



Department of Regional Planning
320 West Temple Street
Los Angeles, California 90012

PROJECT NUMBER

RPPL2016001380

HEARING DATE

TBD

REQUESTED ENTITLEMENTS (those that apply)

Tentative Tract Map No.74149
Zone Change NO. RPPL2016001382
Conditional Use Permit No. RPPL2016001389 (For R-3PD)
Environmental Assessment RPPL2016001381

SUBDIVISION COMMITTEE REPORT

OWNER / APPLICANT

Western Imperial 2000, LLC (John Reischl "Olson Urban Housing, LLC")

MAP/EXHIBIT DATE:

03/16/2016

SCM REPORT DATE:

04/14/2016

SCM DATE:

04/21/2016

PROJECT OVERVIEW

To create one residential condominium with 15 3-story townhomes on a 0.8 acre property.
Zoning Change – To change existing C-2-BE (Neighborhood Commercial Billboard Exclusion) to Zoning to R-3 DP (Limited Multiple Residence Development Program)
Conditional Use Permit – To include a Development Program

MAP STAGE

Tentative: Revised: Amendment: Amended : Modification to : Other:
Exhibit "A" Recorded Map

MAP STATUS

Initial: 1st Revision: 2nd Revision: 4th Revision (requires a fee):

LOCATION

4332 East Live Oak Ave. (Arcadia)

ACCESS

Live Oak Ave.

ASSESSORS PARCEL NUMBER(S)

8571-001-001

SITE AREA

0.8(gross) acres

GENERAL PLAN / LOCAL PLAN

General Plan (2035)

ZONED DISTRICT

South Arcadia Island

SUP DISTRICT

5th

LAND USE DESIGNATION

CG (General Commercial)

ZONE

C-2-BE (existing)
R-3 DP(proposed)

CSD

NA

PROPOSED UNITS

(DU)

15

MAX DENSITY/UNITS

(DU)

24

GRADING

(CUT/FILL, IMPORT/EXPORT, ONSITE/OFFSITE)

Cut 306 Fill 493 Import 635

ENVIRONMENTAL DETERMINATION (CEQA)

Project on hold pending completion of an updated environmental review and determination

SUBDIVISION COMMITTEE DEPARTMENT CLEARANCE

<u>Department</u>	<u>Status</u>	<u>Contact</u>
Regional Planning	Hold	Peter Chou (213) 974-6433 pchou@planning.lacounty.gov
Public Works	Hold	Henry Wong (626) 458-4961 hwong@dpw.lacounty.gov
Fire	Hold	Juan Padilla (323) 890-4243 jpadilla@fire.lacounty.gov
Parks & Recreation	Cleared	Clement Lau (213) 351-5120 clau@parks.lacounty.gov
Public Health	Hold	Vincente Banada (626) 430-5381 vbanada@ph.lacounty.gov

SUBDIVISION COMMITTEE STATUS

Reschedule for Subdivision Committee Meeting:

Reschedule for Subdivision Committee Reports Only:

PREVIOUS CASES

R1st 201500010

REGIONAL PLANNING ADDITIONAL COMMENTS AND HOLDS

Case Status/Recommendation: At this time, Regional Planning does not recommend approval of the tentative map as the tentative map is missing standard information.

Environmental Determination:

1. Additional information (e.g., studies, reports, etc.) may be required after review of the Environmental Assessment.
2. For any questions related to site biology, you may contact the biologist, Joseph Decruyenaere, directly at 213-974-1448 or jdecruyenaere@planning.lacounty.gov.

Tentative Map:

3. All information for the tentative map should be included on one map.
4. Provide a lot table with the gross and net area information for the project area. Ensure to net out highway dedication and easements for the net lot area. Ensure to calculate to the centerline of the right-of-way for the gross lot area.
5. Provide land use designation in notes.
6. Consider our biologist's analysis, location and preservation of sensitive/important resources/healthy design features/location of fuel modification buffer.

Exhibit Map:

7. Landscape plan shows hedges and landscaping along the right of way of the property, but is not indicated in the Exhibit A Map. Include and label areas of proposed landscaping.
8. Symbols on the Exhibit A Map are not included on the legend. Please clarify.
9. Clarify number of uncovered parking.

Conditional Use Permit for R-3 DP:

10. Amend CUP in land division application from RPD to R-3 DP.

Healthy Design Ordinance ("HDO"):

11. Final Map Condition: The onsite tree planting requirement will be one tree per each 25 feet of existing and proposed street frontage located within the subject property. Based on the project total of 60 linear feet of street frontage, a total of two tree plantings shall be required for the project and indicated on a tree planting plan to be approved by Regional Planning prior to final map recordation.

RESUBMITTAL INSTRUCTIONS

If a map revision is required, please submit the following items:

- A completed and signed Land Division application,
- A signed and dated cover letter describing all changes made to the map,
- Five (5) folded and collated copies of Tract/Parcel Map and Exhibit Map/Exhibit "A,"
- A digital (CD or Flash drive) copy of the map/exhibit in PDF format,
- Revision fee payment (for the 3rd revision and thereafter), and
- Other materials requested by the case planner.

NOTE: An appointment is required for resubmittal. You must call the Land Divisions Section at 213-974-6433 to schedule the appointment. Prior to scheduling, you are encouraged to contact the case planner for a preview of your next SCM submittal.

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

1. An approved hydrology report is required. Please see attached Hydrology review sheet (Comments 1 and 2) for requirements. The hydrology report shall be submitted directly to Public Works.
2. An approved sewer area study is required. Please see attached Sewer review sheet (Comment 1) for comments and requirements.
3. A “Will Serve Letter” from the Los Angeles County Sanitation District for discharge of sewer into the sewers trunk line is required. Please see attached Sewer review sheet (Comment 2) for additional requirement. The “Will Serve Letter” shall be submitted directly to Public Works.
4. A “Will Serve Letter” from the water purveyor is required. Please see attached Water review sheet (Comment 1) for requirements. The “Will Serve Letter” shall be submitted directly to Public Works.
5. A revised tentative map is required to show the following additional items:
 - a. Please see attached Subdivision checked print for comments and requirements.
 - b. Please see attached Road checked print for comments and requirements.
 - c. Please see attached Sewer review sheet (Comment 3) for requirements.
6. A revised exhibit “A” is required to show the following additional items:
 - a. Please see attached Subdivision checked print for comments and requirements.
 - b. Please see attached Road checked print for comments and requirements.
 - c. Please see attached Sewer review sheet (Comment 3) for requirements.



COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS
CITY ENGINEER/SUPERINTENDENT OF STREET
LAND DEVELOPMENT DIVISION
HYDROLOGY UNIT

TRACT MAP NO. 74149

TENTATIVE MAP DATED 03/16/2016
EXHIBIT "A" MAP 03/16/2016

Approval and clearance of the tentative map is subjected to compliance with the following **drainage** comments:

1. Prior to tentative map approval for drainage/grading, submit a hydrology report showing the extent of drainage impacts and provide mitigation acceptable to the County. The analysis should address increases in runoff, any change in drainage patterns, debris producing areas, and the capacity of existing storm drain facilities. Provide line identification of all proposed drainage facilities. Preliminary soils and geology reports related to debris, retention, and detention basins may be required based on geographic and adverse geotechnical conditions. Provide engineering calculations to support sizing of debris, retention, and detention basins. Provide approximate flood hazard and bank erosion setbacks and lot identifications (as needed). Show slopes for existing and proposed streets. Provide a letter of intent for any offsite work.
2. A water quality section of the Hydrology Report is required to comply with the LID requirements of Los Angeles County Code Section 12.84 (<http://library.municode.com/index.aspx?clientId=16274>). Please use the link below for LID Manual:
<http://dpw.lacounty.gov/ldd/lib/fp/Hydrology/Low%20Impact%20Development%20Standards%20Manual.pdf>

By

David Esfandi

Date 4/7/2016 Phone (626) 458-7130

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

1. Prior to tentative map approval the subdivider shall submit an area study to Public Works to determine if capacity is available in the proposed and existing sewerage system servicing this land division. If the system is found to have insufficient capacity, upgrade of the proposed and existing sewerage system is required to the satisfaction of Public Works.
2. Obtain a will serve letter from the Los Angeles County Sanitation District for the discharge of sewer into the sewers trunk line.
3. A revised tentative map and a revised exhibit map are required to show the following items:
 - a. Label the existing sewer main lines to serve the proposed development with the PC or CI number.
 - b. Show any off-site improvements required by the approved area study, if any.

COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
LAND DEVELOPMENT DIVISION – WATER

Page 1/1

TRACT NO. 74149

TENTATIVE MAP DATED 03-16-2016

EXHIBIT MAP DATED 03-16-2016

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. Removal of this recommendation is contingent upon the submission and satisfactory review of the following:

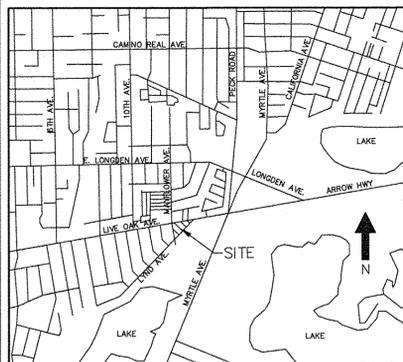
1. Provide a "Will Serve Letter" from the water purveyor indicating that the water system will be operated by the purveyor and that under normal conditions, the system will meet the requirements for the land division, and that water service will be provided to each lot.



Prepared by Tony Khalkhali
tr74149w-new.doc

Phone (626) 458-4921

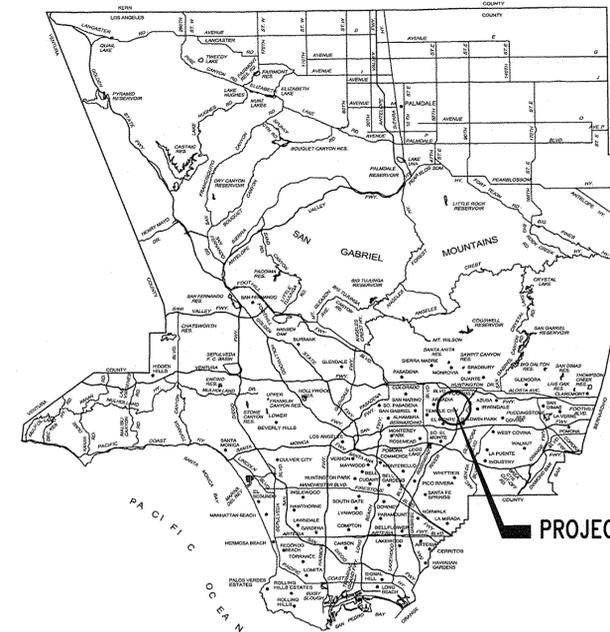
Date 04-07-2016



VICINITY MAP
N.T.S.

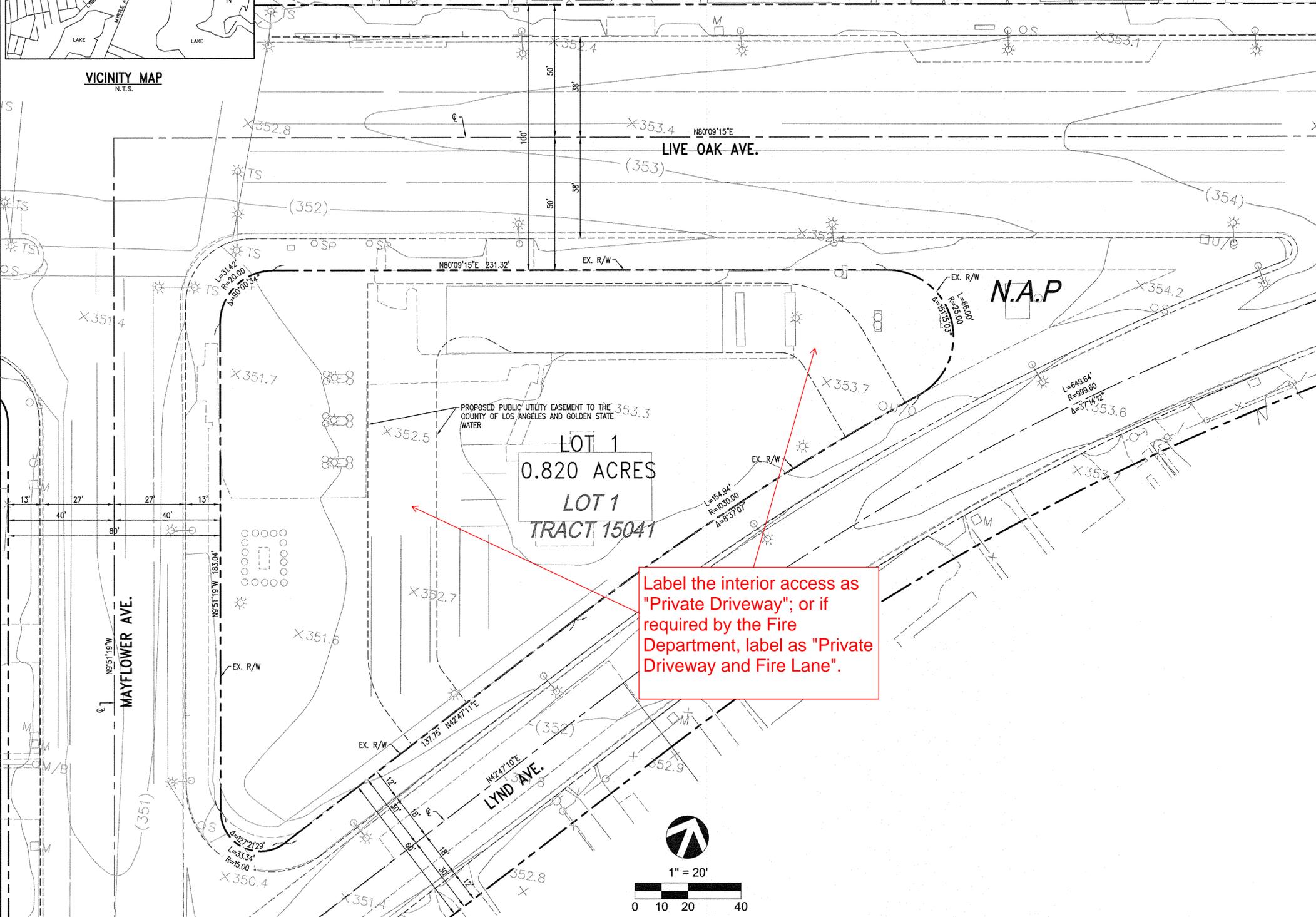
RECEIVED
DEPT OF REGIONAL PLANNING
TR74149 TENTATIVE PG 1
16 MAR 2016

MAJOR LAND DIVISION NO. VESTING TENTATIVE TRACT 74149 (FOR CONDOMINIUM PURPOSES) LOCATED IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA



VICINITY MAP
NOT TO SCALE

PROJECT SITE



Label the interior access as "Private Driveway"; or if required by the Fire Department, label as "Private Driveway and Fire Lane".

ENGINEER:

C&V CONSULTING, INC.
6 ORCHARD, STE. 200
LAKE FOREST, CA 92630
PHONE: (949) 916-6800
CONTACT: VINCENT SCARPATI

SUBDIVIDER:

THE OLSON COMPANY
3010 OLD RANCH PARKWAY, SUITE 100
SEAL BEACH, CA 90740
CONTACT: JOHN REISCHL

ADDRESS:

4332 EAST LIVE OAK AVE., ARCADIA CA 91006

LEGAL DESCRIPTION:

LOT 1 OF TRACT 15401, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PERMAP RECORDED IN BOOK 338, PAGES 14 AND 15, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 8571-001-001

CURRENT AND PROPOSED ZONING:

CURRENT ZONING: C-2-BE/ NEIGHBORHOOD BUSINESS
PROPOSED ZONING: R-3

PROJECT SCOPE:

PROPOSING CONSTRUCTION OF 15 ATTACHED TOWNHOME UNITS IN 2 BUILDINGS. THE PROJECT WILL INCLUDE THE CONSTRUCTION A DRIVE AISLE, 8 OPEN SPACE PARKING STALLS, LANDSCAPING, AND UTILITIES.

Add a Lot Table showing the proposed usage of each lot.

EXISTING EASEMENTS:

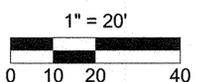
THERE ARE NO PLOTTABLE EXISTING EASEMENTS ON SITE.

TITLE REPORT ITEMS OF NOTE:

- THE RIGHT TO RESTRICT ACCESS TO OR FROM A PORTION OF LIVE OAK AVENUE AS DEDICATED TO THE COUNTY OF LOS ANGELES IN THE DOCUMENT RECORDED OCTOBER 21, 1993 AS INSTRUMENT NO. 93-2050510 OF OFFICIAL RECORDS.
- THE EFFECT OF A DEED DATED JULY 25, 2014, EXECUTED BY OLYMPIC 2000 INVESTMENTS GROUP LLC, A CALIFORNIA LIMITED LIABILITY COMPANY, AS GRANTOR, TO WESTERN IMPERIAL 2000 LLC, A CALIFORNIA LIMITED LIABILITY COMPANY, AS GRANTEE, RECORDED AUGUST 06, 2014, AS INSTRUMENT NO. 20140819209 OF OFFICIAL RECORDS. THE REQUIREMENT THAT THIS OFFICE BE FURNISHED WITH EVIDENCE THAT THE DEED WAS AN ABSOLUTE CONVEYANCE FOR VALUE, AND THAT THERE ARE NO OTHER AGREEMENTS, ORAL OR WRITTEN, REGARDING THE OWNERSHIP OF THE LAND DESCRIBED HEREIN.

ABBREVIATIONS:

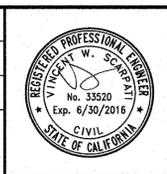
C	CENTER LINE
AVE.	AVENUE
AC	ASPHALT CONCRETE
CMU	CONCRETE MASONRY UNIT
DWY	DRIVEWAY
EA	EACH
EG	EXISTING GROUND
ESMT	EASEMENT
EX	EXISTING
FF	FINISHED FLOOR
FG	FINISHED GRADE
FL	FLOW LINE
FS	FINISHED SURFACE
GB	GRADE BREAK
GFF	GARAGE FINISH FLOOR
MIN	MINIMUM
N.A.P	NOT A PART
NTS	NOT TO SCALE
P/L	PROPERTY LINE
PROP.	PROPOSED
R/W	RIGHT OF WAY
RET	RETAINING
SF	SQUARE FEET
SW	SIDEWALK
TC	TOP OF CURB
TF	TOP OF FOOTING
TRW	TOP OF RET. WALL
TW	TOP OF WALL
TYP	TYPICAL



BENCHMARK
LACPW BM NO 1G316
L&T IN S Q3 1 FT W/O BCR @ SW COR LIVE OAK AVE. & MAYFLOWER AVE.
NAVD88 ELEVATION=351.907

BASIS OF BEARINGS
THE BEARINGS FOR THIS SURVEY IS N80°09'19"E ALONG THE CENTERLINE OF LIVE OAK AVE. ON TRACT NO. 15401, IN BOOK 338, PAGES 14&15 OF MAPS, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

DRAWN BY:	AM	DATE	03/16/16
DESIGNED BY:	AM	DATE	03/16/16
CHECKED BY:	PCM	DATE	03/16/16



PLAN PREPARED BY:
C&V CONSULTING INC.
CIVIL ENGINEERING
LAND PLANNING AND SURVEYING
6 ORCHARD, SUITE 200
LAKE FOREST, CALIFORNIA 92630
T. (949) 916-3800
F. (949) 916-3805

PLAN PREPARED FOR / DEVELOPER:
THE OLSON COMPANY
3020 OLD RANCH PARKWAY, SUITE 400
SEAL BEACH, CA 90740-2751
(562) 596-4770

APPROVED BY:

DIRECTOR OF PUBLIC WORKS / CITY ENGINEER
RCE NO. _____ EXP. _____
DATE _____

COUNTY OF LOS ANGELES
VESTING TENTATIVE TRACT 74149
4332 EAST LIVE OAK AVE.
ARCADIA, CA 91006
APN 8571-001-001

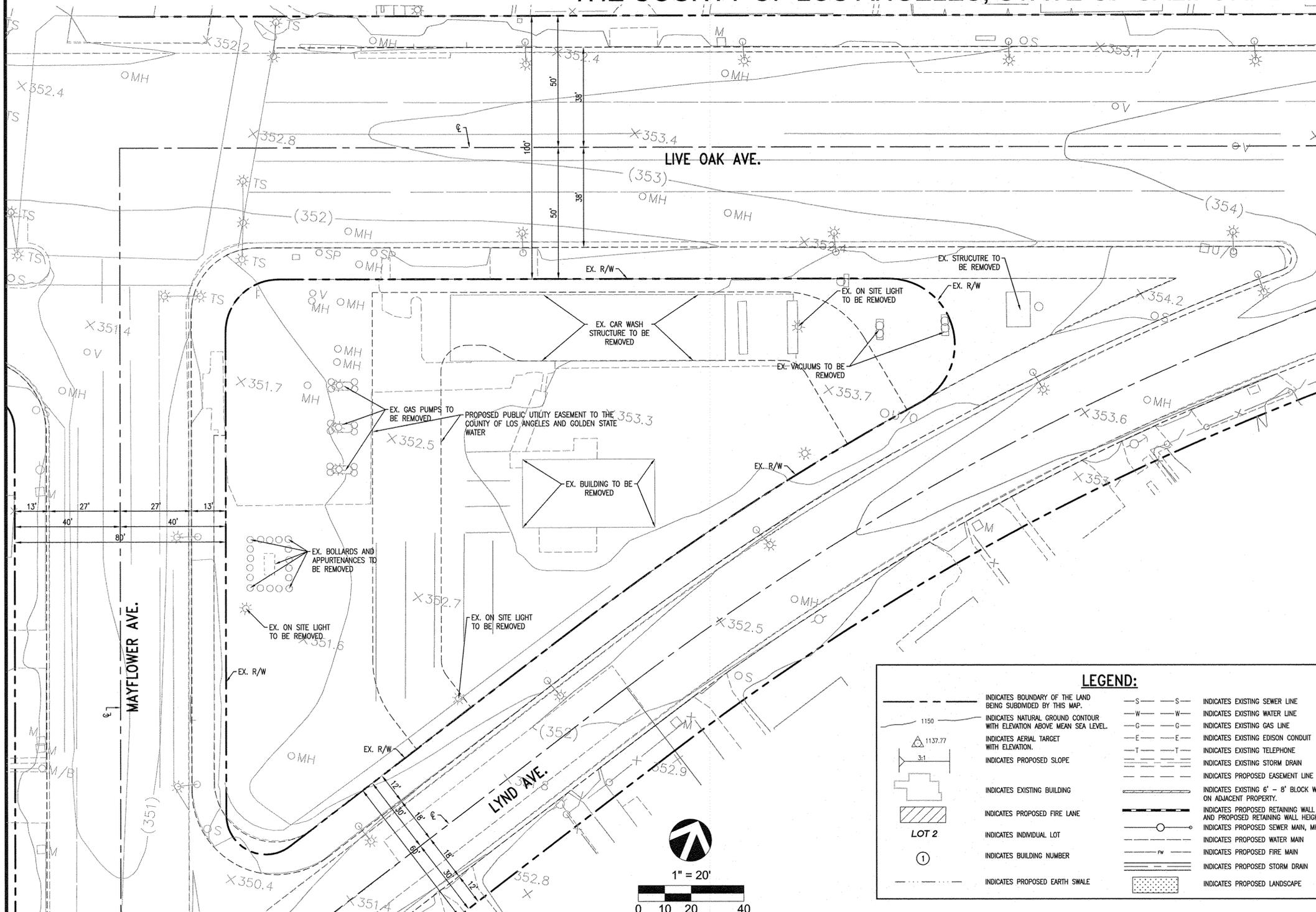
SHEET
1 OF 2

SUBDIVISION

MAJOR LAND DIVISION NO. 74149

VESTING TENTATIVE TRACT 74149

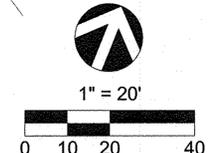
(FOR CONDOMINIUM PURPOSES)
LOCATED IN THE UNINCORPORATED TERRITORY OF
THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA



Combine Sheet 2 of 2 with Sheet 1 and remove Sheet 2.

LEGEND:

	INDICATES BOUNDARY OF THE LAND BEING SUBDIVIDED BY THIS MAP.		INDICATES EXISTING SEWER LINE
	INDICATES NATURAL GROUND CONTOUR WITH ELEVATION ABOVE MEAN SEA LEVEL.		INDICATES EXISTING WATER LINE
	INDICATES AERIAL TARGET WITH ELEVATION.		INDICATES EXISTING GAS LINE
	INDICATES PROPOSED SLOPE		INDICATES EXISTING EDISON CONDUIT
	INDICATES EXISTING BUILDING		INDICATES EXISTING TELEPHONE
	INDICATES PROPOSED FIRE LANE		INDICATES EXISTING STORM DRAIN
	INDICATES INDIVIDUAL LOT		INDICATES PROPOSED EASEMENT LINE
	INDICATES BUILDING NUMBER		INDICATES EXISTING 6' - 8' BLOCK WALL ON ADJACENT PROPERTY.
	INDICATES PROPOSED EARTH SWALE		INDICATES PROPOSED RETAINING WALL AND PROPOSED RETAINING WALL HEIGHT
			INDICATES PROPOSED SEWER MAIN, MH, CO
			INDICATES PROPOSED WATER MAIN
			INDICATES PROPOSED FIRE MAIN
			INDICATES PROPOSED STORM DRAIN
			INDICATES PROPOSED LANDSCAPE

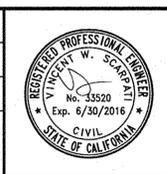


BENCHMARK
LACPW BM NO 16316
L&T IN S CB 1 FT W/O BCR @ SW COR LIVE OAK AVE. & MAYFLOWER AVE.
NAVD88 ELEVATION=351.907

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DRAWN BY:	AM	DATE	03/16/16
DESIGNED BY:	AM	DATE	03/16/16
CHECKED BY:	PCM	DATE	03/16/16

VINCENT W. SCARPA
R.C.E. 33520



PLAN PREPARED BY:
C&V CONSULTING INC.
LAND PLANNING AND SURVEYING
6 ORCHARD, SUITE 200
LAKE FOREST, CALIFORNIA 92630
T. (949) 916-3800
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PLAN PREPARED FOR / DEVELOPER:
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3020 OLD RANCH PARKWAY, SUITE 400
SEAL BEACH, CA 90740-2751
(562) 596-4770

APPROVED BY:

DIRECTOR OF PUBLIC WORKS / CITY ENGINEER

RCE NO. _____ EXP. _____
DATE _____

COUNTY OF LOS ANGELES

VESTING TENTATIVE TRACT NO. 74149
4332 EAST LIVE OAK AVE.
ARCADIA, CA 91006
APN 8571-001-001

SHEET
2 OF 2

SUBDIVISION

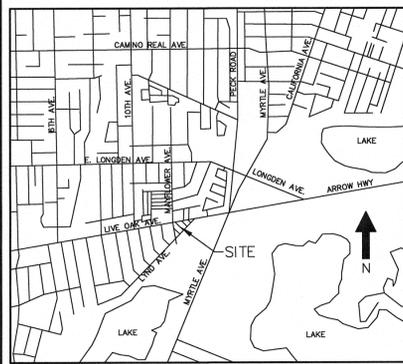
MAJOR LAND DIVISION NO. 74149

VESTING TENTATIVE TRACT 74149 (FOR CONDOMINIUM PURPOSES)

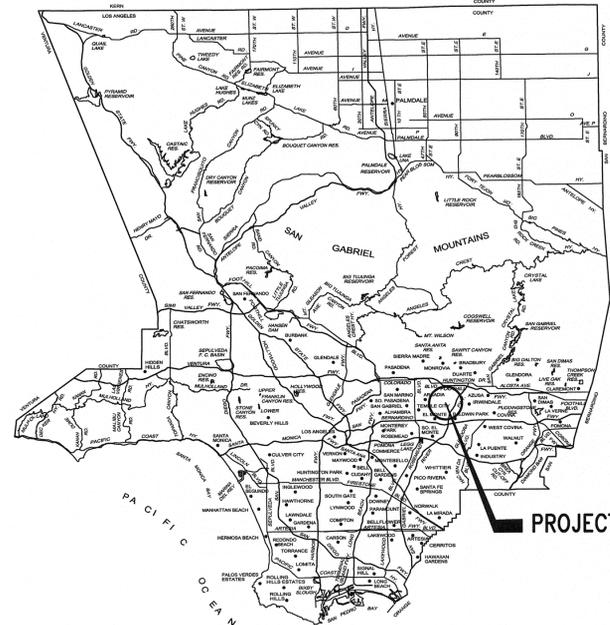
LOCATED IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

EXHIBIT "A"

RECEIVED
DEPT OF REGIONAL PLANNING
TR74149 EXHIBIT
16 MAR 2016

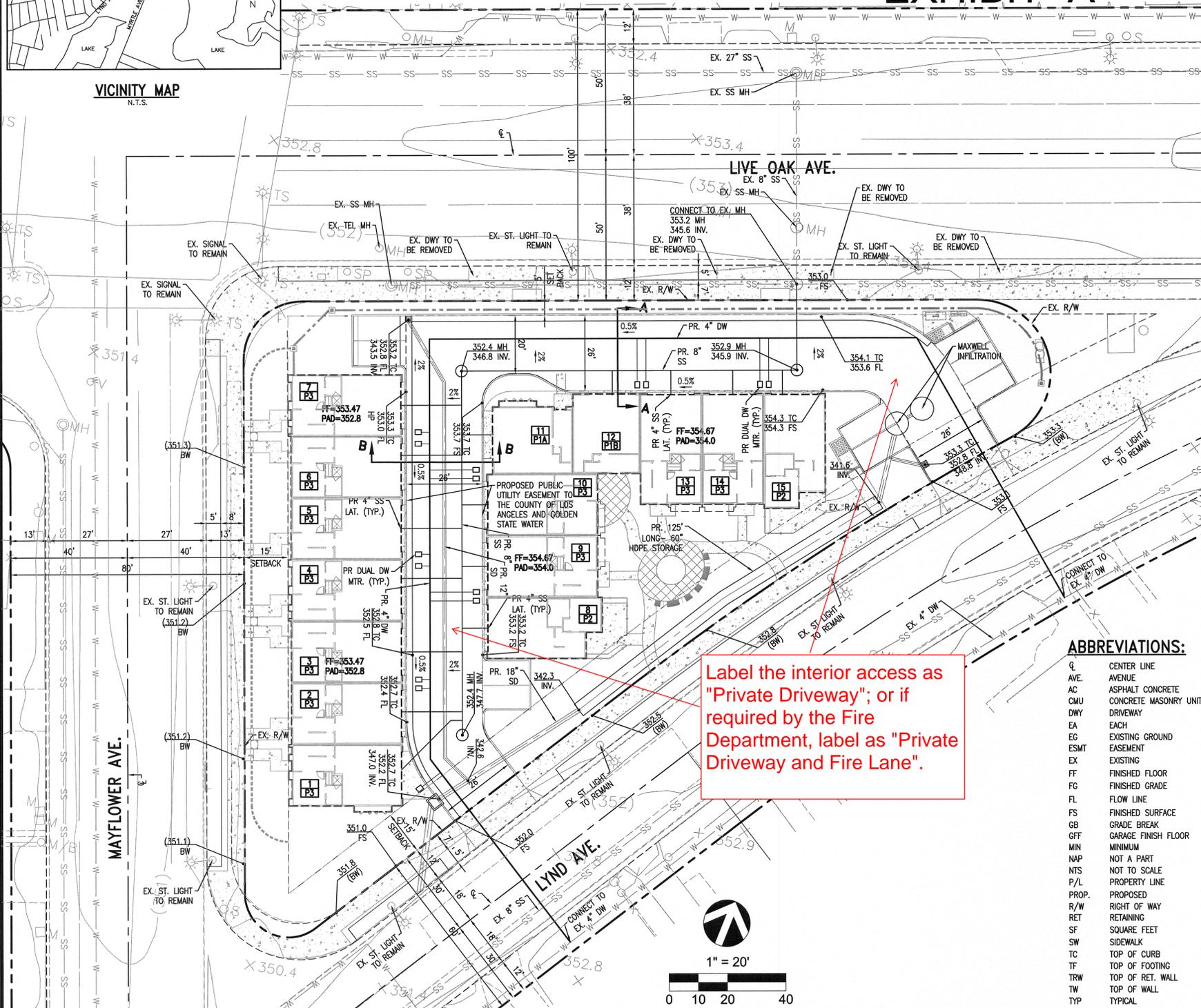


VICINITY MAP
N.T.S.



PROJECT SITE

LOCATION MAP
NOT TO SCALE



ENGINEER:
C&V CONSULTING, INC.
6 ORCHARD, STE. 200
LAKE FOREST, CA 92630
PHONE: (949) 916-6800
CONTACT: VINCENT SCARPATI

SUBDIVIDER:
THE OLSON COMPANY
3010 OLD RANCH PARKWAY, SUITE 100
SEAL BEACH, CA 90740
CONTACT: JOHN REISCHL

ADDRESS:
4332 EAST LIVE OAK AVE., ARCADIA CA 91006

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PROPOSED ZONING: R-3

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APN: 8571-001-001

EARTHWORK ESTIMATE:

OVER EXCAVATION	2986 CY
SHRINKAGE @ 15%	448 CY
RAW CUT	306 CY
RAW FILL	493 CY
NET: 493+448-306=	635 CY IMPORT

QUANTITIES SHOWN ARE FOR BID AND BONDING PURPOSES ONLY. QUANTITIES DO NOT REFLECT FOOTING AND UTILITY EXCAVATIONS, OVER EXCAVATIONS ASSUMED AS 5' UNDER STRUCTURES AND 2' UNDER DRIVABLE PAVEMENT. SHRINKAGE IS ASSUMED @15%

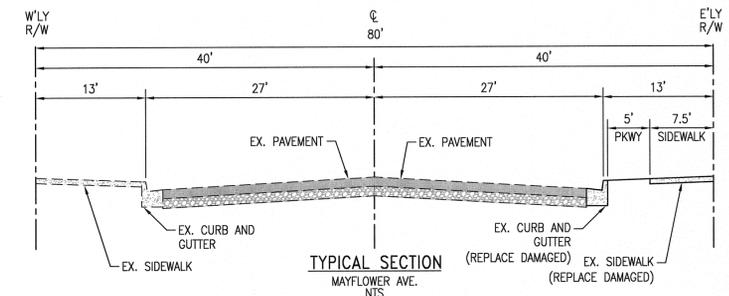
LEGEND

- FLOWLINE
- CENTERLINE
- DAYLIGHT LINE
- TRACT BOUNDARY / RIGHT-OF-WAY LINE
- LOT LINE
- EX. FENCE
- EX. STORM DRAIN LINE
- PROP. STORM DRAIN
- CATCH BASIN/ LOCAL DEPRESSION
- JUNCTION STRUCTURE
- EX. WATER LINE
- PROP. WATER LINE
- FIRE HYDRANT
- WATER VALVE
- EX. SEWER LINE
- PROP. SEWER LINE
- MANHOLE
- CLEANOUT
- PROP. RETAINING WALL
- EX. WALL
- EX. CONTOUR LINE
- EX. POWER POLE
- SLOPE (2:1 UNLESS OTHERWISE INDICATED)

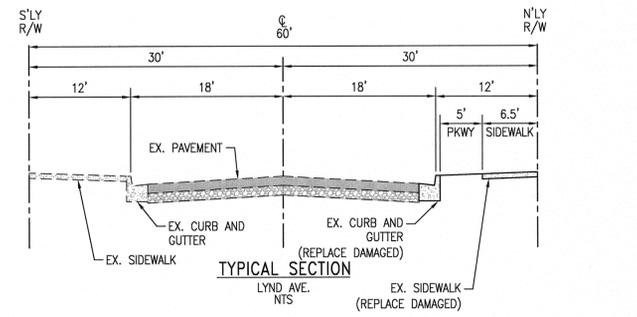
ABBREVIATIONS:

- CL CENTER LINE
- AVE. AVENUE
- AC ASPHALT CONCRETE
- CMU CONCRETE MASONRY UNIT
- DWY DRIVEWAY
- EA EACH
- EG EXISTING GROUND
- ESMT EASEMENT
- EX EXISTING
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FL FLOW LINE
- FS FINISHED SURFACE
- GB GRADE BREAK
- GFT GARAGE FINISH FLOOR
- MIN MINIMUM
- NAP NOT A PART
- NTS NOT TO SCALE
- P/L PROPERTY LINE
- PROP. PROPOSED
- R/W RIGHT OF WAY
- RET RETAINING
- SF SQUARE FEET
- SW SIDEWALK
- TC TOP OF CURB
- TF TOP OF FOOTING
- TRW TOP OF RET. WALL
- TW TOP OF WALL
- TYP TYPICAL

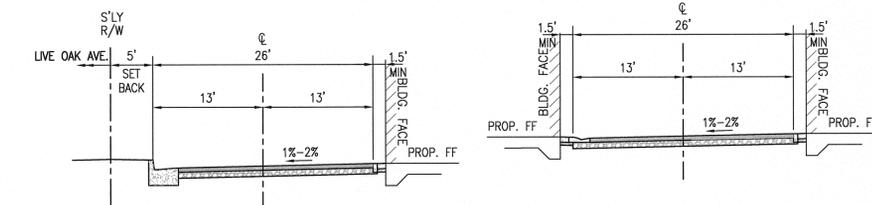
Label the interior access as "Private Driveway"; or if required by the Fire Department, label as "Private Driveway and Fire Lane".



TYPICAL SECTION
MAYFLOWER AVE.
NTS



TYPICAL SECTION
LYND AVE.
NTS



SECTION A-A INTERIOR DRIVE AISLE
NTS

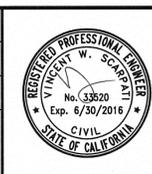
SECTION B-B INTERIOR DRIVE AISLE
NTS

BENCHMARK
LACPW BM NO 16316
L&T IN S CB 1 FT W/O BCR @SW COR LIVE OAK AVE. & MAYFLOWER AVE.
NAVD88 ELEVATION=351.907

BASIS OF BEARINGS
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DRAWN BY:	AM	DATE	03/16/16
DESIGNED BY:	AM	DATE	03/16/16
CHECKED BY:	PCM	DATE	03/16/16

VINCENT W. SCARPATI R.C.E. 33520



PLAN PREPARED BY:
C&V CONSULTING INC.
CIVIL ENGINEERING
LAND PLANNING AND SURVEYING
6 ORCHARD, SUITE 200
LAKE FOREST, CALIFORNIA 92630
T. (949) 916-3800
F. (949) 916-3805

PLAN PREPARED FOR / DEVELOPER:
THE OLSON COMPANY
3020 OLD RANCH PARKWAY, SUITE 400
SEAL BEACH, CA 90740-2751
(562) 596-4770

APPROVED BY:
DIRECTOR OF PUBLIC WORKS / CITY ENGINEER
RCE NO. _____ EXP. _____
DATE _____

COUNTY OF LOS ANGELES
VESTING TENTATIVE TRACT NO. 74149-EXHIBIT "A"
4332 EAST LIVE OAK AVE.
ARCADIA, CA 91006
APN 8571-001-001

SHEET
1 OF 1

SUBDIVISION

COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
LAND DEVELOPMENT DIVISION - ROAD
TRACT MAP 074149

PAGE 1/1

TENTATIVE MAP DATED 03-16-2016
EXHIBIT A MAP DATED 03-16-2016

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

See additional road comments shown in the files "2016-04-07 TR 74149 1st Check JN", which can be found at the following ftp link:

<ftp://dpwftp.co.la.ca.us/pub/LDD/Road/PM074149/>

Prepared by Joseph Nguyen

tr74149r

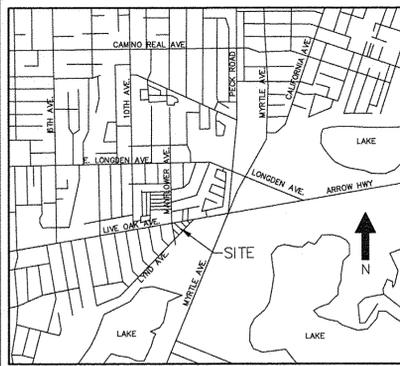
In

Phone (626) 458-4921

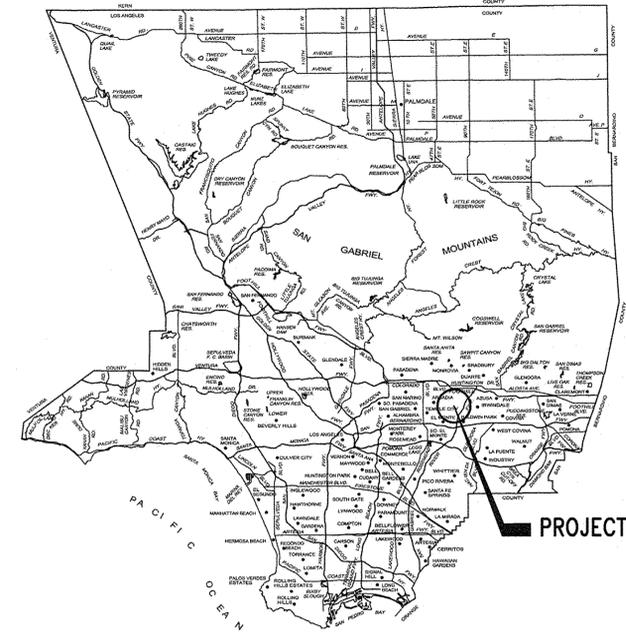
Date 04-07-2016

RECEIVED
DEPT OF REGIONAL PLANNING
TR74149 TENTATIVE PG 1
16 MAR 2016

MAJOR LAND DIVISION VESTING TENTATIVE TRACT 74149 (FOR CONDOMINIUM PURPOSES) LOCATED IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

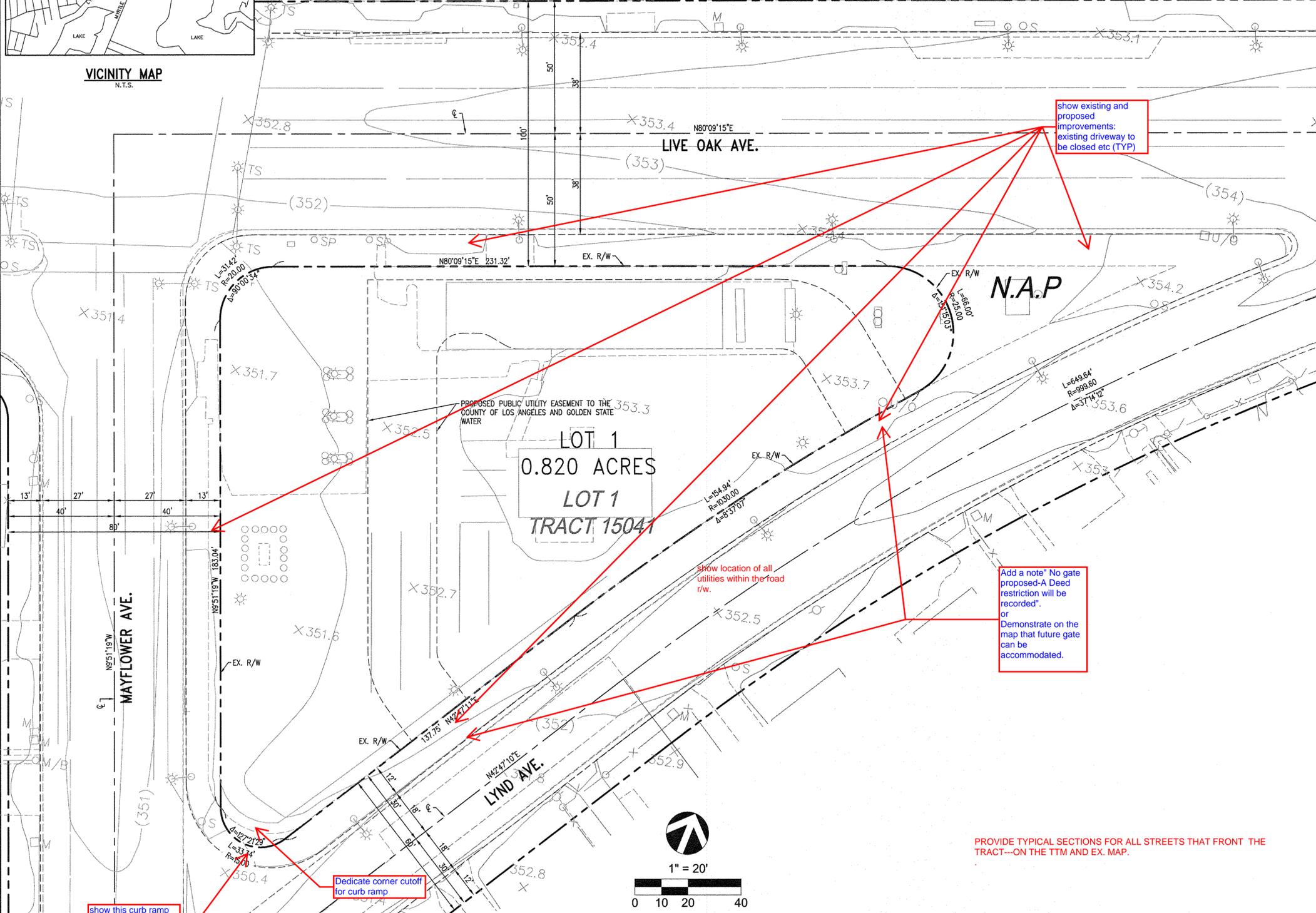


VICINITY MAP
N.T.S.



VICINITY MAP
NOT TO SCALE

PROJECT SITE



ENGINEER:

C&V CONSULTING, INC.
6 ORCHARD, STE. 200
LAKE FOREST, CA 92630
PHONE: (949) 916-6800
CONTACT: VINCENT SCARPATI

SUBDIVIDER:

THE OLSON COMPANY
3010 OLD RANCH PARKWAY, SUITE 100
SEAL BEACH, CA 90740
CONTACT: JOHN REISCHL

ADDRESS:

4332 EAST LIVE OAK AVE., ARCADIA CA 91006

LEGAL DESCRIPTION:

LOT 1 OF TRACT 15401, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PERMAP RECORDED IN BOOK 338, PAGES 14 AND 15, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
APN: 8571-001-001

CURRENT AND PROPOSED ZONING:

CURRENT ZONING: C-2-BE/ NEIGHBORHOOD BUSINESS
PROPOSED ZONING: R-3

PROJECT SCOPE:

PROPOSING CONSTRUCTION OF 15 ATTACHED TOWNHOME UNITS IN 2 BUILDINGS. THE PROJECT WILL INCLUDE THE CONSTRUCTION A DRIVE AISLE, 8 OPEN SPACE PARKING STALLS, LANDSCAPING, AND UTILITIES.

ABBREVIATIONS:

C	CENTER LINE
AVE.	AVENUE
AC	ASPHALT CONCRETE
CMU	CONCRETE MASONRY UNIT
DWY	DRIVEWAY
EA	EACH
EG	EXISTING GROUND
ESMT	EASEMENT
EX	EXISTING
FF	FINISHED FLOOR
FG	FINISHED GRADE
FL	FLOW LINE
FS	FINISHED SURFACE
GB	GRADE BREAK
GFF	GARAGE FINISH FLOOR
MIN	MINIMUM
N.A.P	NOT A PART
NTS	NOT TO SCALE
P/L	PROPERTY LINE
PROP.	PROPOSED
R/W	RIGHT OF WAY
RET	RETAINING
SF	SQUARE FEET
SW	SIDEWALK
TC	TOP OF CURB
TF	TOP OF FOOTING
TRW	TOP OF RET. WALL
TW	TOP OF WALL
TYP	TYPICAL

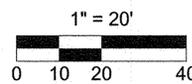
EXISTING EASEMENTS:

THERE ARE NO PLOTTABLE EXISTING EASEMENTS ON SITE.

TITLE REPORT ITEMS OF NOTE:

- THE RIGHT TO RESTRICT ACCESS TO OR FROM A PORTION OF LIVE OAK AVENUE AS DEDICATED TO THE COUNTY OF LOS ANGELES IN THE DOCUMENT RECORDED OCTOBER 21, 1993 AS INSTRUMENT NO. 93-2050510 OF OFFICIAL RECORDS.
- THE EFFECT OF A DEED DATED JULY 25, 2014, EXECUTED BY OLYMPIC 2000 INVESTMENTS GROUP LLC, A CALIFORNIA LIMITED LIABILITY COMPANY, AS GRANTOR, TO WESTERN IMPERIAL 2000 LLC, A CALIFORNIA LIMITED LIABILITY COMPANY, AS GRANTEE, RECORDED AUGUST 06, 2014, AS INSTRUMENT NO. INSTRUMENT NO. 20140819209 OF OFFICIAL RECORDS. THE REQUIREMENT THAT THIS OFFICE BE FURNISHED WITH EVIDENCE THAT THE DEED WAS AN ABSOLUTE CONVEYANCE FOR VALUE, AND THAT THERE ARE NO OTHER AGREEMENTS, ORAL OR WRITTEN, REGARDING THE OWNERSHIP OF THE LAND DESCRIBED HEREIN.

PROVIDE TYPICAL SECTIONS FOR ALL STREETS THAT FRONT THE TRACT--ON THE TTM AND EX. MAP.



BENCHMARK
LACPW BM NO 16316
L&T IN S Q3 1 FT W/O BCR @ SW COR LIVE OAK AVE. & MAYFLOWER AVE.
NAVD88 ELEVATION=351.907

BASIS OF BEARINGS
THE BEARINGS FOR THIS SURVEY IS N80°09'19"E ALONG THE CENTERLINE OF LIVE OAK AVE. ON TRACT NO. 15401, IN BOOK 338, PAGES 14&15 OF MAPS, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

DRAWN BY:	AM	DATE	03/16/16
DESIGNED BY:	AM	DATE	03/16/16
CHECKED BY:	PCM	DATE	03/16/16

VINCENT W. SCARPATI R.E. 33520 DATE



PLAN PREPARED BY:
C&V CONSULTING INC.
CIVIL ENGINEERING
LAND PLANNING AND SURVEYING
6 ORCHARD, SUITE 200
LAKE FOREST, CALIFORNIA 92630
T. (949) 916-3800
F. (949) 916-3805

PLAN PREPARED FOR / DEVELOPER:
THE OLSON COMPANY
3020 OLD RANCH PARKWAY, SUITE 400
SEAL BEACH, CA 90740-2751
(562) 596-4770

APPROVED BY:

DIRECTOR OF PUBLIC WORKS / CITY ENGINEER
RCE NO. _____ EXP. _____
DATE _____

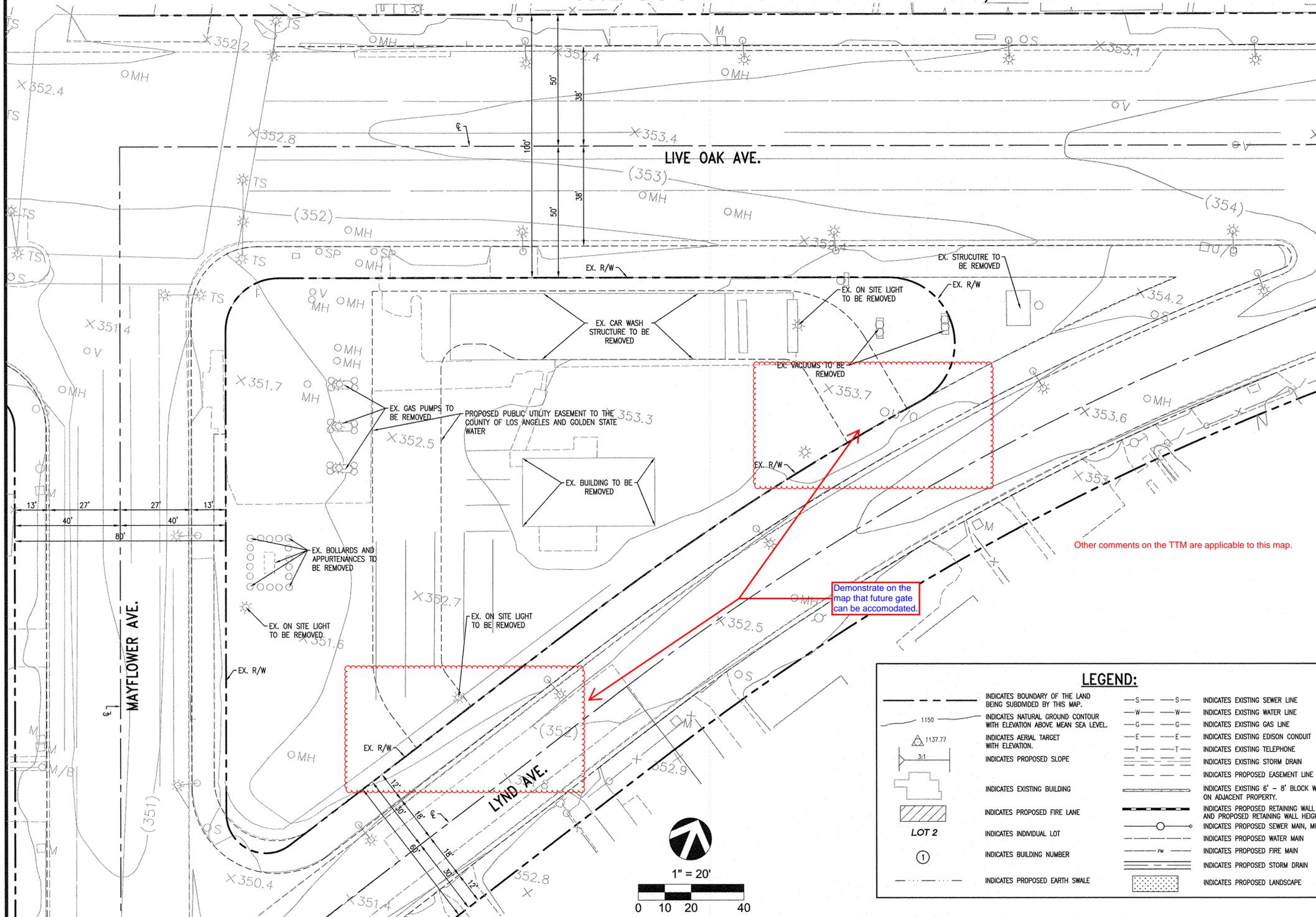
COUNTY OF LOS ANGELES

TENTATIVE TRACT 74149
4332 EAST LIVE OAK AVE.
ARCADIA, CA 91006
APN 8571-001-001

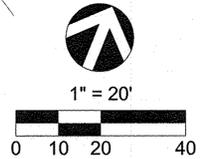
SHEET
1 OF 2

ROAD

MAJOR LAND DIVISION VESTING TENTATIVE TRACT 74149 (FOR CONDOMINIUM PURPOSES) LOCATED IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA



LEGEND:	
	INDICATES BOUNDARY OF THE LAND BEING SUBDIVIDED BY THIS MAP.
	INDICATES NATURAL GROUND CONTOUR WITH ELEVATION ABOVE MEAN SEA LEVEL.
	INDICATES AERIAL TARGET WITH ELEVATION.
	INDICATES PROPOSED SLOPE.
	INDICATES EXISTING BUILDING.
	INDICATES PROPOSED FIRE LANE.
	INDICATES INDIVIDUAL LOT.
	INDICATES BUILDING NUMBER.
	INDICATES PROPOSED EARTH SWALE.
	INDICATES EXISTING SEWER LINE.
	INDICATES EXISTING WATER LINE.
	INDICATES EXISTING GAS LINE.
	INDICATES EXISTING EDISON CONDUIT.
	INDICATES EXISTING TELEPHONE.
	INDICATES EXISTING STORM DRAIN.
	INDICATES PROPOSED EASEMENT LINE.
	INDICATES EXISTING 6' - 8' BLOCK WALL ON ADJACENT PROPERTY.
	INDICATES PROPOSED RETAINING WALL AND PROPOSED RETAINING WALL HEIGHT.
	INDICATES PROPOSED SEWER MAIN, MH, CO.
	INDICATES PROPOSED WATER MAIN.
	INDICATES PROPOSED FIRE MAIN.
	INDICATES PROPOSED STORM DRAIN.
	INDICATES PROPOSED LANDSCAPE.



BENCHMARK
 LACPW BM NO 16316
 L&T IN S CB 1 FT W/O BCR @ SW COR LIVE OAK AVE. & MAYFLOWER AVE.
 NAVD88 ELEVATION=351.907

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DRAWN BY:	AM	DATE	03/16/16
DESIGNED BY:	AM	DATE	03/16/16
CHECKED BY:	PCM	DATE	03/16/16

VINCENT W. SCARPAI R.C.E. 33520 DATE



PLAN PREPARED BY:
C&V CONSULTING INC.
 LAND PLANNING AND SURVEYING
 6 ORCHARD, SUITE 200
 LAKE FOREST, CALIFORNIA 92630
 T. (949) 916-3800
 F. (949) 916-3805

PLAN PREPARED FOR / DEVELOPER:
THE OLSON COMPANY
 3020 OLD RANCH PARKWAY, SUITE 400
 SEAL BEACH, CA 90740-2751
 (562) 596-4770

APPROVED BY:

 DIRECTOR OF PUBLIC WORKS / CITY ENGINEER

RCE NO. _____ EXP. _____
 DATE _____

COUNTY OF LOS ANGELES

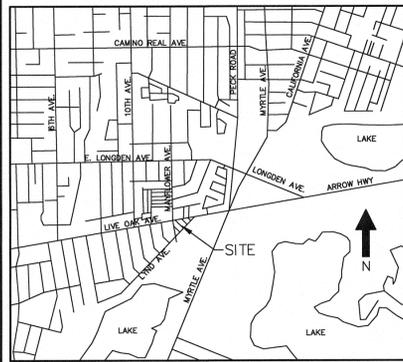
TRACT 74149
 4332 EAST LIVE OAK AVE.
 ARCADIA, CA 91006
 APN 8571-001-001

SHEET
 2 OF 2

ROAD

MAJOR LAND DIVISION VESTING TENTATIVE TRACT 74149 (FOR CONDOMINIUM PURPOSES) LOCATED IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA EXHIBIT "A"

RECEIVED
DEPT OF REGIONAL PLANNING
TR74149 EXHIBIT
16 MAR 2016



VICINITY MAP
N.T.S.



PROJECT SITE



LOCATION MAP
NOT TO SCALE

ENGINEER:
C&V CONSULTING, INC.
6 ORCHARD, STE. 200
LAKE FOREST, CA 92630
PHONE: (949) 916-6800
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CURRENT ZONING: C-2-BE/ NEIGHBORHOOD BUSINESS
PROPOSED ZONING: R-3

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LEGAL DESCRIPTION:
LOT 1 OF TRACT 15401, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PERMAP RECORDED IN BOOK 338, PAGES 14 AND 15, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EARTHWORK ESTIMATE:

OVER EXCAVATION	2986 CY
SHRINKAGE @ 15%	448 CY
RAW CUT	306 CY
RAW FILL	493 CY
NET: 493+448-306=	635 CY IMPORT

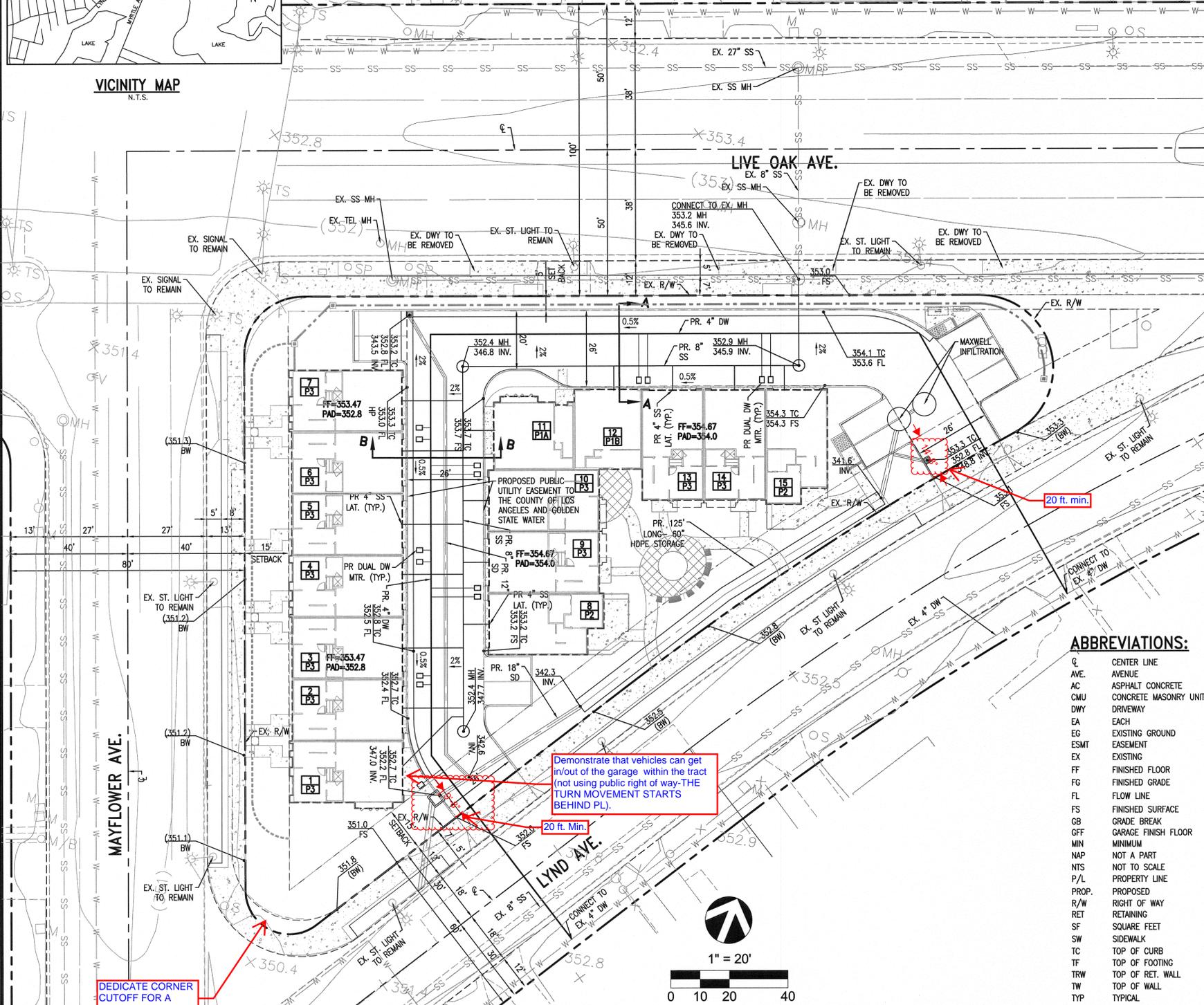
QUANTITIES SHOWN ARE FOR BID AND BONDING PURPOSES ONLY. QUANTITIES DO NOT REFLECT FOOTING AND UTILITY EXCAVATIONS. OVER EXCAVATION IS ASSUMED AS DRIBBLE PAVEMENT SHRINKAGE IS

LEGEN

- CL CENTER LINE
- AVE AVENUE
- AC ASPHALT CONCRETE
- CMU CONCRETE MASONRY UNIT
- DWY DRIVEWAY
- EA EACH
- EG EXISTING GROUND
- ESMT EASEMENT
- EX EXISTING
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FL FLOW LINE
- FS FINISHED SURFACE
- GB GRADE BREAK
- GFT GARAGE FINISH FLOOR
- MIN MINIMUM
- NAP NOT A PART
- NTS NOT TO SCALE
- P/L PROPERTY LINE
- PROP. PROPOSED
- R/W RIGHT OF WAY
- RET RETAINING
- SF SQUARE FEET
- SW SIDEWALK
- TC TOP OF CURB
- TF TOP OF FOOTING
- TRW TOP OF RET. WALL
- TW TOP OF WALL
- TYP TYPICAL
- EX. STORM DRAIN LINE
- PROP. STORM DRAIN
- CATCH BASIN/ LOCAL DEPRESSION
- JUNCTION STRUCTURE
- EX. WATER LINE
- PROP. WATER LINE
- FIRE HYDRANT
- WATER VALVE
- EX. SEWER LINE
- PROP. SEWER LINE
- MANHOLE
- CLEANOUT
- PROP. RETAINING WALL
- EX. WALL
- EX. CONTOUR LINE
- EX. POWER POLE
- SLOPE (2:1 UNLESS OTHERWISE INDICATED)

ABBREVIATIONS:

- CL CENTER LINE
- AVE AVENUE
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- TF TOP OF FOOTING
- TRW TOP OF RET. WALL
- TW TOP OF WALL
- TYP TYPICAL



DEDICATE CORNER CUTOFF FOR A CURB RAMP.

Demonstrate that vehicles can get in/out of the garage within the tract (not using public right of way-THE TURN MOVEMENT STARTS BEHIND PL).

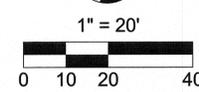
What is the existing structural section?
Show resurfacing of the road.

IS THERE SIDEWALK HERE?

Verify-I dont see 5' green strip

SECTION A-A INTERIOR DRIVE AISLE
NTS

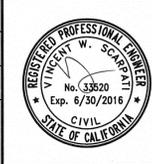
SECTION B-B INTERIOR DRIVE AISLE
NTS



BENCHMARK
LACPW BM NO 16316
L&T IN S CB 1 FT W/O BCR @SW COR LIVE OAK AVE. & MAYFLOWER AVE.
NAVD88 ELEVATION=351.907

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DRAWN BY:	AM	DATE	03/16/16
DESIGNED BY:	AM	DATE	03/16/16
CHECKED BY:	PCM	DATE	03/16/16



PLAN PREPARED BY:
C&V CONSULTING INC.
CIVIL ENGINEERING
LAND PLANNING AND SURVEYING
6 ORCHARD, SUITE 200
LAKE FOREST, CALIFORNIA 92630
T. (949) 916-3800
F. (949) 916-3805

PLAN PREPARED FOR / DEVELOPER:
THE OLSON COMPANY
3020 OLD RANCH PARKWAY, SUITE 400
SEAL BEACH, CA 90740-2751
(562) 596-4770

APPROVED BY:
DIRECTOR OF PUBLIC WORKS / CITY ENGINEER
RCE NO. _____ EXP. _____
DATE _____

COUNTY OF LOS ANGELES

TENTATIVE TRACT 74149-EXHIBIT "A"
4332 EAST LIVE OAK AVE.
ARCADIA, CA 91006
APN 8571-001-001

SHEET
1 OF 1

ROAD

COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
LAND DEVELOPMENT DIVISION – SUBDIVISION
TRACT NO. 74149

Page 1/1

TENTATIVE MAP DATED 03-16-2016
EXHIBIT MAP DATED 03-16-2016

- If this recommendation of disapproval is changed to a recommendation of approval based on additional information, the following reports would be recommended for inclusion in the conditions of tentative approval:

Prepared by Aissa Carrillo
tr74149L-new.doc
<http://planning.lacounty.gov/case/view/tr074149/>

Phone (626) 458-3126

Date 04-12-2016

The following report consisting of ____ pages are the recommendations of Public Works.

The subdivision shall conform to the design standards and policies of Public Works, in particular, but not limited to the following items:

1. Details and notes shown on the tentative map are not necessarily approved. Any details or notes which may be inconsistent with requirements of ordinances, general conditions of approval, or Department policies must be specifically approved in other conditions, or ordinance requirements are modified to those shown on the tentative map upon approval by the Advisory agency.
2. Easements are tentatively required, subject to review by the Director of Public Works to determine the final locations and requirements.
3. Easements shall not be granted or recorded within areas proposed to be granted, dedicated, or offered for dedication for public streets, highways, access rights, building restriction rights, or other easements until after the final map is filed with the Registrar-Recorder/County Clerk's Office. If easements are granted after the date of tentative approval, a subordination must be executed by the easement holder prior to the filing of the final map.
4. In lieu of establishing the final specific locations of structures on each lot/parcel at this time, the owner, at the time of issuance of a grading or building permit, agrees to develop the property in conformance with the County Code and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Ordinance, Highway Permit Ordinance, Mechanical Code, Zoning Ordinance, Underground of Utilities Ordinance, Water Ordinance, Sanitary Sewer and Industrial Waste Ordinance, Electrical Code, and Fire Code. Improvements and other requirements may be imposed pursuant to such codes and ordinances.
5. Adjust, relocate, and/or eliminate lot lines, lots, streets, easements, grading, geotechnical protective devices, and/or physical improvements to comply with ordinances, policies, and standards in effect at the date the County determined the application to be complete all to the satisfaction of Public Works.
6. All easements existing at the time of final map approval must be accounted for on the approved tentative map. This includes the location, owner, purpose, and recording reference for all existing easements. If an easement is blanket or indeterminate in nature, a statement to that effect must be shown on the tentative map in lieu of its location. If all easements have not been accounted for, submit a corrected tentative map to the Department of Regional Planning for approval.

7. If applicable, quitclaim or relocate easements running through proposed structures.
8. Prior to final approval of the tract/parcel map submit a notarized affidavit to the Director of Public Works, signed by all owners of record at the time of filing of the map with the Registrar-Recorder/County Clerk's Office, stating that any proposed condominium building has not been constructed or that all buildings have not been occupied or rented and that said building will not be occupied or rented until after the filing of the map with the Registrar-Recorder/County Clerk's Office.
9. Place standard condominium notes on the final map to the satisfaction of Public Works.
10. Label driveways and multiple access strips as "Private Driveway" and delineate on the final map to the satisfaction of Public Works. If required by the Fire Department, label as "Private Driveway and Fire Lane" and delineate on the final map to the satisfaction of Public Works and Fire Department.
11. Reserve reciprocal easements for drainage, ingress/egress, sewer, water, utilities, right to grade, and maintenance purposes, in documents over the common private driveways to the satisfaction of Public Works.
12. Remove existing buildings prior to final map approval. Demolition permits and final sign-off from the building inspector are required from the Building and Safety office.
13. A final tract map must be processed through the Director of Public Works prior to being filed with the Registrar-Recorder/County Clerk's Office.
14. Prior to submitting the tract map to the Director of Public Works for examination pursuant to Section 66442 of the Government Code, obtain clearances from all affected Departments and Divisions, including a clearance from the Subdivision Mapping Section of the Land Development Division of Public Works for the following mapping items; mathematical accuracy; survey analysis; and correctness of certificates, signatures, etc.
15. A final guarantee will be required at the time of filing of the final map with the Registrar-Recorder/County Clerk's Office.

COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
LAND DEVELOPMENT DIVISION – SUBDIVISION
TRACT NO. 74149

Page 3/3

TENTATIVE MAP DATED 03-16-2016
EXHIBIT MAP DATED 03-16-2016

16. Within 30 days of the approval date of this land use entitlement or at the time of first plan check submittal, the applicant shall deposit the sum of \$5,000 with Public Works to defray the cost of verifying conditions of approval for the purpose of issuing final map clearances.

HW
AC
Prepared by Aissa Carrillo
tr74149L-new.doc
<http://planning.lacounty.gov/case/view/tr074149/>

Phone (626) 458-3126

Date 04-12-2016

PCA LX001129/A863
Telephone: (626) 458-4925

County of Los Angeles Department of Public Works
Geotechnical and Materials Engineering Division
GEOLOGIC AND SOILS ENGINEERING REVIEW SHEET
900 S. Fremont Avenue, Alhambra, CA 91803

Sheet 1 of 1

Tentative Tract / Parcel Map	74149	Tentative Map Dated	3/16/16	Parent Tract	
Grading By Subdivider? [Y] (Y or N)	493 yd ³	Location	Arcadia	APN	8571-001-001
Geologist	---	Subdivider	Olson Urban Housing, LLC		
Soils Engineer	---	Engineer/Arch.	C&V Consulting Inc.		

Review of:

Geologic Report(s) Dated: _____

Soils Engineering Report(s) Dated: _____

Geotechnical Report(s) Dated: _____

References: _____

TENTATIVE MAP FEASIBILITY IS RECOMMENDED FOR APPROVAL FROM A GEOTECHNICAL STANDPOINT

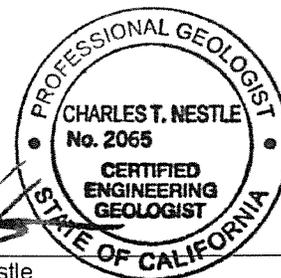
THE FOLLOWING INFORMATION IS APPLICABLE TO THIS DIVISION OF LAND:

- The Final Map does *not* need to be reviewed by the Geotechnical and Materials Engineering Division.
- Geotechnical report(s) may be required prior to approval of grading or building plans. Report(s) must comply with the provisions of the County of Los Angeles Department of Public Works *Manual for Preparation of Geotechnical Reports*. The Manual is available at: <http://dpw.lacounty.gov/gmed/permits/docs/manual.pdf>.

Prepared by



Jeremy Wan
Soils Section



Charles Nestle
Geology Section

Date 4/4/16

Please complete a Customer Service Survey at <http://dpw.lacounty.gov/go/gmedsurvey>

NOTICE: Public safety, relative to geotechnical subsurface exploration, shall be provided in accordance with current codes for excavations, inclusive of the Los Angeles County Code, Chapter 11.48, and the State of California, Title 8, Construction Safety Orders.

P:\gmepub\Development Review\Combined Reviews\Tracts and Parcels\74149, Arcadia, TM-1_A.docx

1. Approval of this map pertaining to grading is recommended.

The subdivision shall conform to the design standards and policies of Public Works, in particular, but not limited to the following items:

REQUIREMENTS PRIOR TO GRADING PLAN APPROVAL:

2. Provide approval of:
 - a. The latest hydrology study by the Storm Drain and Hydrology Section of Land Development Division.
 - b. The grading plan by the Geotechnical & Materials Engineering Division (GMED).
 - c. Permits and/or letters of non-jurisdiction from all State and Federal Agencies. These agencies may include, but may not be limited to the State of California Regional Water Quality Control Board, and State of California Department of Conservation, Division of Oil, Gas, and Geothermal Resources (DOGGR).

REQUIREMENTS PRIOR TO FINAL MAP RECORDATION:

3. Submit a grading plan for approval.
4. Record a deed restriction not to install gates on Lynd Ave.

Name Nazem Said Date 4/11/2016 Phone (626) 458-4921

P:\dpub\SUBPCHECK\Plan Checking Files\Tract Map\TR 74149\GP 74149\2016-03-21 TTR 74149 SUBMITTAL

PRELIMINARY CONDITIONS

The subdivision shall conform to the design standards and policies of Public Works, in particular, but not limited to the following items:

1. Dedicate additional right of way for corner cut-off at the intersections of Mayflower Avenue and Lynd Avenue. The corner cutoff dedication shall be based off the curb return radius of 25 feet.
2. Close any unused driveway with standard curb, gutter along the property frontages on Mayflower Avenue, Lynd Avenue, and Live Oak Avenue to the satisfaction of Public Works.
3. Reconstruct the curb ramp at the intersection of Mayflower Avenue and Lynd Avenue that either serve or form a part of a pedestrian access route to meet current ADA (American with Disabilities Act) requirements to the satisfaction of Public Works.
4. Construct new driveways on Lynd Avenue to the satisfaction of Public Works.
5. Repair existing pavement (resurfacing) on Lynd Avenue and from the center line of Mayflower Avenue along the property frontage to the satisfaction of Public Works.
6. Repair any improvements damaged during construction to the satisfaction of Public Works.
7. Execute a covenant for private maintenance of curb/parkway drains and landscaping; if any, to the satisfaction of Public Works.
8. If it is determined by Public Works, in conjunction with the United States Postal Service, that postal delivery receptacles are to be located within the public right of way, the receptacles shall be installed in groups to serve two or more residential units.
9. Prior to final map approval, enter into an agreement with the County franchised cable TV operator (if an area is served) to permit the installation of cable in a common utility trench to the satisfaction of Public Works; or provide documentation that steps to provide cable TV to the proposed subdivision have been initiated to the satisfaction of Public Works.

COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
LAND DEVELOPMENT DIVISION - ROAD
TRACT MAP 074149

PAGE 2/2

TENTATIVE MAP DATED 03-16-2016
EXHIBIT A MAP DATED 03-16-2016

10. Comply with street lighting conditions per the attached memo dated March 29, 2016 from Street Lighting Section, Traffic and Lighting Division to the satisfaction of Public Works.

Prepared by Joseph Nguyen *Jn*
tr74149r

Phone (626) 458-4921

Date 04-07-2016

**COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
TRAFFIC AND LIGHTING DIVISION
SUBDIVISION, CONDITIONAL USE PERMIT (CUP) & R3 REVIEW
STREET LIGHTING REQUIREMENTS**

Date: 3/29/16

TO: Matthew Dubiel
Project Entitlement & CEQA Section
Land Development Division

Attention: Henry Wong

FROM: James Chon
Street Lighting Section
Traffic and Lighting Division

Prepared by Emmanuel Okolo

**STREET LIGHTING REQUIREMENTS
TR 74149, TG 597F2**

- Provide streetlights on concrete poles with underground wiring on all streets and highways within _____ to the satisfaction of Department of Public Works or as modified by Department of Public Works. **Submit street lighting plans along with existing and/or proposed underground utilities plans to Traffic and Lighting Division, Street Lighting Section, for processing and approval.**
-
- Provide streetlights on concrete poles with underground wiring along the property frontage on _____ to the satisfaction of Department of Public Works or as modified by Department of Public Works. **Submit street lighting plans along with existing and/or proposed underground utilities plans to Traffic and Lighting Division, Street Lighting Section, for processing and approval.**
-
- Provide streetlights on concrete poles with underground wiring on non-gated private or public future streets along the property frontage on _____ to the satisfaction of Department of Public Works or as modified by Department of Public Works. **Submit street lighting plans along with existing and/or proposed underground utilities plans to Traffic and Lighting Division, Street Lighting Section, for processing and approval.**
-
- Provide streetlights on concrete poles with underground wiring on gated private future street(s) along the property frontage on _____ with fixtures acceptable to Southern California Edison and to the satisfaction of Department of Public Works or as modified by Department of Public Works. The operation and maintenance of the street lights shall remain the responsibility of the owner/developer/Home Owners Association until such time as the street(s) are accepted for maintenance by the County. Assessments will be imposed on portions of the development served by gated private and future streets (if any) as a result of benefits derived from existing or future streetlights on adjacent public roadways. **Submit street lighting plans along with existing and/or proposed underground utilities plans to Traffic and Lighting Division, Street Lighting Section, for processing and approval.**
-

- New streetlights are not required. However, the project area will be required to be annexed to the County Lighting Maintenance District 1687. Therefore, submit a street lighting plan showing existing streetlights for the annexation process,



ANNEXATION AND ASSESSMENT BALLOTING REQUIREMENTS:

The proposed project or portions of the proposed project are not within an existing lighting district. Annexation to street lighting district is required. Street lighting plans cannot be approved prior to completion of annexation process. See Conditions of Annexation below.

Upon CUP approval (CUP only), the applicant shall comply with conditions of annexation listed below in order for the lighting districts to pay for the future operation and maintenance of the streetlights. Conditions (1) and (2) shall apply for projects subject to annexation. The annexation and the levy of assessment require the approval of the Board of Supervisors prior to Public Works approving street lighting plans. It is the sole responsibility of the owner/developer of the project to have all street lighting plans approved prior to the issuance of building permits or road construction permits, whichever occurs first. The required street lighting improvements shall be the sole responsibility of the owner/developer of the project and the installation must be accepted per approved plans prior to the issuance of a certificate of occupancy.

Upon issuance of an Agreement to Improve (R3 only), the applicant shall comply with conditions of annexations listed below in order for the lighting districts to pay for the future operation and maintenance of the streetlights. Conditions (1) and (2) shall apply for projects subject to annexation. The annexation and the levy of assessment require the approval of the Board of Supervisors prior to Public Works approving street lighting plans. It is the sole responsibility of the owner/developer of the project to have all street lighting plans approved prior to the issuance of building permits. The required street lighting improvements shall be the sole responsibility of the owner/developer of the project and the installation must be accepted per approved plans prior to the issuance of a certificate of occupancy.

Upon submittal of street lighting plan(s) (subdivision only), the applicant shall comply with conditions of annexation listed below in order for the lighting districts to pay for the future operation and maintenance of the streetlights. Conditions (1) and (2) shall apply for projects subject to annexation. The annexation and the levy of assessment require the approval of the Board of Supervisors prior to Public Works approving street lighting plans. It is the sole responsibility of the owner/developer of the project to have all street lighting plans approved prior to the issuance of building permits. The required street lighting improvements shall be the sole responsibility of the owner/developer of the project and the installation must be accepted per approved plans prior to the issuance of a certificate of occupancy. If phasing of the project is approved, the required street lighting improvements shall be the sole responsibility of the owner/developer of the project and will be made a condition of approval to be in place for each phase.

CONDITIONS OF ANNEXATION

- (1) Provide business/property owners name, mailing address, site address, Assessor Parcel Number, and Parcel Boundaries in either Microstation or Auto CADD format of territory to be developed to Street Lighting Section.
- (2) Submit map of the proposed project including any roadways conditioned for streetlights to Street Lighting Section. Contact Street Lighting Section for map requirements and/or questions at (626) 300-4726.

The annexation and assessment balloting process takes approximately 12 months or more to complete once the above information is received and approved. Therefore, untimely compliance with the above may result in delaying the approval of the street lighting plans.

CONDITIONS OF ACCEPTANCE FOR STREET LIGHT TRANSFER OF BILLING:

The area must be annexed into the lighting district and all streetlights in the project, or the approved phase of the project, must be constructed according to Public Works approved plans. The contractor shall submit one complete set of "as-built" plans. The lighting district can assume the responsibility for the operation and maintenance of the streetlights by July 1st of any given year, provided the above conditions are met, all streetlights in the project, or approved project phase, have been constructed per Public Works approved plan and energized and the owner/developer has requested a transfer of billing at least by January 1st of the previous year. The transfer of billing could be delayed one or more years if the above conditions are not met. The lighting district cannot pay for the operation and maintenance of streetlights located within gated communities.



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4243, Fax (323) 890-9783

PROJECT: TR 74149

MAP DATE: March 16, 2016

THE FIRE DEPARTMENT RECOMMENDS THAT THIS PROJECT NOT TO BE APPROVED AT THIS TIME AND NOT TO PROCEED WITH THE PUBLIC HEARING PROCESS. THIS RECOMMENDATION MAYBE CHANGED WHEN THE HOLDS BELOW HAVE BEEN ADDRESSED.

TENTATIVE/EXHIBIT MAP - HOLDS

1. Show the fire fighter pedestrian access to all portions of the exterior walls of the proposed building. Such access shall be located within 150 feet from an approved Fire Department vehicular access. Indicate compliance on the Exhibit Map prior to Tentative Map clearance.
2. Submit a fire flow availability form, FORM 196, to our office for the existing public fire hydrant located _____ within lot frontage. Compliance required prior to Tentative Map.
3. The required fire flow for this development is **8000** gallons per minute at 20 psi for a duration of 4 hours. The required fire flow was calculated using the square footage information provided on the Site Plan for each building type.
4. Submit a digital copy of the architectural plans for this development. The architectural plans will assist to calculate the required fire flow from all required fire hydrants, review the elevations to determine the required Fire Department access adjacent to proposed buildings, and address additional Fire Department concerns during the subdivision process.

FINAL MAP CONDITIONS OF APPROVAL

1. Access as noted on the Tentative and the Exhibit Maps shall comply with Title 21 (County of Los Angeles Subdivision Code) and Section 503 of the Title 32 (County of Los Angeles Fire Code), which requires an all-weather access surface to be clear to sky.
2. A copy of the Final Map shall be submitted to the Fire Department for review and approval prior to recordation.

Reviewed by: Juan Padilla

Date: April 12, 2016



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4243, Fax (323) 890-9783

PROJECT: TR 74149

MAP DATE: March 16, 2016

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3. Provide written verification stating the required fire hydrants have been installed or bonded for in lieu of installation prior to Final Map clearance.

PROJECT CONDITIONS OF APPROVAL

1. All proposed buildings shall be places such that a fire lane is provided to within 150 feet of all exterior walls of the first story. This measurement shall be by an approved route around the exterior of the building or facility. Verification for compliance will be performed during the Fire Department review of the architectural plan prior to building permit issuance.
2. The proposed high density residential buildings shall not exceed 30 feet above the lowest level of the Fire Department vehicular access road. Buildings exceeding this height shall provide minimum fire lane width of 28 feet and shall provide a setback between 15 feet and 30 feet from the edge of the fire lane to the building wall. Verification for compliance will be performed during the Fire Department review of the architectural plan prior to building permit issuance.
3. All proposed gates, vehicular or pedestrian, shall be designed, constructed, and maintained in accordance with ASTM F2200 and UL 325 as specified in the County of Los Angeles Fire Code. The vehicular gates shall provide an unobstructed width not less than 20 feet when fully open. Verification for compliance will be performed during the architectural plan review prior to building permit issuance.
4. Install **TBD** public fire hydrant as noted on the Tentative Map. The location might change depending on the requirements by the jurisdiction water company.
5. All fire hydrants shall measure 6"x 4"x 2-1/2" brass or bronze, be located to provide a minimum clearance of 3 feet around the fire hydrant, and conform to current AWWA standard C503 or approved equal.
6. The required fire flow from the public fire hydrant for this development can be up to **8000** gallons per minute at 20 psi for a duration of 4 hours, over and above maximum daily domestic demand. The required fire flow may be reduced by the Fire Department during the architectural plan review process prior to building permit issuance.

Reviewed by: Juan Padilla

Date: April 12, 2016



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
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PROJECT: TR 74149

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7. All required fire hydrants shall be installed, tested, and accepted prior to construction. Vehicular access must be provided and maintained serviceable throughout construction to all required fire hydrants.
 8. Parking shall be restricted 30 feet adjacent to any required public or private fire hydrant, 15 feet on each side measured from the center of the fire hydrant. Adequate signage and/or striping shall be required prior to occupancy.
 9. An approved automatic fire sprinkler system is required for proposed building within this development. Submit design plans to the Fire Department Sprinkler Plan Check Unit for review and approval prior to installation.
 10. All proposed gates, both vehicular and pedestrian gates, shall comply with the Fire Department's Regulation 5. Verification for compliance will be performed during final inspection of the gate prior to occupancy.
 11. The driveways required for fire apparatus access shall be posted with signs stating "No Parking-Fire Lane" and/or stripped accordingly in compliance with the County of Los Angeles Fire Code prior to occupancy.
 12. All future buildings shall provide approved address numbers. Compliance required prior to occupancy to the satisfaction of the Department of Public Works and the County of Los Angeles Fire Code.

For any questions regarding the report, please contact Juan Padilla at (323) 890-4243 or Juan.Padilla@fire.lacounty.gov.



**LOS ANGELES COUNTY
DEPARTMENT OF PARKS AND RECREATION**



PARK OBLIGATION REPORT

Tentative Map #	74149	DRP Map Date:	03/16/2016	SCM Date:	04/21/2016	Report Date:	04/12/2016
Park Planning Area #	5		ARCADIA ISLANDS			Map Type:	TENTATIVE

Total Units = Proposed Units + Exempt Units

Sections 21.24.340, 21.24.350, 21.28.120, 21.28.130, and 21.28.140, the County of Los Angeles Code, Title 21, Subdivision Ordinance provide that the County will determine whether the development's park obligation is to be met by:

- 1) the dedication of land for public or private park purpose or,
- 2) the payment of in-lieu fees or,
- 3) the provision of amenities or any combination of the above.

The specific determination of how the park obligation will be satisfied will be based on the conditions of approval by the advisory agency as recommended by the Department of Parks and Recreation.

Park land obligation in acres or in-lieu fees:

ACRES:	0.15
IN-LIEU FEES:	\$50,344

Conditions of the map approval:

The park obligation for this development will be met by:

The payment of \$50,344 in-lieu fees.

Trails:

No trails.

Comments:

This map proposes 15 new condominium units.

*****Advisory:**

The Representative Land Value (RLVs) in Los Angeles County Code (LACC) Section 21.28.140 are used to calculate park fees and are adjusted annually, based on changes in the Consumer Price Index. The new RLVs become effective July 1st of each year and may apply to this subdivision map if first advertised for hearing before either a hearing officer or the Regional Planning Commission on or after July 1st pursuant to LACC Section 21.28.140, subsection 3. Accordingly, the park fee in this report is subject to change depending upon when the subdivision is first advertised for public hearing.

Please contact Clement Lau at (213) 351-5120 or Sheela Mathai at (213) 351-5121, Department of Parks and Recreation, 510 South Vermont Avenue, Los Angeles, CA 90020 for further information or to schedule an appointment to make an in-lieu fee payment.

For information on Hiking and Equestrian Trail requirements, please contact the Trails Coordinator at (213) 351-5134.

By: *Kathline J. King*
Kathline J. King, Chief of Planning



**LOS ANGELES COUNTY
DEPARTMENT OF PARKS AND RECREATION**



PARK OBLIGATION WORKSHEET

Tentative Map #	74149	DRP Map Date:	03/16/2016	SMC Date:	04/21/2016	Report Date:	04/12/2016
Park Planning Area #	5		ARCADIA ISLANDS			Map Type:	TENTATIVE

The formula for calculating the acreage obligation and or In-lieu fee is as follows:

(P)people x (0.003) Ratio x (U)nits = (X) acres obligation

(X) acres obligation x RLV/Acre = In-Lieu Base Fee

- Where: P = Estimate of number of People per dwelling unit according to the type of dwelling unit as determined by the 2000 U.S. Census*. Assume * people for detached single-family residences; Assume * people for attached single-family (townhouse) residences, two-family residences, and apartment houses containing fewer than five dwelling units; Assume * people for apartment houses containing five or more dwelling units; Assume * people for mobile homes.
- Ratio = The subdivision ordinance provides a ratio of 3.0 acres of park land for each 1,000 people generated by the development. This ratio is calculated as "0.0030" in the formula.
- U = Total approved number of Dwelling Units.
- X = Local park space obligation expressed in terms of acres.
- RLV/Acre = Representative Land Value per Acre by Park Planning Area.

Total Units = Proposed Units + Exempt Units

	People*	Ratio 3.0 Acres / 1000 People	Number of Units	Acre Obligation
Detached S.F. Units	3.23	0.0030	0	0.00
M.F. < 5 Units	4.34	0.0030	0	0.00
M.F. >= 5 Units	3.28	0.0030	15	0.15
Mobile Units	2.35	0.0030	0	0.00
Exempt Units			0	
Total Acre Obligation =				0.15

Park Planning Area = **5 ARCADIA ISLANDS**

Ratio	Acre Obligation	RLV / Acre	In-Lieu Base Fee
@(0.0030)	0.15	\$335,624	\$50,344

Lot #	Provided Space	Provided Acres	Credit (%)	Acre Credit	Land
None					
Total Provided Acre Credit:				0.00	

Acre Obligation	Public Land Crdt.	Priv. Land Crdt.	Net Obligation	RLV / Acre	In-Lieu Fee Due
0.15	0.00	0.00	0.15	\$335,624	\$50,344