

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

1. Lot numbering throughout the proposed project should correspond to the lot summary table depicted on the first page of the tentative and exhibit maps.
2. An approved hydrology report. Please see attached Storm Drain and Hydrology review sheet (Comments 1 and 3) for comments and requirements. The hydrology report shall be submitted directly to Public Works.
3. Please see attached Storm Drain and Hydrology review sheet (Comments 4 thru 7) for additional comments and requirements.
4. An approved geotechnical report. Please see attached Geologic and Soils Engineering review sheet. The geologic/soils report shall be submitted directly to Public Works.
5. Please see attached Grading review sheet (Comments 2 thru 5) for comments and requirements.
6. Submit a traffic impact analysis for review and approval. Please see attached Road review sheet (Comment 2) for comments and requirements. The traffic impact analysis shall be submitted directly to Public Works' Traffic and Lighting Division. Please note that our Traffic and Lighting staff is currently working with your traffic consultant (Stantec – Daryl Zerfass) in establishing the scope for the traffic impact analysis.
7. An approved sewer area study. Please see attached sewer review sheet (Comment 2) for comments and requirements. Please note that a sewer area study (PC 12245AS) is currently being reviewed by Public Works.
8. Please see attached Sewer review Sheet (Comments 1, 3, and 4) for additional comments and requirements.
9. An approved "Water Supply Assessment". Please see attached Water review sheet (Comment 1) for comments and requirements.
10. The formation of a Landscape Maintenance District must be approved by Public Works. For additional information, please contact Julian Garcia of the Traffic and Lighting Division at (626) 300-2061.

11. A revised tentative map and a revised exhibit map are required to show the following additional items:
- a. Add "State of California" to the title block.
 - b. If applicable, provide a phasing map showing the proposed phasing sequence. Otherwise, delete General Note # 7, regarding a permission request to record unit tract maps to the satisfaction of DRP.
 - c. Clearly depict and call out the remainder parcel in the Index Map and Vicinity map in sheet 1 of 12 instead of just labeling it as future development phase II or future development.
 - d. Please see attached Storm Drain and Hydrology review sheet (Comment 2) for comments and requirements.
 - e. Please see attached Grading review sheet (Comment 1) for comments and requirements.
 - f. Please see attached Road review sheet (Comment 1) for comments and requirements.
 - g. Please see attached Sewer review sheet (Comment 5) for comments and requirements.
 - h. Please see attached Water review sheet (Comment 2) for comments and requirements.

HW

Prepared by Juan Sarda
tr73336L-new.doc
<http://planning.lacounty.gov/case/view/tr073336/>

Phone (626) 458-4919

Date 03-16-2015



COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS
LAND DEVELOPMENT DIVISION
HYDROLOGY UNIT

TRACT MAP NO. 73336

TENTATIVE MAP DATED 02/17/15
EXHIBIT MAP 02/17/15

Approval and clearance of the tentative map is subjected to compliance with the following **drainage** comments:

1. Prior to tentative map approval for drainage, submit a hydrology report showing the extent of drainage impacts and provide mitigation acceptable to the County. The analysis should address increases in runoff, any change in drainage patterns, debris producing areas, and the capacity of existing storm drain facilities. Provide line identification of all proposed drainage facilities. Preliminary soils and geology reports related to debris, retention, and detention basins may be required based on geographic and adverse geotechnical conditions. Provide engineering calculations to support sizing of debris, retention, and detention basins. Provide approximate flood hazard and bank erosion setbacks and lot identifications (as needed). Show slopes for existing and proposed streets. Provide a drainage/grading covenant for any offsite work.
2. Prior to tentative map approval for drainage, submit a revised tentative map showing and calling out all debris desilting areas and desilting drainage devices. Identify whether publicly or privately maintained.
3. A water quality section of the Hydrology Report is required to comply with the LID requirements of Los Angeles County Code Section 12.84 (<http://library.municode.com/index.aspx?clientId=16274>).
4. Mitigate portions of the property with proposed improvements that are lying in and adjacent to the natural drainage courses and are subject to flood hazard.
5. Prior to tentative map approval for drainage, submit easement documents for all proposed offsite publicly maintained facilities.
6. Prior to tentative map approval for drainage, submit recorded covenants for offsite impacts.
7. A Drainage Benefit Assessment Area (DBAA) will be required to fund the ongoing operation, maintenance, and replacement (if required) of the proposed publically maintained water quality devices.

Reviewed by *Ernesto J Rivera* Date 03/12/15 Phone (626) 458-4921
Ernesto J Rivera

Tentative Tract / Parcel Map	73336	Tentative Map Dated	2/17/15 (Tentative)	Parent Tract	
Grading By Subdivider? [Y] (Y or N)	15.9 M yd ³	Location	Castaic	APN	
Geologist	---	Subdivider	Northlake Associates, LLC		
Soils Engineer	---	Engineer/Arch.	Sikand		

Review of:

Geologic Report(s) Dated: ---
 Soils Engineering Report(s) Dated: ---
 Geotechnical Report(s) Dated: ---
 References: Pacific Soils Engineering (for Tract Map 51852): 3/16/06, 11/24/03, 1/31/03, 11/3/00, 7/10/00, 8/11/99, 2/13/98, 7/30/96, 12/1/95, 4/6/95, 6/16/94

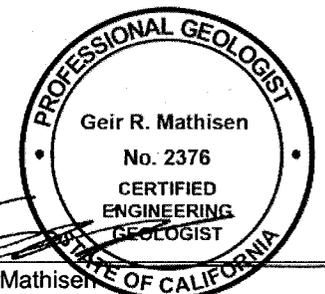
TENTATIVE MAP FEASIBILITY IS NOT RECOMMENDED FOR APPROVAL. PRIOR TO RECOMMENDING APPROVAL OF THE TENTATIVE TRACT OR PARCEL MAP:

- G1. Submit an updated geotechnical consultant report, which addresses and evaluates current site conditions and the most recent plans, for all reports older than one year, to verify the validity and applicability of the original soils report. Original manual signature, wet stamp, and date of signing are required on hard copy reports and addenda. Digital reports shall include an electronically generated representation of the licensee's seal, signature, and date of signing.
- S1. Provide static, seismic and surficial slope stability analyses for all slopes steeper than 2:1 gradient and/or subject to adverse bedding conditions. Also, provide a geotechnical cross-section, for each section analyzed, showing the critical failure plane used in the analyses. Indicate the various shear strength parameters used in the analyses, in the appropriate segments of each failure plane. Show locations of the cross sections used in slope stability analyses on the geotechnical map. Recommend mitigation if factors of safety are below County minimum standards.
- S2. Provide chemical test results (sulfate, chloride, resistivity, etc.) for the on-site soils to address the presence of chemicals deleterious to construction materials and utility lines. The chemical tests must be in accordance with California Test Methods, Department of Transportation, or equivalent (aqueous solution tests, such as EPA Tests or similar methods are not acceptable for determination of resistivity). Resistivity tests must be performed on soils in a saturated condition. Recommend mitigation as necessary.
- S3. Show the following on the geotechnical map:
 - a. Existing and proposed grades.
 - b. Approximate limits and depth of removal and recompaction of unsuitable soils, if applicable.
 - c. Location of "Restricted Use Areas", if applicable.
- S4. The geotechnical consultant(s) must sign, stamp, and indicate the date of signature on all reports and addenda.
- S5. All geotechnical reports submitted for review must include an electronic copy of the report on a CD in Adobe® Portable Document Format (PDF). The electronic version shall include an electronically generated representation of the licensee's seal, signature, and date of signing. This project cannot be approved until this requirement has been met. The submittal in response to this review must include a CD containing an electronic version of the original report and the supplemental report in response to this review.

NOTE: Provide a copy of this review sheet with your resubmittal.

Prepared by _____

 Jeremy Wan
 Soils Section


 Geir Mathisen
 Geology Section
 Date 3/11/15

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

1. A revised tentative map and/or exhibit map is required to show the following additional items:
 - a. Benchmark information. Provide full information about of the updated County BM. Also, provide a list of all county BMs within the site. They must be repaired at the end of the grading operation.
 - b. Retaining wall information. All retaining walls should be labeled and dimensioned with the height provided at the tallest point in the wall and any points where the height changes.
 - c. Earthwork volume, including over-excavation.
 - d. Slope set back as required per grading ordinance (J108).
 - e. Place proposed property lines at the top of the slope.
 - f. All existing on-site public and private easements with names of the holders, document numbers and recorded dates. Label all easements as "to remain", "to be relocated", or "to be abandoned".
 - g. Delineate the limits of the entire fire lane, including any turn around areas required by the fire department, limits of grading, longitudinal grades, pavement dimension, and centerline curve data.
 - h. Indicate maintenance responsibilities for all drainage devices.
 - i. Indicate maintenance responsibilities for all slopes to be landscaped per grading ordinance (J110).
2. Approval of the latest drainage concept/hydrology study/water quality plan by the Storm Drain and Hydrology Section of Land Development Division.
3. Prior to tentative map approval submit a covenant or easement documents indicating acceptance of any off-site impacts or permission for any off-site work.

COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
LAND DEVELOPMENT DIVISION - GRADING
TRACT NO. 073336

Page 2/2

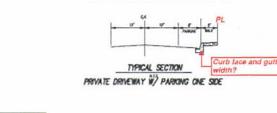
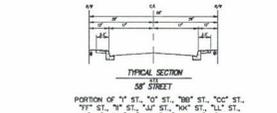
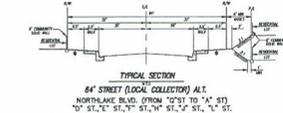
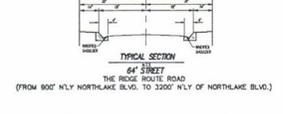
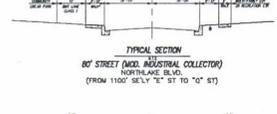
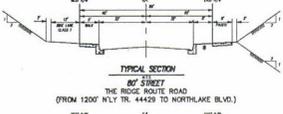
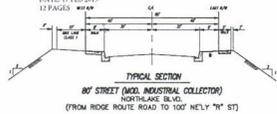
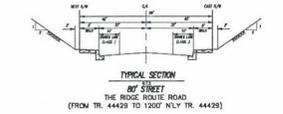
TENTATIVE MAP DATED 02-17-2015
EXHIBIT MAP DATED 02-17-2015

4. A breakdown of earthwork volumes should be shown on the map if phased grading is proposed. Earthwork quantities performed with each unit phase should be consistent with, and considered a fraction of, the overall proposed earthwork quantity for the entire tract. Construction staging or phased grading should also be addressed through the CEQA document associated with the project.

5. Additional Comments in red on the tentative map saved at:
P:\ldpub\SUBPCHECK\Plan Checking Files\Tract Map\TR 073336\GP\2015-02-19
TTR 073336 SUBMITTAL

Name N. Said  Date 3/16/2015 Phone (626) 458-4921
P:\ldpub\SUBPCHECK\Plan Checking Files\Tract Map\TR 073336\GP\2015-02-19 TTR 073336 SUBMITTAL

RECEIVED
DEPT OF REGIONAL
PLANNING
TENTATIVE
DATE 17 FEB 2015
12 PAGES



1. PROVIDE AREA OF SETBACK PLAN FOR DETAILS TO BE NOTED BY A LAD OF ADA

2. CURB LOW AND GUTTER WIDTHS

3. PRIVATE DRIVEWAY W/ PARKING ONE SIDE

4. CORNER AREA OF SETBACK PLAN FOR DETAILS TO BE NOTED BY A LAD OF ADA

5. PROVIDE AREA OF SETBACK PLAN FOR DETAILS TO BE NOTED BY A LAD OF ADA

6. PROVIDE AREA OF SETBACK PLAN FOR DETAILS TO BE NOTED BY A LAD OF ADA

7. PROVIDE AREA OF SETBACK PLAN FOR DETAILS TO BE NOTED BY A LAD OF ADA

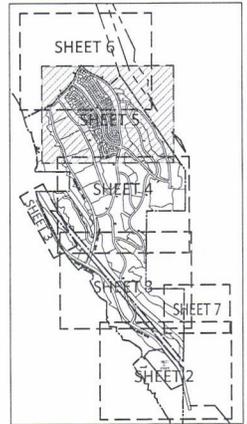
8. PROVIDE AREA OF SETBACK PLAN FOR DETAILS TO BE NOTED BY A LAD OF ADA

9. PROVIDE AREA OF SETBACK PLAN FOR DETAILS TO BE NOTED BY A LAD OF ADA

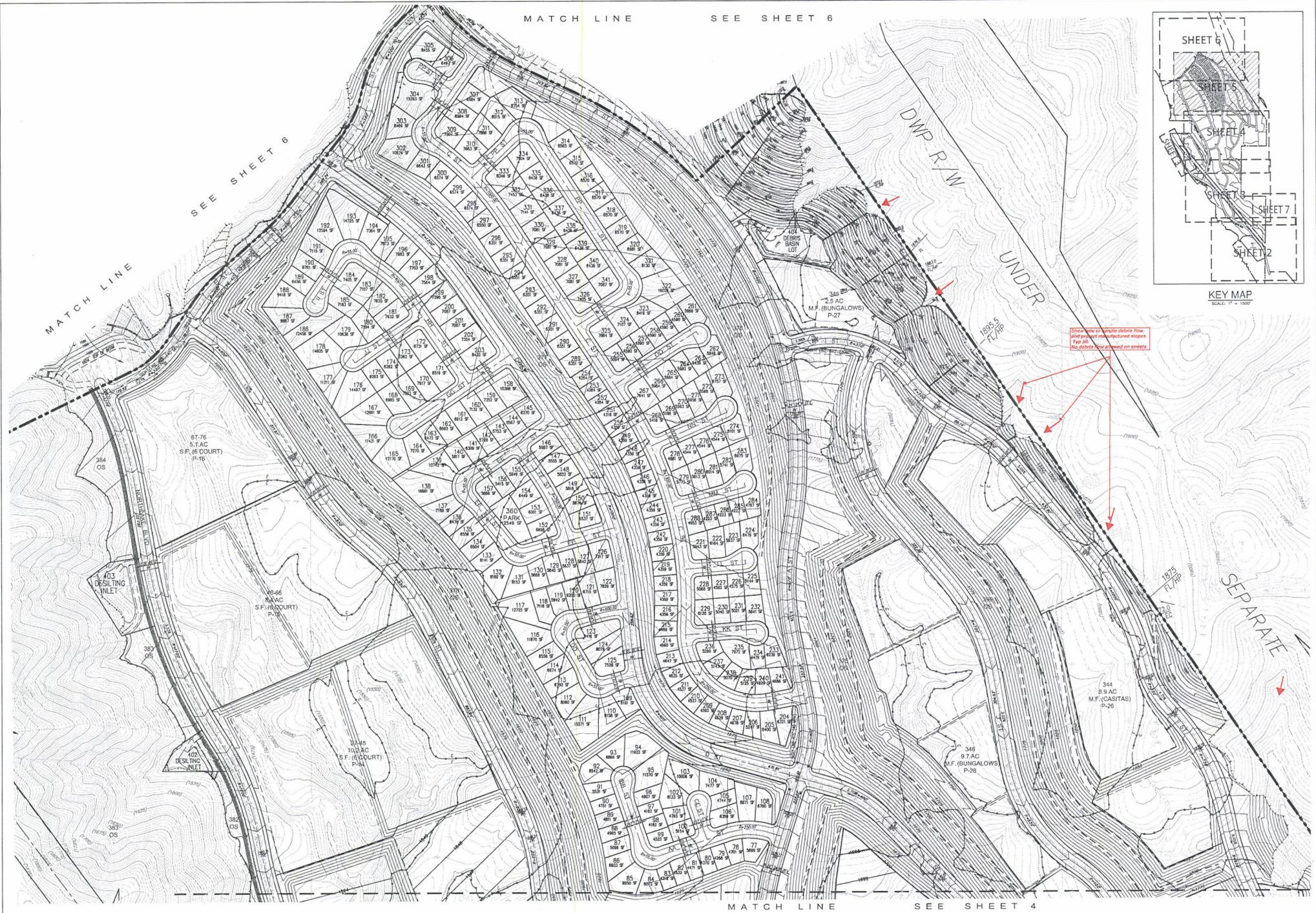
10. PROVIDE AREA OF SETBACK PLAN FOR DETAILS TO BE NOTED BY A LAD OF ADA

11. PROVIDE AREA OF SETBACK PLAN FOR DETAILS TO BE NOTED BY A LAD OF ADA

12. PROVIDE AREA OF SETBACK PLAN FOR DETAILS TO BE NOTED BY A LAD OF ADA



KEY MAP
SCALE: 1" = 1500'



SHOW NEW TO BE BUILT ON
SHOW EXISTING TO BE DEMOLISHED
SHOW ALL EXISTING UTILITIES ON STREETS

PREPARED FOR
NORTHLAKE ASSOCIATES, LLC
1999 AVENUE OF THE STARS, SUITE 2850
LOS ANGELES, CA 90067
ATTN: JOHN ARVIN
(310) 824-2200



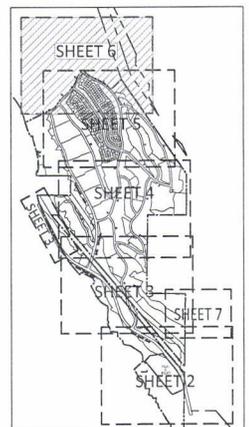
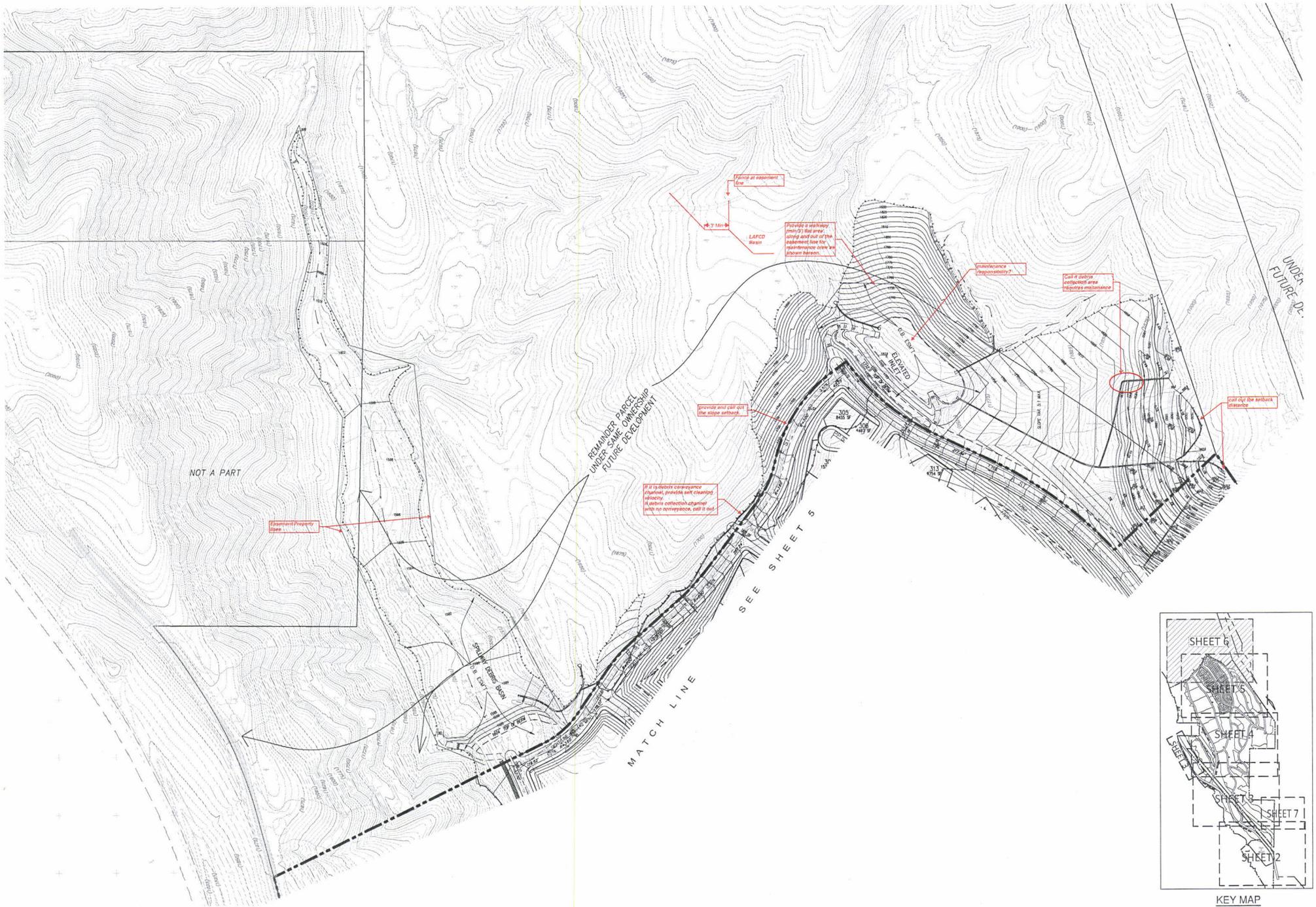
LEGAL DESCRIPTION:
A PORTION OF SECTIONS 11, 13, 14, 23 AND 24,
T5N, R17W, S8M



DATE	OWNED BY	APPROVED BY	SCALE	NO. OF SHEETS	SHEET NO.
02/27/2011			1"=100'	35	12

SIKAND
Engineering/Planning/Surveying
15230 Burbank Blvd.
Van Nuys, CA 91411
Tel: (818) 787-8550
Fax: (818) 901-7451
info@sikand.com

MAJOR SUBDIVISION
VESTING TENTATIVE
TRACT NO. 73336
IN THE UNINCORPORATED AREA OF THE COUNTY OF LOS ANGELES



KEY MAP
SCALE: 1" = 100'

PREPARED FOR:
NORTHLAKE ASSOCIATES, LLC
 1999 AVENUE OF THE STARS, SUITE 2850
 LOS ANGELES, CA 90067
 ATTN: JOHN ARVIN
 (310) 824-2200



LEGAL DESCRIPTION:
 A PORTION OF SECTIONS 11, 13, 14, 23 AND 24,
 T5N, R17W, S6M



DATE	REVISION	BY	APP'D
02/27/2011	009-033-34	6	12



15230 Burbank Blvd,
 Van Nuys, CA 91411
 Tel: (818) 787-8550
 Fax: (818) 901-7451
 info@sikand.com

MAJOR SUBDIVISION
 VESTING TENTATIVE
 TRACT NO. 73336
 IN THE UNINCORPORATED AREA OF THE COUNTY OF LOS ANGELES

NORTH LAKE ASSOCIATES, LLC
 1999 AVENUE OF THE STARS, SUITE 2850
 LOS ANGELES, CA 90087
 ATTN: JOHN ARVIN
 (310) 824-2200



LEGAL DESCRIPTION:
 15N, R17W, S8M
 A PORTION OF SECTIONS 11, 12, 14, 23 AND 24.

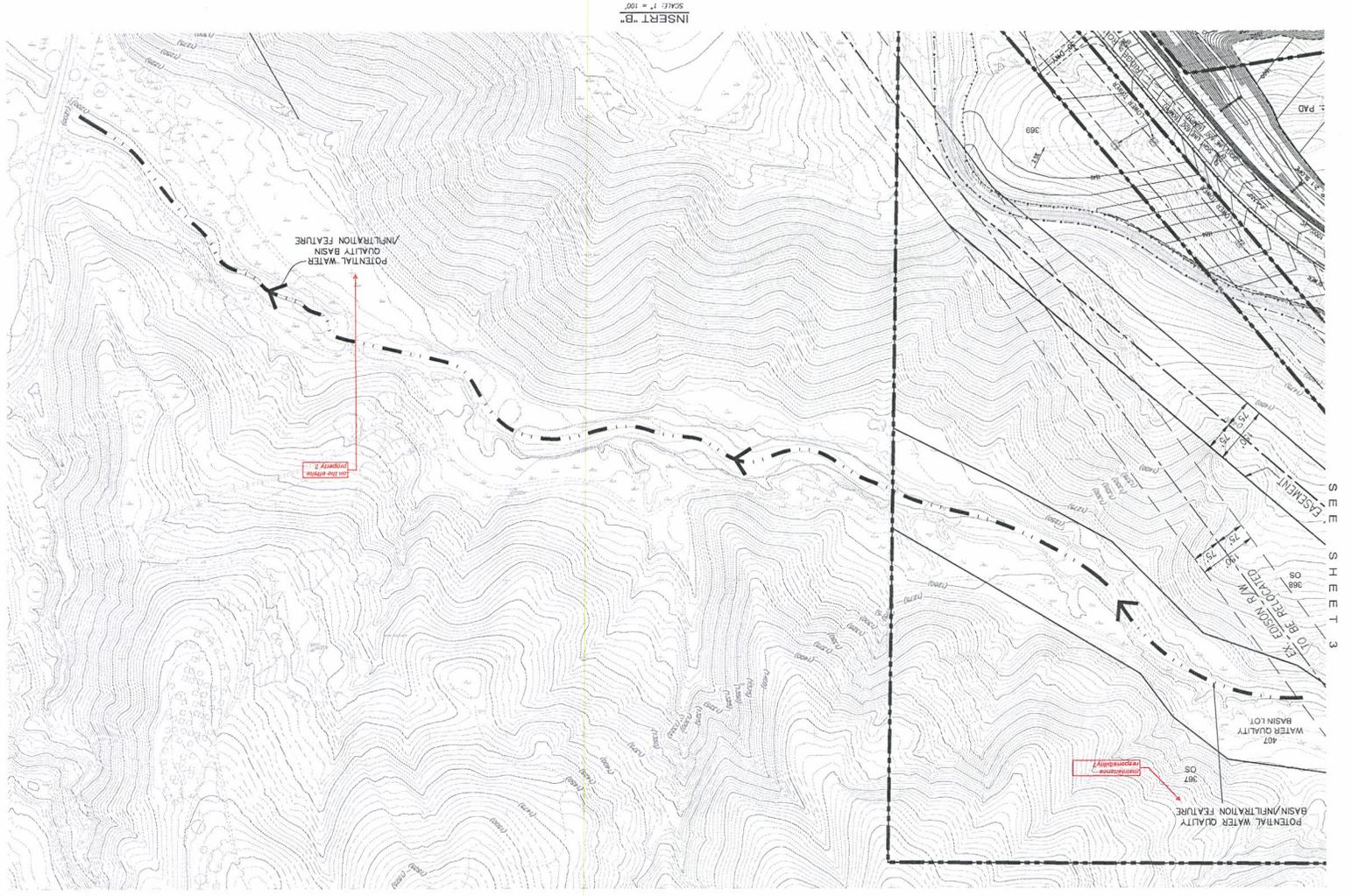
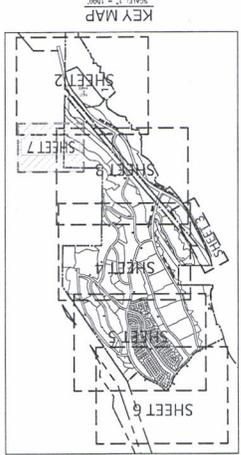


NO.	DATE	BY	DESCRIPTION
1	02/27/2015	JK	ISSUE FOR PERMIT
2	02/27/2015	JK	REVISION
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			



15230 Burbank Blvd.
 Van Nuys, CA 91411
 Tel: (818) 787-8550
 Fax: (818) 901-7451
 info@sikand.com

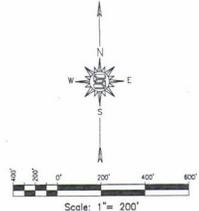
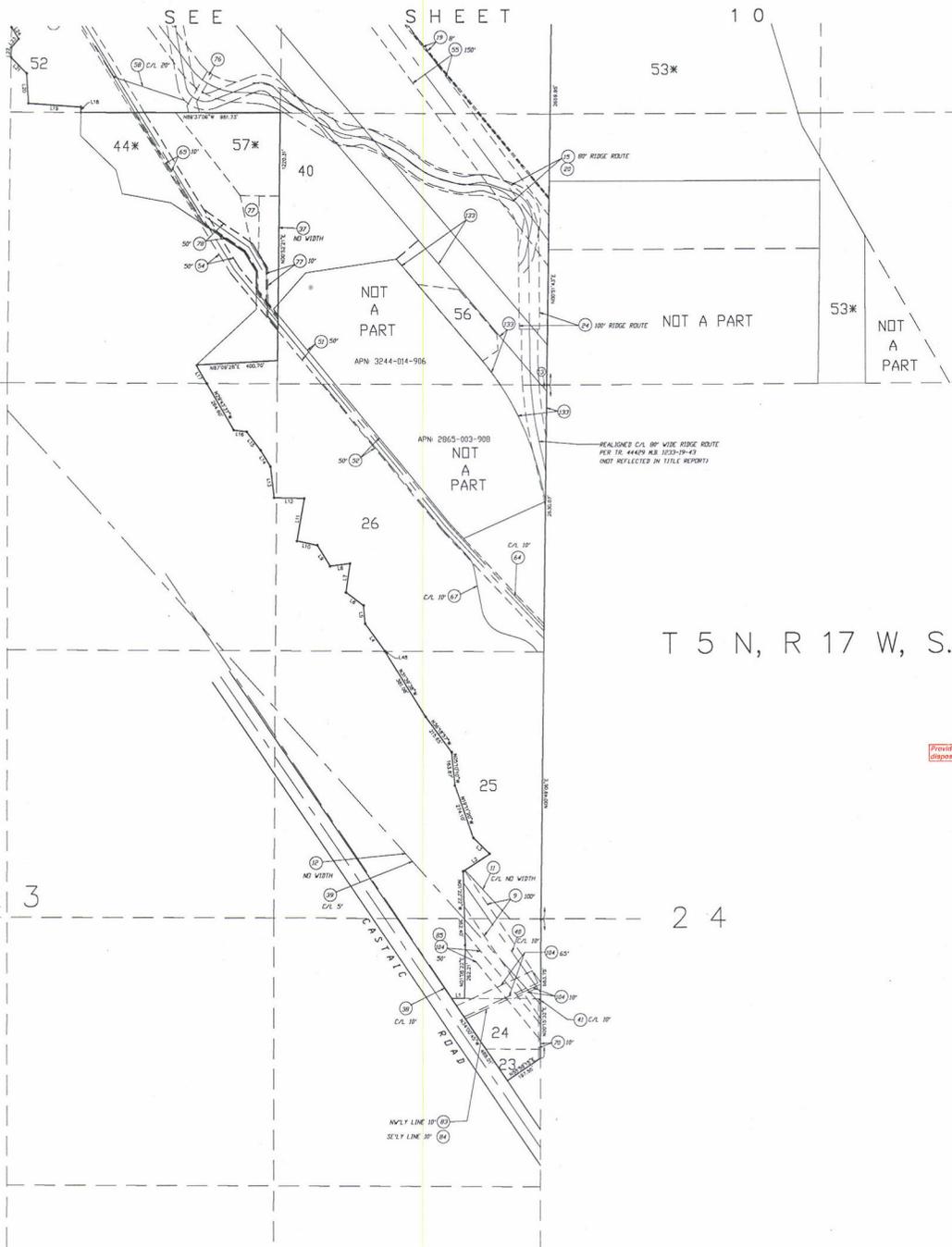
MAJOR SUBDIVISION
 VESTING TENTATIVE
 TRACT NO. 73336
 IN THE UNINCORPORATED AREA OF THE COUNTY OF LOS ANGELES



SEE SHEET 3

SCALE: 1" = 100'

INSERT "B"



LINE TABLE

LINE	BEARING	DISTANCE
1	N 89° 49' 23" W	100.00
2	N 89° 49' 23" W	100.00
3	N 89° 49' 23" W	100.00
4	N 89° 49' 23" W	100.00
5	N 89° 49' 23" W	100.00
6	N 89° 49' 23" W	100.00
7	N 89° 49' 23" W	100.00
8	N 89° 49' 23" W	100.00
9	N 89° 49' 23" W	100.00
10	N 89° 49' 23" W	100.00
11	N 89° 49' 23" W	100.00
12	N 89° 49' 23" W	100.00
13	N 89° 49' 23" W	100.00
14	N 89° 49' 23" W	100.00
15	N 89° 49' 23" W	100.00
16	N 89° 49' 23" W	100.00
17	N 89° 49' 23" W	100.00
18	N 89° 49' 23" W	100.00
19	N 89° 49' 23" W	100.00
20	N 89° 49' 23" W	100.00
21	N 89° 49' 23" W	100.00
22	N 89° 49' 23" W	100.00
23	N 89° 49' 23" W	100.00
24	N 89° 49' 23" W	100.00
25	N 89° 49' 23" W	100.00
26	N 89° 49' 23" W	100.00
27	N 89° 49' 23" W	100.00
28	N 89° 49' 23" W	100.00
29	N 89° 49' 23" W	100.00
30	N 89° 49' 23" W	100.00
31	N 89° 49' 23" W	100.00
32	N 89° 49' 23" W	100.00
33	N 89° 49' 23" W	100.00
34	N 89° 49' 23" W	100.00
35	N 89° 49' 23" W	100.00
36	N 89° 49' 23" W	100.00
37	N 89° 49' 23" W	100.00
38	N 89° 49' 23" W	100.00
39	N 89° 49' 23" W	100.00
40	N 89° 49' 23" W	100.00
41	N 89° 49' 23" W	100.00
42	N 89° 49' 23" W	100.00
43	N 89° 49' 23" W	100.00
44	N 89° 49' 23" W	100.00
45	N 89° 49' 23" W	100.00
46	N 89° 49' 23" W	100.00
47	N 89° 49' 23" W	100.00
48	N 89° 49' 23" W	100.00
49	N 89° 49' 23" W	100.00
50	N 89° 49' 23" W	100.00
51	N 89° 49' 23" W	100.00
52	N 89° 49' 23" W	100.00
53	N 89° 49' 23" W	100.00
54	N 89° 49' 23" W	100.00
55	N 89° 49' 23" W	100.00
56	N 89° 49' 23" W	100.00
57	N 89° 49' 23" W	100.00
58	N 89° 49' 23" W	100.00
59	N 89° 49' 23" W	100.00
60	N 89° 49' 23" W	100.00
61	N 89° 49' 23" W	100.00
62	N 89° 49' 23" W	100.00
63	N 89° 49' 23" W	100.00
64	N 89° 49' 23" W	100.00
65	N 89° 49' 23" W	100.00
66	N 89° 49' 23" W	100.00
67	N 89° 49' 23" W	100.00
68	N 89° 49' 23" W	100.00
69	N 89° 49' 23" W	100.00
70	N 89° 49' 23" W	100.00
71	N 89° 49' 23" W	100.00
72	N 89° 49' 23" W	100.00
73	N 89° 49' 23" W	100.00
74	N 89° 49' 23" W	100.00
75	N 89° 49' 23" W	100.00
76	N 89° 49' 23" W	100.00
77	N 89° 49' 23" W	100.00
78	N 89° 49' 23" W	100.00
79	N 89° 49' 23" W	100.00
80	N 89° 49' 23" W	100.00
81	N 89° 49' 23" W	100.00
82	N 89° 49' 23" W	100.00
83	N 89° 49' 23" W	100.00
84	N 89° 49' 23" W	100.00
85	N 89° 49' 23" W	100.00
86	N 89° 49' 23" W	100.00
87	N 89° 49' 23" W	100.00
88	N 89° 49' 23" W	100.00
89	N 89° 49' 23" W	100.00
90	N 89° 49' 23" W	100.00
91	N 89° 49' 23" W	100.00
92	N 89° 49' 23" W	100.00
93	N 89° 49' 23" W	100.00
94	N 89° 49' 23" W	100.00
95	N 89° 49' 23" W	100.00
96	N 89° 49' 23" W	100.00
97	N 89° 49' 23" W	100.00
98	N 89° 49' 23" W	100.00
99	N 89° 49' 23" W	100.00
100	N 89° 49' 23" W	100.00

CURVE TABLE

CURVE	BEARING	ANGLE	CHORD	ARC LENGTH
1	N 89° 49' 23" W	90.00	100.00	157.08
2	N 89° 49' 23" W	90.00	100.00	157.08
3	N 89° 49' 23" W	90.00	100.00	157.08
4	N 89° 49' 23" W	90.00	100.00	157.08
5	N 89° 49' 23" W	90.00	100.00	157.08
6	N 89° 49' 23" W	90.00	100.00	157.08
7	N 89° 49' 23" W	90.00	100.00	157.08
8	N 89° 49' 23" W	90.00	100.00	157.08
9	N 89° 49' 23" W	90.00	100.00	157.08
10	N 89° 49' 23" W	90.00	100.00	157.08
11	N 89° 49' 23" W	90.00	100.00	157.08
12	N 89° 49' 23" W	90.00	100.00	157.08
13	N 89° 49' 23" W	90.00	100.00	157.08
14	N 89° 49' 23" W	90.00	100.00	157.08
15	N 89° 49' 23" W	90.00	100.00	157.08
16	N 89° 49' 23" W	90.00	100.00	157.08
17	N 89° 49' 23" W	90.00	100.00	157.08
18	N 89° 49' 23" W	90.00	100.00	157.08
19	N 89° 49' 23" W	90.00	100.00	157.08
20	N 89° 49' 23" W	90.00	100.00	157.08
21	N 89° 49' 23" W	90.00	100.00	157.08
22	N 89° 49' 23" W	90.00	100.00	157.08
23	N 89° 49' 23" W	90.00	100.00	157.08
24	N 89° 49' 23" W	90.00	100.00	157.08
25	N 89° 49' 23" W	90.00	100.00	157.08
26	N 89° 49' 23" W	90.00	100.00	157.08
27	N 89° 49' 23" W	90.00	100.00	157.08
28	N 89° 49' 23" W	90.00	100.00	157.08
29	N 89° 49' 23" W	90.00	100.00	157.08
30	N 89° 49' 23" W	90.00	100.00	157.08
31	N 89° 49' 23" W	90.00	100.00	157.08
32	N 89° 49' 23" W	90.00	100.00	157.08
33	N 89° 49' 23" W	90.00	100.00	157.08
34	N 89° 49' 23" W	90.00	100.00	157.08
35	N 89° 49' 23" W	90.00	100.00	157.08
36	N 89° 49' 23" W	90.00	100.00	157.08
37	N 89° 49' 23" W	90.00	100.00	157.08
38	N 89° 49' 23" W	90.00	100.00	157.08
39	N 89° 49' 23" W	90.00	100.00	157.08
40	N 89° 49' 23" W	90.00	100.00	157.08
41	N 89° 49' 23" W	90.00	100.00	157.08
42	N 89° 49' 23" W	90.00	100.00	157.08
43	N 89° 49' 23" W	90.00	100.00	157.08
44	N 89° 49' 23" W	90.00	100.00	157.08
45	N 89° 49' 23" W	90.00	100.00	157.08
46	N 89° 49' 23" W	90.00	100.00	157.08
47	N 89° 49' 23" W	90.00	100.00	157.08
48	N 89° 49' 23" W	90.00	100.00	157.08
49	N 89° 49' 23" W	90.00	100.00	157.08
50	N 89° 49' 23" W	90.00	100.00	157.08
51	N 89° 49' 23" W	90.00	100.00	157.08
52	N 89° 49' 23" W	90.00	100.00	157.08
53	N 89° 49' 23" W	90.00	100.00	157.08
54	N 89° 49' 23" W	90.00	100.00	157.08
55	N 89° 49' 23" W	90.00	100.00	157.08
56	N 89° 49' 23" W	90.00	100.00	157.08
57	N 89° 49' 23" W	90.00	100.00	157.08
58	N 89° 49' 23" W	90.00	100.00	157.08
59	N 89° 49' 23" W	90.00	100.00	157.08
60	N 89° 49' 23" W	90.00	100.00	157.08
61	N 89° 49' 23" W	90.00	100.00	157.08
62	N 89° 49' 23" W	90.00	100.00	157.08
63	N 89° 49' 23" W	90.00	100.00	157.08
64	N 89° 49' 23" W	90.00	100.00	157.08
65	N 89° 49' 23" W	90.00	100.00	157.08
66	N 89° 49' 23" W	90.00	100.00	157.08
67	N 89° 49' 23" W	90.00	100.00	157.08
68	N 89° 49' 23" W	90.00	100.00	157.08
69	N 89° 49' 23" W	90.00	100.00	157.08
70	N 89° 49' 23" W	90.00	100.00	157.08
71	N 89° 49' 23" W	90.00	100.00	157.08
72	N 89° 49' 23" W	90.00	100.00	157.08
73	N 89° 49' 23" W	90.00	100.00	157.08
74	N 89° 49' 23" W	90.00	100.00	157.08
75	N 89° 49' 23" W	90.00	100.00	157.08
76	N 89° 49' 23" W	90.00	100.00	157.08
77	N 89° 49' 23" W	90.00	100.00	157.08
78	N 89° 49' 23" W	90.00	100.00	157.08
79	N 89° 49' 23" W	90.00	100.00	157.08
80	N 89° 49' 23" W	90.00	100.00	157.08
81	N 89° 49' 23" W	90.00	100.00	157.08
82	N 89° 49' 23" W	90.00	100.00	157.08
83	N 89° 49' 23" W	90.00	100.00	157.08
84	N 89° 49' 23" W	90.00	100.00	157.08
85	N 89° 49' 23" W	90.00	100.00	157.08
86	N 89° 49' 23" W	90.00	100.00	157.08
87	N 89° 49' 23" W	90.00	100.00	157.08
88	N 89° 49' 23" W	90.00	100.00	157.08
89	N 89° 49' 23" W	90.00	100.00	157.08
90	N 89° 49' 23" W	90.00	100.00	157.08
91	N 89° 49' 23" W	90.00	100.00	157.08
92	N 89° 49' 23" W	90.00	100.00	157.08
93	N 89° 49' 23" W	90.00	100.00	157.08
94	N 89° 49' 23" W	90.00	100.00	157.08
95	N 89° 49' 23" W	90.00	100.00	157.08
96	N 89° 49' 23" W	90.00	100.00	157.08
97	N 89° 49' 23" W	90.00	100.00	157.08
98	N 89° 49' 23" W	90.00	100.00	157.08
99	N 89° 49' 23" W	90.00	100.00	157.08
100	N 89° 49' 23" W	90.00	100.00	157.08

T 5 N, R 17 W, S.B.M.

Provide easement interpretation

PARCEL NUMBERS BASED ON FIDELITY NATIONAL TITLE COMPANY AMENDED PRELIMINARY TITLE REPORT ORDER NO. 898-23018527-FPM DATED OCTOBER 29, 2013.

R.T.R. PARCEL NO.	A.P.N.	R.T.R. PARCEL NO.	A.P.N.
1*	3247-010-049 & 3247-010-050	32 (SEE NOTE)	3244-012-058
2*	3244-003-018	33	3244-004-052
3	3247-040-008 (PORTION)	34	3244-004-054
4	3247-040-008 (PORTION)	35	3244-013-001
5	3247-040-008 (PORTION)	36	3244-012-045
6	3247-040-008 (PORTION)	37	3247-017-019
7	3247-040-013 (PORTION)	38	3244-012-050
8	3247-040-009 (PORTION)	39	3244-014-015
9	3247-040-009 (PORTION)	40	3244-014-067 & 3244-014-058
10	3247-040-009 (PORTION)	41	3247-041-018
11	3247-040-009 (PORTION)	42	3247-041-015
12	3247-040-013 (PORTION)	43	3244-014-053
13	3247-040-013 (PORTION)	44*	3244-014-044
14	3247-040-013 (PORTION)	45*	3244-014-038
15	3244-012-054 & 3244-012-050	46*	3247-041-012
16	3244-012-057	47	3244-013-004
17	3244-012-013	48	3244-013-002
18	3247-041-008	49	3244-013-005
19	3247-041-020	50	3244-013-008
20	3247-041-021	51	3244-013-010
21	3247-041-023	52	3244-014-050
22	3247-041-022	53*	3244-013-018
23	2885-036-003	54*	3244-014-022
24	2885-036-002	55*	3244-014-021
25	2885-036-001 & 2885-		

COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
LAND DEVELOPMENT DIVISION - ROAD
TRACT NO. 073336

Page 1/1

TENTATIVE MAP DATED 02-17-2015
EXHIBIT MAP DATED 02-17-2015

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

1. A revised tentative map and exhibit map are required to address the road mark-ups depicted on the attached red line plans located at: P:\ldpub\SUBPCHECK\Plan Checking Files\Tract Map\TR 073336\TTR 073336\2015-02-19 TTR 073336 SUBMITTAL
2. Approval of a traffic impact study by the Traffic Studies Section of Public Works' Traffic and Lighting Division.

Name Sam Richards

Phone (626) 458-4921

Date 3/12/2015

P:\ldpub\SUBPCHECK\Plan Checking Files\Tract Map\TR 073336\TTR 073336\2015-02-19 TTR 073336 SUBMITTAL\tr073336r\2015-03-12, LDD-Road Comments.doc

NORTLAKE ASSOCIATES, LLC
 1899 AVENUE OF THE STARS, SUITE 2850
 LOS ANGELES, CA 90087
 ATTN: JOHN ARVIN
 (310) 824-2200



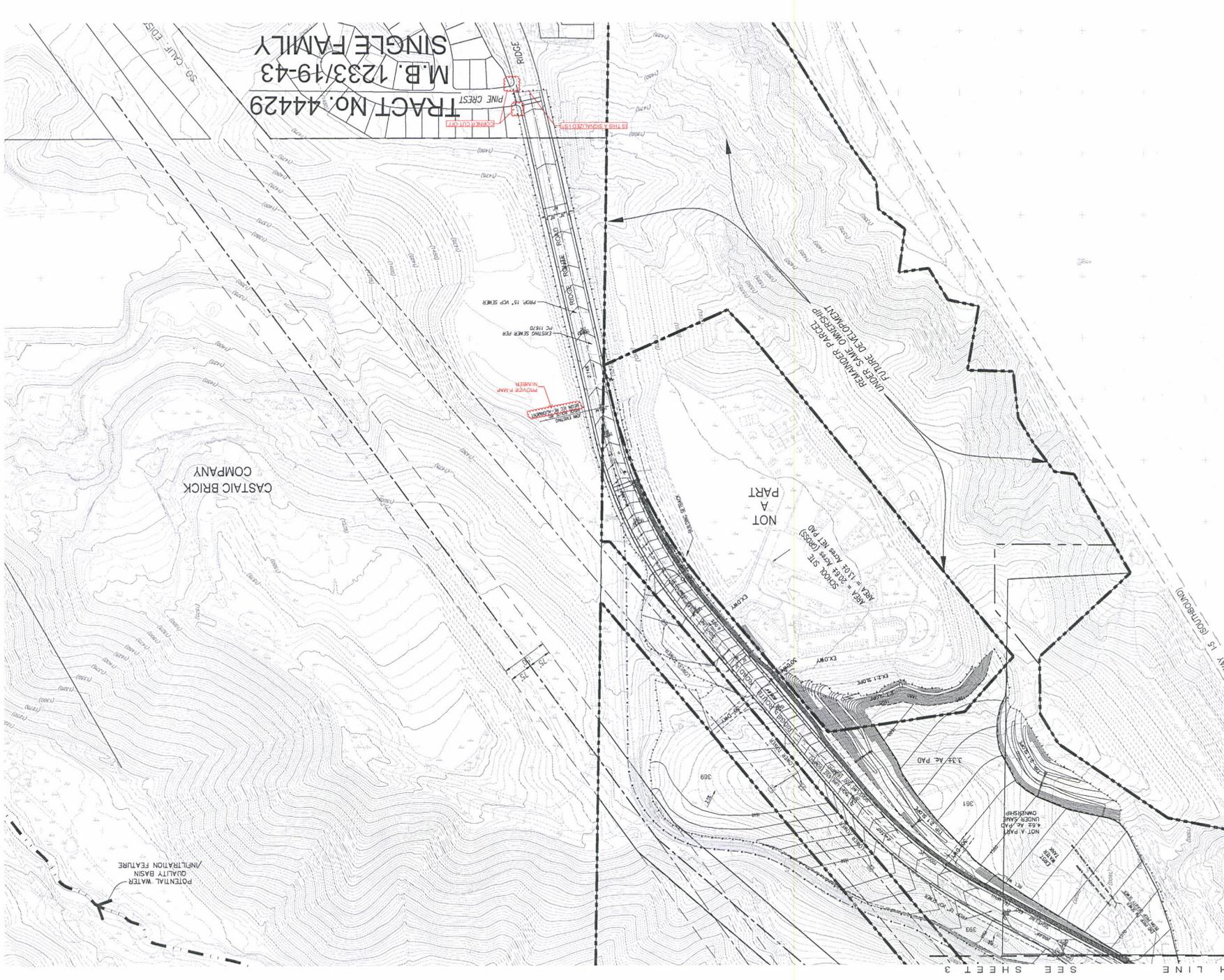
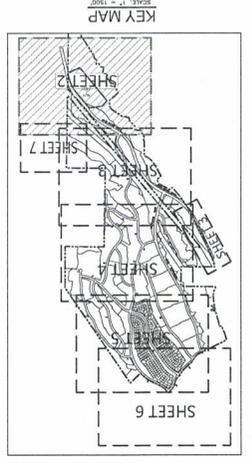
LEGAL DESCRIPTION
 A PORTION OF SECTIONS 11, 13, 14, 23 AND 24
 T5N, R17W, S8M



NO.	DATE	BY	REVISION
1	02/07/2015	JK	2000-01-23-25
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

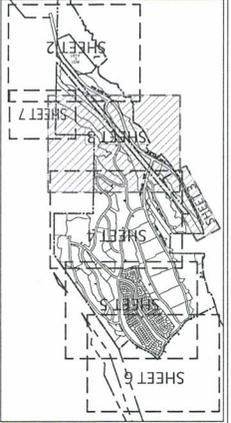
SIKAND
 ENGINEERS ARCHITECTS SURVEYORS
 15230 Burbank Blvd,
 Van Nuys, CA 91411
 Tel: (818) 787-8550
 Fax: (818) 901-7451
 info@sikand.com

MAJOR SUBDIVISION
 VESTING TENTATIVE
 TRACT NO. 73336
 IN THE UNINCORPORATED AREA OF THE COUNTY OF LOS ANGELES



TRACT No. 44429
 M.B. 1233/19-43
 SINGLE FAMILY

MATCH LINE SEE SHEET 3



NORTHLAKE ASSOCIATES, LLC
 1898 AVENUE OF THE STARS, SUITE 2850
 LOS ANGELES, CA 90087
 ATTN: JOHN ARVIN
 (310) 824-2200



LEGAL DESCRIPTION
 A PORTION OF SECTIONS 11, 13, 14, 23 AND 24,
 T5N, R17W, S8M



DATE	BY	APPROVED BY	SCALE	SHEET	TOTAL
02/27/2015	50688-033-15			3	12

SIKAND
 Engineering | Planning | Surveying
 15230 Burbank Blvd.
 Van Nuys, CA 91411
 Tel: (818) 787-8550
 Fax: (818) 901-7451
 info@sikand.com

MAJOR SUBDIVISION
 VESTING TENTATIVE
 TRACT NO. 73336
 IN THE UNINCORPORATED AREA OF THE COUNTY OF LOS ANGELES



NORTLAKE ASSOCIATES, LLC
 1999 AVENUE OF THE STARS, SUITE 2850
 LOS ANGELES, CA 90067
 ATTN: JOHN ARVIN
 (310) 824-2200



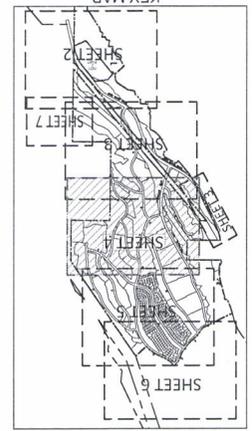
LEGAL DESCRIPTION:
 A PORTION OF SECTIONS 11, 12, 14, 23 AND 24,
 T5N, R17W, S8M



NO.	DATE	BY	APP. BY	REVISION
1	02/27/2015	JAR	JAR	ISSUE FOR PERMITTING
2				
3				
4				
5				
6				
7				
8				
9				
10				
11				
12				

SIKAND
 Engineering | Planning | Surveying
 15230 Burbank Blvd,
 Van Nuys, CA 91411
 Tel: (818) 787-8550
 Fax: (818) 901-7431
 info@sikand.com

MAJOR SUBDIVISION
 VESTING TENTATIVE
 TRACT NO. 73336
 IN THE UNINCORPORATED AREA OF THE COUNTY OF LOS ANGELES
 1ST CHECK PRINT 3/11/15 SR



MATCH LINE SEE SHEET 3

MATCH LINE SEE SHEET 5

NORTLAKE ASSOCIATES, LLC
 1999 AVENUE OF THE STARS, SUITE 2850
 LOS ANGELES, CA 90067
 ATTN: JOHN ARVIN
 (310) 824-2200



LEGAL DESCRIPTION
 A PORTION OF SECTIONS 11, 13, 14, 23 AND 24,
 T9N, R17W, S8M

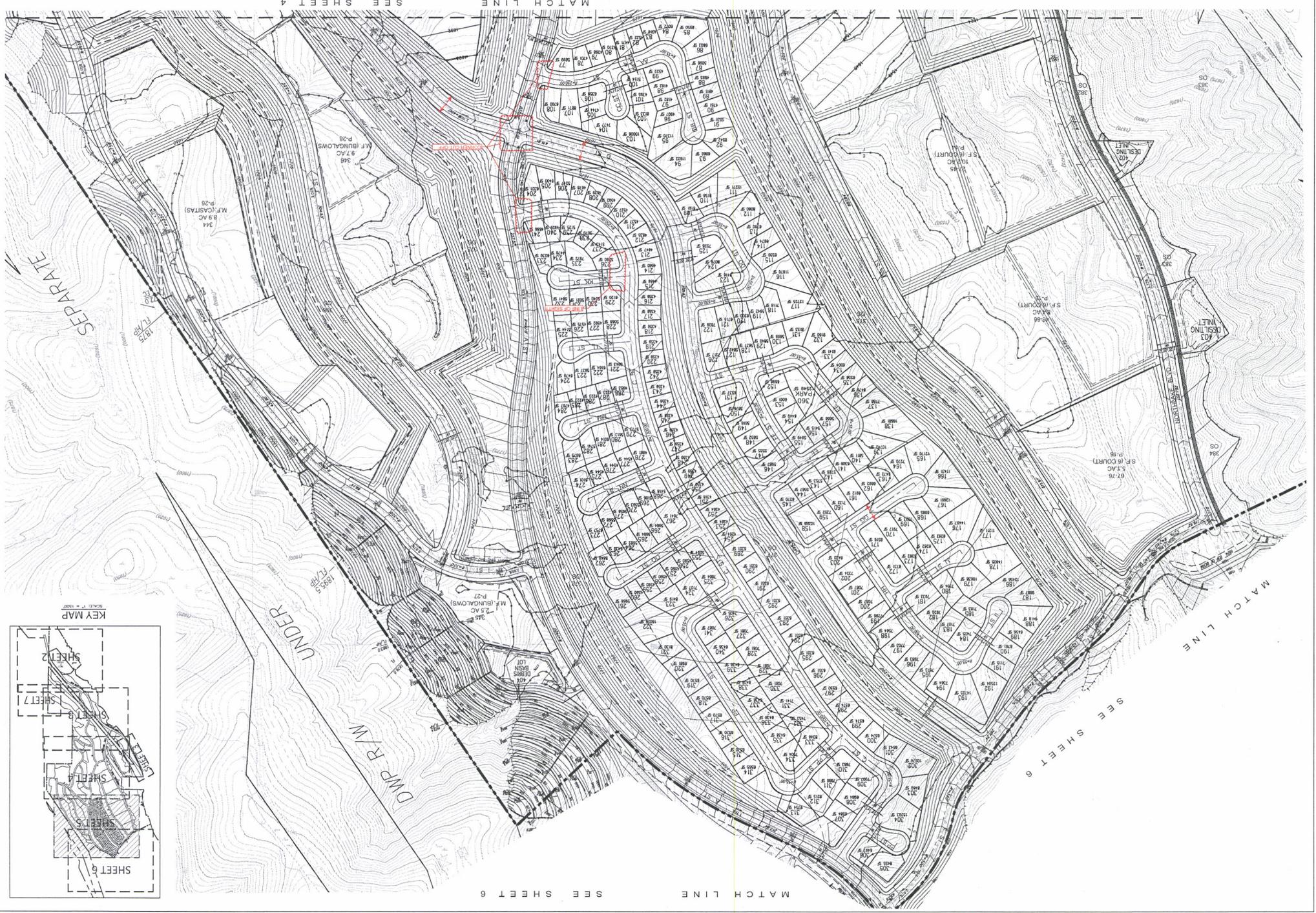


NO.	DATE	BY	REVISION
1	05/27/2015	JAR	ISSUE FOR PERMIT
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			



15230 Burbank Blvd,
 Van Nuys, CA 91411
 Tel: (818) 787-8550
 Fax: (818) 901-7451
 info@sikand.com

MAJOR SUBDIVISION
 VESTING TENTATIVE
 TRACT NO. 73336
 IN THE UNINCORPORATED AREA OF THE COUNTY OF LOS ANGELES



SEE SHEET 4

MATCH LINE

MATCH LINE

SEE SHEET 9

UNDER CLAP
 DMP R/W

SEE SHEET 6

MATCH LINE



KEY MAP

SCALE 1" = 100'

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

1. Any proposed sewer pump stations are not approved at this time. Provide feasibility study to demonstrate there is no feasible gravity sewer option for the proposed pump station. Prior to tentative map approval, the use and locations of pump stations must be approved by Public Works. Please contact Mr. Vilong Truong of Land Development Division at (626) 458-4921 for additional information.
2. Prior to tentative map approval the sewer area study PC 12245AS currently in plancheck with Public Works must be approved. If the system is found to have insufficient capacity, upgrade of the proposed and existing sewerage system is required to the satisfaction of Public Works.
3. Obtain a will serve letter from the Los Angeles County Sanitation District for the discharge of sewer into the sewers trunk line.
4. If needed, provide proof that the subdivider has acquired any necessary off-site easements to construct the off-site sewer improvements prior to tentative map approval to the satisfaction of Public Works.
5. An updated tentative map and an updated exhibit map are required to show the following items:
 - a. Call out location of existing and proposed sewer main lines to serve the proposed development. The current call outs do not point to anything.
 - b. Show how the proposed development is to be served by proposed on-site public sewer and call out the proposed points of connection to the existing public sewer system.
 - c. Show proposed laterals for residential lots. Provide typical call outs for proposed laterals for residential with 4" VCP pipe and proposed public sewer with minimum 8" VCP pipe.

TENTATIVE MAP DATE SUBMITTED 10-28-2014
EXHIBIT MAP DATE SUBMITTED 10-28-2014

- d. If any, label all existing structures/buildings as "to remain" or "to be removed". If existing structures are to remain, show locations of existing sewer lateral lines to the existing buildings.
- e. Show and call out all existing on-site public and private easements with names of the holders, document numbers and recorded dates. Label all easements as "to remain", "to be relocated", or "to be abandoned". If easement is to be abandoned, indicate the proposed timing of the abandonment. If there are no existing on-site public and private easements, add the annotation "No existing on-site public and private easements" on the tentative map.

Prepared by Vilong Truong
tr73336s-new.doc

Phone (626) 458-4921

Date 03-12-2015

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

- (1) Provide a "Water Supply Assessment" from the water supplier to indicate the availability of adequate water supply as required per Section 10910 and Section 10912 of the California Water Code (SB 610) prior to tentative map approval. For additional information, please contact Mr. Tony Khalkhali of Land Development Division at (626) 458-4921. Also, we were advised by Mr. Michael Alvord Director of Operations for the Newhall County Water District that the proposed development is within the District service area for water service. We recommend that the developer/consultant to contact Mr. Michael Alvord at (661)702-4429 or malvord@ncwd.org for more details.
- (2) A revised tentative/exhibit map is required to show the following additional items:
 - a. Show location of existing water main lines to serve the proposed development and call out the proposed points of connection.
 - b. Show the proposed water main lines and the proposed number of buildings in the exhibit map for all condominium lots.
 - c. Show water service line connection to each building in the condominium development.

COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
LAND DEVELOPMENT DIVISION – SUBDIVISION
TRACT NO. 073336

Page 1/1

TENTATIVE MAP DATED 02-17-2015
EXHIBIT "A" MAP DATED 02-17-2015

- If this recommendation of disapproval is changed to a recommendation of approval based on additional information, the following reports would be recommended for inclusion in the conditions of tentative approval:

Prepared by  Juan Sarda

Phone (626) 458-4919

Date 03-16-2015

tr73336L-new.doc
<http://planning.lacounty.gov/case/view/tr073336/>

The following reports consisting of ___ pages are the recommendations of Public Works.

The subdivision shall conform to the design standards and policies of Public Works, in particular, but not limited to the following items:

1. Details and notes shown on the tentative map are not necessarily approved. Any details or notes which may be inconsistent with requirements of ordinances, general conditions of approval, or Department policies must be specifically approved in other conditions, or ordinance requirements are modified to those shown on the tentative map upon approval by the Advisory agency.
2. Easements are tentatively required, subject to review by the Director of Public Works to determine the final locations and requirements.
3. Easements shall not be granted or recorded within areas proposed to be granted, dedicated, or offered for dedication for public streets, highways, access rights, building restriction rights, or other easements until after the final map is filed with the Registrar-Recorder/County Clerk's Office. If easements are granted after the date of tentative approval, a subordination must be executed by the easement holder prior to the filing of the final map.
4. In lieu of establishing the final specific locations of structures on each lot at this time, the owner, at the time of issuance of a grading or building permit, agrees to develop the property in conformance with the County Code and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Ordinance, Highway Permit Ordinance, Mechanical Code, Zoning Ordinance, Undergrounding of Utilities Ordinance, Water Ordinance, Sanitary Sewer and Industrial Waste Ordinance, Electrical Code, and Fire Code. Improvements and other requirements may be imposed pursuant to such codes and ordinances.
5. All easements existing at the time of final map approval must be accounted for on the approved tentative map. This includes the location, owner, purpose, and recording reference for all existing easements. If an easement is blanket or indeterminate in nature, a statement to that effect must be shown on the tentative map in lieu of its location. If all easements have not been accounted for, submit a corrected tentative map to the Department of Regional Planning for approval.
6. Adjust, relocate, and/or eliminate lot lines, lots, streets, easements, grading, geotechnical protective devices, and/or physical improvements to comply with ordinances, policies, and standards in effect at the date the County determined the application to be complete all to the satisfaction of Public Works.
7. If applicable, quitclaim or relocate easements running through proposed structures.

8. Show the remainder of the last legally created parcel as "Not a Part" on any final map to the satisfaction of the Director of Public Works.
9. If applicable, place standard residential planned development notes on the final map to the satisfaction of Public Works.
10. Prior to final approval of the tract map submit a notarized affidavit to the Director of Public Works, signed by all owners of record at the time of filing of the map with the Registrar-Recorder/County Clerk's Office, stating that any proposed condominium building has not been constructed or that all buildings have not been occupied or rented and that said building will not be occupied or rented until after the filing of the map with the Registrar-Recorder/County Clerk's Office.
11. Place standard condominium notes on the final map to the satisfaction of Public Works.
12. Label driveways and multiple access strips as "Private Driveway and Fire Lane" and delineate on the final map to the satisfaction of Public Works.
13. Reserve reciprocal easements for drainage, ingress/egress, sewer, water, utilities, right to grade, and maintenance purposes, etc., in documents over the common private driveways to the satisfaction of Public Works.
14. If applicable, place standard Landscape Maintenance District notes on the final map to the satisfaction of Public Works.
15. Furnish Public Works' Street Name Unit with a list of street names acceptable to the subdivider. These names must not be duplicated within a radius of 20 miles.
16. A Mapping & Property Management Division house numbering clearance is required prior to approval of the final map.
17. Show open space lots on the final map and dedicate residential construction rights over the open space lots.
18. Depict all line of sight easements on grading and/or landscaping plans.
19. If possible, modify the boundaries of the open space lots or add additional open space lots to include the airspace easements for sight distance to the satisfaction of Regional Planning and Public Works.
20. If unit filing occurs, reserve reciprocal easements for drainage, ingress/egress, utilities, and maintenance purposes, etc., in documents over the private driveways and delineate on the final map to the satisfaction of Public Works.

21. The boundaries of the unit final maps shall be designed to the satisfaction of the Departments of Regional Planning and Public Works.
22. The first unit of this subdivision shall be filed as Tract No. 073336-01, the second unit, Tract No. 073336-02, and the last unit, Tract No. 073336.
23. A final tract map must be processed through the Director of Public Works prior to being filed with the Registrar-Recorder/County Clerk's Office.
24. Prior to submitting the tract map to the Director of Public Works for examination pursuant to Section 66442 of the Government Code, obtain clearances from all affected Departments and Divisions, including a clearance from the Subdivision Mapping Section of the Land Development Division of Public Works for the following mapping items; mathematical accuracy; survey analysis; and correctness of certificates, signatures, etc.
25. A final guarantee will be required at the time of filing of the final map with the Registrar-Recorder/County Clerk's Office.
26. Within 30 days of the approval date of this land use entitlement or at the time of first plan check submittal, the applicant shall deposit the sum of \$2,000 (Minor Land Divisions) or \$5,000 (Major Land Divisions) with Public Works to defray the cost of verifying conditions of approval for the purpose of issuing final map clearances. This deposit will cover the actual cost of reviewing conditions of approval for Conditional Use Permits, Tentative Tract and Parcel Maps, Vesting Tentative Tract and Parcel Maps, Oak Tree Permits, Specific Plans, General Plan Amendments, Zone Changes, CEQA Mitigation Monitoring Programs and Regulatory Permits from State and Federal Agencies (Fish and Game, USF&W, Army Corps, RWQCB, etc.) as they relate to the various plan check activities and improvement plan designs. In addition, this deposit will be used to conduct site field reviews and attend meetings requested by the applicant and/or his agents for the purpose of resolving technical issues on condition compliance as they relate to improvement plan design, engineering studies, highway alignment studies and tract/parcel map boundary, title and easement issues. When 80% of the deposit is expended, the applicant will be required to provide additional funds to restore the initial deposit. Remaining balances in the deposit account will be refunded upon final map recordation.

HCW



Prepared by Juan Sarda

Phone (626) 458-4919

Date 03/16/2015

tr73336L-new.doc

<http://planning.lacounty.gov/case/view/tr073336/>