVISION VESTING TENTATIVE TRACT NO 51644 LOCATED IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA
4	12-22-15	REVISE MAP TO 75% (U) INCLUDING 115 SIGNERS, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA 14																																				
3	9-20-10	CLARIFY STREET NAMES, WOODY GATE LOC, REV. TRAIL SYSTEM, ADD LINE OF SIGHT, NEU-SPOT EASEMENT & REC. SIGN'S																																				
2	2-17-10	SHOW FIRE STATION AS ALTERNATE, ADD MEDIAN, CALL OUT 241 DOTS AS > 1 AC, REDUCE DOTS FROM 75 TO 100, REV. TRAIL SYSTEM																																				
1	11-04-08	ADDED EXISTING WATER TANK LOTS AND RENAMED LOTS PER PHASING AND ADDED DESIGNING DRAIN, TERRACE DRAIN & WIC. REV. HOLLOWED TO LOTS FROM AREA C TO AREA B																																				
SCALE:	CHK'D BY:	APPROVED BY:	DATE:	D.W.C. NO.:	SHEET	OF																																
AS SHOWN			12/22/2015	5093-023-05E	2	9																																

LEGEND	
	PROPOSED OR EXISTING HIKING TRAILS
	NEIGHBORHOOD TRAILS
	COUNTY TRAILS
	4 MAX. RETAINING WALL
	DAYLIGHT LINE
	WATER
	STORM DRAIN
	RELIEF DRAIN
	SEWER
	RECYCLED WATERLINE (THESE LINES ARE BEING INSTALLED FOR A FUTURE CONNECTION WHEN RECYCLED WATER IS AVAILABLE AT THE SITE)
	PROPOSED GATED ENTRANCE
	TREE NUMBER
	EXISTING COAST LIVE OAK - SEE OAK TREE REPORT PREPARED BY BONITERRA GATED 7-8-10 (SEE ASSOCIATED OAK TREE PERMIT). (SEE INDIVIDUAL SHEETS FOR SPECIFIC LOCATIONS)
	(REMOVED)
	(SAVED)

TENT. TRACT NO. 53822



KEY MAP
SCALE: 1" = 2000'

MATCH LINE SEE SHEET 4

MATCH LINE SEE SHEET 2

<p>PREPARED FOR: BLC TESORO LLC C/O IHP CAPITAL PARTNERS 100 BAYVIEW CIRCLE, STE 2000 NEWPORT BEACH, CA 92660 ATTN: ERIK PFAHLER TEL. 310-864-3330</p>	<p>WATER SYSTEMS CIVILTEC 188 W. LIME AVE. MONROVIA, CA 91016 TEL. 626-357-0588</p>	<p>SOILS ENGINEER & GEOLOGIST RMA GEOSCIENCE, INC 9854 GLEN OAKS BLVD SUN VALLEY, CA 91352 ATTN: MARK SWATEK TEL. 800-762-4396</p>	<p>LAND PLANNING & LANDSCAPING PLACEWORKS 3 MACARTHUR PLACE STE 1100 SANTA ANA, CA 92707 TEL. 714-966-9220</p>	<p>ENVIRONMENTAL BONTERRA CONSULTING 3452 E. FOOTHILL BLVD. SUITE 420 PASADENA, CA 91107 TEL. 626-351-2000</p>	<p>CONSULTANT MARTIN & ASSOC, LLC 3545 CORPORATE COSTA MESA CA 92626 TEL. 714-641-9022</p>
---	--	---	---	---	---

LEGAL DESCRIPTION
BEING PORTIONS OF SECTIONS 21, 22, 27,
28, 33 AND 34, TOWNSHIP 5 NORTH,
RANGE 16 WEST, SAN BERNARDINO
MERIDIAN TOGETHER WITH PORTIONS OF
RANCHO SAN FRANCISCO RECORDED IN
BOOK 1, PAGE 521 AND 522 OF PATENTS
IN THE OFFICE OF THE COUNTY RECORDER
OF LOS ANGELES COUNTY.

NO.	DATE	REVISION
4	12-22-15	REVISE MAP TO 785.50 INCLUDING 115 SIGNERS, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA 14
3	9-20-10	CLARIFY STREET NAMES, WOODY GATE LOC, REV. TRAIL SYSTEM, ADD LINE OF SIGHT, NEEL-SPOT EASEMENT & WALK SIGN'S
2	2-17-10	SHOW FIRE STATION AS ALTERNATE, ADD MEDIAN, CALL OUT 241 DOTS AS > 1 AC, REDUCE DOTS FROM 714 TO 700, REV. TRAILS SYSTEM
1	11-04-08	ADD EXISTING WATER TANK LOTS AND RENUMBERED LOTS PER PAVING MAP; ADD EXISTING DRIVE, TERRACE DRIVE & WALK WAY RELOCATED TO LOTS FROM AREA C TO AREA B



SIKAND
Engineering | Planning | Surveying

15230 Burbank Blvd.
Van Nuys, CA 91411
Tel: (818) 787-8550
Fax: (818) 901-7451
info@sikand.com

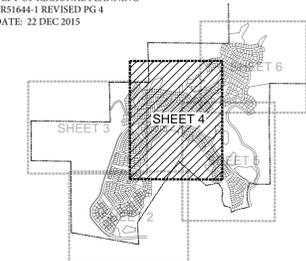
MAJOR LAND DIVISION
VESTING TENTATIVE TRACT NO 51644
LOCATED IN THE UNINCORPORATED TERRITORY
OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

GRADING

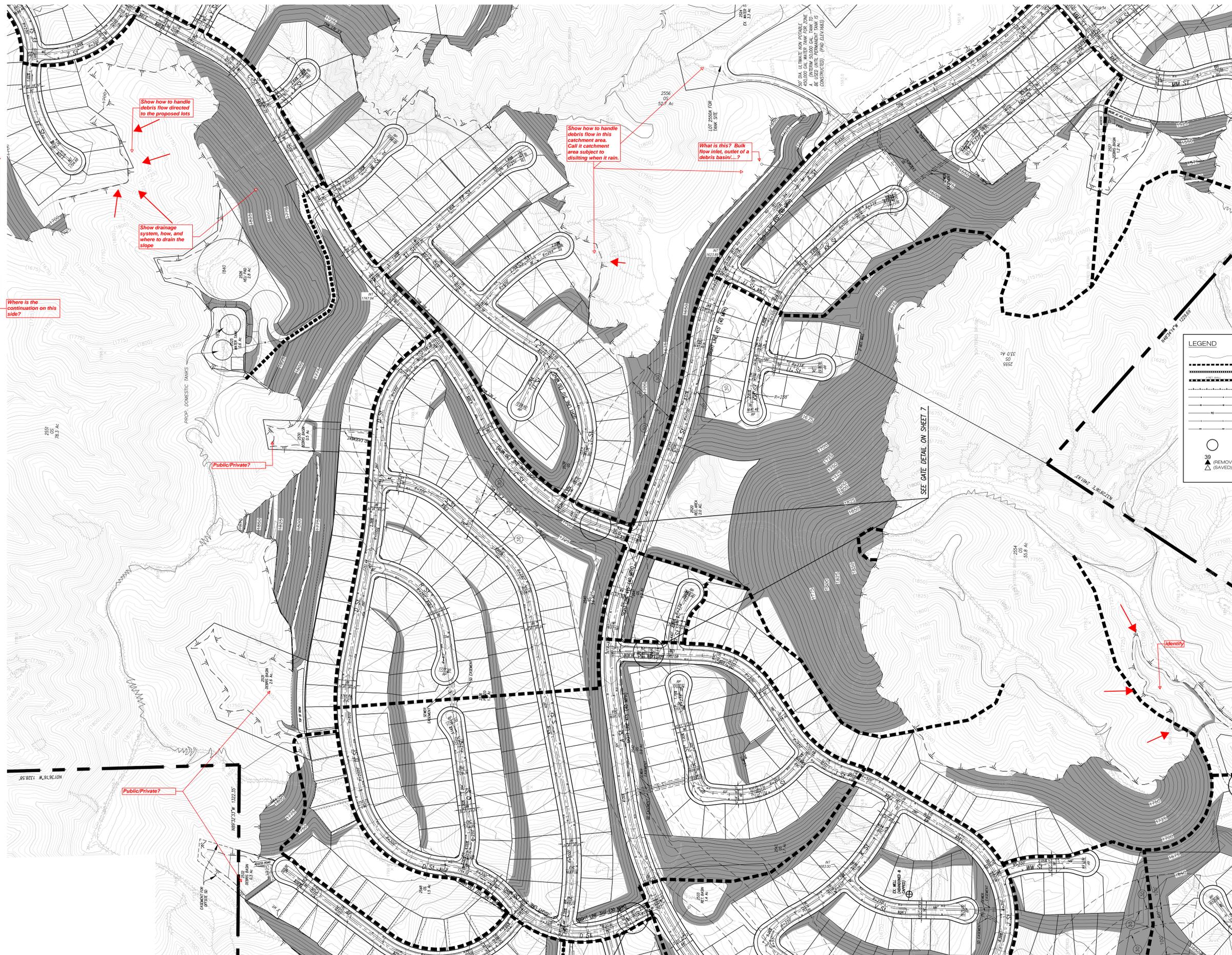
MATCH LINE SEE SHEET 6

MATCH LINE SEE SHEET 5

RECEIVED
DEPT OF REGIONAL PLANNING
TR51644-1 REVISED PG 4
DATE: 22 DEC 2015



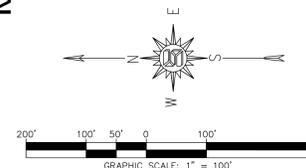
KEY MAP
SCALE: 1" = 2000'



LEGEND

- PROPOSED OR EXISTING HIKING TRAILS
- NEIGHBORHOOD TRAILS
- COUNTY TRAILS
- 4' MAX. RETAINING WALL
- DAYLIGHT LINE
- WATER
- STORM DRAIN
- RELIEF DRAIN
- SEWER
- RECYCLED WATERLINE (THESE LINES ARE BEING INSTALLED FOR A FUTURE CONNECTION WHEN RECYCLED WATER IS AVAILABLE AT THE SITE)
- PROPOSED GATED ENTRANCE
- TREE NUMBER
- EXISTING COAST LIVE OAK - SEE OAK TREE REPORT PREPARED BY Bortner DATED 7-8-10 (SEE ASSOCIATED OAK TREE PERMIT. (SEE INDIVIDUAL SHEETS FOR SPECIFIC LOCATIONS))
- 39 (REMOVED)
- 38 (SAVED)

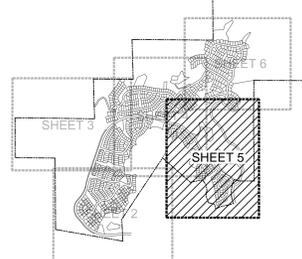
MATCH LINE SEE SHEET 2



MATCH LINE SEE SHEET 3

PREPARED FOR: BLC TESORO LLC C/O IHP CAPITAL PARTNERS 100 BAYVIEW CIRCLE, STE 2000 NEWPORT BEACH, CA 92660 ATTN: ERIK PFAHLER TEL. 310-864-3330	WATER SYSTEMS CIVILTEC 188 W. LIME AVE. MONROVIA, CA 91016 TEL. 626-357-0588	SOILS ENGINEER & GEOLOGIST RMA GEOSCIENCE, INC 9854 GLEN OAKS BLVD SUN VALLEY, CA 91352 ATTN: MARK SWATEK TEL. 800-762-4396	LAND PLANNING & LANDSCAPING PLACEWORKS 3 MACARTHUR PLACE STE 1100 SANTA ANA, CA 92707 TEL. 714-966-9220	ENVIRONMENTAL BONTERRA CONSULTING 3452 E. FOOTHILL BLVD. SUITE 420 PASADENA, CA 91107 TEL. 626-351-2000	CONSULTANT MARTIN & ASSOC, LLC 3545 CORPORATE COSTA MESA CA 92626 TEL. 714-641-9022	LEGAL DESCRIPTION BEING PORTIONS OF SECTIONS 21, 22, 27, 28, 33 AND 34, TOWNSHIP 5 NORTH, RANGE 18 WEST, SAN BERNARDINO MERIDIAN TOGETHER WITH PORTIONS OF RANCHO SAN FRANCISCO RECORDED IN BOOK 1, PAGE 521 AND 522 OF PATENTS OF LOS ANGELES COUNTY.	<table border="1"> <tr> <td>4</td> <td>12-22-15</td> <td>REVISE MAP TO 75% (U) INCLUDING 115 SENIORS, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA 1"</td> <td></td> <td></td> <td></td> </tr> <tr> <td>3</td> <td>9-20-10</td> <td>CLARIFY STREET NAMES; WOODY GATE LOC.; REV. TRAIL SYSTEM; ADD LINE OF SIGHT; NEIGH-SPOT</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td>2-17-10</td> <td>LANDMARK & HOV. TRAIL SYSTEM</td> <td></td> <td></td> <td></td> </tr> <tr> <td>1</td> <td>11-04-08</td> <td>SHOW FIRE STATION AS ALTERNATE; ADD MEDIAN; CALL OUT 241 DOTS AS > 1 AC; REDUCE DOTS FROM 1 TO 100 REV. TRAIL SYSTEM</td> <td></td> <td></td> <td></td> </tr> </table>	4	12-22-15	REVISE MAP TO 75% (U) INCLUDING 115 SENIORS, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA 1"				3	9-20-10	CLARIFY STREET NAMES; WOODY GATE LOC.; REV. TRAIL SYSTEM; ADD LINE OF SIGHT; NEIGH-SPOT				2	2-17-10	LANDMARK & HOV. TRAIL SYSTEM				1	11-04-08	SHOW FIRE STATION AS ALTERNATE; ADD MEDIAN; CALL OUT 241 DOTS AS > 1 AC; REDUCE DOTS FROM 1 TO 100 REV. TRAIL SYSTEM				<table border="1"> <tr> <td>SCALE:</td> <td>CHK'D BY:</td> <td>APPROVED BY:</td> <td>DATE:</td> <td>D.W.C. NO.:</td> <td>BY:</td> <td>APP:</td> </tr> <tr> <td>AS SHOWN</td> <td></td> <td></td> <td>12/22/2015</td> <td>5093-023-05E</td> <td></td> <td></td> </tr> <tr> <td colspan="3"></td> <td></td> <td></td> <td>SHEET</td> <td>OF</td> </tr> <tr> <td colspan="3"></td> <td></td> <td></td> <td>4</td> <td>9</td> </tr> </table>	SCALE:	CHK'D BY:	APPROVED BY:	DATE:	D.W.C. NO.:	BY:	APP:	AS SHOWN			12/22/2015	5093-023-05E								SHEET	OF						4	9			15230 Burbank Blvd. Van Nuys, CA 91411 Tel: (818) 787-8550 Fax: (818) 901-7451 info@sikand.com	MAJOR LAND DIVISION VESTING TENTATIVE TRACT NO 51644 LOCATED IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA
4	12-22-15	REVISE MAP TO 75% (U) INCLUDING 115 SENIORS, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA 1"																																																														
3	9-20-10	CLARIFY STREET NAMES; WOODY GATE LOC.; REV. TRAIL SYSTEM; ADD LINE OF SIGHT; NEIGH-SPOT																																																														
2	2-17-10	LANDMARK & HOV. TRAIL SYSTEM																																																														
1	11-04-08	SHOW FIRE STATION AS ALTERNATE; ADD MEDIAN; CALL OUT 241 DOTS AS > 1 AC; REDUCE DOTS FROM 1 TO 100 REV. TRAIL SYSTEM																																																														
SCALE:	CHK'D BY:	APPROVED BY:	DATE:	D.W.C. NO.:	BY:	APP:																																																										
AS SHOWN			12/22/2015	5093-023-05E																																																												
					SHEET	OF																																																										
					4	9																																																										

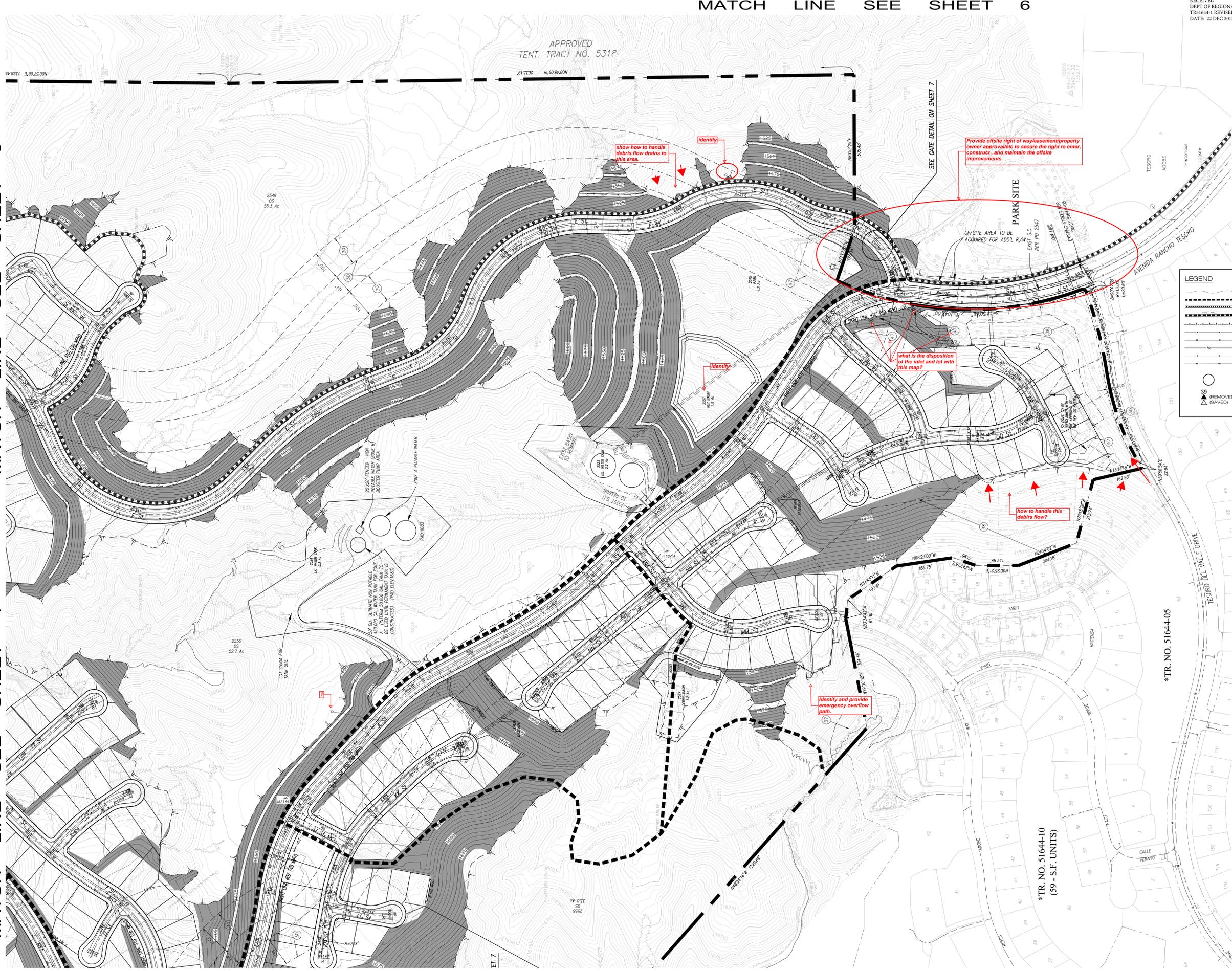
GRADING



KEY MAP
SCALE: 1" = 2000'

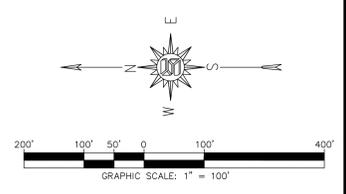
MATCH LINE SEE SHEET 6
MATCH LINE SEE SHEET 4
MATCH LINE SEE SHEET 4
MATCH LINE SEE SHEET 4

APPROVED
TENT. TRACT NO. 531R



LEGEND

- PROPOSED OR EXISTING HIKING TRAILS
- NEIGHBORHOOD TRAILS
- COUNTY TRAILS
- 4 MAX. RETAINING WALL
- DAYLIGHT LINE
- WATER
- STORM DRAIN
- RELIEF DRAIN
- SEWER
- RECYCLED WATERLINE (THESE LINES ARE BEING INSTALLED FOR A FUTURE CONNECTION WHEN RECYCLED WATER IS AVAILABLE AT THE SITE)
- PROPOSED GATED ENTRANCE
- TREE NUMBER
- EXISTING COAST LINE OAK - SEE OAK TREE REPORT PREPARED BY BONTERRA DATED 7-8-10 (SEE ASSOCIATED OAK TREE PERMIT). (SEE INDIVIDUAL SHEETS FOR SPECIFIC LOCATIONS)
- 39 (REMOVED)
- ▲ (SAVED)



MATCH LINE SEE SHEET 4

PREPARED FOR: BLC TESORO LLC C/O IHP CAPITAL PARTNERS 100 BAYVIEW CIRCLE, STE 2000 NEWPORT BEACH, CA 92660 ATTN: ERIK PFAHLER TEL. 310-864-3330	WATER SYSTEMS CIVILTEC 188 W. LIME AVE. MONROVIA, CA 91016 TEL. 626-357-0588	SOILS ENGINEER & GEOLOGIST RMA GEOSCIENCE, INC 9854 GLEN OAKS BLVD SUN VALLEY, CA 91352 ATTN: MARK SWATEK TEL. 800-762-4396	LAND PLANNING & LANDSCAPING PLACEWORKS 3 MACARTHUR PLACE STE 1100 SANTA ANA, CA 92707 TEL. 714-966-9220	ENVIRONMENTAL BONTERRA CONSULTING 3452 E. FOOTHILL BLVD. SUITE 420 PASADENA, CA 91107 TEL. 626-351-2000	CONSULTANT MARTIN & ASSOC, LLC 3545 CORPORATE COSTA MESA CA 92626 TEL. 714-641-9022
--	---	---	--	---	--

4	12-22-15	REVISE MAP TO 75% DV INCLUDING 115 SIGNERS, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA 1"			
3	9-20-10	CLARIFY STREET NAMES, WOODY GATE LOC, REV. TRAIL SYSTEM, ADD LINE OF SIGHT, NEH-SPOT EASMENT & MISC. SIGN'S			
2	2-17-10	SHOW FIRE STATION AS ALTERNATE, ADD MEDIAN, CALL OUT 241 DOTS AS > 1 AC, REDUCE DOTS FROM 1700 TO 1000, REV. TRAIL SYSTEM			
1	11-04-08	ADD EXISTING WATER TANK LOTS AND RENUMBERED LOTS PER PLANNING MAP; ADD DESIRED DRIVE, TORRANCE DRIVE & MISC. REV. ALLOCATED TO LOTS FROM AREA C TO AREA B			
	DATE	REVISION	DATE	D.W.C. NO.	SHEET OF
	12/22/2015			5093-023-05E	5 9
SCALE: AS SHOWN	CHK'D BY:	APPROVED BY:			BY: APP OF

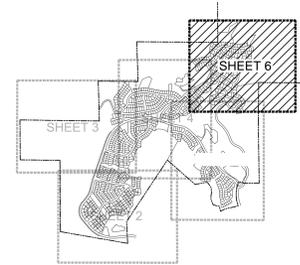


SIKAND
Engineering | Planning | Surveying

15230 Burbank Blvd.
Van Nuys, CA 91411
Tel: (818) 787-8550
Fax: (818) 901-7451
info@sikand.com

MAJOR LAND DIVISION
VESTING TENTATIVE TRACT NO 51644
 LOCATED IN THE UNINCORPORATED TERRITORY
 OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

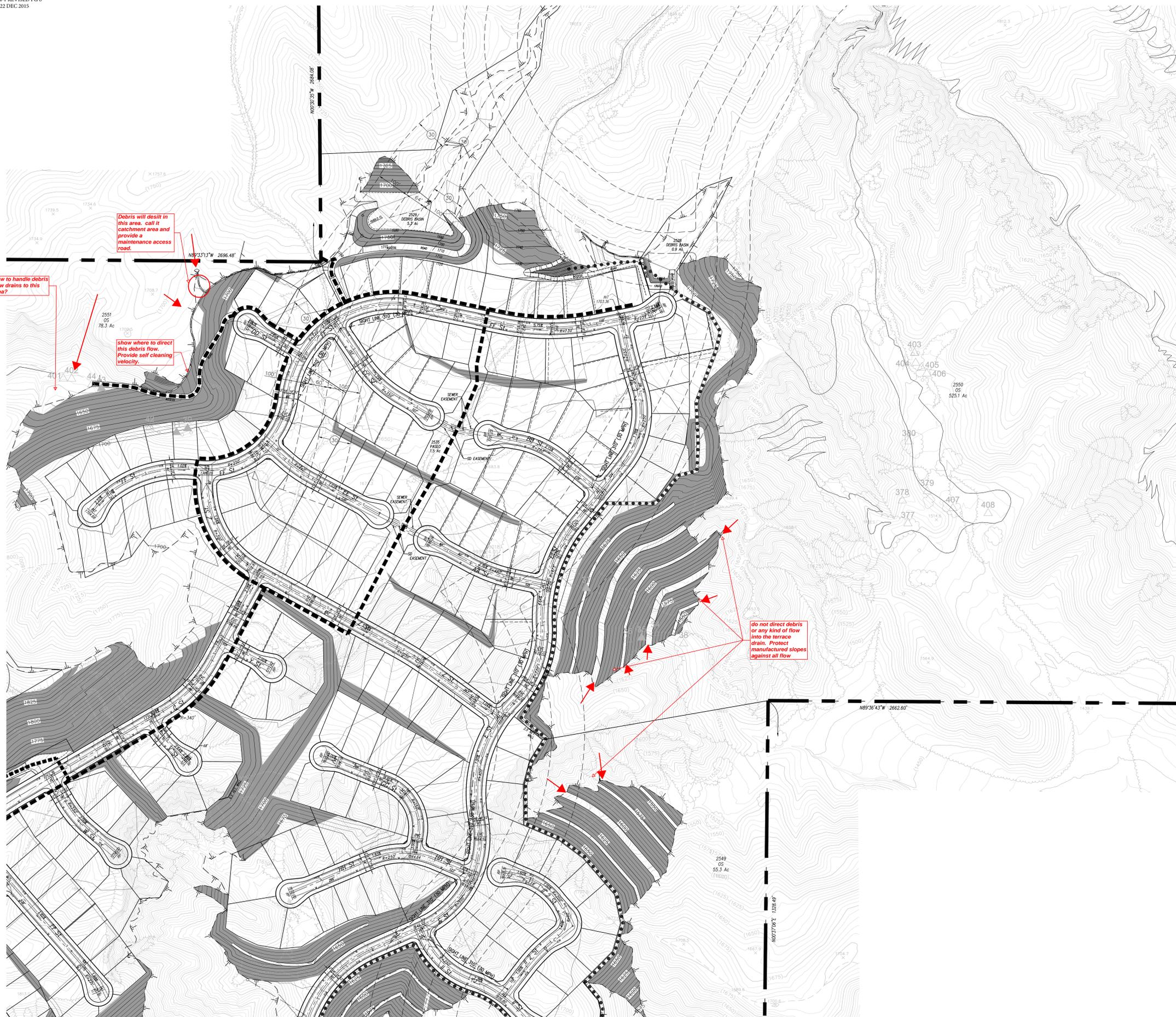
GRADING



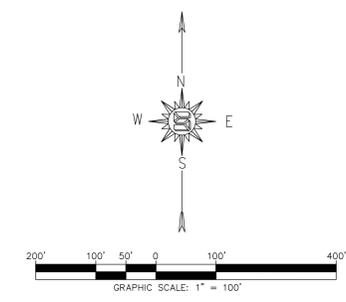
KEY MAP
SCALE: 1" = 2000'

LEGEND	
	PROPOSED OR EXISTING HIKING TRAILS
	NEIGHBORHOOD TRAILS
	COUNTY TRAILS
	4 MAX. RETAINING WALL
	DAYLIGHT LINE
	WATER
	STORM DRAIN
	RELIEF DRAIN
	SEWER
	RECYCLED WATERLINE (THESE LINES ARE BEING INSTALLED FOR A FUTURE CONNECTION WHEN RECYCLED WATER IS AVAILABLE AT THE SITE)
	PROPOSED GATED ENTRANCE
	TREE NUMBER
	EXISTING COAST LIVE OAK - SEE OAK TREE REPORT PREPARED BY BONTERRA DATED 7-8-10 (SEE ASSOCIATED OAK TREE PERMIT) (SEE INDIVIDUAL SHEETS FOR SPECIFIC LOCATIONS)
	(REMOVED)
	(SAVED)

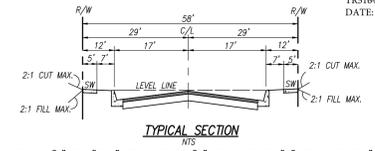
MATCH LINE SEE SHEET 4



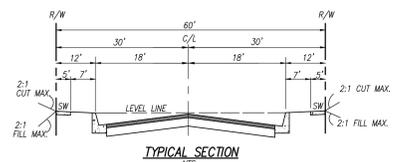
MATCH LINE SEE SHEET 5



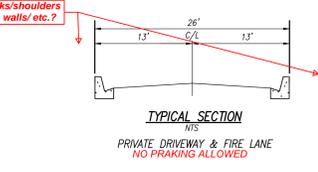
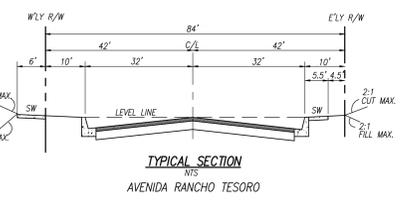
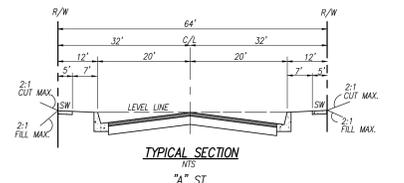
<p>PREPARED FOR: BLC TESORO LLC C/O IHP CAPITAL PARTNERS 100 BAYVIEW CIRCLE, STE 2000 NEWPORT BEACH, CA 92660 ATTN: ERIC PFAHLER TEL. 310-864-3330</p>	<p>WATER SYSTEMS CIVILTEC 188 W. LIME AVE. MONROVIA, CA 91016 TEL. 626-357-0588</p>	<p>SOILS ENGINEER & GEOLOGIST RMA GEOSCIENCE, INC 9854 GLEN OAKS BLVD SUN VALLEY, CA 91352 ATTN: MARK SWATEK TEL. 800-762-4396</p>	<p>LAND PLANNING & LANDSCAPING PLACEWORKS 3 MACARTHUR PLACE STE 1100 SANTA ANA, CA 92707 TEL. 714-966-9220</p>	<p>ENVIRONMENTAL BONTERRA CONSULTING 3452 E. FOOTHILL BLVD. SUITE 420 PASADENA, CA 91107 TEL. 626-351-2000</p>	<p>CONSULTANT MARTIN & ASSOC, LLC 3545 CORPORATE COSTA MESA CA 92626 TEL. 714-641-9022</p>	<p>LEGAL DESCRIPTION BEING PORTIONS OF SECTIONS 21, 22, 27, 28, 33 AND 34, TOWNSHIP 5 NORTH, RANGE 16 WEST, SAN BERNARDINO MERIDIAN TOGETHER WITH PORTIONS OF RANCHO SAN FRANCISCO RECORDED IN BOOK 1, PAGE 521 AND 522 OF PATENTS IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY.</p>	<table border="1"> <tr> <td>4</td> <td>12-22-15</td> <td>REVISE MAP TO 75% (U) INCLUDING 1%5 SLOPES, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA 1</td> <td></td> <td></td> <td></td> </tr> <tr> <td>3</td> <td>9-20-10</td> <td>CLARIFY STREET NAMES, WOODY GATE LOC, REV. TRAIL SYSTEM, ADD LINE OF SIGHT, NEEL-SPOT EASEMENT & MISC. REV'S</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td>2-17-10</td> <td>SHOW FIRE STATION AS ALTERNATE, ADD MEDIAN, CALL OUT 241 DOTS AS > 1 AC, REDUCE DOTS FROM 7% TO 10% SLOPE TRAILS SYSTEM</td> <td></td> <td></td> <td></td> </tr> <tr> <td>1</td> <td>11-04-08</td> <td>ADD EXISTING WATER TANK LOTS AND RENAMED LOTS PER PLANNING MAP; ADD DESIGNED DRAIN, TERRACE DRAIN & MISC. REV'S RELATED TO LOTS FROM AREA C TO AREA B</td> <td></td> <td></td> <td></td> </tr> </table> <p>SCALE: CHK'D BY: APPROVED BY: DATE: D.W.C. NO. SHEET OF AS SHOWN</p> <p>12/22/2015 5093-023-05E 6 9</p>	4	12-22-15	REVISE MAP TO 75% (U) INCLUDING 1%5 SLOPES, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA 1				3	9-20-10	CLARIFY STREET NAMES, WOODY GATE LOC, REV. TRAIL SYSTEM, ADD LINE OF SIGHT, NEEL-SPOT EASEMENT & MISC. REV'S				2	2-17-10	SHOW FIRE STATION AS ALTERNATE, ADD MEDIAN, CALL OUT 241 DOTS AS > 1 AC, REDUCE DOTS FROM 7% TO 10% SLOPE TRAILS SYSTEM				1	11-04-08	ADD EXISTING WATER TANK LOTS AND RENAMED LOTS PER PLANNING MAP; ADD DESIGNED DRAIN, TERRACE DRAIN & MISC. REV'S RELATED TO LOTS FROM AREA C TO AREA B				<p>REGISTERED PROFESSIONAL ENGINEER No. 16913 Exp. 06-30-17 CIVIL STATE OF CALIFORNIA</p>	<p>SIKAND Engineering Planning Surveying</p> <p>15230 Burbank Blvd. Van Nuys, CA 91411 Tel: (818) 787-8550 Fax: (818) 901-7451 info@sikand.com</p>	<p>MAJOR LAND DIVISION VESTING TENTATIVE TRACT NO 51644 LOCATED IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA</p>
4	12-22-15	REVISE MAP TO 75% (U) INCLUDING 1%5 SLOPES, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA 1																																
3	9-20-10	CLARIFY STREET NAMES, WOODY GATE LOC, REV. TRAIL SYSTEM, ADD LINE OF SIGHT, NEEL-SPOT EASEMENT & MISC. REV'S																																
2	2-17-10	SHOW FIRE STATION AS ALTERNATE, ADD MEDIAN, CALL OUT 241 DOTS AS > 1 AC, REDUCE DOTS FROM 7% TO 10% SLOPE TRAILS SYSTEM																																
1	11-04-08	ADD EXISTING WATER TANK LOTS AND RENAMED LOTS PER PLANNING MAP; ADD DESIGNED DRAIN, TERRACE DRAIN & MISC. REV'S RELATED TO LOTS FROM AREA C TO AREA B																																



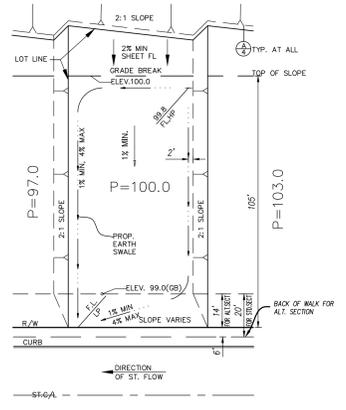
TYPICAL SECTION
NIS
PART OF "F" ST, "F-1" ST, PART OF "G" ST, PART OF "H" ST, PART OF "K" ST, PART OF "L" ST, "M" ST, "P" ST, "Q" ST, "R" ST, "U" ST, "V" ST, "W" ST, "X" ST, "Y" ST, "AA" ST, "BB" ST, "CC" ST, "DD" ST, "EE" ST, "GG" ST, PART OF "HH" ST, PART OF "I-2" ST, "LL" ST, "MM" ST, "RR" ST, "SS" ST, PART OF "TT" ST, "UU" ST, "VV" ST, "WW" ST, "XX" ST, "YY" ST & "ZZ" ST.



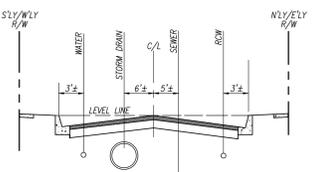
TYPICAL SECTION
NIS
"B" ST, "C" ST, "D" ST, "E" ST, PART OF "F" ST, PART OF "G" ST, PART OF "H" ST, "I" ST, PART OF "K" ST, PART OF "L" ST, "N" ST, "S" ST, "T" ST, "Z" ST, "FF" ST, PART OF "HH" ST, "II" ST, PART OF "I-2" ST, "JJ" ST, "KK" ST, "OO" ST, "PP" ST, "QQ" ST, PART OF "TT" ST & REYES ADOBE WAY.



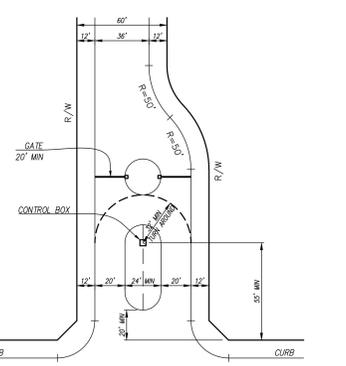
Sidewalks/shoulders /stough walls/ etc.?



TYP. LOT GRADING DETAIL
NIS

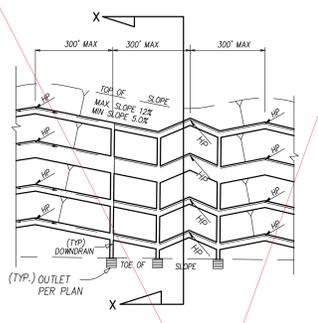


TYPICAL UTILITY LOCATION
NIS
NOTE: GAS, ELECTRIC, TELEPHONE, TV & INTERNET ARE IN PARKWAYS EXCEPT FOR CROSSINGS.



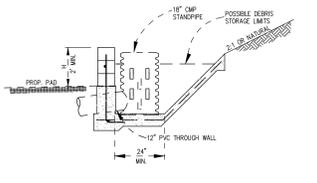
GATE DETAIL (TYPICAL)
SCALE 1"=40'

Code control. Do not need to provide.

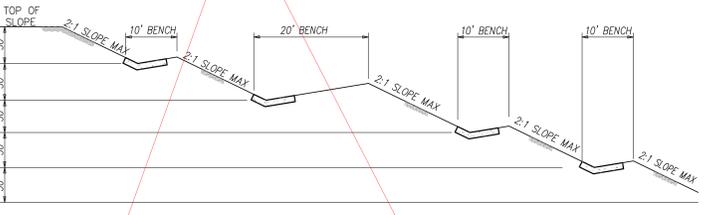


CONCEPTUAL LAYOUT TO BE SHOWN ON FINAL GRADING PLAN
NIS

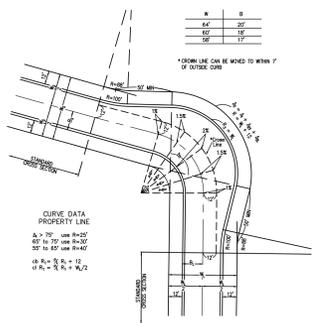
SLOPES STEEPER THAN 3:1 SHALL BE PROVIDED WITH PAVED DRAINAGE TERRACES AT VERTICAL INTERVALS OF 30 FEET FOR SLOPES OVER 30 FEET HIGH. SUCH TERRACES SHALL HAVE A MINIMUM WIDTH OF 8' (TOTAL HORIZONTAL DISTANCE) AND DEPTH OF 1" AT THE FLOW LINE. FOR SLOPES GREATER THAN 100' IN HEIGHT A 20' WIDE BENCH SHALL BE PROVIDED AT MID HEIGHT AS SHOWN.



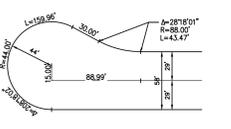
PRIVATELY MAINTAINED BASIN STANDPIPE DETAIL
NIS



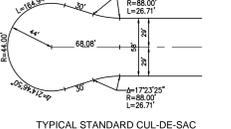
SECTION X-X
NOT TO SCALE



NOTES:
1. SUBSCRIPTS "S" AND "L" DENOTE SMALLER AND LARGER WIDTHS RESPECTIVELY.
2. ELEVATIONS ARE REQUIRED WHERE CIRCLED.
3. TRANSVERSE SLOPES SHOWN ABOVE ARE TYPICAL FOR FLAT APPROACH GRADES AND CAN BE INCREASED TO A MAXIMUM OF 4% AT CENTER OF CURVE FOR STEEP APPROACH GRADES.
4. LIMITS OF SLOPE CROWN LINE TO OUTSIDE OUTER: MAXIMUM = 2.2% FOR 8' C.F., AND 3.8% FOR 6' C.F.; MINIMUM = 1%.



TYPICAL OFFSET CUL-DE-SAC
SCALE: 1"=40'



TYPICAL STANDARD CUL-DE-SAC
SCALE: 1"=40'

KNUCKLE
NOT TO SCALE

CUL-DE-SAC
NOT TO SCALE

PREPARED FOR:
BLC TESORO LLC
C/O IHP CAPITAL PARTNERS
100 BAYVIEW CIRCLE, STE 2000
NEWPORT BEACH, CA 92660
ATTN: ERIC PFAHLER
TEL. 310-864-3330

WATER SYSTEMS
CIVILTEC
188 W. LIME AVE.
MONROVIA, CA 91016
TEL. 626-357-0588

SOILS ENGINEER & GEOLOGIST
RMA GEOSCIENCE, INC
9854 GLEN OAKS BLVD
SUN VALLEY, CA 91352
ATTN: MARK SWATEK
TEL. 800-762-4396

LAND PLANNING & LANDSCAPING
PLACEWORKS
3 MACARTHUR PLACE STE 1100
SANTA ANA, CA 92707
TEL. 714-966-9220

ENVIRONMENTAL
BONTERRA CONSULTING
3452 E. FOOTHILL BLVD.
SUITE 420
PASADENA, CA 91107
TEL. 626-351-2000

CONSULTANT
MARTIN & ASSOC, LLC
3545 CORPORATE
COSTA MESA CA 92626
TEL. 714-641-9022

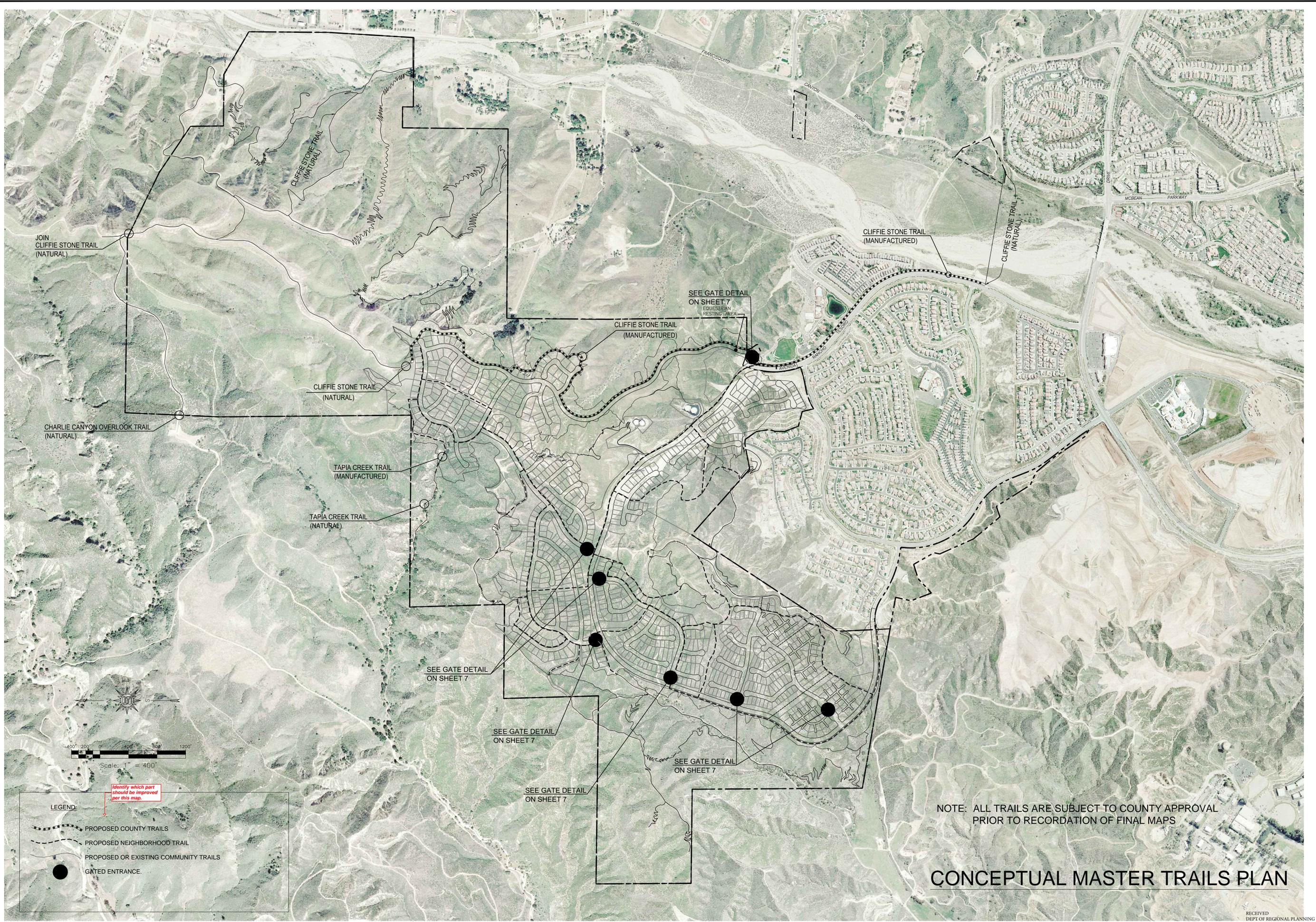
LEGAL DESCRIPTION
BEING PORTIONS OF SECTIONS 21, 22, 27,
28, 33 AND 34, TOWNSHIP 5 NORTH,
RANGE 16 WEST, SAN BERNARDINO
MERIDIAN TOGETHER WITH PORTIONS OF
RANCHO SAN FRANCISCO RECORDED IN
BOOK 1, PAGE 521 AND 522 OF PATENTS IN
THE OFFICE OF THE COUNTY RECORDER
OF LOS ANGELES COUNTY.

4	12-22-15	REVISE MAP TO 75% (U) INCLUDING 15% SENSORS, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA "A"			
3	9-20-10	CLARIFY STREET NAMES, WOODY GATE LOC.; REV. TRAIL SYSTEM, ADD LINE OF SIGHT, NEEL-SPOT, LASHMUN & BISC. BEYS.			
2	2-17-10	SHOW FIRE STATION AS ALTERNATE, ADD MEDIAN; CALL OUT 241 DOTS AS > 1 AC.; REDUCE DOTS FROM 75% TO 70%; REV. TRAIL SYSTEM			
1	11-04-08	ADD EXISTING WATER TANK LOTS AND RENAMED LOTS PER PARKING MAP; ADD DESIGN DRAIN, TERRACE DRAIN & WALK; REV. RELOCATED TO LOTS FROM AREA C TO AREA B			
	DATE	REVISION	BY	APP	
	SCALE: AS SHOWN	CHK'D BY:	APPROVED BY:	DATE:	D.W.C. NO. 5093-023-05E
				SHEET 7	OF 9



SIKAND
Engineering | Planning | Surveying
15230 Burbank Blvd.
Van Nuys, CA 91411
Tel: (818) 787-8550
Fax: (818) 901-7451
info@sikand.com

MAJOR LAND DIVISION
VESTING TENTATIVE TRACT NO 51644
LOCATED IN THE UNINCORPORATED TERRITORY
OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA



NOTE: ALL TRAILS ARE SUBJECT TO COUNTY APPROVAL PRIOR TO RECORDATION OF FINAL MAPS

CONCEPTUAL MASTER TRAILS PLAN

LEGEND

- PROPOSED COUNTY TRAILS
- PROPOSED NEIGHBORHOOD TRAIL
- PROPOSED OR EXISTING COMMUNITY TRAILS
- GATED ENTRANCE.

Identify which part should be improved per this map.

RECEIVED
DEPT OF REGIONAL PLANNING
TR51644.1 (REVISED) PG 8
DATE: 22 DEC 2015

PREPARED FOR: BLC TESORO LLC C/O IHP CAPITAL PARTNERS 100 BAYVIEW CIRCLE, STE 2000 NEWPORT BEACH, CA 92660 ATTN: ERIK PFAHLER TEL. 310-864-3330	WATER SYSTEMS CIVILTEC 188 W. LIME AVE. MONROVIA, CA 91016 TEL. 626-357-0588	SOILS ENGINEER & GEOLOGIST RMA GEOSCIENCE, INC 9854 GLEN OAKS BLVD SUN VALLEY, CA 91352 ATTN: MARK SWATEK TEL. 800-762-4396	LAND PLANNING & LANDSCAPING PLACEWORKS 3 MACARTHUR PLACE STE 1100 SANTA ANA, CA 92707 TEL. 714-966-9220	ENVIRONMENTAL BONTERRA CONSULTING 3452 E. FOOTHILL BLVD. SUITE 420 PASADENA, CA 91107 TEL. 626-351-2000	CONSULTANT MARTIN & ASSOC, LLC 3545 CORPORATE COSTA MESA CA 92626 TEL. 714-641-9022
--	---	---	--	---	--

LEGAL DESCRIPTION BEING PORTIONS OF SECTIONS 21, 22, 27, 28, 33 AND 34, TOWNSHIP 5 NORTH, RANGE 16 WEST, SAN BERNARDINO MERIDIAN TOGETHER WITH PORTIONS OF RANCHO SAN FRANCISCO RECORDED IN BOOK 1, PAGE 521 AND 522 OF PATENTS OF LOS ANGELES COUNTY.	REVISION 4 12-22-15 REVISE MAP TO 70% INCLUDING 115 SENSORS, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA "A" 3 9-20-10 CLARIFY STREET NAMES, WOODY GATE LOC, REV. TRAIL SYSTEM, ADD LINE OF SIGHT, NEIGH-SPOT LAYOUT & WALK SIGN'S 2 2-17-10 SHOW FIRE STATION AS ALTERNATE, ADD MEDIAN, CALL OUT 241 DOTS AS > 1 AC, REDUCE DOTS FROM 100 TO 700 REV. TRAIL SYSTEM 1 11-04-08 ADD EXISTING WATER TANK LOTS AND RENUMBERED LOTS PER PLANNING MAP; ADD DESIRED BOUND, TERRACE GRABNS & WALK REV. HELICOPTER LOTS FROM AREA C TO AREA B	DATE 12/22/2015	D.W.C. NO. 5093-023-05E	SHEET 8	OF 9
---	---	--------------------	----------------------------	------------	---------

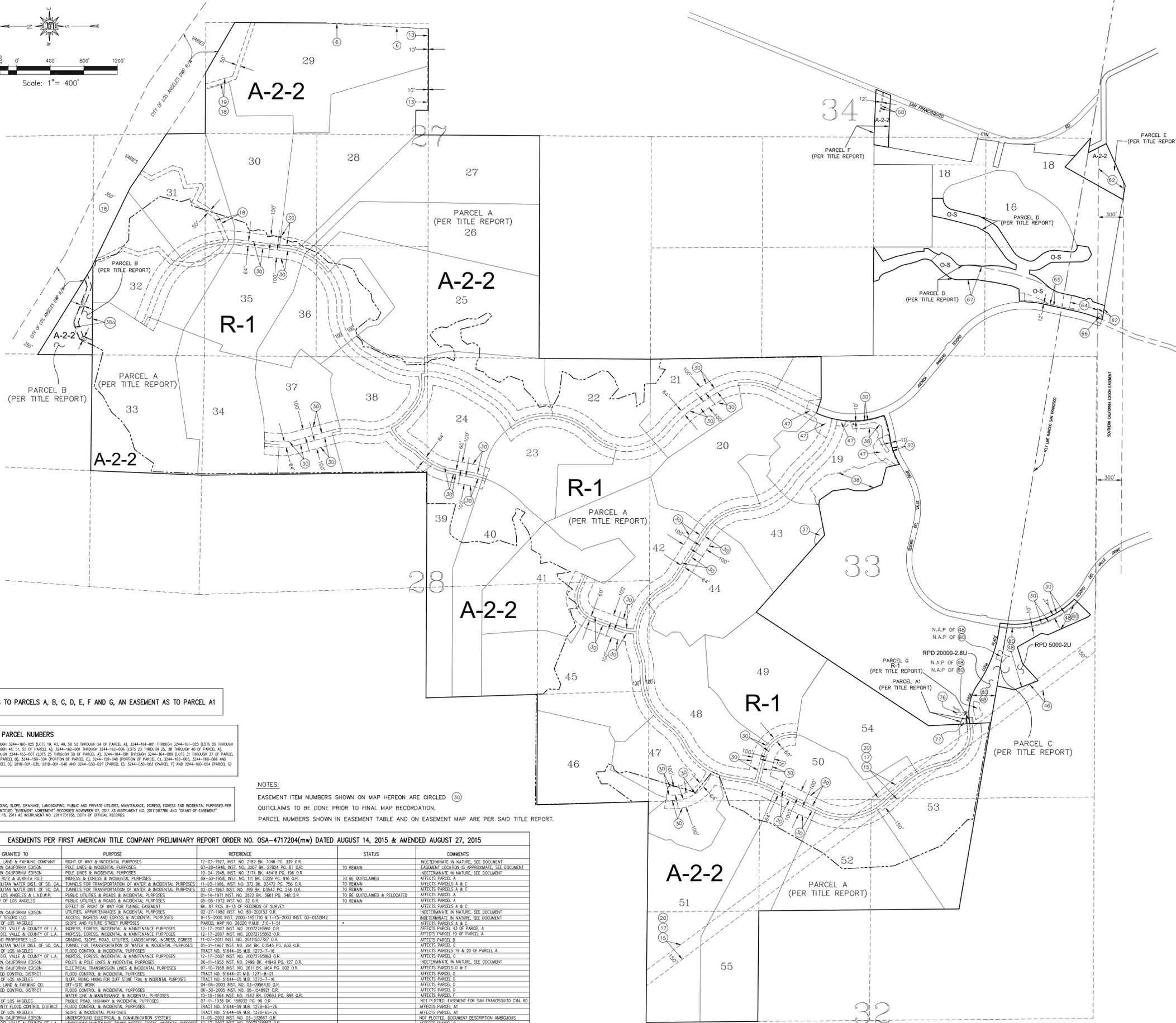
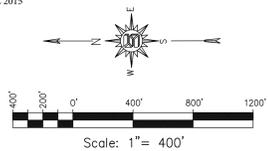
SIKAND
Engineering | Planning | Surveying

15230 Burbank Blvd.
Van Nuys, CA 91411
Tel: (818) 787-8550
Fax: (818) 901-7451
info@sikand.com

MAJOR LAND DIVISION
VESTING TENTATIVE TRACT NO 51644
 LOCATED IN THE UNINCORPORATED TERRITORY
 OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

GRADING

C:\CD\0593-023\Templete Map\Tempo PM 51644 Sheet 8.dwg, 12/18/2015 3:18:35 PM



THE FOLLOWING ITEMS PER FIRST AMERICAN TITLE COMPANY PRELIMINARY REPORT ORDER NO. OSA-4717204(mw) DATED AUGUST 14, 2015 & AMENDED AUGUST 27, 2015 (NOT PLOTTED)

- ITEM 3. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
- ITEM 4. THE INTEREST OF THE UNITED STATES OF AMERICA AS RECORDED IN VARIOUS PATENTS RECEIVED SEPTEMBER 03, 1915 AS INSTRUMENT NO. 103 IN BOOK 13 PAGE 180 OF PATENTS, AND APRIL 30, 1924 AS INSTRUMENT NO. 1110 IN BOOK 3003, PAGE 386, JULY 29, 1925 AS INSTRUMENT NO. 1502, IN BOOK 3004 PAGE 400, DECEMBER 28, 1925 AS INSTRUMENT NO. 1701 IN BOOK 4033 PAGE 64, JUNE 08, 1926 AS INSTRUMENT NO. 1701 IN BOOK 6228, PAGE 42, DECEMBER 27, 1926 AS INSTRUMENT NO. 676, IN BOOK 6156, PAGE 102, DECEMBER 02, 1943 AS INSTRUMENT NO. 803, IN BOOK 20468, PAGE 166 ALL OF OFFICIAL RECORDS.
- ITEM 5. THE FACT THAT A TRAVELED ROADWAY EXISTS OVER PORTIONS OF SAID LAND, THE CENTERLINE OF A PORTION OF SAID ROADWAY BEING THE WESTERLY LINE OF THE LAND DESCRIBED IN THE DEED TO EDWARD LIPPUS ET AL., RECORDED JULY 12, 1900 AS INSTRUMENT NO. 1271 IN BOOK 33652, PAGE 65 OF OFFICIAL RECORDS.
- ITEM 6. THE EFFECT OF A DEED WHICH RESERVES AN UNDIVIDED QUARTER OF ANY LESSOR'S ROYALTY, RENT, INCOME OR BONUSES THAT MAY BE PAYABLE UNDER OR DERIVED FROM ANY MINERAL, OIL, GAS OR OIL GAS LEASE THAT MAY HEREAFTER BE EXECUTED ON SAID LAND AS RESERVED BY R. CONWAY SOUNDER, A MARRIED MAN, AS HIS SEPARATE PROPERTY, RECORDED JUNE 03, 1960 IN BOOK 5965, PAGE 72 OF OFFICIAL RECORDS.
- ITEM 7. THE EFFECT OF A DOCUMENT ENTITLED "CONDITIONAL CERTIFICATE OF COMPLIANCE COPI-07207", RECORDED FEBRUARY 24, 1992 AS INSTRUMENT NO. 02-29505 OF OFFICIAL RECORDS.
- ITEM 8. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "SCHOOL FACILITIES FINANCING AGREEMENT" RECORDED JUNE 30, 1997 AS INSTRUMENT NO. 07-97675 OF OFFICIAL RECORDS.
- ITEM 9. EASEMENTS, COVENANTS AND CONDITIONS CONTAINED IN THE DEED FROM MONTAVIO PROPERTIES LLC, A CALIFORNIA LIMITED LIABILITY COMPANY AS GRANTEE, TO SANCIAL, TESORO, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AS GRANTEE, RECORDED SEPTEMBER 15, 2000 AS INSTRUMENT NO. 00-032842 OF OFFICIAL RECORDS.
- NOTE: AN EASEMENT FOR ACCESS, EGRESS AND EGRESS AND INCIDENTAL PURPOSES IN THE ABOVE DOCUMENT IS INDETERMINATE IN NATURE.
- DOCUMENTS DECLARING MODIFICATIONS THEREOF RECORDED JANUARY 15, 2003 AS INSTRUMENT NO. 03-032842 OF OFFICIAL RECORDS.
- ITEM 25. THE TERMS, PROVISIONS AND EASEMENTS CONTAINED IN THE DOCUMENT ENTITLED "AGREEMENT OF DEVELOPMENT, EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS" RECORDED SEPTEMBER 15, 2000 AS INSTRUMENT NO. 2000-145171 OF OFFICIAL RECORDS.
- NOTE: EASEMENTS PER SAID DOCUMENT ARE INDETERMINATE IN NATURE.
- DOCUMENTS DECLARING MODIFICATION THEREOF RECORDED JANUARY 15, 2003 AS INSTRUMENT NO. 03-032842 OF OFFICIAL RECORDS.
- THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "PARTIAL ASSIGNMENT OF DEVELOPMENT AGREEMENT" RECORDED SEPTEMBER 10, 2003 AS INSTRUMENT NO. 03-264503 OF OFFICIAL RECORDS.
- ITEM 27. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "NOTICE OF DECLARATION OF COVENANT BY OFF-SITE PROPERTY OWNER" RECORDED MAY 14, 2002 AS INSTRUMENT NO. 02-002112201 OF OFFICIAL RECORDS.
- THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.
- AFFECTS PARCELS C.
- ITEM 28. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "NOTICE OF DECLARATION OF COVENANT BY OFF-SITE PROPERTY OWNER" RECORDED JULY 18, 2002 AS INSTRUMENT NO. 02-188417 OF OFFICIAL RECORDS.
- THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.
- AFFECTS PARCEL C.
- ITEM 29. REZONALS AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 26330, WHICH AMONG OTHER THINGS REZONES:
- WHEN THE FUTURE STREET IN PARCEL 18 IS ACCEPTED AS A PUBLIC STREET, PARCEL 18 WILL BE ACCEPTED PROPERTY ON BOTH SIDES OF SAID STREET WHICH MUST BE CONVEYED TO THE COUNTY WITHOUT DELAY AND WITHOUT DELAYING ACTION OF THE ADVISORY AGENCY.
- THE OFFER FOR PUBLIC USE FOR STREET PURPOSES THE CERTAIN STRIPS OF LAND DESIGNATED AS "VILLAGE STREET" ON THE MAP RESERVING TO OURSELVES ALL OTHER USES OF SAID LAND EXCEPT THE ERECTION OR CONSTRUCTION OF ANY STRUCTURE NOT PERMITTED BY PUBLIC STREETS AND SUCH THAT AS SAID STREET IS OPENED FOR PUBLIC USE WE DO NOT, AND FOR OUR WORKS, EXECUTIVE, ADMINISTRATIVE, SUCCESSORS AND ASSIGNS, JOINTLY AND SEVERALLY AGREE THAT ALL FUTURE STREETS SHOWN ON THIS MAP WILL ACCEPT DRAINAGE WATER DISCHARGED FROM ANY ADJOINING AREAS, WHETHER SUCH STREETS ARE PRIVATE OR PUBLIC AND FURTHER AGREE THAT THE COUNTY OF LOS ANGELES IS HEREBY HELD FREE AND CLEAR OF ANY CLAIMS OR DAMAGE ARISING FROM SAID DRAINAGE.
- FURTHER DIVISION OF THIS PROPERTY TO LOTS/PARCELS SIZES BELOW TWENTY ACRES WILL REQUIRE STANDARD IMPROVEMENTS TO BE COMPLETED AS A CONDITION OF APPROVAL. THE IMPROVEMENTS WILL INCLUDE, BUT NOT BE LIMITED TO: PROVISIONS ACCESS, INSTALLATION OF WATER MAINS, APPURTENANCES AND FIRE HYDRANTS AND CONFORMANCE TO LOS ANGELES COUNTY DEVELOPMENT STANDARDS.
- ITEM 31. REZONALS AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 26330, WHICH AMONG OTHER THINGS REZONES: "WE HEREBY DEDICATE TO THE COUNTY OF LOS ANGELES THE RIGHT TO RESTRICT THE ERECTION OF BUILDINGS OR OTHER STRUCTURES WITHIN THESE AREAS DESIGNATED ON THE MAP AS RESTRICTED USE AREAS."
- ITEM 32. REZONALS AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 26330, WHICH AMONG OTHER THINGS REZONES: "PORTIONS OF PARCELS 21, 22, 24, 25, 26, 27, 28, 29, 30, 31 AND 32 ARE SUBJECT TO GEOLOGICAL HAZARDS"
- ITEM 33. REZONALS AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 26330, WHICH AMONG OTHER THINGS REZONES:
- "FURTHER DIVISION AND/OR DEVELOPMENT OF THIS PROPERTY WILL REQUIRE TRAIL DEDICATION FOR CLIFFE STREET CONNECTOR TRAIL IN ALL PARCELS IN ACCORDANCE WITH TRAIL ACT AND APPROVAL OF THE PLANNING DIVISION, APPROXIMATE LOCATIONS AND WIDTHS ARE SHOWN ON SAID TENTATIVE MAP. FINAL LOCATION OF SAID TRAIL SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING DIVISION, DEPARTMENT OF PARKS AND RECREATION, COUNTY OF LOS ANGELES."
- ITEM 34. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "COVENANT AND AGREEMENT" RECORDED DECEMBER 09, 2002 AS INSTRUMENT NO. 02-300841 OF OFFICIAL RECORDS.
- AFFECTS PARCELS A THROUGH C.
- THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.
- AFFECTS PARCELS A THROUGH C.
- ITEM 35. COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN DOCUMENT RECORDED MARCH 29, 2003 AS INSTR. NO. 03-151863, OFFICIAL RECORDS.
- NOTE: EASEMENT IN SAID DOCUMENT DOES NOT AFFECT THE SUBJECT PROPERTY.
- DOCUMENTS DECLARING MODIFICATIONS THEREOF RECORDED MARCH 7, 2014 AS INSTRUMENT NO. 2014023497 OF OFFICIAL RECORDS.
- ITEM 36. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "TRAIL MODIFICATION COVENANT AND AGREEMENT" RECORDED MARCH 10, 2005 AS INSTRUMENT NO. 05-030044 OF OFFICIAL RECORDS.
- ITEM 43. RIGHTS OF PARTIES POSSESSION.
- ITEM 45. THE LACK OF A LEGAL RIGHT OF ACCESS TO AND FROM A PUBLIC STREET OR HIGHWAY.
- AFFECTS PARCEL B.
- ITEM 49. RIGHTS OF THE PUBLIC IN AND TO THAT PORTION OF THE LAND LYING WITHIN CASA LUNA PLACE AND TESORO DEL VALLE DRIVE FOR PARCEL C OF PRESENTLY TRACT REPORT.
- AFFECTS PARCEL C.
- ITEM 54. THE RIGHT TO USE THE CHANNEL OF SAN FRANCISCO CREEK THROUGH THE PROPERTY OF FIRST PARTIES FOR THE PURPOSE OF CARRYING WATER DISCHARGED FROM THE LOS ANGELES AREA AND ALL NECESSARY AND REASONABLE RIGHTS OF WAY IN, OVER, UPON, ALONG AND ACROSS SAID PREMISES FOR THE PURPOSE OF CONSTRUCTING ANY WORKS ALONG SAID SAN FRANCISCO CREEK DEEMED NECESSARY BY SECOND PARTIES FOR THE PURPOSE OF CARRYING OUT THE COVENANTS AND AGREEMENTS MADE BY FIRST PARTY, TOGETHER WITH ALL NECESSARY OR CONVENIENT MEANS OF ACCESS AND EGRESS TO AND FROM SAID WORKS, AS GRANTED IN AN AGREEMENT BETWEEN BLUE CAREY AND HARRY CAREY AND THE BOARD OF PUBLIC SERVICE COMMISSIONERS OF THE CITY OF LOS ANGELES, RECORDED MARCH 05, 1922 IN BOOK 6471, PAGE 302 OF OFFICIAL RECORDS.
- LOCATION OF RIGHTS IN SAID DOCUMENT ARE INDETERMINATE IN NATURE.
- AFFECTS PARCELS D, E AND F.
- ITEM 63. A CONDITIONAL CERTIFICATE OF COMPLIANCE EXECUTED BY THE DEPARTMENT OF REGIONAL PLANNING, COUNTY OF LOS ANGELES, UPON THE TERMS, COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED HEREIN, RECORDED DECEMBER 9, 1999 AS INSTRUMENT NO. 99-027208 OF OFFICIAL RECORDS.
- SAID DOCUMENT REZONES:
- PRIOR TO AUTHORIZATION TO BUILD ON THIS PROPERTY, THE APPLICANT WILL BE REQUIRED TO CONFORM TO THE COUNTY BUILDING REGULATIONS, SUCH REGULATIONS INCLUDE, BUT ARE NOT LIMITED TO: PROGRAM FOR APPROPRIATE SANITARY SERVICE DISPOSAL, WATER SUPPLY FOR DOMESTIC USE AND FIRE SUPPRESSION.
- GEOLOGIC SOILS AND/OR DRAINAGE CONDITIONS MAY EXIST ON THE SUBJECT PROPERTY, WHICH COULD LIMIT DEVELOPMENT OR REQUIRE THAT REMEDIAL MEASURES BE TAKEN IN ORDER TO OBTAIN A BUILDING PERMIT.
- ITEM 70. THE DEDICATED RIGHTS INTO MARSHAL ROAD AS DEDICATED TO THE PUBLIC ON THE MAP OF TRACT NO. 51644-05 RECORDED NOVEMBER 20, 2002 IN BOOK 6273, PAGE 7 THROUGH 16, INCLUDES OF MAPS.
- SAID DEDICATION HAS NOT YET BEEN ACCEPTED OF RECORD.
- AFFECTS A PORTION OF PARCEL D.
- ITEM 71. RIGHTS OF THE PUBLIC IN AND TO THAT PORTION OF THE LAND LYING WITHIN SAN FRANCISCO CANYON ROAD.
- ITEM 74. REZONALS AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 26330, WHICH AMONG OTHER THINGS REZONES:
- ITEM 75. REZONALS AS SHOWN ON THE MAP OF TRACT 51644-05, WHICH AMONG OTHER THINGS REZONES:
- AS A DEDICATION TO PUBLIC USE, WHILE ALL OF CASA LUNA PLACE AND TESORO DEL VALLE DRIVE WITHIN OR ADJACENT TO THIS SUBDIVISION REMAIN PUBLIC STREETS, WE HEREBY ABANDON ALL RIGHTS OF DIRECT VEHICULAR ACCESS AND EGRESS FROM ADJUTING LOTS TO SAID STREETS, IF ANY PORTION OF SAID STREETS WITHIN OR ADJACENT TO THIS SUBDIVISION ARE VACATED, SUCH VACATION TERMINATES THE ABOVE DEDICATION AS TO THE PART VACATED.
- WE HEREBY DEDICATE TO THE COUNTY OF LOS ANGELES THE RIGHT TO PROHIBIT THE CONSTRUCTION OF RESIDENTIAL BUILDINGS OR OTHER STRUCTURES WITHIN LOTS 62 THROUGH 64, INCLUDING:
- THIS SUBDIVISION IS APPROVED AS A RESIDENTIAL PLANNED DEVELOPMENT PROJECT WHEREBY THE COMMON AREAS WILL BE HELD IN FEE BY AN ASSOCIATION MADE UP OF THE OWNERS OF THE INDIVIDUAL LOTS 62 THROUGH 64, INCLUDING, ARE COMMON LOTS. MEMBERSHIP IN THE HOMEOWNERS ASSOCIATION IS IN SEPARABLE FROM THE OWNERSHIP OF THE INDIVIDUAL LOTS.
- PORTIONS OF LOTS 63, 64, 65 AND 66 WITHIN OR ADJACENT TO THE NATURAL DRAINAGE COURSES ARE SUBJECT TO FLOOD HAZARD.
- AFFECTS PARCEL A1.
- ITEM 78. COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, ASSESSMENTS, LEVIES, CHARGES, TERMS AND PROVISIONS IN THE DOCUMENT RECORDED MAY 29, 2003 AS INSTRUMENT NO. 03-151863 OF OFFICIAL RECORDS.
- A DECLARATION OF AMENDATION RECORDED FEBRUARY 9, 2004 AS INSTRUMENT NO. 04-28495 OF OFFICIAL RECORDS.
- DOCUMENTS DECLARING MODIFICATIONS THEREOF RECORDED MARCH 07, 2014 AS INSTRUMENT NO. 2014023497 OF OFFICIAL RECORDS.
- AFFECTS PARCEL A1.

A FEE AS TO PARCELS A, B, C, D, E, F AND G, AN EASEMENT AS TO PARCEL A1

ASSESSORS PARCEL NUMBERS
3244-160-017 THROUGH 3244-160-025 (LOTS 19, 43, 49, 50, 52 THROUGH 54 OF PARCEL A), 3244-161-001 THROUGH 3244-161-023 (LOTS 20 THROUGH 22, 41, 42, 44 THROUGH 46, 53, 55 OF PARCEL A), 3244-162-001 THROUGH 3244-162-006 (LOTS 23 THROUGH 25, 38 THROUGH 40 OF PARCEL A), 3244-163-003 THROUGH 3244-163-007 (LOTS 26 THROUGH 30 OF PARCEL A), 3244-164-001 THROUGH 3244-164-009 (LOTS 31 THROUGH 37 OF PARCEL A), 3244-022-024 (PARCEL B), 3244-159-034 (PORTION OF PARCEL C), 3244-159-046 (PORTION OF PARCEL C), 3244-160-040, 3244-160-046 AND 3244-160-047 (PARCEL D), 2810-001-035, 2810-001-040 AND 3244-030-027 (PARCEL E), 3244-030-003 (PARCEL F) AND 3244-160-054 (PARCEL G)

PARCEL A1:
EASEMENTS FOR GRADING, SLOPE, DRAINAGE, LANDSCAPING, PUBLIC AND PRIVATE UTILITIES, MAINTENANCE, INGRESS, EGRESS AND INCIDENTAL PURPOSES PER THESE DOCUMENTS ENTITLED "EASEMENT AGREEMENT" RECORDED NOVEMBER 07, 2011 AS INSTRUMENT NO. 2011070786 AND "GRANT OF EASEMENT" RECORDED DECEMBER 10, 2011 AS INSTRUMENT NO. 2011070786, BOTH OF OFFICIAL RECORDS.

NOTES:
EASEMENT ITEM NUMBERS SHOWN ON MAP HEREON ARE CIRCLED (30)
QUITCLAIMS TO BE DONE PRIOR TO FINAL MAP RECORDED.
PARCEL NUMBERS SHOWN IN EASEMENT TABLE AND ON EASEMENT MAP ARE PER SAID TITLE REPORT.

ITEM NO.	GRANTED TO	PURPOSE	REFERENCE	STATUS	COMMENTS
5	NEWHALL LAND & FARMING COMPANY	RIGHT OF WAY & INCIDENTAL PURPOSES	12-02-1927 INST. NO. 2182 BK. 7046 PG. 339 O.R.	TO REMAIN	INDETERMINATE IN NATURE, SEE DOCUMENT
6	SOUTHERN CALIFORNIA Edison	POLE LINES & INCIDENTAL PURPOSES	07-28-1948 INST. NO. 3007 BK. 27824 PG. 87 O.R.	TO REMAIN	EASEMENT LOCATION IS APPROXIMATE, SEE DOCUMENT
7	SOUTHERN CALIFORNIA Edison	POLE LINES & INCIDENTAL PURPOSES	10-04-1948 INST. NO. 3174 BK. 48418 PG. 186 O.R.	TO REMAIN	INDETERMINATE IN NATURE, SEE DOCUMENT
13	EMPLOYE RUIZ & JUANITA RUIZ	INGRESS & EGRESS & INCIDENTAL PURPOSES	09-30-1958 INST. NO. 111 BK. 02729 PG. 916 O.R.	TO BE OUTLINED	AFFECTS PARCELS A & C
15	METROPOLITAN WATER DIST. OF SO. CAL.	TUNNELS FOR TRANSPORTATION OF WATER & INCIDENTAL PURPOSES	11-03-1966 INST. NO. 322 BK. 03472 PG. 236 O.R.	TO REMAIN	AFFECTS PARCELS A & C
17	METROPOLITAN WATER DIST. OF SO. CAL.	TUNNELS FOR TRANSPORTATION OF WATER & INCIDENTAL PURPOSES	02-01-1967 INST. NO. 309 BK. 03547 PG. 288 O.R.	TO REMAIN	AFFECTS PARCELS A & C
18	CITY OF LOS ANGELES & A.D.W.P.	PUBLIC UTILITIES & ROADS & INCIDENTAL PURPOSES	01-14-1971 INST. NO. 2872 BK. 3681 PG. 348 O.R.	TO BE OUTLINED & RELOCATED	AFFECTS PARCELS A
19	THE CITY OF LOS ANGELES	PUBLIC UTILITIES & ROADS & INCIDENTAL PURPOSES	05-05-1972 INST. NO. 32 O.R.	TO REMAIN	AFFECTS PARCEL A
20	SOUTHERN CALIFORNIA Edison	EFFECT OF RIGHT OF WAY FOR TRAIL, EASEMENT UTILITIES, APPURTENANCES & INCIDENTAL PURPOSES	BK. 87 PGS. 8-13 OF RECORDS OF SURVEY 02-27-1985 INST. NO. 80-20053 O.R.	TO REMAIN	AFFECTS PARCELS A & C
21	SANCIAL/ TESORO LLC	ACCESS, INGRESS AND EGRESS & INCIDENTAL PURPOSES	9-15-2000 INST. 2000-145170 & 1-19-2003 INST. 03-013242	TO REMAIN	INDETERMINATE IN NATURE, SEE DOCUMENT
30	COUNTY OF LOS ANGELES	SLOPE AND FUTURE STREET PURPOSES	PARCEL MAP NO. 26330 PAGE 305-1-31	TO REMAIN	INDETERMINATE IN NATURE, SEE DOCUMENT
37	TESORO DEL VALLE & COUNTY OF L.A.	INGRESS, EGRESS, INCIDENTAL & MAINTENANCE PURPOSES	12-17-2007 INST. NO. 2007276582 O.R.	TO REMAIN	AFFECTS PARCELS A & B OF PARCEL A
38	TESORO DEL VALLE & COUNTY OF L.A.	INGRESS, EGRESS, INCIDENTAL & MAINTENANCE PURPOSES	12-17-2007 INST. NO. 2007276582 O.R.	TO REMAIN	AFFECTS PARCEL 19 OF PARCEL A
39a	MONTAVIO PROPERTIES LLC	GRADING, SLOPE, ROAD, UTILITIES, LANDSCAPING, INGRESS, EGRESS	11-07-2011 INST. NO. 2011070787 O.R.	TO REMAIN	AFFECTS PARCELS B
46	METROPOLITAN WATER DIST. OF SO. CAL.	TUNNEL FOR TRANSPORTATION OF WATER & INCIDENTAL PURPOSES	01-31-1967 INST. NO. 281 BK. 03545 PG. 830 O.R.	TO REMAIN	AFFECTS PARCELS 19 & 20 OF PARCEL A
47	COUNTY OF LOS ANGELES	FLOOD CONTROL & INCIDENTAL PURPOSES	TRACT NO. 51644-05 M.B. 1272-7-18	TO REMAIN	AFFECTS PARCELS C
48	TESORO DEL VALLE & COUNTY OF L.A.	INGRESS, EGRESS, INCIDENTAL & MAINTENANCE PURPOSES	12-17-2007 INST. NO. 2007276582 O.R.	TO REMAIN	AFFECTS PARCELS C
61	SOUTHERN CALIFORNIA Edison	POLES & POLE LINES & INCIDENTAL PURPOSES	06-11-1953 INST. NO. 2499 BK. 41849 PG. 127 O.R.	TO REMAIN	INDETERMINATE IN NATURE, SEE DOCUMENT
62	SOUTHERN CALIFORNIA Edison	ELECTRICAL TRANSMISSION LINES & INCIDENTAL PURPOSES	07-10-1958 INST. NO. 2811 BK. 4664 PG. 802 O.R.	TO REMAIN	AFFECTS PARCELS D & E
64	L.A. FLOOD CONTROL DISTRICT	FLOOD CONTROL & INCIDENTAL PURPOSES	TRACT NO. 51644-01 M.B. 1271-8-71	TO REMAIN	AFFECTS PARCELS D
65	COUNTY OF LOS ANGELES	SLOPE, RAMP, HORIZ. FOR CFT STONE TRAIL & INCIDENTAL PURPOSES	TRACT NO. 51644-05 M.B. 1272-7-18	TO REMAIN	AFFECTS PARCEL D
66	NEWHALL LAND & FARMING CO.	OFF-SITE WORK	04-04-2003 INST. NO. 03-295649 O.R.	TO REMAIN	AFFECTS PARCELS D
67	L.A. FLOOD CONTROL DISTRICT	FLOOD CONTROL & INCIDENTAL PURPOSES	06-30-2005 INST. NO. 05-154892 O.R.	TO REMAIN	AFFECTS PARCEL D
69	COUNTY OF LOS ANGELES	WATER LINE & MAINTENANCE & INCIDENTAL PURPOSES	10-10-1984 INST. NO. 1943 BK. 02683 PG. 888 O.R.	TO REMAIN	AFFECTS PARCELS D
76	L.A. COUNTY FLOOD CONTROL DISTRICT	FLOOD CONTROL & INCIDENTAL PURPOSES	TRACT NO. 51644-09 M.B. 1278-65-76	TO REMAIN	AFFECTS PARCEL A1
77	COUNTY OF LOS ANGELES	SLOPE & INCIDENTAL PURPOSES	TRACT NO. 51644-09 M.B. 1278-65-76	TO REMAIN	AFFECTS PARCELS A1
79	SOUTHERN CALIFORNIA Edison	UNDERGROUND ELECTRICAL & COMMUNICATION SYSTEMS	11-06-2003 INST. NO. 03-32667 O.R.	TO REMAIN	NOT PLOTTED, DOCUMENT DESCRIPTION AMBIGUOUS
80	TESORO DEL VALLE & COUNTY OF L.A.	LANDSCAPING MAINTENANCE, DRAINS INGRESS, EGRESS, INCIDENTAL PURPOSES	12-17-2007 INST. NO. 2007276583 O.R.	TO REMAIN	AFFECTS PARCEL C

* TO BE ABANDONED IN PLACE & REDEDICATED AS NEEDED

N.A.P. INDICATES NOT A PART

PREPARED FOR:
BLC TESORO LLC
C/O IHP CAPITAL PARTNERS
100 BAYVIEW CIRCLE, STE 2000
NEWPORT BEACH, CA 92660
ATTN: ERIC PFAHLER
TEL. 310-864-3330

WATER SYSTEMS:
CIVILTEC
188 W. LIME AVE.
MONROVIA, CA 91016
TEL. 626-357-0588

SOILS GEOSCIENCE & GEOLOGIST:
RMA GEOSYSTEMS
9854 GLENDAKS BLVD.
SUN VALLEY, CA 92626
ATTN: MARK SWITEX
TEL. 800-762-4396

LAND PLANNING & LANDSCAPING:
PLACEWORKS
37 MACARTHUR PLACE STE
1100
COSTA MESA, CA 92626
TEL. 714-966-9220

ENVIRONMENTAL:
BONTERRA CONSULTING
3452 E. FOOTHILL BLVD.
SUITE 420
PASADENA, CA 91107
TEL. 626-351-2000

CONSULTANT:
MARTIN & ASSOC, LLC
3545 CORPORATE
COSTA MESA CA 92626
TEL. 714-641-9022

LEGAL DESCRIPTION:
BEING PORTIONS OF SECTIONS 21, 22, 23, 28, 33 AND 34, TOWNSHIP 5 NORTH, RANGE 16 WEST, SAN BERNARDINO MERIDIAN TOGETHER WITH PORTIONS OF BANCITO SAN FRANCISCO RECORDED IN BOOK 1, PAGES 527 AND 522 OF PARTS IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY.

DATE: 12/22/15
DWG. NO.: 5093-023-05E
SHEET: 9 OF 9

UPDATE EASEMENTS PER FIRST AMERICAN TITLE COMPANY PRELIMINARY REPORT ORDER NO. OSA-4717204 (mw) AMENDED 8-27-15.
COUNTY STREET NAMES VERIFY DATE 10E; REV. TRAIL SYSTEM, ADD LINE OF SIGHT; H2O-SPOT EASEMENT & MISC. REVS.

SHOW FIRE STATION AS ALTERNATE, ADD MEASUREMENTS, CALL OUT 241 DWS AS 1' AC. REDUCE H2O FROM 114 TO 700. REV. TRAIL SYSTEM.

ASD DISTINGUISH WATER TRAIL LOS AND REMOVED COST PER FINING AND ADDED DESKING DRAWING TRAIL SWING & MISC. REV. REDUCED 19' FROM 190' AND C TO AND B

DATE: 12/22/15
DWG. NO.: 5093-023-05E
SHEET: 9 OF 9

REVISION

SCALE: DATE: APPROVED BY: AS SHOWN

PROJECT ENGINEER

SIKAND
Engineering | Planning | Surveying

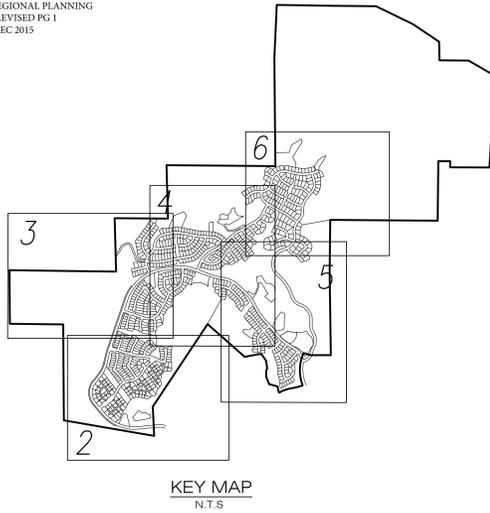
15230 Burbank Blvd.
Van Nuys, CA 91411
Tel: (818) 787-8550
Fax: (818) 901-7451
info@sikand.com

MAJOR LAND DIVISION
VESTING TENTATIVE TRACT NO 51644
LOCATED IN THE UNINCORPORATED TERRITORY
OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

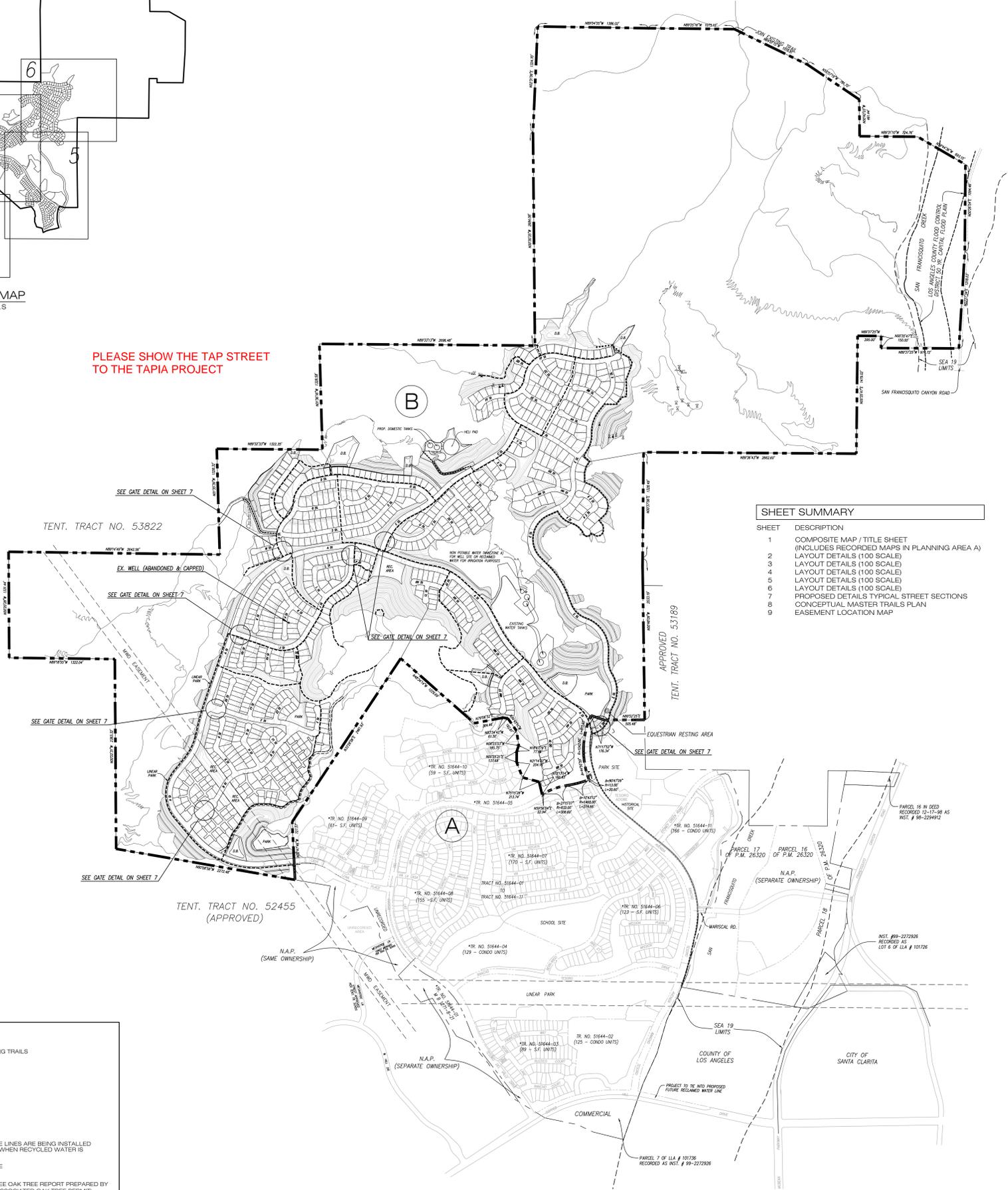
GRADING

BENCH MARK #3597
SPK IN GULY-POLE #7222808 NTR PROOF
LOWRIDGE P.L., 25' W/O.C.L.
SAN FRANCISCO-CANYON CRY. DIA. 6 FEET
N.O.C.L. LOWRIDGE P.L. (TO THE EAST) DIRT.

NEWHALL QUAD (1995) ELEV. 1283.663



PLEASE SHOW THE TAP STREET TO THE TAPIA PROJECT



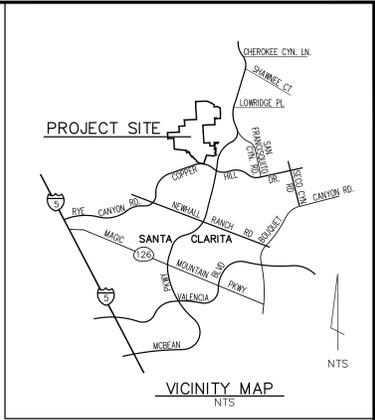
SHEET SUMMARY

SHEET	DESCRIPTION
1	COMPOSITE MAP / TITLE SHEET (INCLUDES RECORDED MAPS IN PLANNING AREA A)
2	LAYOUT DETAILS (100 SCALE)
3	LAYOUT DETAILS (100 SCALE)
4	LAYOUT DETAILS (100 SCALE)
5	LAYOUT DETAILS (100 SCALE)
6	LAYOUT DETAILS (100 SCALE)
7	PROPOSED DETAILS TYPICAL STREET SECTIONS
8	CONCEPTUAL MASTER TRAILS PLAN
9	EASEMENT LOCATION MAP

TO SEE A DETAILED LAYOUT OF THE PREVIOUSLY APPROVED MAPS, SEE THE MAPS THAT ARE ON FILE WITH SUBDIVISION SECTION OF LOS ANGELES COUNTY DEPT. OF REGIONAL PLANNING.

LOT SUMMARY

ESTATE LOTS	46
EXECUTIVE LOTS	99
RESIDENTIAL S.F. LOTS	432
SENIOR LOTS (S.F.)	103
SENIOR LOTS (VILLAS)	115
RESIDENTIAL (LOTS 1716 TO 2510)	795
STREET LOTS	4
PARK LOTS	2
LINEAR PARK LOTS	2
RECREATION LOTS	3
WATER TANK LOTS (1 PROP., 2 EX.)	3
HELI LOT	1
BASIN LOTS	9
PASEO LOTS	4
OPEN SPACE LOTS	18
TOTAL UNIT	842



PROJECT SUMMARY

TOTAL LOT AREA:	1795 ± acres
REVISED AREA:	1263.0 ± acres PLANNING AREA B
TOTAL REMAINING DWELLING UNITS:	795 RESIDENTIAL UNITS (INCL. 115 SENIOR'S UNITS)
TOTAL NO. OF LOTS:	842
DENSITY:	±1.04 du/ac (1872 DU / 1795 AC)
PROPOSED AND EXISTING ZONING:	R-1, A-2-2
PROPOSED AND EXISTING LAND USE:	RL5, H-2
GRADING:	CUT 9.8 MILLION CY, FILL 9.8 MILLION CY (BALANCED ON SITE)
OPEN SPACE:	TOTAL AREA IN AREA B IS 1263.0 AC
ASSESSOR'S MAPS:	APN # 3244-30-3 & 27, 3244-160-ALL PARCELS ON SHT. 1, 3244-160-043 & 048 ON SHT. 2, 3244-161-ALL PARCELS, 3244-162-ALL PARCELS, 3244-163-ALL PARCELS, 3244-163-ALL PARCELS, 3244-164-ALL PARCELS.

- NOTE**
- PERMISSION IS REQUESTED TO CREATE ADDITIONAL OPEN SPACE LOTS.
 - ALL STREET LANDINGS ARE 3% OR LESS EXCEPT WHERE REQUESTED.
 - PREVIOUS CASES ARE CUP 92-074, ZC 92-074 AND GPA 92-074 AND ARE STILL IN EFFECT.
 - 1077 DU'S IN PLANNING AREA "A" HAVE BEEN BUILT. THE MASTER CUP 92-074 ALLOWS FOR A TOTAL OF 1791 DU'S WITHIN THE ENTIRE LIMITS OF TRACT NO. 51644. THIS EXCLUDES THE ADDITIONAL SENIOR UNITS WHICH ARE PERMITTED PER 22.52.1830
 - A DENSITY CONTROLLED CUP HAS BEEN FILED CONCURRENTLY TO INCREASE THE NUMBER OF UNITS IN PLANNING AREA B.
 - PERMISSION IS REQUESTED FOR PRIVATE AND FUTURE STREETS IN PLANNING AREA B.
 - PERMISSION IS REQUESTED TO HAVE THE ABILITY TO HAVE A SECOND UNIT (GRANNY FLAT) ON ALL UNBUILT LOTS IN ALL PLANNING AREAS.
 - INDIVIDUAL RESIDENTIAL LOTS WHICH HAVE O/S AREA, WILL HAVE AN EASEMENT GRANTED TO THE HOA FOR BUILDING RESTRICTIONS, MAINTENANCE AND OPEN SPACE RIGHTS.
 - AN LAD WILL BE FORMED FOR PUBLIC R/W FOR COMMON AREA MAINTENANCE AND AN HOA WILL BE FORMED FOR ALL O/S LOTS.
 - ALL NATURAL AND MANUFACTURED TRAILS TO BE DEDICATED TO THE COUNTY OF LOS ANGELES.
 - ALL LOTS TO BE SERVED BY PUBLIC SEWER.
 - PERMISSION IS REQUESTED FOR UNIT PHASING.
 - ALL PUBLIC BASINS TO BE MAINTAINED BY LACFGD.
 - ALL STREETS LOCATED 'BEHIND' THE GATES ARE TO BE PRIVATE AND FUTURE EXCEPT WHERE CALLED OUT.
 - ALL STREET CURB RADIUS ARE 25' OR OTHERWISE STATES IN THE PLAN.
 - ALL NOTES ON PREVIOUSLY APPROVED TENT. MAP WHERE APPLICABLE STILL APPLY (SEE NOTES 14-19, 23 W/ ADDITIONAL LANGUAGE, AND 24-28 ON PREVIOUSLY APPROVED MAP).
 - OIL WELL (TEXACO, INC WAYSIDE CYN. UNIT TRACT B PER 1989 MUNGER MAP) LOCATED ADJACENT TO 'V' STREET HAVE BEEN ABANDONED AND CAPPED PER DEPT. OF OIL AND GAS STANDARDS.
 - ALL PROPOSED WALLS OVER 6' TALL ARE CALLED OUT.

PLANNING AREA SUMMARY / INDEX SHEET

	AREA A	SHT. NO.	AREA B	SHT. NO.
ESTATE LOTS		(SHT. 1)	46	(SHT. 6)
EXECUTIVE LOTS		(SHT. 6)	99	(SHT. 6)
RESIDENTIAL LOTS	1077	(SHT. 1)	432	(SHT. 2, 3, 4, 5, 6)
SENIOR LOTS		(SHT. 2)	218	(SHT. 2)
STREET LOTS			4	(SHT. 2, 3, 4, 5, 6)
PARK LOTS			8	(SHT. 2, 3, 4, 5)
COMMON LOTS			-	(SHT. 4)
PROP. TANK LOTS			1	(SHT. 4)
EXIST. TANK LOTS			2	(SHT. 5)
HELI LOT			1	(SHT. 4)
BASIN LOTS		(SHT. 1)	9	(SHT. 2, 3, 4, 5, 6)
PASEO LOTS			4	(SHT. 2, 3, 4, 5, 6)
MANUFACTURED OPEN SPACE LOTS			10	(SHT. 2, 3, 4, 5, 6)
NATURAL OPEN SPACE LOTS		(SHT. 1)	8	(SHT. 2, 3, 4, 5, 6)

LOT HISTORY

LOTS 1 THRU 714 HAS ALL BEEN RECORDED AS UNITS OF TR. NO. 51644 (AREA A)
LOTS 715-976 WERE ORIGINAL LOT NO'S. FOR AREA B
LOTS 977-1710 WERE PREVIOUSLY DELETED PER THE OLD MAP PRIOR TO APPROVAL
LOTS 1711-1713, 1715 ARE RECORDED LOTS IN AREA A & D. (SEE ORIGINAL TRACT MAP)
THE FOLLOWING OLD NUMBERS WERE NOT RECORDED, THEY ARE: 680, 682, 702, 703, 863 & 1714.
FOUR ESTATE LOTS HAVE BEEN PREVIOUSLY APPROVED AND NO CHANGES ARE REQUESTED. THEY ARE LOT 1714 IN PLANNING AREA A, LOT 962 IN PLANNING AREA C AND LOTS 702 & 703 IN PLANNING AREA D.

LOT SIZE MINIMUM

ESTATE LOTS	46
EXECUTIVE LOTS	99
65' X 100'	140
60' X 100'	124
55' X 100'	74
50' X 100'	94
SUBTOTAL	577
SENIOR S.F. (65' X 100')	103
SENIOR VILLAS	115
SUBTOTAL	218
TOTAL	795

LEGEND

	PROPOSED OR EXISTING HIKING TRAILS
	NEIGHBORHOOD TRAILS
	COUNTY TRAILS
	4 MAX. RETAINING WALL
	DAYLIGHT LINE
	WATER
	STORM DRAIN
	RELIEF DRAIN
	SEWER
	RECYCLED WATERLINE (THESE LINES ARE BEING INSTALLED FOR A FUTURE CONNECTION WHEN RECYCLED WATER IS AVAILABLE AT THE SITE)
	PROPOSED GATED ENTRANCE
	TREE NUMBER
	EXISTING COAST LIVE OAK - SEE OAK TREE REPORT PREPARED BY BENTHEA DATED 7-16-10 (SEE ASSOCIATED OAK TREE PERMIT) (SEE INDIVIDUAL SHEETS FOR SPECIFIC LOCATIONS)
	D.B.
	REC. AREA

BENCH MARK #3597
SPK IN GUY-POLE #722280R NR PROOF OF LOWRIDGE PL., 7' RM (24.9 FEET) W/O C.L. SAN FRANCISCO CYN. HD. & 2.7M (8.9 FEET) NO C.L. LOWRIDGE PL. (TO THE EAST) DIRT RD. NEWHALL QUAD (1995)
ELEV. 1283.662

1/19/16 REV 4 CHECK SR

REVISED
AMENDED MAP

PREPARED FOR:
BLC TESORO LLC
C/O IHP CAPITAL PARTNERS
100 BAYMEW CIRCLE, STE 2000
NEWPORT BEACH, CA 92660
ATTN: ERIK PFAHLER
TEL. 310-864-3330

WATER SYSTEMS
CIVILTEC
188 W. LIME AVE.
MONROVIA, CA 91016
TEL. 626-357-0588

SOILS ENGINEER & GEOLOGIST
RMA GEOSCIENCE, INC
9854 GLEN OAKS BLVD
SUN VALLEY, CA 91352
ATTN: MARK SWATEK
TEL. 800-762-4396

LAND PLANNING & LANDSCAPING
PLACEWORKS
3 MACARTHUR PLACE STE 1100
SANTA ANA, CA 92707
TEL. 714-966-9220

ENVIRONMENTAL
BONTERRA CONSULTING
3452 E. FOOTHILL BLVD.
SUITE 420
PASADENA, CA 91107
TEL. 626-351-2000

CONSULTANT
MARTIN & ASSOC, LLC
3545 CORPORATE
COSTA MESA CA 92626
TEL. 714-641-9022

LEGAL DESCRIPTION
BEING PORTIONS OF SECTIONS 21, 22, 27, 28, 33 AND 34, TOWNSHIP 5 NORTH, RANGE 16 WEST, SAN BERNARDINO MERIDIAN TOGETHER WITH PORTIONS OF RANCHO SAN FRANCISCO RECORDED IN BOOK 1, PAGE 521 AND 522 OF PATENTS IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY.

NO.	DATE	REVISION
4	12-22-15	REVISE MAP TO 795 DU INCLUDING 15 SENIORS, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA "A"
3	9-20-10	CLARIFY STREET NAMES, WOOLLY GATE LOC, REV. TRAIL SYSTEM, ADD LINE OF SIGHT, HELI-SPOT LAYOUT & REC. SVCS.
2	2-17-10	SHOW THE STATION AS ALTERNATE, ADD MEDIAN, CALL OUT 241 DU'S AS > 1 AC, REDUCE DU'S
1	11-04-08	ADD EXISTING WATER TANK LOTS AND RENAMED LOTS PER PHASING MAP; ADD DESIGNS: DRAIN, TERRACE DRAIN & WELLS; REV. RELOCATED TO LOTS FROM AREA C TO AREA B

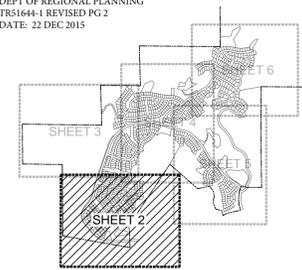
SCALE: CHK'D BY: DATE: D.W.C. NO. SHEET OF
AS SHOWN APPROVED BY: 12/22/2015 5093-023-05E 1 9



SIKAND
Engineering | Planning | Surveying
15230 Burbank Blvd.
Van Nuys, CA 91411
Tel: (818) 787-8550
Fax: (818) 901-7451
info@sikand.com

MAJOR LAND DIVISION
VESTING TENTATIVE TRACT NO 51644
LOCATED IN THE UNINCORPORATED TERRITORY
OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

ROAD



KEY MAP SCALE: 1" = 2000'



MATCH LINE SEE SHEET 5

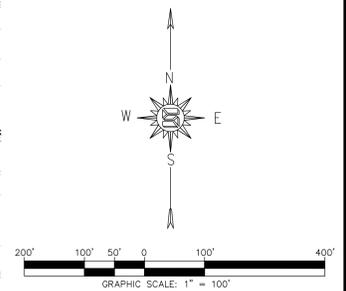
TENT. TRACT NO. 52455 (APPROVED)

*TR. NO. 51644-09 (61- S.F. UNITS)

*TR. NO. 5 (155-S.F.)

LEGEND

- PROPOSED OR EXISTING HIKING TRAILS
- NEIGHBORHOOD TRAILS
- COUNTY TRAILS
- 4" MAX. RETAINING WALL
- DAYLIGHT LINE
- WATER
- STORM DRAIN
- RELIEF DRAIN
- SEWER
- RECYCLED WATERLINE (THESE LINES ARE BEING INSTALLED FOR A FUTURE CONNECTION WHEN RECYCLED WATER IS AVAILABLE AT THE SITE)
- PROPOSED GATED ENTRANCE
- TREE NUMBER
- EXISTING COAST LIVE OAK - SEE OAK TREE REPORT PREPARED BY Borterra DATED 7-8-10 (SEE ASSOCIATED OAK TREE PERMIT) (SEE INDIVIDUAL SHEETS FOR SPECIFIC LOCATIONS)
- (REMOVED)
- (SAVED)



PREPARED FOR: BLC TESORO LLC C/O IHP CAPITAL PARTNERS 100 BAYVIEW CIRCLE, STE 2000 NEWPORT BEACH, CA 92660 ATTN: ERIK PFAHLER TEL. 310-864-3330	WATER SYSTEMS: CIVILTEC 188 W. LIME AVE. MONROVIA, CA 91016 TEL. 626-357-0588	SOILS ENGINEER & GEOLOGIST: RMA GEOSCIENCE, INC 9854 GLEN OAKS BLVD SUN VALLEY, CA 91352 ATTN: MARK SWATEK TEL. 800-762-4396	LAND PLANNING & LANDSCAPING: PLACEWORKS 3 MACARTHUR PLACE STE 1100 SANTA ANA, CA 92707 TEL. 714-966-9220	ENVIRONMENTAL: BONTERRA CONSULTING 3452 E. FOOTHILL BLVD. SUITE 420 PASADENA, CA 91107 TEL. 626-351-2000	CONSULTANT: MARTIN & ASSOC, LLC 3545 CORPORATE COSTA MESA CA 92626 TEL. 714-641-9022
--	--	--	---	--	---

LEGAL DESCRIPTION: BEING PORTIONS OF SECTIONS 21, 22, 27, 28, 33 AND 34, TOWNSHIP 5 NORTH, RANGE 18 WEST, SAN BERNARDINO MERIDIAN TOGETHER WITH PORTIONS OF RANCHO SAN FRANCISCO RECORDED IN BOOK 1, PAGE 521 AND 522 OF PATENTS IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY.	4 12-22-15 3 9-20-10 2 2-17-10 1 11-04-08	REVISION REVISE MAP TO 785.50 INCLUDING 115 SENSORS, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA 1. CLARIFY STREET NAMES, WOODY GATE LOC, REV. TRAIL SYSTEM, ADD LINE OF SIGHT, NEEL-SPOT EASEMENT & REC. BAYS. SHOW FIRE STATION AS ALTERNATE, ADD MEDIAN, CALL OUT 241 BAYS AS > 1 AC, REDUCE DUTS FROM 10 TO 100, REV. TRAIL SYSTEM.	DATE 12/22/2015	DATE 12/22/2015	D.W.C. NO. 5093-023-05E	SHEET 2	OF 9
--	--	--	--------------------	--------------------	----------------------------	------------	---------

SIKAND
Engineering | Planning | Surveying

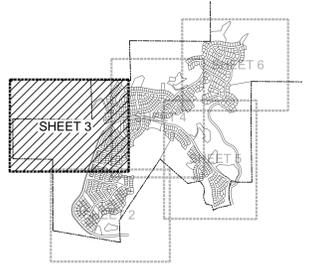
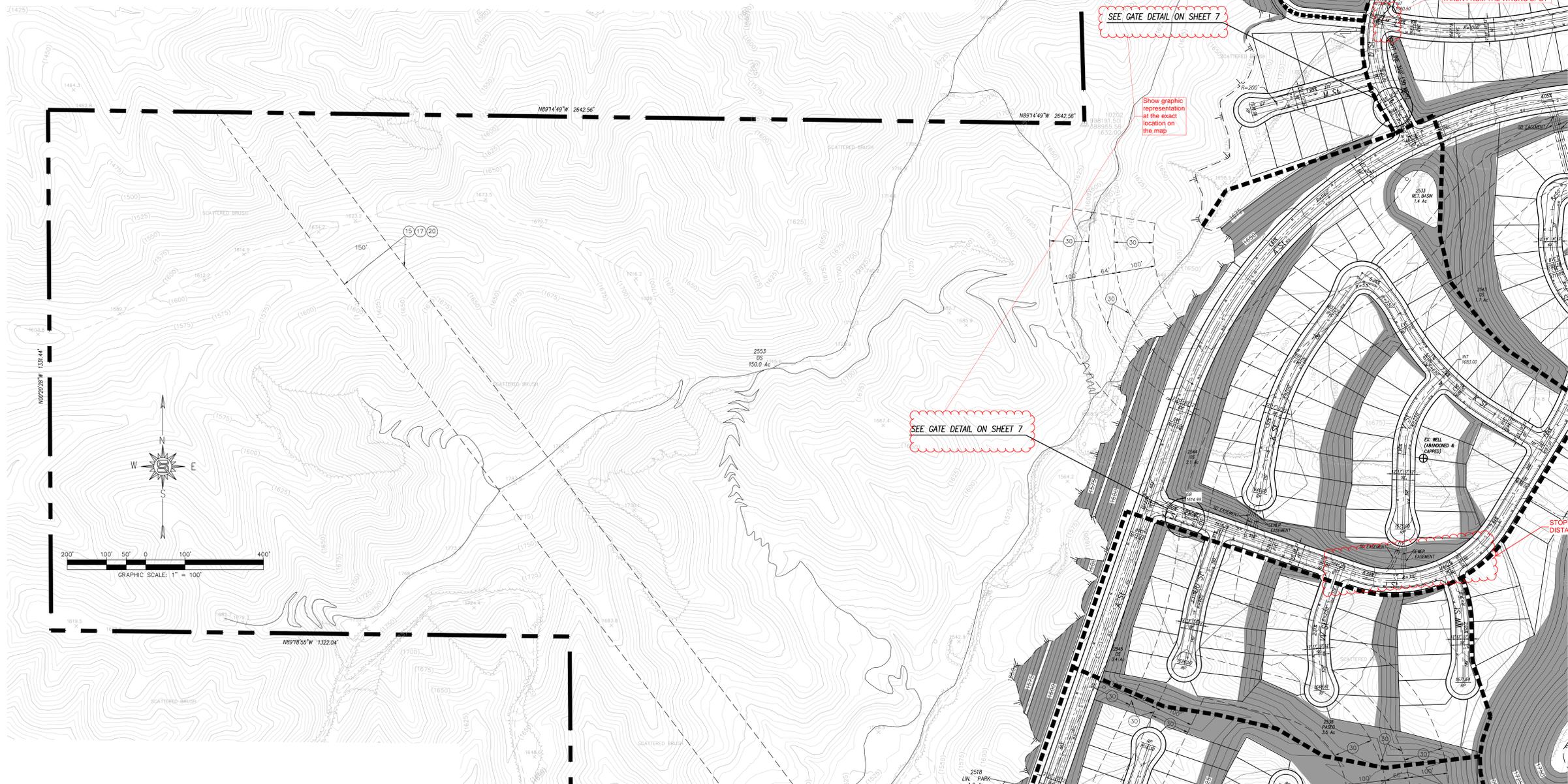
15230 Burbank Blvd.
Van Nuys, CA 91411
Tel: (818) 787-8550
Fax: (818) 901-7451
info@sikand.com

MAJOR LAND DIVISION
VESTING TENTATIVE TRACT NO 51644
 LOCATED IN THE UNINCORPORATED TERRITORY
 OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

ROAD

LEGEND	
	PROPOSED OR EXISTING HIKING TRAILS
	NEIGHBORHOOD TRAILS
	COUNTY TRAILS
	4 MAX. RETAINING WALL
	DAYLIGHT LINE
	WATER
	STORM DRAIN
	RELIEF DRAIN
	SEWER
	RECYCLED WATERLINE (THESE LINES ARE BEING INSTALLED FOR A FUTURE CONNECTION WHEN RECYCLED WATER IS AVAILABLE AT THE SITE)
	PROPOSED GATED ENTRANCE
	TREE NUMBER
	EXISTING COAST LIVE OAK - SEE OAK TREE REPORT PREPARED BY BON TERRA GATED 7-8-10 (SEE ASSOCIATED OAK TREE PERMIT). (SEE INDIVIDUAL SHEETS FOR SPECIFIC LOCATIONS)
	39 (REMOVED)
	1 (SAVED)

TENT. TRACT NO. 53822



KEY MAP
SCALE: 1" = 2000'

MATCH LINE SEE SHEET 4

MATCH LINE SEE SHEET 2

<p>PREPARED FOR: BLC TESORO LLC C/O IHP CAPITAL PARTNERS 100 BAYVIEW CIRCLE, STE 2000 NEWPORT BEACH, CA 92660 ATTN: ERIK PFAHLER TEL. 310-864-3330</p>	<p>WATER SYSTEMS CIVILTEC 188 W. LIME AVE. MONROVIA, CA 91016 TEL. 626-357-0588</p>	<p>SOILS ENGINEER & GEOLOGIST RMA GEOSCIENCE, INC 9854 GLEN OAKS BLVD SUN VALLEY, CA 91352 ATTN: MARK SWATEK TEL. 800-762-4396</p>	<p>LAND PLANNING & LANDSCAPING PLACEWORKS 3 MACARTHUR PLACE STE 1100 SANTA ANA, CA 92707 TEL. 714-966-9220</p>	<p>ENVIRONMENTAL BONTERRA CONSULTING 3452 E. FOOTHILL BLVD. SUITE 420 PASADENA, CA 91107 TEL. 626-351-2000</p>	<p>CONSULTANT MARTIN & ASSOC, LLC 3545 CORPORATE COSTA MESA CA 92626 TEL. 714-641-9022</p>
---	--	---	---	---	---

LEGAL DESCRIPTION BEING PORTIONS OF SECTIONS 21, 22, 27, 28, 33 AND 34, TOWNSHIP 5 NORTH, RANGE 16 WEST, SAN BERNARDINO MERIDIAN TOGETHER WITH PORTIONS OF RANCHO SAN FRANCISCO RECORDED IN BOOK 1, PAGE 521 AND 522 OF PATENTS IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY.

NO.	DATE	REVISION
4	12-22-15	REVISE MAP TO 785.00 INCLUDING 115 SENSORS, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA 14
3	9-20-10	CLARIFY STREET NAMES, WOODY GATE LOC, REV. TRAIL SYSTEM, ADD LINE OF SIGHT, NEU-SPOT EASEMENT & W&E 80% S
2	2-17-10	SHOW FIRE STATION AS ALTERNATE, ADD MEDIAN, CALL OUT 241 DOTS AS > 1 AC, REDUCE DOTS FROM 710 TO 700, REV. TRAILS SYSTEM
1	11-04-08	ADD EXISTING WATER TANK LOTS AND RENUMBERED LOTS PER PAVING MAP; ADD DESIRED DRIVE, TERRACE DRIVE & W&E 80% RELOCATED TO LOTS FROM AREA C TO AREA B



SIKAND
Engineering | Planning | Surveying

15230 Burbank Blvd.
Van Nuys, CA 91411
Tel: (818) 787-8550
Fax: (818) 901-7451
info@sikand.com

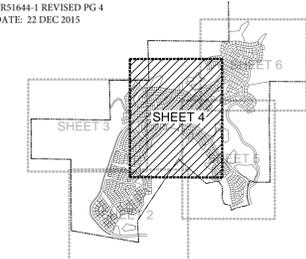
MAJOR LAND DIVISION
VESTING TENTATIVE TRACT NO 51644
LOCATED IN THE UNINCORPORATED TERRITORY
OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

ROAD

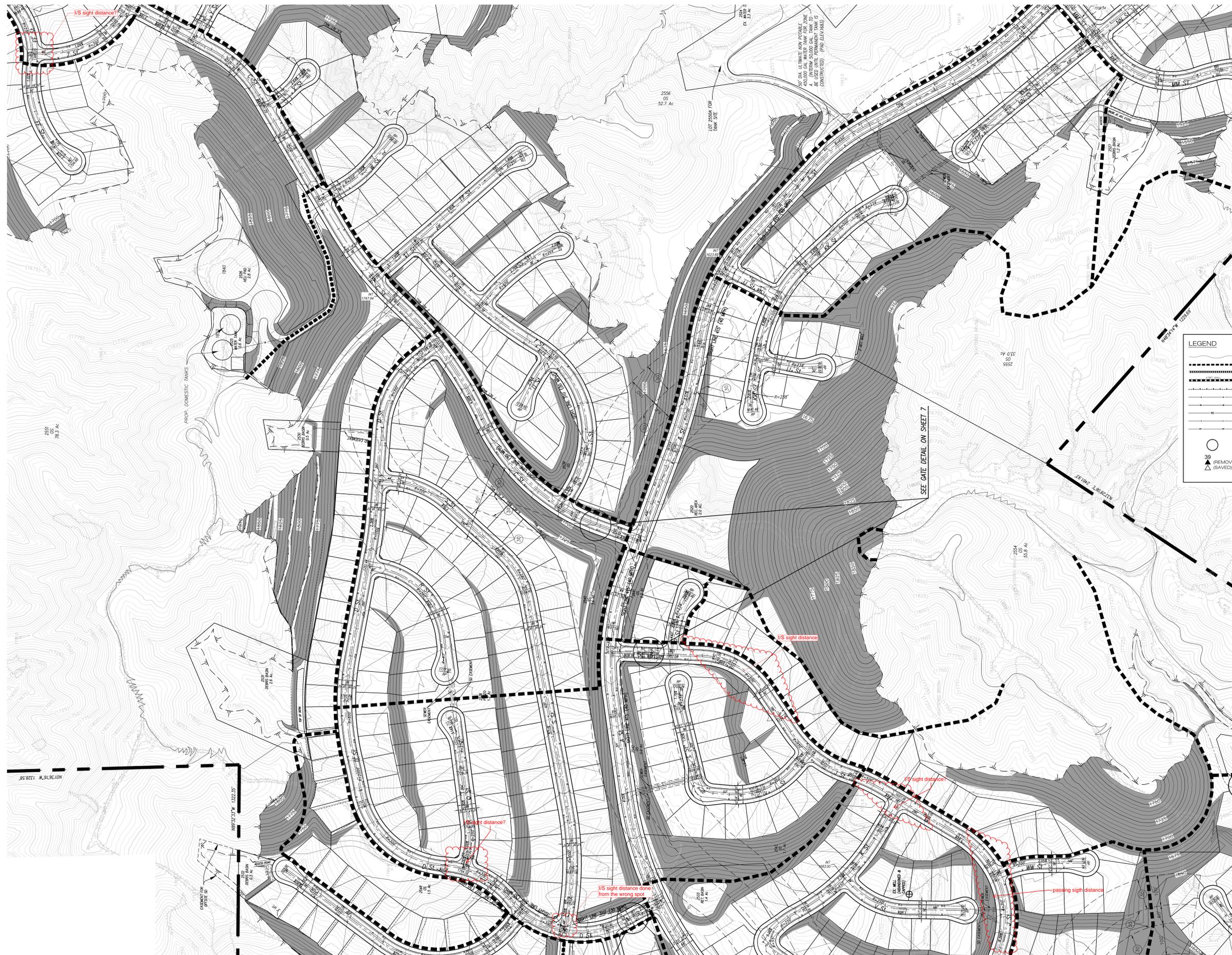
MATCH LINE SEE SHEET 6

MATCH LINE SEE SHEET 5

RECEIVED
DEPT OF REGIONAL PLANNING
TR51644-1 REVISED PG 4
DATE: 22 DEC 2015



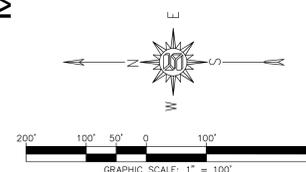
KEY MAP
SCALE: 1" = 2000'



LEGEND

- PROPOSED OR EXISTING HIKING TRAILS
- NEIGHBORHOOD TRAILS
- COUNTY TRAILS
- 4" MAX. RETAINING WALL
- DAYLIGHT LINE
- WATER
- STORM DRAIN
- RELIEF DRAIN
- SEWER
- RECYCLED WATERLINE (THESE LINES ARE BEING INSTALLED FOR A FUTURE CONNECTION WHEN RECYCLED WATER IS AVAILABLE AT THE SITE)
- PROPOSED GATED ENTRANCE
- TREE NUMBER
- EXISTING COAST LIVE OAK - SEE OAK TREE REPORT PREPARED BY BORTNER DATED 7-8-10 (SEE ASSOCIATED OAK TREE PERMIT. (SEE INDIVIDUAL SHEETS FOR SPECIFIC LOCATIONS))
- 39 (REMOVED)
- 39 (SAVED)

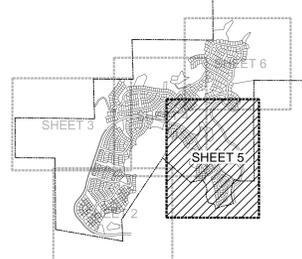
MATCH LINE SEE SHEET 2



MATCH LINE SEE SHEET 3

<p>PREPARED FOR: BLC TESORO LLC C/O IHP CAPITAL PARTNERS 100 BAYVIEW CIRCLE, STE 2000 NEWPORT BEACH, CA 92660 ATTN: ERIK PFAHLER TEL. 310-864-3330</p>	<p>WATER SYSTEMS CIVILTEC 188 W. LIME AVE. MONROVIA, CA 91016 TEL. 626-357-0588</p>	<p>SOILS ENGINEER & GEOLOGIST RMA GEOSCIENCE, INC 9854 GLEN OAKS BLVD SUN VALLEY, CA 91352 ATTN: MARK SWATEK TEL. 800-762-4396</p>	<p>LAND PLANNING & LANDSCAPING PLACEWORKS 3 MACARTHUR PLACE STE 1100 SANTA ANA, CA 92707 TEL. 714-966-9220</p>	<p>ENVIRONMENTAL BONTERRA CONSULTING 3452 E. FOOTHILL BLVD. SUITE 420 PASADENA, CA 91107 TEL. 626-351-2000</p>	<p>CONSULTANT MARTIN & ASSOC, LLC 3545 CORPORATE COSTA MESA CA 92626 TEL. 714-641-9022</p>	<p>LEGAL DESCRIPTION BEING PORTIONS OF SECTIONS 21, 22, 27, 28, 33 AND 34, TOWNSHIP 5 NORTH, RANGE 16 WEST, SAN BERNARDINO MERIDIAN TOGETHER WITH PORTIONS OF RANCHO SAN FRANCISCO RECORDED IN BOOK 1, PAGE 521 AND 522 OF PATENTS IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY.</p>	<table border="1"> <tr> <td>4</td> <td>12-22-15</td> <td>REVISE MAP TO 75% (U) INCLUDING 115 SENIORS, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA 14"</td> <td></td> <td></td> <td></td> </tr> <tr> <td>3</td> <td>9-20-10</td> <td>CLARIFY STREET NAMES; WOODY GATE LOC; REV. TRAIL SYSTEM; ADD LINE OF SIGHT; NEIGH-SPOT LAWSON & WICK ST; 81'S</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td>2-17-10</td> <td>SHOW FIRE STATION AS ALTERNATE; ADD MEDIAN; CALL OUT 241 DUTS AS > 1 AC; REDUCE DUTS FROM 10 TO 100 REV. TRAIL SYSTEM</td> <td></td> <td></td> <td></td> </tr> <tr> <td>1</td> <td>11-04-08</td> <td>ADD EXISTING WATER TANK LOTS AND RENUMBERED LOTS PER PHASING MAP; ADD DESIGN DRAIN; TERRACE DRAIN & WELLS RELOCATED TO LOTS FROM AREA C TO AREA B</td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td>DATE</td> <td>REVISION</td> <td>DATE</td> <td>D.W.C. NO.</td> <td>BY</td> </tr> <tr> <td></td> <td>CHK'D BY</td> <td>APPROVED BY</td> <td>DATE</td> <td>D.W.C. NO.</td> <td>SHEET OF</td> </tr> <tr> <td>AS SHOWN</td> <td></td> <td></td> <td>12/22/2015</td> <td>5093-023-05E</td> <td>4 9</td> </tr> </table>	4	12-22-15	REVISE MAP TO 75% (U) INCLUDING 115 SENIORS, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA 14"				3	9-20-10	CLARIFY STREET NAMES; WOODY GATE LOC; REV. TRAIL SYSTEM; ADD LINE OF SIGHT; NEIGH-SPOT LAWSON & WICK ST; 81'S				2	2-17-10	SHOW FIRE STATION AS ALTERNATE; ADD MEDIAN; CALL OUT 241 DUTS AS > 1 AC; REDUCE DUTS FROM 10 TO 100 REV. TRAIL SYSTEM				1	11-04-08	ADD EXISTING WATER TANK LOTS AND RENUMBERED LOTS PER PHASING MAP; ADD DESIGN DRAIN; TERRACE DRAIN & WELLS RELOCATED TO LOTS FROM AREA C TO AREA B					DATE	REVISION	DATE	D.W.C. NO.	BY		CHK'D BY	APPROVED BY	DATE	D.W.C. NO.	SHEET OF	AS SHOWN			12/22/2015	5093-023-05E	4 9	<p>SCALE: AS SHOWN</p>	<p>RECEIVED PROFESSIONAL ENGINEER No. 16913 Exp. 06-30-17 CIVIL STATE OF CALIFORNIA</p>	<p>SIKAND Engineering Planning Surveying</p>	<p>15230 Burbank Blvd. Van Nuys, CA 91411 Tel: (818) 787-8550 Fax: (818) 901-7451 info@sikand.com</p>	<p>MAJOR LAND DIVISION VESTING TENTATIVE TRACT NO 51644 LOCATED IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA</p>
4	12-22-15	REVISE MAP TO 75% (U) INCLUDING 115 SENIORS, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA 14"																																																				
3	9-20-10	CLARIFY STREET NAMES; WOODY GATE LOC; REV. TRAIL SYSTEM; ADD LINE OF SIGHT; NEIGH-SPOT LAWSON & WICK ST; 81'S																																																				
2	2-17-10	SHOW FIRE STATION AS ALTERNATE; ADD MEDIAN; CALL OUT 241 DUTS AS > 1 AC; REDUCE DUTS FROM 10 TO 100 REV. TRAIL SYSTEM																																																				
1	11-04-08	ADD EXISTING WATER TANK LOTS AND RENUMBERED LOTS PER PHASING MAP; ADD DESIGN DRAIN; TERRACE DRAIN & WELLS RELOCATED TO LOTS FROM AREA C TO AREA B																																																				
	DATE	REVISION	DATE	D.W.C. NO.	BY																																																	
	CHK'D BY	APPROVED BY	DATE	D.W.C. NO.	SHEET OF																																																	
AS SHOWN			12/22/2015	5093-023-05E	4 9																																																	

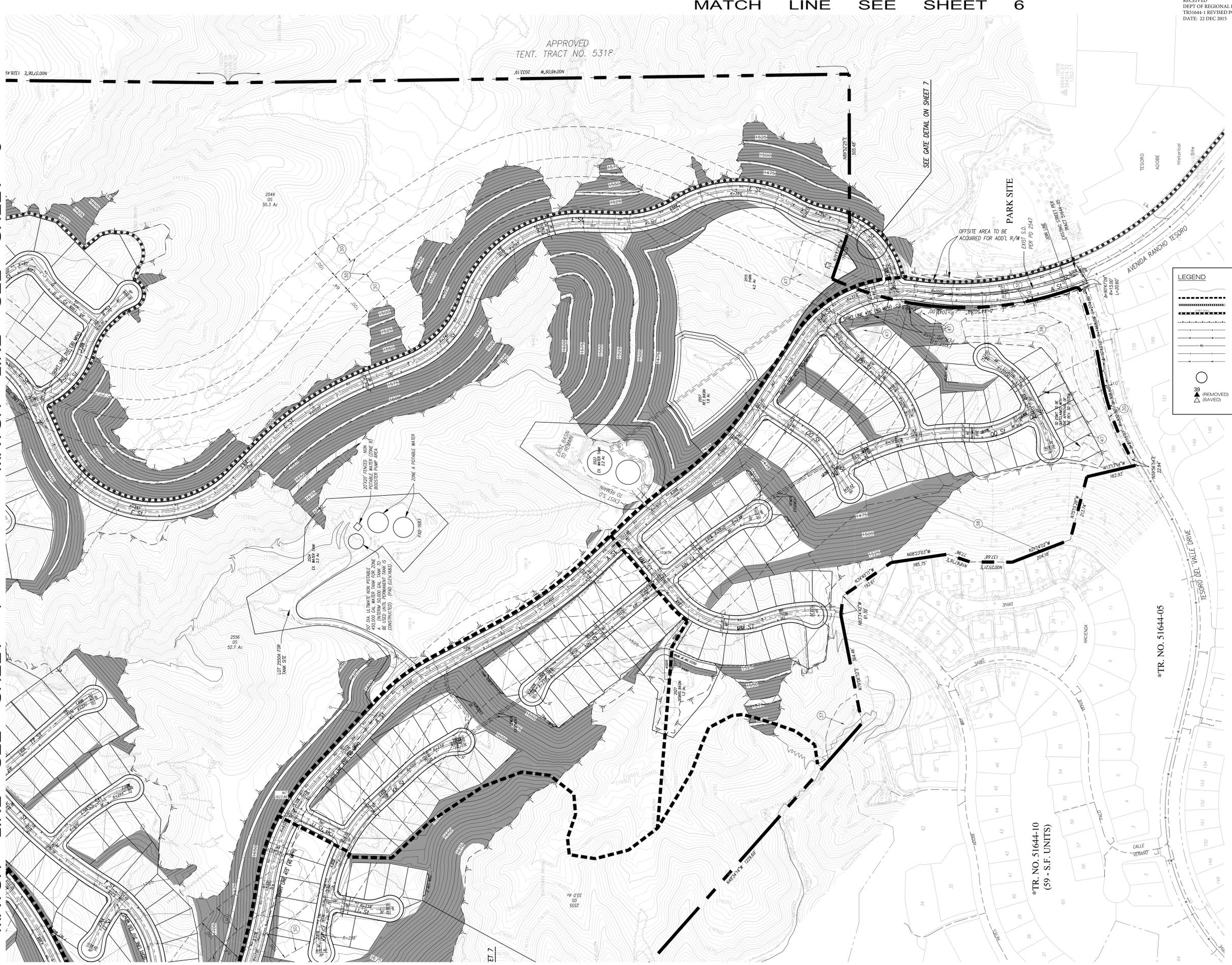
ROAD



KEY MAP
SCALE: 1" = 2000'

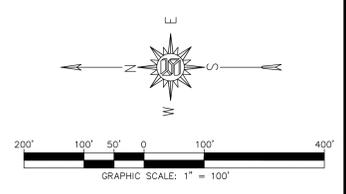
MATCH LINE SEE SHEET 6
MATCH LINE SEE SHEET 4
MATCH LINE SEE SHEET 4
MATCH LINE SEE SHEET 4

APPROVED
TENT. TRACT NO. 531R



LEGEND

- PROPOSED OR EXISTING HIKING TRAILS
- NEIGHBORHOOD TRAILS
- COUNTY TRAILS
- 4 MAX. RETAINING WALL
- DAYLIGHT LINE
- WATER
- STORM DRAIN
- RELIEF DRAIN
- SEWER
- RECYCLED WATERLINE (THESE LINES ARE BEING INSTALLED FOR A FUTURE CONNECTION WHEN RECYCLED WATER IS AVAILABLE AT THE SITE)
- PROPOSED GATED ENTRANCE
- TREE NUMBER
- EXISTING COAST LINE OAK - SEE OAK TREE REPORT PREPARED BY BONTERRA DATED 7-8-10 (SEE ASSOCIATED OAK TREE PERMIT). (SEE INDIVIDUAL SHEETS FOR SPECIFIC LOCATIONS)
- 39 (REMOVED)
- ▲ (SAVED)



MATCH LINE SEE SHEET 4

PREPARED FOR:
BLC TESORO LLC
C/O IHP CAPITAL PARTNERS
100 BAYVIEW CIRCLE, STE 2000
NEWPORT BEACH, CA 92660
ATTN: ERIK PFAHLER
TEL. 310-864-3330

WATER SYSTEMS
CIVILTEC
188 W. LIME AVE.
MONROVIA, CA 91016
TEL. 626-357-0588

SOILS ENGINEER & GEOLOGIST
RMA GEOSCIENCE, INC
9854 GLEN OAKS BLVD
SUN VALLEY, CA 91352
ATTN: MARK SWATEK
TEL. 800-762-4396

LAND PLANNING & LANDSCAPING
PLACEWORKS
3 MACARTHUR PLACE STE 1100
SANTA ANA, CA 92707
TEL. 714-966-9220

ENVIRONMENTAL
BONTERRA CONSULTING
3452 E. FOOTHILL BLVD.
SUITE 420
PASADENA, CA 91107
TEL. 626-351-2000

CONSULTANT
MARTIN & ASSOC, LLC
3545 CORPORATE
COSTA MESA CA 92626
TEL. 714-641-9022

LEGAL DESCRIPTION
BEING PORTIONS OF SECTIONS 21, 22, 27,
28, 33 AND 34, TOWNSHIP 5 NORTH,
RANGE 18 WEST, SAN BERNARDINO
MERIDIAN TOGETHER WITH PORTIONS OF
RANCHO SAN FRANCISCO RECORDED IN
BOOK 1, PAGE 521 AND 522 OF PATENTS
IN THE OFFICE OF THE COUNTY RECORDER
OF LOS ANGELES COUNTY.

NO.	DATE	REVISION
4	12-22-15	REVISE MAP TO 75% INCLUDING 115 SENSORS, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA 1"
3	9-20-10	CLARIFY STREET NAMES, WOODY GATE LOC, REV. TRAIL SYSTEM, ADD LINE OF SIGHT, NEI-SPOT LAYOUT & BNC 30'S
2	2-17-10	SHOW FIRE STATION AS ALTERNATE, ADD MEDIAN, CALL OUT 241 DOTS AS > 1 AC, REDUCE DOTS FROM 1 TO 100 REV. TRAIL SYSTEM
1	11-04-08	ADD EXISTING WATER TANK LOTS AND RENUMBER LOTS PER PHASING MAP; ADD DESIGNS: DRIVE, TORQUE DRIVE & WALK REV. RELOCATED TO LOTS FROM AREA C TO AREA B

SCALE: CHK'D BY: APPROVED BY: DATE: D.W.C. NO. SHEET OF

AS SHOWN 12/22/2015 5093-023-05E 5 9

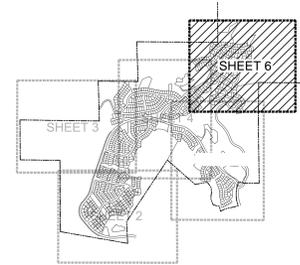


SIKAND
Engineering | Planning | Surveying

15230 Burbank Blvd.
Van Nuys, CA 91411
Tel: (818) 787-8550
Fax: (818) 901-7451
info@sikand.com

MAJOR LAND DIVISION
VESTING TENTATIVE TRACT NO 51644
LOCATED IN THE UNINCORPORATED TERRITORY
OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

ROAD



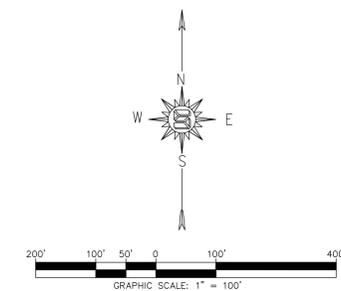
KEY MAP
SCALE: 1" = 2000'

LEGEND	
	PROPOSED OR EXISTING HIKING TRAILS
	NEIGHBORHOOD TRAILS
	COUNTY TRAILS
	4' MAX. RETAINING WALL
	DAYLIGHT LINE
	WATER
	STORM DRAIN
	RELIEF DRAIN
	SEWER
	RECYCLED WATERLINE (THESE LINES ARE BEING INSTALLED FOR A FUTURE CONNECTION WHEN RECYCLED WATER IS AVAILABLE AT THE SITE)
	PROPOSED GATED ENTRANCE
	TREE NUMBER
	EXISTING COAST LIVE OAK - SEE OAK TREE REPORT PREPARED BY BONTERRA DATED 7-8-10 (SEE ASSOCIATED OAK TREE PERMIT) (SEE INDIVIDUAL SHEETS FOR SPECIFIC LOCATIONS)
	(REMOVED)
	(SAVED)

MATCH LINE SEE SHEET 4



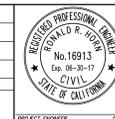
MATCH LINE SEE SHEET 5



<p>PREPARED FOR: BLC TESORO LLC C/O IHP CAPITAL PARTNERS 100 BAYVIEW CIRCLE, STE 2000 NEWPORT BEACH, CA 92660 ATTN: ERIC PFAHLER TEL. 310-864-3330</p>	<p>WATER SYSTEMS CIVILTEC 188 W. LIME AVE. MONROVIA, CA 91016 TEL. 626-357-0588</p>	<p>SOILS ENGINEER & GEOLOGIST RMA GEOSCIENCE, INC 9854 GLEN OAKS BLVD SUN VALLEY, CA 91352 ATTN: MARK SWATEK TEL. 800-762-4396</p>	<p>LAND PLANNING & LANDSCAPING PLACEWORKS 3 MACARTHUR PLACE STE 1100 SANTA ANA, CA 92707 TEL. 714-966-9220</p>	<p>ENVIRONMENTAL BONTERRA CONSULTING 3452 E. FOOTHILL BLVD. SUITE 420 PASADENA, CA 91107 TEL. 626-351-2000</p>	<p>CONSULTANT MARTIN & ASSOC, LLC 3545 CORPORATE COSTA MESA CA 92626 TEL. 714-641-9022</p>
---	--	---	---	---	---

NO.	DATE	REVISION
4	12-22-15	REVISE MAP TO 75% (1) INCLUDING 115 SIGNERS, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA 1
3	9-20-10	CLARIFY STREET NAMES, WOODY GATE LOC, REV. TRAIL SYSTEM, ADD LINE OF SIGHT, NEHI-SPOT EASEMENT & MISC. SIGN'S
2	2-17-10	SHOW FIRE STATION AS ALTERNATE, ADD MEDIAN, CALL OUT 241 DOTS AS > 1 AC, REDUCE DOTS FROM 710 TO 700, REV. TRAIL SYSTEM
1	11-04-08	ADD EXISTING WATER TANK LOTS AND RENAMED LOTS PER PAVING MAP, ADD DESIGNED DRIVE, STORAGE DRIVE & MISC. 'R' HELICHOPTER LOTS FROM AREA C TO AREA B

SCALE:	CHK'D BY:	APPROVED BY:	DATE:	D.W.C. NO.	SHEET	OF
AS SHOWN			12/22/2015	5093-023-05E	6	9

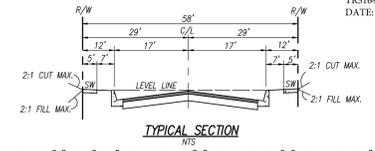


SIKAND
Engineering | Planning | Surveying

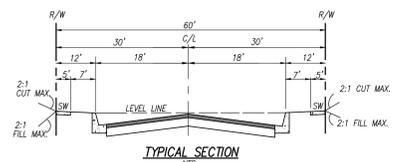
15230 Burbank Blvd.
Van Nuys, CA 91411
Tel: (818) 787-8550
Fax: (818) 901-7451
info@sikand.com

MAJOR LAND DIVISION
VESTING TENTATIVE TRACT NO 51644
LOCATED IN THE UNINCORPORATED TERRITORY
OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

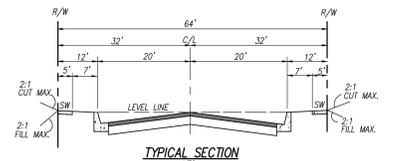
ROAD



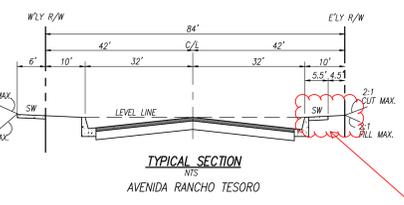
TYPICAL SECTION
NIS
PART OF "F" ST, "F-1" ST, PART OF "G" ST, PART OF "H" ST, PART OF "K" ST, PART OF "L" ST, "M" ST, "P" ST, "O" ST, "R" ST, "U" ST, "V" ST, "W" ST, "X" ST, "Y" ST, "AA" ST, "BB" ST, "CC" ST, "DD" ST, "EE" ST, "GG" ST, PART OF "HH" ST, PART OF "I-2" ST, "LL" ST, "MM" ST, "RR" ST, "SS" ST, PART OF "TT" ST, "UU" ST, "VV" ST, "WW" ST, "XX" ST, "YY" ST & "ZZ" ST.



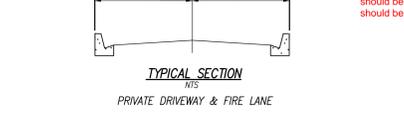
TYPICAL SECTION
NIS
"B" ST, "C" ST, "D" ST, "E" ST, PART OF "F" ST, PART OF "G" ST, PART OF "H" ST, "I" ST, PART OF "K" ST, PART OF "L" ST, "N" ST, "S" ST, "T" ST, "Z" ST, "FF" ST, PART OF "HH" ST, "I" ST, PART OF "I-2" ST, "U" ST, "XK" ST, "OO" ST, "PP" ST, "QQ" ST, PART OF "TT" ST & REYES ADOBE WAY.



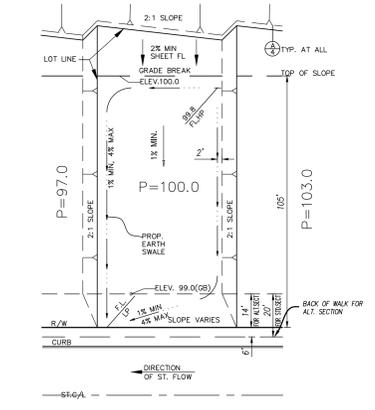
TYPICAL SECTION
NIS
"A" ST.



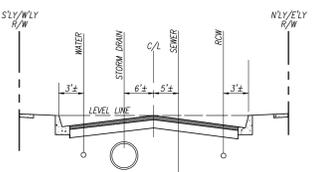
TYPICAL SECTION
NIS
AVENIDA RANCHO TESORO



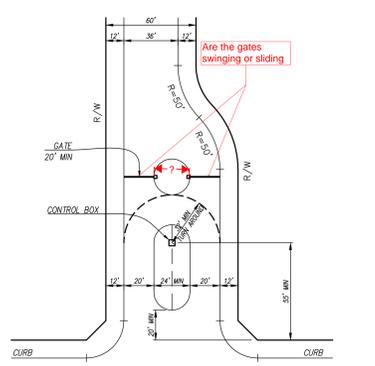
TYPICAL SECTION
NIS
PRIVATE DRIVEWAY & FIRE LANE



TYP. LOT GRADING DETAIL
NIS

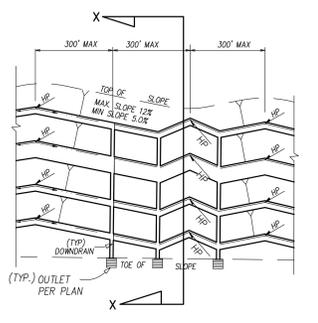


TYPICAL UTILITY LOCATION
NIS
NOTE: GAS, ELECTRIC, TELEPHONE, TV & INTERNET ARE IN PARKWAYS EXCEPT FOR CROSSINGS.



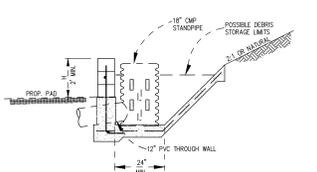
GATE DETAIL (TYPICAL)
SCALE: 1=40

The landscape area and the sidewalk should be switched. The sidewalk should be next to the property line.

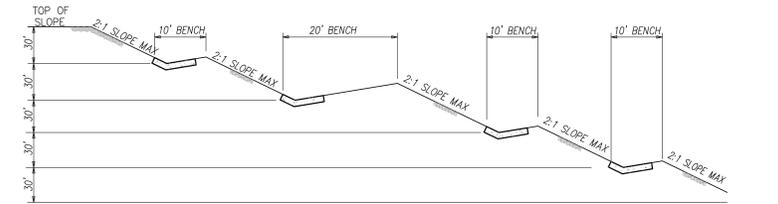


CONCEPTUAL LAYOUT TO BE SHOWN ON FINAL GRADING PLAN
NIS

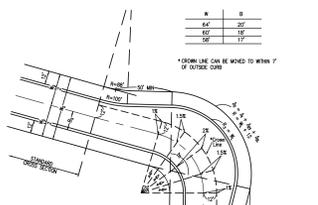
SLOPES STEEPER THAN 3:1 SHALL BE PROVIDED WITH PAVED DRAINAGE TERRACES AT VERTICAL INTERVALS OF 30 FEET FOR SLOPES OVER 30 FEET HIGH. SUCH TERRACES SHALL HAVE A MINIMUM WIDTH OF 8' (TOTAL HORIZONTAL DISTANCE) AND DEPTH OF 1" AT THE FLOW LINE FOR SLOPES GREATER THAN 100' IN HEIGHT A 20' WIDE BENCH SHALL BE PROVIDED AT MID HEIGHT AS SHOWN.



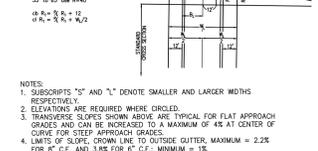
PRIVATELY MAINTAINED BASIN STANDPIPE DETAIL
NIS



SECTION X-X
NOT TO SCALE



TYPICAL OFFSET CUL-DE-SAC
SCALE: 1=40



TYPICAL STANDARD CUL-DE-SAC
SCALE: 1=40



KNUCKLE
NOT TO SCALE

NOTES:
1. SUBSCRIPTS "S" AND "L" DENOTE SMALLER AND LARGER WIDTHS RESPECTIVELY.
2. ELEVATIONS ARE REQUIRED WHERE CIRCLED.
3. TRANSVERSE SLOPES SHOWN ABOVE ARE TYPICAL FOR FLAT APPROACH GRADES AND CAN BE INCREASED TO A MAXIMUM OF 4% AT CENTER OF CURVE FOR STEEP APPROACH GRADES.
4. LIMITS OF SLOPE CROWN LINE TO OUTSIDE OUTER: MAXIMUM = 2.2% FOR 8' C.F. AND 3.8% FOR 6' C.F. MINIMUM = 1%.

PREPARED FOR:
BLC TESORO LLC
C/O IHP CAPITAL PARTNERS
100 BAYVIEW CIRCLE, STE 2000
NEWPORT BEACH, CA 92660
ATTN: ERIC PFAHLER
TEL. 310-864-3330

WATER SYSTEMS
CIVILTEC
188 W. LIME AVE.
MONROVIA, CA 91016
TEL. 626-357-0588

SOILS ENGINEER & GEOLOGIST
RMA GEOSCIENCE, INC
9854 GLEN OAKS BLVD
SUN VALLEY, CA 91352
ATTN: MARK SWATEK
TEL. 800-762-4396

LAND PLANNING & LANDSCAPING
PLACEWORKS
3 MACARTHUR PLACE STE 1100
SANTA ANA, CA 92707
TEL. 714-966-9220

ENVIRONMENTAL
BONTERRA CONSULTING
3452 E. FOOTHILL BLVD.
SUITE 420
PASADENA, CA 91107
TEL. 626-351-2000

CONSULTANT
MARTIN & ASSOC, LLC
3545 CORPORATE
COSTA MESA CA 92626
TEL. 714-641-9022

LEGAL DESCRIPTION
BEING PORTIONS OF SECTIONS 21, 22, 27,
28, 33 AND 34, TOWNSHIP 5 NORTH,
RANGE 16 WEST, SAN BERNARDINO
MERIDIAN TOGETHER WITH PORTIONS OF
RANCHO SAN FRANCISCO RECORDED IN
BOOK 1, PAGE 521 AND 522 OF PATENTS
IN THE OFFICE OF THE COUNTY RECORDER
OF LOS ANGELES COUNTY.

4	12-22-15	REVISE MAP TO 75% (U) INCLUDING 15% SENSORS, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA "A"			
3	9-20-10	CLARIFY STREET NAMES, WOODY GATE LOC; REV. TRAIL SYSTEM, ADD LINE OF SIGHT, NEEL-SPOT, EXISTING & PROPOSED SLOPES			
2	2-17-10	SHOW FIRE STATION AS ALTERNATE, ADD MEDIAN; CALL OUT 241 DOTS AS > 1 AC; REDUCE DOTS FROM 10 TO 100 YD. TRAIL SYSTEM			
1	11-04-08	ADD EXISTING WATER TANK LOTS AND RENAMED LOTS PER PHASING MAP; ADD DESIGN DRAIN, TERRACE DRAIN & WALK; REV. RELOCATED TO LOTS FROM AREA C TO AREA B			
	DATE	REVISION	BY	APP	
	SCALE: CHK'D BY:	APPROVED BY:	DATE:	D.W.C. NO.:	SHEET 7 OF 9
	AS SHOWN		12/22/2015	5093-023-05E	

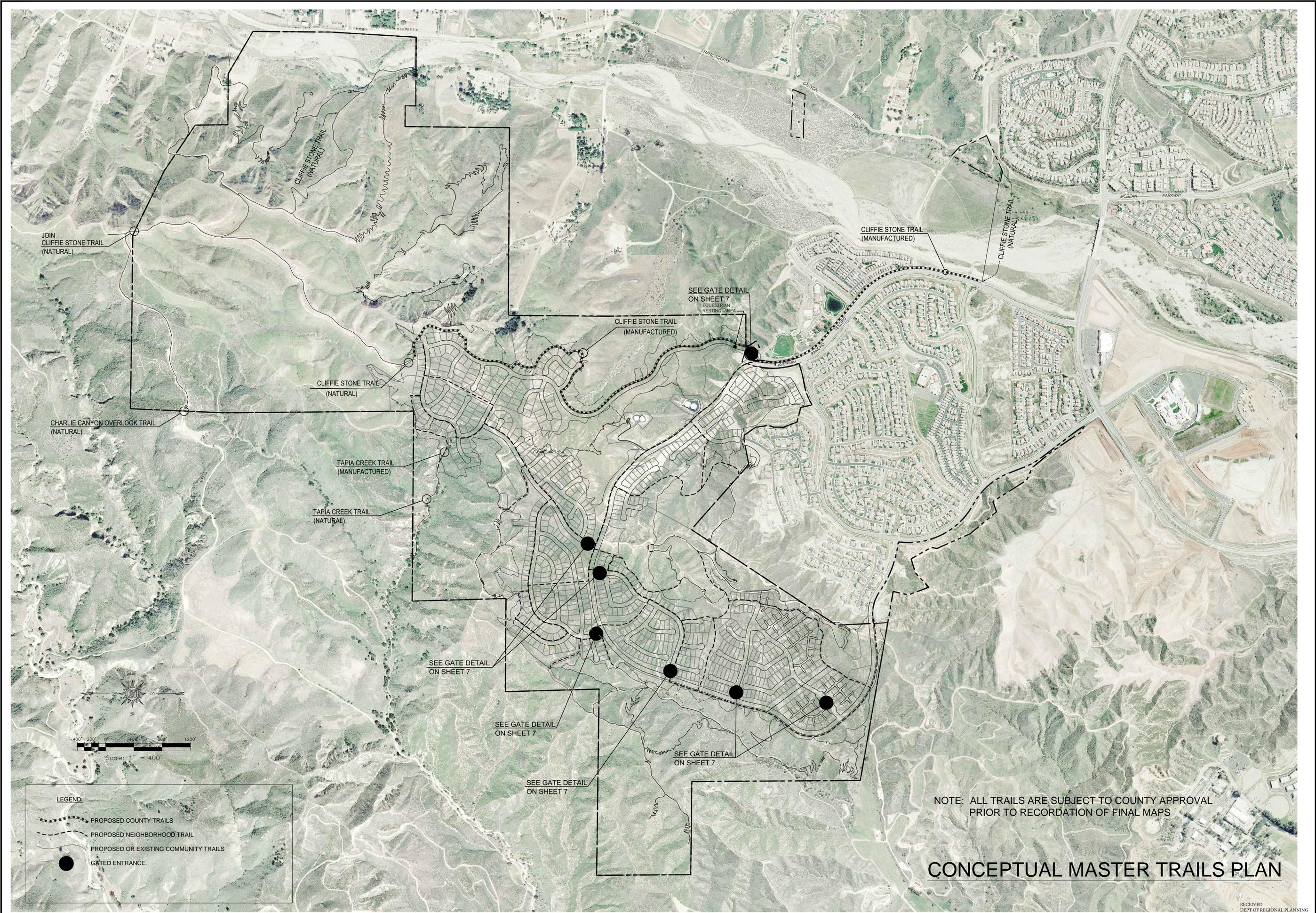


SIKAND
Engineering | Planning | Surveying

15230 Burbank Blvd.
Van Nuys, CA 91411
Tel: (818) 787-8550
Fax: (818) 901-7451
info@sikand.com

MAJOR LAND DIVISION
VESTING TENTATIVE TRACT NO 51644
LOCATED IN THE UNINCORPORATED TERRITORY
OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

ROAD

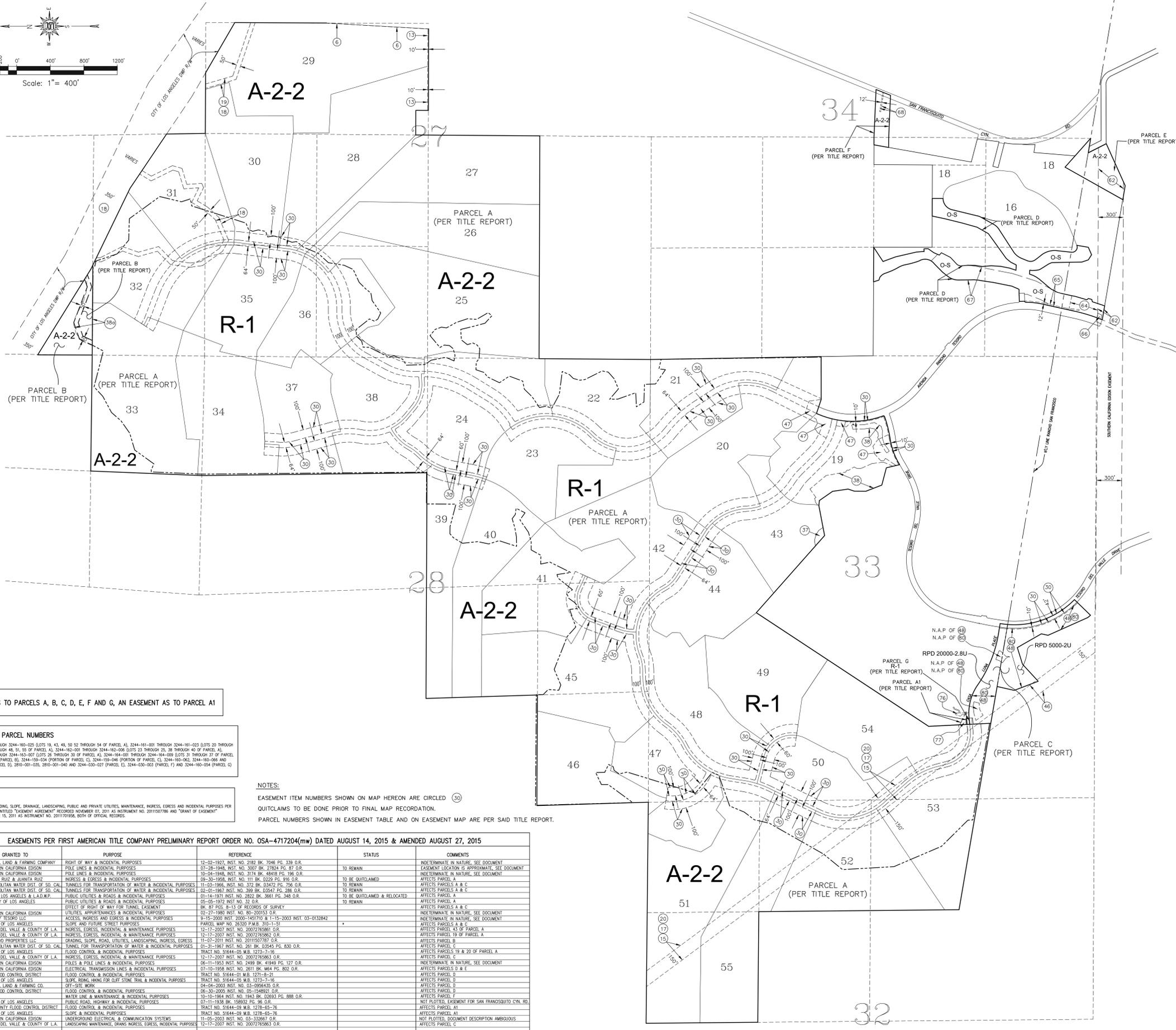
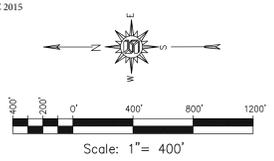


CONCEPTUAL MASTER TRAILS PLAN

<p>PREPARED FOR: BLC TESORO LLC C/O IHP CAPITAL PARTNERS 100 BAYVIEW CIRCLE, STE 2000 NEWPORT BEACH, CA 92660 ATTN: ERIK PFAHLER TEL. 310-864-3330</p>	<p>WATER SYSTEMS CIVILTEC 188 W. LIME AVE. MONROVIA, CA 91016 TEL. 626-357-0588</p>	<p>SOILS ENGINEER & GEOLOGIST RMA GEOSCIENCE, INC 9854 GLEN OAKS BLVD SUN VALLEY, CA 91352 ATTN: MARK SWATEK TEL. 800-762-4396</p>	<p>LAND PLANNING & LANDSCAPING PLACEWORKS 3 MACARTHUR PLACE STE 1100 SANTA ANA, CA 92707 TEL. 714-966-9220</p>	<p>ENVIRONMENTAL BONTERRA CONSULTING 3452 E. FOOTHILL BLVD. SUITE 420 PASADENA, CA 91107 TEL. 626-351-2000</p>	<p>CONSULTANT MARTIN & ASSOC, LLC 3545 CORPORATE COSTA MESA CA 92626 TEL. 714-641-9022</p>	<p>LEGAL DESCRIPTION BEING PORTIONS OF SECTIONS 21, 22, 27, 28, 33 AND 34, TOWNSHIP 5 NORTH, RANGE 16 WEST, SAN BERNARDINO MERIDIAN TOGETHER WITH PORTIONS OF RANCHO SAN FRANCISCO RECORDED IN BOOK 1, PAGE 521 AND 522 OF PATENTS OF LOS ANGELES COUNTY.</p>	<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> </tr> <tr> <td>4</td> <td>12-22-15</td> <td>REVISE MAP TO 70% DV INCLUDING 115 SENSORS, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA 11</td> </tr> <tr> <td>3</td> <td>9-20-10</td> <td>CLARIFY STREET NAMES, WOODY GATE LOC, REV. TRAIL SYSTEM, ADD LINE OF SIGHT, NEEL-SPOT, LANDMARK & WALK SIGN'S</td> </tr> <tr> <td>2</td> <td>2-17-10</td> <td>SHOW FIRE STATION AS ALTERNATE, ADD MEDIAN, CALL OUT 241 DV'S AS > 1 AC, REDUCE DV'S FROM 100 TO 700 REV. TRAILS SYSTEM</td> </tr> <tr> <td>1</td> <td>11-04-08</td> <td>ADD EXISTING WATER TANK LOTS AND RENUMBERED LOTS PER PLANNING MAP; ADD DESIRED DRIVE, TERRACE DRIVE & WALK REV. LOCATED TO LOTS FROM AREA C TO AREA B</td> </tr> </table>	NO.	DATE	REVISION	4	12-22-15	REVISE MAP TO 70% DV INCLUDING 115 SENSORS, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA 11	3	9-20-10	CLARIFY STREET NAMES, WOODY GATE LOC, REV. TRAIL SYSTEM, ADD LINE OF SIGHT, NEEL-SPOT, LANDMARK & WALK SIGN'S	2	2-17-10	SHOW FIRE STATION AS ALTERNATE, ADD MEDIAN, CALL OUT 241 DV'S AS > 1 AC, REDUCE DV'S FROM 100 TO 700 REV. TRAILS SYSTEM	1	11-04-08	ADD EXISTING WATER TANK LOTS AND RENUMBERED LOTS PER PLANNING MAP; ADD DESIRED DRIVE, TERRACE DRIVE & WALK REV. LOCATED TO LOTS FROM AREA C TO AREA B	<table border="1"> <tr> <td>SCALE:</td> <td>CHK'D BY:</td> <td>APPROVED BY:</td> <td>DATE:</td> <td>D.W.C. NO.:</td> <td>BY:</td> <td>APP:</td> </tr> <tr> <td>AS SHOWN</td> <td></td> <td></td> <td>12/22/2015</td> <td>5093-023-05E</td> <td>8</td> <td>9</td> </tr> </table>	SCALE:	CHK'D BY:	APPROVED BY:	DATE:	D.W.C. NO.:	BY:	APP:	AS SHOWN			12/22/2015	5093-023-05E	8	9	<p>REGISTERED PROFESSIONAL ENGINEER No. 16913 Exp. 06-30-17 CIVIL STATE OF CALIFORNIA</p>	<p>SIKAND Engineering Planning Surveying 15230 Burbank Blvd. Van Nuys, CA 91411 Tel: (818) 787-8550 Fax: (818) 901-7451 info@sikand.com</p>	<p>RECEIVED DEPT OF REGIONAL PLANNING TR51644.1 (REVISED) PG. 8 DATE: 22 DEC 2015</p> <p>MAJOR LAND DIVISION VESTING TENTATIVE TRACT NO 51644 LOCATED IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA</p>
NO.	DATE	REVISION																																						
4	12-22-15	REVISE MAP TO 70% DV INCLUDING 115 SENSORS, REDUCE GRADING, PROJECT FOOTPRINT AND PORTION OF AREA 11																																						
3	9-20-10	CLARIFY STREET NAMES, WOODY GATE LOC, REV. TRAIL SYSTEM, ADD LINE OF SIGHT, NEEL-SPOT, LANDMARK & WALK SIGN'S																																						
2	2-17-10	SHOW FIRE STATION AS ALTERNATE, ADD MEDIAN, CALL OUT 241 DV'S AS > 1 AC, REDUCE DV'S FROM 100 TO 700 REV. TRAILS SYSTEM																																						
1	11-04-08	ADD EXISTING WATER TANK LOTS AND RENUMBERED LOTS PER PLANNING MAP; ADD DESIRED DRIVE, TERRACE DRIVE & WALK REV. LOCATED TO LOTS FROM AREA C TO AREA B																																						
SCALE:	CHK'D BY:	APPROVED BY:	DATE:	D.W.C. NO.:	BY:	APP:																																		
AS SHOWN			12/22/2015	5093-023-05E	8	9																																		

ROAD

C:\CD\0593-023\Templete\Map\Tempo PM 51644 Sheet 8.dwg, 12/18/2015 3:18:35 PM



THE FOLLOWING ITEMS PER FIRST AMERICAN TITLE COMPANY PRELIMINARY REPORT ORDER NO. OSA-4717204(mw) DATED AUGUST 14, 2015 & AMENDED AUGUST 27, 2015 (NOT PLOTTED)

- ITEM 3. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
- ITEM 4. THE INTEREST OF THE UNITED STATES OF AMERICA AS RECORDED IN VARIOUS PATENTS REGISTERED SEPTEMBER 03, 1915 AS INSTRUMENT NO. 103 IN BOOK 13 PAGE 180 OF PATENTS, AND APRIL 30, 1924 AS INSTRUMENT NO. 1190 IN BOOK 3003, PAGE 386, JULY 29, 1925 AS INSTRUMENT NO. 1502, IN BOOK 3004 PAGE 408, DECEMBER 28, 1925 AS INSTRUMENT NO. 1701 IN BOOK 4033 PAGE 64, JUNE 08, 1926 AS INSTRUMENT NO. 1701 IN BOOK 6228, PAGE 42, DECEMBER 27, 1926 AS INSTRUMENT NO. 674, IN BOOK 6154, PAGE 102, DECEMBER 02, 1943 AS INSTRUMENT NO. 803, IN BOOK 20468, PAGE 166 ALL OF OFFICIAL RECORDS.
- ITEM 5. THE FACT THAT A TRAVELED ROADWAY EXISTS OVER PORTIONS OF SAID LAND, THE CENTERLINE OF A PORTION OF SAID ROADWAY BEING THE WESTERLY LINE OF THE LAND DESCRIBED IN THE DEED TO EDWARD LIPPUS ET AL., RECORDED JULY 12, 1900 AS INSTRUMENT NO. 1271 IN BOOK 33652, PAGE 65 OF OFFICIAL RECORDS.
- ITEM 14. THE EFFECT OF A DEED WHICH RESERVES AN UNDIVIDED QUARTER OF ANY LESSOR'S ROYALTY, RENT, INCOME OR BONUSES THAT MAY BE PAYABLE UNDER OR DERIVED FROM ANY MINERAL, OIL, GAS OR/AND GAS LEASE THAT MAY HEREAFTER BE EXECUTED ON SAID LAND AS RESERVED BY H. CONWAY SOUNDER, A MARRIED MAN, AS HIS SEPARATE PROPERTY, RECORDED JUNE 03, 1960 IN BOOK 5985, PAGE 72 OF OFFICIAL RECORDS.
- ITEM 15. THE EFFECT OF A DOCUMENT ENTITLED "CONDITIONAL CERTIFICATE OF COMPLIANCE COPI-07207", RECORDED FEBRUARY 24, 1992 AS INSTRUMENT NO. 02-29505 OF OFFICIAL RECORDS.
- ITEM 22. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "SCHOOL FACILITIES FINANCING AGREEMENT" RECORDED JUNE 30, 1997 AS INSTRUMENT NO. 07-97675 OF OFFICIAL RECORDS.
- ITEM 24. EASEMENTS, COVENANTS AND CONDITIONS CONTAINED IN THE DEED FROM MONTAVIO PROPERTIES LLC, A CALIFORNIA LIMITED LIABILITY COMPANY AS GRANTEE, TO SINALCA/ TESORO, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AS GRANTEE, RECORDED SEPTEMBER 15, 2000 AS INSTRUMENT NO. 000348040 OF OFFICIAL RECORDS.
- NOTE: AN EASEMENT FOR ACCESS, EGRESS AND EGRESS AND INCIDENTAL PURPOSES IN THE ABOVE DOCUMENT IS INDETERMINATE IN NATURE. DOCUMENTS DECLARING MODIFICATIONS THEREOF RECORDED JANUARY 15, 2003 AS INSTRUMENT NO. 03-032842 OF OFFICIAL RECORDS.
- ITEM 25. THE TERMS, PROVISIONS AND EASEMENTS CONTAINED IN THE DOCUMENT ENTITLED "AGREEMENT OF DEVELOPMENT, EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS" RECORDED SEPTEMBER 15, 2000 AS INSTRUMENT NO. 2000-145171 OF OFFICIAL RECORDS.
- NOTE: EASEMENTS PER SAID DOCUMENT ARE INDETERMINATE IN NATURE.
- DOCUMENTS DECLARING MODIFICATION THEREOF RECORDED JANUARY 15, 2003 AS INSTRUMENT NO. 03-012842 OF OFFICIAL RECORDS.
- THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "PARTIAL ASSIGNMENT OF AGREEMENT OF DEVELOPMENT OF EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS" RECORDED SEPTEMBER 15, 2000 AS INSTRUMENT NO. 03-045300 OF OFFICIAL RECORDS.
- NOTE: EASEMENTS PER SAID DOCUMENT ARE INDETERMINATE IN NATURE.
- THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "PARTIAL ASSIGNMENT OF DEVELOPMENT AGREEMENT" RECORDED SEPTEMBER 10, 2003 AS INSTRUMENT NO. 03-264503 OF OFFICIAL RECORDS.
- ITEM 27. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "NOTICE OF DECLARATION OF COVENANT BY OFF-SITE PROPERTY OWNER" RECORDED MAY 14, 2002 AS INSTRUMENT NO. 02-002112201 OF OFFICIAL RECORDS.
- THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.
- AFFECTS PARCELS C.
- ITEM 28. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "NOTICE OF DECLARATION OF COVENANT BY OFF-SITE PROPERTY OWNER" RECORDED JULY 18, 2002 AS INSTRUMENT NO. 02-188417 OF OFFICIAL RECORDS.
- THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.
- AFFECTS PARCEL C.
- ITEM 29. REZONALS AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 26330, WHICH AMONG OTHER THINGS REZONALS:
- WHEN THE FUTURE STREET IN PARCEL 18 IS ACCEPTED AS A PUBLIC STREET, PARCEL 18 WILL ACQUIRE PROPERTY ON BOTH SIDES OF SAID STREET WHICH MUST BE CONVEYED TO THE CITY OF LOS ANGELES WITHOUT DELAYED ACTION OF THE ADVISORY AGENCY.
- THE OFFER FOR PUBLIC USE FOR STREET PURPOSES THE CERTAIN STRIPS OF LAND DESIGNATED AS "VILLAGE STREET" ON THE MAP RESERVING TO OURSELVES ALL OTHER USES OF SAID LAND EXCEPT THE ERECTION OR CONSTRUCTION OF ANY STRUCTURE NOT PERMITTED BY PUBLIC STREETS AND SUCH THAT AS SAID STREET IS OPENED FOR PUBLIC USE WE DO NOT, AND FOR OUR WORKS, EXECUTIVE, ADMINISTRATIVE, SUCCESSORS AND ASSIGNS, JOINTLY AND SEVERALLY AGREE THAT ALL FUTURE STREETS SHOWN ON THIS MAP WILL ACCEPT DRAINAGE WATER DISCHARGED FROM ANY ADJOINING AREAS, WHETHER FROM A PUBLIC STREET OR PRIVATE AND FUTURE STREET AND FURTHER AGREE THAT THE COUNTY OF LOS ANGELES IS HEREBY HELD FREE AND CLEAR OF ANY CLAIMS OR DAMAGE ARISING FROM SAID DRAINAGE.
- FURTHER DIVISION OF THIS PROPERTY TO LOTS/PARCELS SIZES BELOW TWENTY ACRES WILL REQUIRE STANDARD IMPROVEMENTS TO BE COMPLETED AS A CONDITION OF APPROVAL OF THE IMPROVEMENTS WILL INCLUDE, BUT NOT BE LIMITED TO, PROVISIONS ACCESS, INSTALLATION OF WATER MAINS, APPURTENANCES AND FIRE HYDRANTS AND CONFORMANCE TO LOS ANGELES COUNTY DEVELOPMENT STANDARDS.
- ITEM 31. REZONALS AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 26330, WHICH AMONG OTHER THINGS REZONALS: "WE HEREBY DEDICATE TO THE COUNTY OF LOS ANGELES THE RIGHT TO RESTRICT THE ERECTION OF BUILDINGS OR OTHER STRUCTURES WITHIN THESE AREAS DESIGNATED ON THE MAP AS RESTRICTED USE AREAS."
- ITEM 32. REZONALS AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 26330, WHICH AMONG OTHER THINGS REZONALS: "PORTIONS OF PARCELS 21, 22, 24, 25, 26, 27, 28, 29, 30, 31 AND 32 ARE SUBJECT TO GEOLOGICAL HAZARDS"
- ITEM 33. REZONALS AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 26330, WHICH AMONG OTHER THINGS REZONALS:
- "FURTHER DIVISION AND/OR DEVELOPMENT OF THIS PROPERTY WILL REQUIRE TRAIL DEDICATION FOR CLIFFE STREET CONNECTOR TRAIL IN ALL PARCELS IN ACCORDANCE WITH TRAIL ACT NO. 3844 (AS AMENDED BY 2012-03-05), APPROXIMATE LOCATIONS AND WIDTHS ARE SHOWN ON SAID TENTATIVE MAP. FINAL LOCATION OF SAID TRAIL SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING DIVISION, DEPARTMENT OF PARKS AND RECREATION, COUNTY OF LOS ANGELES."
- ITEM 34. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "COVENANT AND AGREEMENT" RECORDED DECEMBER 09, 2002 AS INSTRUMENT NO. 02-300841 OF OFFICIAL RECORDS.
- AFFECTS PARCELS A THROUGH C.
- THIS COVENANT AND AGREEMENT PROVIDES THAT IT SHALL BE BINDING UPON ANY FUTURE OWNERS, ENCUMBRANCES, THEIR SUCCESSORS OR ASSIGNS, AND SHALL CONTINUE IN EFFECT UNTIL THE ADVISORY AGENCY APPROVES TERMINATION.
- AFFECTS PARCELS A THROUGH C.
- ITEM 35. COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN DOCUMENT RECORDED MAY 29, 2003 AS INST. NO. 03-151863, OFFICIAL RECORDS. NOTE: EASEMENT IN SAID DOCUMENT DOES NOT AFFECT THE SUBJECT PROPERTY.
- DOCUMENTS DECLARING MODIFICATIONS THEREOF RECORDED MARCH 7, 2014 AS INSTRUMENT NO. 2014023497 OF OFFICIAL RECORDS.
- ITEM 36. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "TRAIL MODIFICATION COVENANT AND AGREEMENT" RECORDED MARCH 10, 2005 AS INSTRUMENT NO. 03050048 OF OFFICIAL RECORDS.
- ITEM 43. RIGHTS OF PARTIES POSSESSION.
- ITEM 45. THE LACK OF A LEGAL RIGHT OF ACCESS TO AND FROM A PUBLIC STREET OR HIGHWAY.
- AFFECTS PARCEL B.
- ITEM 49. RIGHTS OF THE PUBLIC IN AND TO THAT PORTION OF THE LAND LYING WITHIN CASA LUNA PLACE AND TESORO DEL VALLE DRIVE FOR PARCEL C OF PRELIMINARY TITLE REPORT.
- AFFECTS PARCEL C.
- ITEM 54. THE RIGHT TO USE THE CHANNEL OF SAN FRANCISCO CREEK THROUGH THE PROPERTY OF FIRST PARTIES FOR THE PURPOSE OF CARRYING WATER DISCHARGED FROM THE LOS ANGELES AREA AND ALL NECESSARY AND REASONABLE RIGHTS OF WAY IN, OVER, UPON, ALONG AND ACROSS SAID PREMISES FOR THE PURPOSE OF CONSTRUCTING ANY WORKS ALONG SAID SAN FRANCISCO CREEK DEEMED NECESSARY BY SECOND PARTIES FOR THE PURPOSE OF CARRYING OUT THE COVENANTS AND AGREEMENTS OF SAID FIRST PARTY, TOGETHER WITH ALL NECESSARY OR CONVENIENT MEANS OF ACCESS AND EGRESS TO AND FROM SAID WORKS, AS GRANTED IN AN AGREEMENT BETWEEN BLUE CAREY AND HARRY CAREY AND THE BOARD OF PUBLIC SERVICE COMMISSIONERS OF THE CITY OF LOS ANGELES, RECORDED MARCH 05, 1902 IN BOOK 847, PAGE 302 OF OFFICIAL RECORDS.
- LOCATION OF RIGHTS IN SAID DOCUMENT ARE INDETERMINATE IN NATURE.
- AFFECTS PARCELS D, E AND F.
- ITEM 63. A CONDITIONAL CERTIFICATE OF COMPLIANCE EXECUTED BY THE DEPARTMENT OF REGIONAL PLANNING, COUNTY OF LOS ANGELES, UPON THE TERMS, COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED HEREIN, RECORDED DECEMBER 9, 1998 AS INSTRUMENT NO. 98-027208 OF OFFICIAL RECORDS. SAID DOCUMENT REZONALS:
- PRIOR TO AUTHORIZATION TO BUILD ON THIS PROPERTY, THE APPLICANT WILL BE REQUIRED TO CONFORM TO THE COUNTY BUILDING REGULATIONS, SUCH REGULATIONS INCLUDE, BUT ARE NOT LIMITED TO, PROGRAM FOR APPROPRIATE SANITARY SEWAGE DISPOSAL, WATER SUPPLY FOR DOMESTIC USE AND FIRE SUPPRESSION.
- GEOLOGIC SOILS AND/OR DRAINAGE CONDITIONS MAY EXIST ON THE SUBJECT PROPERTY, WHICH COULD LIMIT DEVELOPMENT OR REQUIRE THAT REMEDIAL MEASURES BE TAKEN IN ORDER TO OBTAIN A BUILDING PERMIT.
- ITEM 70. THE DEDICATED RIGHTS INTO MARSHAL ROAD AS DEDICATED TO THE PUBLIC ON THE MAP OF TRACT NO. 51644-05 RECORDED NOVEMBER 20, 2002 IN BOOK 6273 PAGE 7 THROUGH 16, INCLUDES OF MAPS.
- SAID DEDICATION HAS NOT YET BEEN ACCEPTED OF RECORD.
- AFFECTS A PORTION OF PARCEL D.
- ITEM 71. RIGHTS OF THE PUBLIC IN AND TO THAT PORTION OF THE LAND LYING WITHIN SAN FRANCISCO CANYON ROAD.
- ITEM 74. REZONALS AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 26330, WHICH AMONG OTHER THINGS REZONALS:
- ITEM 75. REZONALS AS SHOWN ON THE MAP OF TRACT 51644-05, WHICH AMONG OTHER THINGS REZONALS:
- AS A DEDICATION TO PUBLIC USE, WHILE ALL OF CASA LUNA PLACE AND TESORO DEL VALLE DRIVE WITHIN OR ADJACENT TO THIS SUBDIVISION REMAIN PUBLIC STREETS, WE HEREBY ABANDON ALL RIGHTS OF DIRECT VEHICULAR ACCESS AND EGRESS FROM ADJUTING LOTS TO SAID STREETS, IF ANY PORTION OF SAID STREETS WITHIN OR ADJACENT TO THIS SUBDIVISION ARE VACATED, SUCH VACATION TERMINATES THE ABOVE DEDICATION AS TO THE PART VACATED.
- WE HEREBY DEDICATE TO THE COUNTY OF LOS ANGELES THE RIGHT TO PROHIBIT THE CONSTRUCTION OF RESIDENTIAL BUILDINGS OR OTHER STRUCTURES WITHIN LOTS 42 THROUGH 64, INCLUDING:
- THIS SUBDIVISION IS APPROVED AS A RESIDENTIAL PLANNED DEVELOPMENT PROJECT WHEREBY THE COMMON AREAS WILL BE HELD IN FEE BY AN ASSOCIATION MADE UP OF THE OWNERS OF THE INDIVIDUAL LOTS 62 THROUGH 64, INCLUDING, ARE COMMON LOTS. MEMBERSHIP IN THE HOMEOWNERS ASSOCIATION IS IN SEPARABLE FROM THE OWNERSHIP OF THE INDIVIDUAL LOTS.
- PORTIONS OF LOTS 63, 64, 65 AND 66 WITHIN OR ADJACENT TO THE NATURAL DRAINAGE COURSES ARE SUBJECT TO FLOOD HAZARD.
- AFFECTS PARCEL A1.
- ITEM 78. COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, ASSESSMENTS, LENS, CHARGES, TERMS AND PROVISIONS IN THE DOCUMENT RECORDED MAY 29, 2003 AS INSTRUMENT NO. 03-151863 OF OFFICIAL RECORDS.
- A DECLARATION OF AMENDATION RECORDED FEBRUARY 9, 2004 AS INSTRUMENT NO. 04-28495 OF OFFICIAL RECORDS.
- DOCUMENTS DECLARING MODIFICATIONS THEREOF RECORDED MARCH 07, 2014 AS INSTRUMENT NO. 2014023497 OF OFFICIAL RECORDS.
- AFFECTS PARCEL A1.

A FEE AS TO PARCELS A, B, C, D, E, F AND G, AN EASEMENT AS TO PARCEL A1

ASSESSORS PARCEL NUMBERS
3244-160-017 THROUGH 3244-160-025 (LOTS 19, 43, 49, 50, 52 THROUGH 54 OF PARCEL A), 3244-161-001 THROUGH 3244-161-023 (LOTS 20 THROUGH 22, 41, 42, 44 THROUGH 46, 53, 55 OF PARCEL A), 3244-162-001 THROUGH 3244-162-006 (LOTS 23 THROUGH 25, 38 THROUGH 40 OF PARCEL A), 3244-163-003 THROUGH 3244-163-007 (LOTS 26 THROUGH 30 OF PARCEL A), 3244-164-001 THROUGH 3244-164-009 (LOTS 31 THROUGH 37 OF PARCEL A), 3244-022-024 (PARCEL B), 3244-159-034 (PORTION OF PARCEL C), 3244-159-046 (PORTION OF PARCEL C), 3244-160-042, 3244-160-046 AND 3244-160-047 (PARCEL D), 2810-001-035, 2810-001-040 AND 3244-030-027 (PARCEL E), 3244-030-003 (PARCEL F) AND 3244-160-054 (PARCEL G)

PARCEL A1:
EASEMENTS FOR GRADING, SLOPE, DRAINAGE, LANDSCAPING, PUBLIC AND PRIVATE UTILITIES, MAINTENANCE, INGRESS, EGRESS AND INCIDENTAL PURPOSES FOR THOSE DOCUMENTS ENTITLED "EASEMENT AGREEMENT" RECORDED NOVEMBER 07, 2011 AS INSTRUMENT NO. 201107736 AND "GRANT OF EASEMENT" RECORDED DECEMBER 10, 2011 AS INSTRUMENT NO. 201107016, BOTH OF OFFICIAL RECORDS.

NOTES:
EASEMENT ITEM NUMBERS SHOWN ON MAP HEREON ARE CIRCLED (30)
QUITCLAIMS TO BE DONE PRIOR TO FINAL MAP RECORDEATION.
PARCEL NUMBERS SHOWN IN EASEMENT TABLE AND ON EASEMENT MAP ARE PER SAID TITLE REPORT.

ITEM NO.	GRANTED TO	PURPOSE	REFERENCE	STATUS	COMMENTS
5	NEWHALL LAND & FARMING COMPANY	RIGHT OF WAY & INCIDENTAL PURPOSES	12-02-1927 INST. NO. 2182 BK. 7046 PG. 339 O.R.	TO REMAIN	INDETERMINATE IN NATURE, SEE DOCUMENT
6	SOUTHERN CALIFORNIA Edison	POLE LINES & INCIDENTAL PURPOSES	07-28-1948 INST. NO. 3007 BK. 27824 PG. 87 O.R.	TO REMAIN	EASEMENT LOCATION IS APPROXIMATE, SEE DOCUMENT
7	SOUTHERN CALIFORNIA Edison	POLE LINES & INCIDENTAL PURPOSES	10-04-1948 INST. NO. 3174 BK. 48418 PG. 186 O.R.	TO REMAIN	INDETERMINATE IN NATURE, SEE DOCUMENT
13	EMPLOYE RUIZ & JUANITA RUIZ	INGRESS & EGRESS & INCIDENTAL PURPOSES	08-30-1958 INST. NO. 111 BK. 02729 PG. 916 O.R.	TO BE OUTLINED	AFFECTS PARCELS A & C
15	METROPOLITAN WATER DIST. OF SO. CAL.	TUNNELS FOR TRANSPORTATION OF WATER & INCIDENTAL PURPOSES	11-03-1966 INST. NO. 322 BK. 03472 PG. 236 O.R.	TO REMAIN	AFFECTS PARCELS A & C
17	METROPOLITAN WATER DIST. OF SO. CAL.	TUNNELS FOR TRANSPORTATION OF WATER & INCIDENTAL PURPOSES	02-01-1967 INST. NO. 309 BK. 03547 PG. 288 O.R.	TO REMAIN	AFFECTS PARCELS A & C
18	CITY OF LOS ANGELES & A.D.W.P.	PUBLIC UTILITIES & ROADS & INCIDENTAL PURPOSES	01-14-1971 INST. NO. 2872 BK. 3681 PG. 348 O.R.	TO BE OUTLINED & RELOCATED	AFFECTS PARCELS A & C
19	THE CITY OF LOS ANGELES	PUBLIC UTILITIES & ROADS & INCIDENTAL PURPOSES	05-05-1972 INST. NO. 32 O.R.	TO REMAIN	AFFECTS PARCEL A
20	SOUTHERN CALIFORNIA Edison	EFFECT OF RIGHT OF WAY FOR TRAIL, EASEMENT UTILITIES, APPURTENANCES & INCIDENTAL PURPOSES	BK. 87 PGS. 8-13 OF RECORDS OF SURVEY 02-27-1985 INST. NO. 80-20053 O.R.	TO REMAIN	AFFECTS PARCELS A & C
21	SUNGLAZ/ TESORO LLC	ACCESS, INGRESS AND EGRESS & INCIDENTAL PURPOSES	8-15-2000 INST. 2000-145170 & 1-15-2003 INST. 03-013242	TO REMAIN	INDETERMINATE IN NATURE, SEE DOCUMENT
30	COUNTY OF LOS ANGELES	SLOPE AND FUTURE STREET PURPOSES	PARCEL MAP NO. 26330 PAGE 305-1-31	TO REMAIN	AFFECTS PARCELS A & B
37	TESORO DEL VALLE & COUNTY OF L.A.	INGRESS, EGRESS, INCIDENTAL & MAINTENANCE PURPOSES	12-17-2007 INST. NO. 2007276582 O.R.	TO REMAIN	AFFECTS PARCEL 43 OF PARCEL A
38	TESORO DEL VALLE & COUNTY OF L.A.	INGRESS, EGRESS, INCIDENTAL & MAINTENANCE PURPOSES	12-17-2007 INST. NO. 2007276582 O.R.	TO REMAIN	AFFECTS PARCEL 19 OF PARCEL A
39a	MONTAVIO PROPERTIES LLC	GRADING, SLOPE, ROAD, UTILITIES, LANDSCAPING, INGRESS, EGRESS	11-07-2011 INST. NO. 201107187 O.R.	TO REMAIN	AFFECTS PARCELS B
46	METROPOLITAN WATER DIST. OF SO. CAL.	TUNNEL FOR TRANSPORTATION OF WATER & INCIDENTAL PURPOSES	01-31-1967 INST. NO. 281 BK. 03545 PG. 830 O.R.	TO REMAIN	AFFECTS PARCELS 19 & 20 OF PARCEL A
47	COUNTY OF LOS ANGELES	FLOOD CONTROL & INCIDENTAL PURPOSES	TRACT NO. 51644-05 M.B. 1272-7-18	TO REMAIN	AFFECTS PARCELS C
48	TESORO DEL VALLE & COUNTY OF L.A.	INGRESS, EGRESS, INCIDENTAL & MAINTENANCE PURPOSES	12-17-2007 INST. NO. 2007276582 O.R.	TO REMAIN	AFFECTS PARCEL C
61	SOUTHERN CALIFORNIA Edison	POLES & POLE LINES & INCIDENTAL PURPOSES	06-11-1953 INST. NO. 2499 BK. 41849 PG. 127 O.R.	TO REMAIN	INDETERMINATE IN NATURE, SEE DOCUMENT
62	SOUTHERN CALIFORNIA Edison	ELECTRICAL TRANSMISSION LINES & INCIDENTAL PURPOSES	07-10-1958 INST. NO. 2811 BK. 464 PG. 802 O.R.	TO REMAIN	AFFECTS PARCELS D & E
64	L.A. FLOOD CONTROL DISTRICT	FLOOD CONTROL & INCIDENTAL PURPOSES	TRACT NO. 51644-01 M.B. 1271-8-71	TO REMAIN	AFFECTS PARCELS D
65	COUNTY OF LOS ANGELES	SLOPE, RIMING, HONING FOR CURB STONE TRAIL & INCIDENTAL PURPOSES	TRACT NO. 51644-05 M.B. 1272-7-18	TO REMAIN	AFFECTS PARCEL D
66	NEWHALL LAND & FARMING CO.	OFF-SITE WORKS	04-04-2003 INST. NO. 03-095649 O.R.	TO REMAIN	AFFECTS PARCELS D
67	L.A. FLOOD CONTROL DISTRICT	FLOOD CONTROL & INCIDENTAL PURPOSES	06-30-2005 INST. NO. 05-154892 O.R.	TO REMAIN	AFFECTS PARCEL D
69	COUNTY OF LOS ANGELES	WATER LINE & MAINTENANCE & INCIDENTAL PURPOSES	10-10-1984 INST. NO. 1943 BK. 02683 PG. 888 O.R.	TO REMAIN	AFFECTS PARCEL D
76	L.A. COUNTY FLOOD CONTROL DISTRICT	FLOOD CONTROL & INCIDENTAL PURPOSES	TRACT NO. 51644-09 M.B. 1278-65-76	TO REMAIN	AFFECTS PARCEL A1
77	COUNTY OF LOS ANGELES	SLOPE & INCIDENTAL PURPOSES	TRACT NO. 51644-09 M.B. 1278-65-76	TO REMAIN	AFFECTS PARCEL A1
79	SOUTHERN CALIFORNIA Edison	UNDERGROUND ELECTRICAL & COMMUNICATION SYSTEMS	11-06-2003 INST. NO. 03-332667 O.R.	TO REMAIN	NOT PLOTTED, DOCUMENT DESCRIPTION AMBIGUOUS
80	TESORO DEL VALLE & COUNTY OF L.A.	LANDSCAPING MAINTENANCE, DRAINS INGRESS, EGRESS, INCIDENTAL PURPOSES	12-17-2007 INST. NO. 2007276583 O.R.	TO REMAIN	AFFECTS PARCEL C

* TO BE ABANDONED IN PLACE & REDEDICATED AS NEEDED

N.A.P. INDICATES NOT A PART

PREPARED FOR:
BLC TESORO LLC
C/O IHP CAPITAL PARTNERS
100 BAYVIEW CIRCLE, STE 2000
NEWPORT BEACH, CA 92660
ATTN: ERIC PFAHLER
TEL. 310-864-3330

WATER SYSTEMS:
CIVILTEC
188 W. LIME AVE.
MONROVIA, CA 91016
TEL. 626-357-0588

SOILS GEOSCIENCE & GEOLOGIST:
RMA GEOSYSTEMS
9854 GLENDAKS BLVD.
SUN VALLEY, CA 92626
ATTN: MARK SWITEX
TEL. 800-762-4396

LAND PLANNING & LANDSCAPING:
PLACEWORKS
37 MACARTHUR PLACE STE
1100
COSTA MESA, CA 92626
TEL. 714-966-9220

ENVIRONMENTAL:
BONTERRA CONSULTING
3452 E. FOOTHILL BLVD.
SUITE 420
PASADENA, CA 91107
TEL. 626-351-2000

CONSULTANT:
MARTIN & ASSOC, LLC
3545 CORPORATE
COSTA MESA CA 92626
TEL. 714-641-9022

LEGAL DESCRIPTION:
BEING PORTIONS OF SECTIONS 21, 22, 23, 28, 33 AND 34, TOWNSHIP 5 NORTH, RANGE 16 WEST, SAN BERNARDINO MERIDIAN TOGETHER WITH PORTIONS OF BANCITO SAN FRANCISCO RECORDED IN BOOK 1, PAGES 527 AND 522 OF RANGES IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY.

DATE: 12/22/15
DWG. NO.: 5093-023-05E
SHEET: 9 OF 9

UPDATE EASEMENTS PER FIRST AMERICAN TITLE COMPANY PRELIMINARY REPORT ORDER NO. OSA-4717204 (mw) AMENDED 8-27-15.
COUNTY STREET NAMES VERIFY DATE 10E; REV. TRAIL SYSTEM AND LINE OF SIGHT; NEI-SPOT EASEMENT & MISC. REVS.

SHOW FIRE STATION AS ALTERNATE, AND MEASUREMENTS: CALL OUT 241 DWS AS 1 AC. REDUCE DWS FROM 174 TO 700. REV. TRAIL SYSTEM.

ASSIST DISTRICT WORKER TAKE LOGS AND REMARKED LOGS FOR PAVING AND ADOPTED DESIGN DRAWING. TERRACE SWING & MISC. REV. REDUCED 19 FROM 1700 AND C TO AND B.

DATE: 12/22/15
DWG. NO.: 5093-023-05E
SHEET: 9 OF 9

REVISION

AS SHOWN

PROJECT ENGINEER

SIKAND
Engineering | Planning | Surveying

15230 Burbank Blvd.
Van Nuys, CA 91411
Tel: (818) 787-8550
Fax: (818) 901-7451
info@sikand.com

MAJOR LAND DIVISION
VESTING TENTATIVE TRACT NO 51644
LOCATED IN THE UNINCORPORATED TERRITORY
OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA
ROAD

RECEIVED PROFESSIONAL ENGINEER
No. 16913
Exp. 06-30-17
CIVIL
STATE OF CALIFORNIA

NEWHALL QUAD (1995) ELEV. 1283.663

INDICATES ZONE LINE
A-2-2 ZONING DESIGNATIONS:
A-2-2 HEAVY AGRICULTURAL
O-S OPEN SPACE
R-1 SINGLE FAMILY RESIDENTIAL
RPD 5000-2U RESIDENTIAL PLANNED DEVELOPMENT
RPD 2000-2.8U RESIDENTIAL PLANNED DEVELOPMENT

BENCH MARK #3597
SPK IN GULY-POLE #7222808 NTR PRODF OF LOWRIDGE PL., 25 W/O C.L. SAN FRANCISCO/CITY DIV. 2, 6 FEET N/O C.L. LOWRIDGE PL. (TO THE EAST) DIRT.



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4243, Fax (323) 890-9783

PROJECT: TR 51644

MAP DATE: December 22, 2015 . Revised Map

THE FIRE DEPARTMENT RECOMMENDS THAT THIS PROJECT NOT TO BE APPROVED AT THIS TIME AND NOT TO PROCEED WITH THE PUBLIC HEARING PROCESS. THIS RECOMMENDATION MAYBE CHANGED WHEN THE HOLDS BELOW HAVE BEEN ADDRESSED.

TENTATIVE/EXHIBIT MAP - HOLDS

1. Provide a Lot Number on each proposed lot on the Tentative and Exhibit Maps. Compliance required prior to Tentative Map clearance.
2. Provide a Phasing Map within the Tentative Map as requested on Note #12. Compliance required to Tentative Map clearance.
3. Provide a public street connection to the adjacent Tentative Tract Map 53822 to the satisfaction of the Department of Public Works. If the proposed ~~base~~ intended for this required access, relabel and provide a cross section on the Tentative and Exhibit Maps. Indicate compliance prior to Tentative Map clearance.
4. The proposed Private Driveway and Fire Lane shall be clearly labeled and identified on the Tentative and Exhibit Maps. The design of such Private Driveway and Fire Lanes shall comply with the County's Private Drives and Traffic Calming Guidelines Manual. Provide an approved cross section on the Tentative and Exhibit Maps. Indicate compliance prior to Tentative Map clearance.
5. The proposed flag lots shall provide a minimum paved fire lane width of 20 feet. Label and dimension the required fire lane and flag strips for all flag lots on the Tentative and Exhibit Maps. Indicate compliance prior to Tentative Map clearance.
6. The proposed Water Tank Lots shall provide a minimum access width of 15 feet or as required by the jurisdictional Water Company. Indicate compliance on the Tentative and Exhibit Maps prior to Tentative Map clearance.



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4243, Fax (323) 890-9783

PROJECT: TR 51644

MAP DATE: December 22, 2015 . Revised Map

7. The proposed roundabout shall provide a minimum paved unobstructed width of 20 feet for vehicular access and be designed to comply with the Department of Public Works standards. Provide a cross section on the Tentative and Exhibit Map prior to Tentative Map clearance.
8. The existing off site public street, Reyes Adobe Way, dead ends at the southern property line adjacent to proposed %MM+Street. The Fire Department recommends a cul-de-sac on Reyes Adobe Way or a through connection to %MM+Street. Since both streets are public, consult with the Department of Public Works for specific requirements. Public Works requirement and decision shall be added to the Tentative and Exhibit Maps prior to Tentative Map clearance.
9. The proposed Helipad shall provide a minimum paved fire lane width of 20 feet. If the fire lane grade exceeds 10%, provide such grades on the Tentative and Exhibit Maps. Include the proposed gradient, the angles of approach and departure at all changes in grade. A driveway profile maybe required. Indicate compliance on the Tentative and Exhibit Map prior to Tentative Map clearance.
10. Show the closest exhibit public fire hydrants to the development on the existing surrounding public streets on the Tentative and Exhibit Maps. This will assist in locating requiring public fire hydrants for the development. Compliance required prior to Tentative Map clearance.
11. Submit a Preliminary Water Design Report, or equivalent, from Newhall County Water Service for the future water system expansion to the development confirming the design will meet the Fire Department's minimum fire flow requirement. Submit a copy of such report for review prior to Tentative Map clearance.
12. The minimum required fire flow for this development is **1250** gallons per minute at 20 psi for a duration of 2 hours. The required fire flow may increase if the future homes exceed 3,000 of total square footage. The required fire flow will be determined prior to Tentative Map clearance.



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4243, Fax (323) 890-9783

PROJECT: TR 51644

MAP DATE: December 22, 2015 . Revised Map

13. Submit a digital copy of the architectural plans for this development. The architectural plans will assist to calculate the required fire flow from all required fire hydrants, review the elevations to determine the required Fire Department access adjacent to proposed buildings, and address additional Fire Department concerns during the subdivision process.
14. Obtain clearance from the Fire Department's Planning Section confirming the existing Fire Department facilities can provide adequate emergency services for the proposed development. The Fire Department Planning Section can be reached at (323) 881-2404. Provide a written response back to the Land Development Unit prior to Tentative Map clearance.
15. Provide an approved site plan and/or specific conditions of approval from the Fire Department's Planning Section for the proposed Helipad, Lot 2526, prior to Tentative Map clearance. Any conditions will be incorporated to this report.
16. This property is located within the area described as "Very High Fire Hazard Severity Zone". A "Preliminary Fuel Modification Plan" is required prior to Tentative Map clearance. Contact our Fuel Modification Unit at (626) 969-5205 for submittal details. Submit a copy or confirmation of approval to our office to release of the Tentative Map hold.

FINAL MAP CONDITIONS OF APPROVAL

1. Access as noted on the Tentative and the Exhibit Maps shall comply with Title 21 (County of Los Angeles Subdivision Code) and Section 503 of the Title 32 (County of Los Angeles Fire Code), which requires an all-weather access surface to be clear to sky.
2. A copy of the Final Map shall be submitted to the Fire Department for review and approval prior to recordation.
3. A construct bond is required for all private driveways within this development. Provide written verification of the posted construction bond to the Fire Department prior to Final Map clearance.



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4243, Fax (323) 890-9783

PROJECT: TR 51644

MAP DATE: December 22, 2015 . Revised Map

4. The private access within the development shall be indicated as "Private Driveway" on the Final Map. The required fire apparatus access, the fire lanes and turnarounds, shall be labeled as %Fire Lane+on the Final Map. Any proposed parking area, walkway, or other amenities within the private driveway shall be outside the required fire lane. Clearly delineate on the Final Map and submit to the Fire Department for approval.
5. Flag lot shall provide a minimum paved unobstructed driveway width of 20 feet, clear to the sky. Shared driveway shall provide a reciprocal access agreement. The driveway shall be labeled as %Private Driveway and Fire Lane+on the Final Map. Verification of compliance is required prior to Final Map clearance.
6. A reciprocal access agreement is required for the private driveway since multiple lots and units are sharing the same access. Submit documentation to the Fire Department for review prior to Final Map clearance.
7. Provide written verification stating the required fire hydrants have been installed or bonded for in lieu of installation prior to Final Map clearance.
8. All raised center medians shall provide a break, a rolled curb, or curb depression at intervals determined by Public Works in consultation with the Fire Department. The location and distance between the median breaks will be determined by Public Works and the Fire Department during final road/street plan design. Road improvement plans must be submitted to the Fire Department for review and approval prior to final approval by the Department of Public Works.

PROJECT CONDITIONS OF APPROVAL

1. This property is located within the area described by the Fire Department as "Very High Fire Hazard Severity Zone". A "Fuel Modification Plan" shall be submitted and approved prior to building permit issuance. (Contact: Fuel Modification Unit, Fire Station #32, 605 North Angeleno Avenue, Azusa, CA 91702-2904, Phone (626) 969-5205 for details).



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4243, Fax (323) 890-9783

PROJECT: TR 51644

MAP DATE: December 22, 2015 . Revised Map

-
2. All proposed buildings shall be places such that a fire lane is provided to within 150 feet of all exterior walls of the first story. This measurement shall be by an approved route around the exterior of the building or facility. Verification for compliance will be performed during the Fire Department review of the architectural plan prior to building permit issuance.
 3. The on-site private driveways shall provide a minimum paved unobstructed width of 20 feet, clear to the sky. Verification for compliance will be performed during the Fire Department review of the architectural plan prior to building permit issuance.
 4. Fire lanes exceeding a length of 150 feet that dead end are required to provide an approved Fire Department turnaround. All required Fire Department turnarounds shall be designed to accommodate the required fire apparatus as mentioned on the Fire Department standards due to the size of the building and shall be clearly depicted on the final design plans.
 5. The gradient of the on-site private driveways shall not exceed 15 percent. Any changes in grade shall not exceed 10 percent within a 10 feet distance or 5.7 degrees. Cross slopes and required Fire Department turnarounds shall not exceed 2 percent grades. Verification for compliance will be performed during the Fire Department review of the architectural plan prior to building permit issuance.
 6. Any change of direction within a private driveway shall provide a 32 feet centerline turning radius. Verification for compliance will be performed during the Fire Department review of the architectural plan prior to building permit issuance.
 7. All proposed bridges and elevated crossing shall be constructed and maintained in accordance with AASHTO HB-17 and designed to support a live load of 75,000 pounds as specified in the County of Los Angeles Fire Code and to the satisfaction of the Department of Public Works. Verification for compliance will be performed during the architectural plan review prior to building permit issuance.



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4243, Fax (323) 890-9783

PROJECT: TR 51644

MAP DATE: December 22, 2015 . Revised Map

8. All proposed vehicular gates shall be designed, constructed, and maintained in accordance with ASTM F2200 and UL 325 as specified in the County of Los Angeles Fire Code. The vehicular gates shall provide an unobstructed width not less than 20 feet when fully open. Verification for compliance will be performed during the architectural plan review prior to building permit issuance.
9. All proposed roundabout and raised medians shall provide a minimum unobstructed width of 20 feet between all raised medians/obstacles in order to provide adequate fire apparatus access. Verification for compliance will be performed during the architectural plan review prior to building permit issuance.
10. Private driveways where parking is proposed shall maintain a minimum unobstructed fire lane width of 20 feet, 26 feet fire lane width is required for commercial and high density residential buildings. Clearly depict the parking stalls and required fire lanes on the final design plans.
11. A minimum unobstructed width of 26 feet is required adjacent to the required public fire hydrant for a distance of 25 feet on each side, a total of 50 feet. Verification for compliance will be performed during the Fire Department review of the architectural plan prior to building permit issuance.
12. Install **TBD** public fire hydrant as noted on the Tentative Map. The location might change depending on the requirements by the jurisdiction water company.
13. All fire hydrants shall measure 6"x 4"x 2-1/2" brass or bronze, be located to provide a minimum clearance of 3 feet around the fire hydrant, and conform to current AWWA standard C503 or approved equal.
14. The required fire flow from the public fire hydrant for this development, if the future single family dwellings are less than 3,600 total square feet, is **1250** gallons per minute at 20 psi for a duration of 2 hours, over and above maximum daily domestic demand.



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4243, Fax (323) 890-9783

PROJECT: TR 51644

MAP DATE: December 22, 2015 . Revised Map

-
15. If the future single family dwellings are 3,601 total square feet or greater, the required fire flow from the public fire hydrant for this development can be up to **4000** gallons per minute at 20 psi for a duration of 4 hours, over and above maximum daily domestic demand. This fire flow may be reduced by the Fire Prevention Engineering Section as approved during the building permit review process.
 16. All required fire hydrants shall be installed, tested, and accepted prior to construction. Vehicular access must be provided and maintained serviceable throughout construction to all required fire hydrants.
 17. Parking shall be restricted 30 feet adjacent to any required public or private fire hydrant, 15 feet on each side measured from the center of the fire hydrant. Adequate signage and/or stripping shall be required prior to occupancy.
 18. An approved automatic fire sprinkler system is required for proposed building within this development. Submit design plans to the Fire Department Sprinkler Plan Check Unit for review and approval prior to installation.
 19. All proposed gates, both vehicular and pedestrian gates, shall comply with the Fire Department's Regulation 5. Verification for compliance will be performed during final inspection of the gate prior to occupancy.
 20. The driveways required for fire apparatus access shall be posted with signs stating "No Parking-Fire Lane" and/or stripped accordingly in compliance with the County of Los Angeles Fire Code prior to occupancy.
 21. All proposed streets and driveways within this development shall provide approved street names and signs. All proposed buildings shall provide approved address numbers. Compliance required prior to occupancy to the satisfaction of the Department of Public Works and the County of Los Angeles Fire Code.

For any questions regarding the report, please contact Juan Padilla at (323) 890-4243 or Juan.Padilla@fire.lacounty.gov.



**LOS ANGELES COUNTY
DEPARTMENT OF PARKS AND RECREATION**



PARK OBLIGATION REPORT

Tentative Map #	51644	DRP Map Date:	12/22/2016	SCM Date:	01/28/2016	Report Date:	01/19/2016
Park Planning Area #	35B		CASTAIC/VAL VERDE			Map Type:	REV. (REV RECD)

Total Units = Proposed Units + Exempt Units

Sections 21.24.340, 21.24.350, 21.28.120, 21.28.130, and 21.28.140, the County of Los Angeles Code, Title 21, Subdivision Ordinance provide that the County will determine whether the development's park obligation is to be met by:

- 1) the dedication of land for public or private park purpose or,
- 2) the payment of in-lieu fees or,
- 3) the provision of amenities or any combination of the above.

The specific determination of how the park obligation will be satisfied will be based on the conditions of approval by the advisory agency as recommended by the Department of Parks and Recreation.

Park land obligation in acres or in-lieu fees:

ACRES:	8.20
IN-LIEU FEES:	\$1,598,844

Conditions of the map approval:

The park obligation for this development will be met by:

Trails:

See also attached Trail Report.

Comments:

MAP ON HOLD. The Department is waiting for additional information from the applicant regarding the proposed parks and recreational amenities.

*****Advisory:**

The Representative Land Value (RLVs) in Los Angeles County Code (LACC) Section 21.28.140 are used to calculate park fees and are adjusted annually, based on changes in the Consumer Price Index. The new RLVs become effective July 1st of each year and may apply to this subdivision map if first advertised for hearing before either a hearing officer or the Regional Planning Commission on or after July 1st pursuant to LACC Section 21.28.140, subsection 3. Accordingly, the park fee in this report is subject to change depending upon when the subdivision is first advertised for public hearing.

Please contact Clement Lau at (213) 351-5120 or Sheela Mathai at (213) 351-5121, Department of Parks and Recreation, 510 South Vermont Avenue, Los Angeles, CA 90020 for further information or to schedule an appointment to make an in-lieu fee payment.

For information on Hiking and Equestrian Trail requirements, please contact the Trails Coordinator at (213) 351-5134.

By: *Kathline King*
Kathline J. King, Chief of Planning



**LOS ANGELES COUNTY
DEPARTMENT OF PARKS AND RECREATION**



PARK OBLIGATION WORKSHEET

Tentative Map #	51644	DRP Map Date:	12/22/2016	SMC Date:	01/28/2016	Report Date:	01/19/2016
Park Planning Area #	35B		CASTAIC/VAL VERDE			Map Type:	REV. (REV RECD)

The formula for calculating the acreage obligation and or In-lieu fee is as follows:

(P)people x (0.003) Ratio x (U)nits = (X) acres obligation

(X) acres obligation x RLV/Acre = In-Lieu Base Fee

- Where:
- P = Estimate of number of People per dwelling unit according to the type of dwelling unit as determined by the 2000 U.S. Census*. Assume * people for detached single-family residences; Assume * people for attached single-family (townhouse) residences, two-family residences, and apartment houses containing fewer than five dwelling units; Assume * people for apartment houses containing five or more dwelling units; Assume * people for mobile homes.
 - Ratio = The subdivision ordinance provides a ratio of 3.0 acres of park land for each 1,000 people generated by the development. This ratio is calculated as "0.0030" in the formula.
 - U = Total approved number of Dwelling Units.
 - X = Local park space obligation expressed in terms of acres.
 - RLV/Acre = Representative Land Value per Acre by Park Planning Area.

Total Units = Proposed Units + Exempt Units

	People*	Ratio 3.0 Acres / 1000 People	Number of Units	Acre Obligation
Detached S.F. Units	3.44	0.0030	795	8.20
M.F. < 5 Units	2.44	0.0030	0	0.00
M.F. >= 5 Units	2.69	0.0030	0	0.00
Mobile Units	2.76	0.0030	0	0.00
Exempt Units			0	
Total Acre Obligation =				8.20

Park Planning Area = **35B CASTAIC/VAL VERDE**

Ratio	Acre Obligation	RLV / Acre	In-Lieu Base Fee
@(0.0030)	8.20	\$194,981	\$1,598,844

Lot #	Provided Space	Provided Acres	Credit (%)	Acre Credit	Land
None					
Total Provided Acre Credit:				0.00	

Acre Obligation	Public Land Crdt.	Priv. Land Crdt.	Net Obligation	RLV / Acre	In-Lieu Fee Due
8.20	0.00	0.00	8.20	\$194,981	\$1,598,844



COUNTY OF LOS ANGELES
DEPARTMENT OF PARKS AND RECREATION

"Parks Make Life Better!"

John Wicker, Acting Director

January 20, 2016

TO: Tyler Montgomery
Department of Regional Planning

FROM: Kathline J. King, AICP
Chief of Planning

A handwritten signature in black ink that reads 'k king'.

SUBJECT: **VESTING TENTATIVE TRACT MAP 051644-1 (TESORO HIGHLANDS)
TRAIL COMMENTS
REGIONAL PLANNING MAP DATED DECEMBER 22, 2015
SUBDIVISION COMMITTEE MEETING ON JANUARY 28, 2016**

This memo details the Department of Parks and Recreation (Department)'s trail comments for the above map. Hold (HOLD) appears before those items that the Subdivider must address in order for the Department to clear the subject map for public hearing.

The Department is requiring the Subdivider to dedicate variable width easements to the County for Multi-Use (hiking, mountain biking, and equestrian) Trail purposes to continue the existing Cliffie Stone Trail and trail connectivity to adopted proposed "Santa Clarita Valley Trails Advisory Committee Trails" (see attached trail map). For proposed trail dedications adjacent to streets the trail easement shall be a minimum of twelve-foot (12') wide. For trail dedications within the open space lots, the trail easement width shall be a minimum twenty-foot (20') wide. For more information on the County's trail design and construction guidelines, please refer to the Trails Manual, which is available online at trails.lacounty.gov. Significant deviation from the guidelines within the Trails Manual must be approved in writing by the Department of Parks and Recreation. Because of the necessity to show the trail alignments as they relate to topographical lines, all information pertaining to trail easement dedications and trail improvements, must be depicted on the tentative map.

1. (HOLD) Denote trail easement dedications using the following language: "Twelve-foot wide multi-use (hiking, mountain biking, and equestrian) trail easement to be dedicated to the County of Los Angeles" (for proposed trail dedications adjacent to streets) and "twenty-foot wide multi-use (hiking, mountain biking, and equestrian) trail easement to be dedicated to the County of Los Angeles" (for trail dedications within the open space lots). Also, denote estimated trail length (in linear feet) to be dedicated to the County.

Mr. Tyler Montgomery
January 20, 2016
Page 2

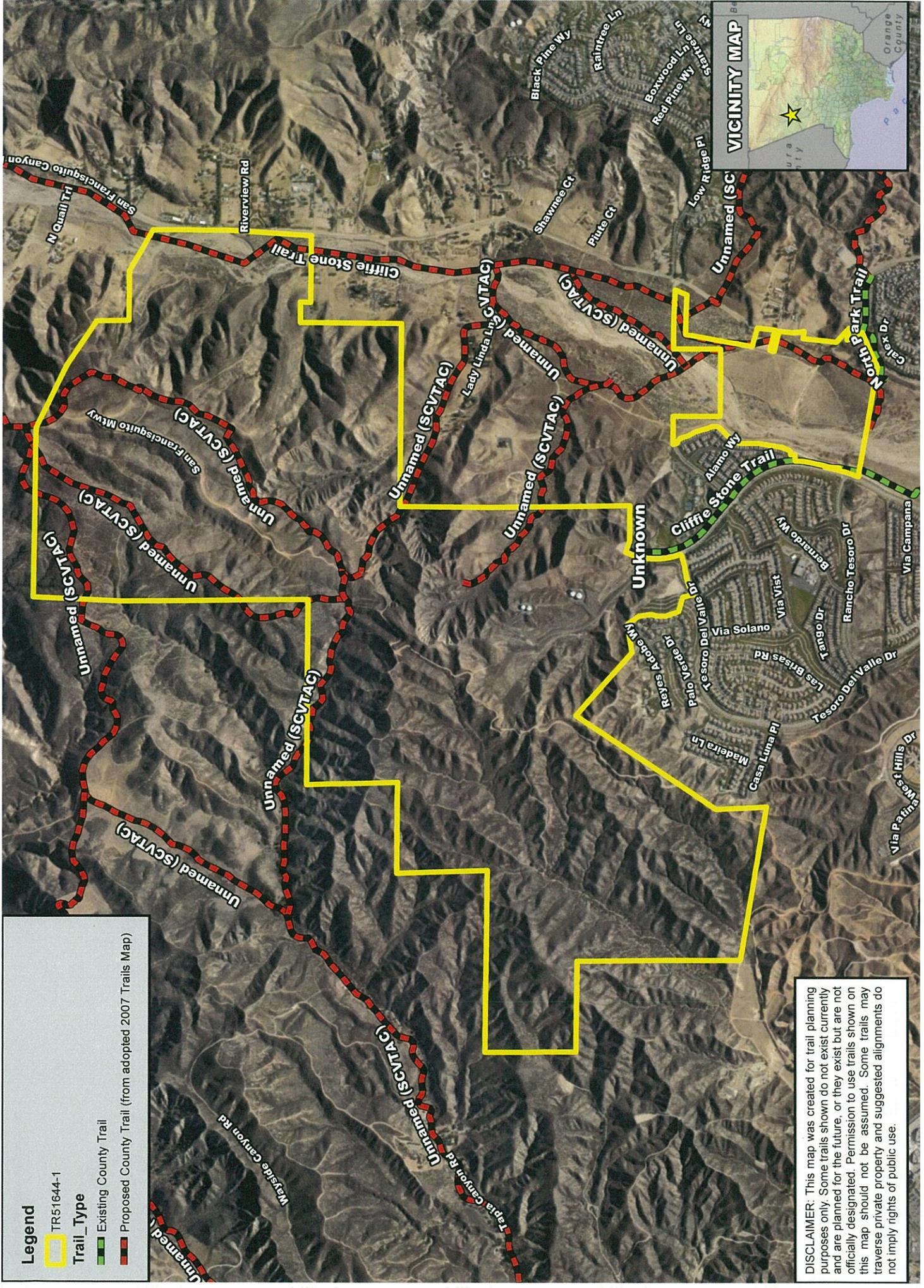
2. (HOLD) Provide a detailed section view of the proposed Cliffie Stone Trail adjacent to Avenida Rancho Tesoro.
3. (HOLD) Contact Ms. Olga Ruano, Park Planning Assistant, to schedule a meeting to discuss trail alignments to be dedicated to the County and to appropriately revise subdivision map.

If you have any questions regarding the trail comments, please contact Olga Ruano at (213) 351-5141 or by email at oruano@parks.lacounty.gov.

KK:JY:OR 51644 Park Conditions and Trail Comments_01.19.16

Attachments

c: Parks and Recreation (N. E. Garcia, J. Gargan, J. McCarthy, C. Lau, J. Yom, O. Ruano)



Legend

- TR51644-1
- Trail_Type**
- Existing County Trail
- Proposed County Trail (from adopted 2007 Trails Map)

DISCLAIMER: This map was created for trail planning purposes only. Some trails shown do not exist currently and are planned for the future, or they exist but are not officially designated. Permission to use trails shown on this map should not be assumed. Some trails may traverse private property and suggested alignments do not imply rights of public use.





CYNTHIA A. HARDING, M.P.H.
Interim Director

JEFFREY D. GUNZENHAUSER, M.D., M.P.H.
Interim Health Officer

ANGELO J. BELLOMO, REHS, QEP
Deputy Director for Health Protection

TERRI S. WILLIAMS, REHS
Acting Director of Environmental Health

5050 Commerce Drive
Baldwin Park, California 91706
TEL (626) 430-5100 • FAX (626) 813-3000

www.publichealth.lacounty.gov

BOARD OF SUPERVISORS

Hilda Solis
First District

Mark Ridley-Thomas
Second District

Sheila Kuehl
Third District

Don Knabe
Fourth District

Michael D. Antonovich
Fifth District

January 20, 2016

Tentative Tract Map No. 51644-1

Vicinity: Castaic Canyon

Tentative Tract Map Date: December 22, 2015

The Los Angeles County Department of Public Health – Environmental Health Division has reviewed **Tentative Tract Map 51644-1** based on the use of public water (Newhall County Water) and public sewer as proposed for wastewater disposal. A copy of a current signed "Will Serve" letter from the water purveyor shall be provided to this Department prior to approval of the tentative tract map.

Prepared by:

A handwritten signature in black ink, appearing to read "V. Bañada".

VICENTE C. BAÑADA, REHS
Environmental Health Specialist IV
Land Use Program
5050 Commerce Drive
Baldwin Park, California 91706
vbanada@ph.lacounty.gov
TEL (626) 430-5381 • FAX (626) 813-3016