

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

1. As previously requested, an approved hydrology report is required. Please see attached Hydrology review sheet (Comments 1 and 5) for comments and requirements. Please note that the latest submitted hydrology report is currently under review.
2. Please see attached Hydrology review sheet (Comments 6 through 8) for additional comments and requirements.
3. Please see attached Grading review sheet (Comments 2 through 4) for comments and requirements.
4. Please see attached Sewer review sheet (Comment 1) for requirement.
5. As previously requested, an approved "Water Supply Assessment" is required. Please see attached Water review sheet (Comment 1) for comments and requirements.
6. The formation of a Landscape Maintenance District must be approved by Public Works. For additional information, please contact Julian Garcia of the Traffic and Lighting Division at (626) 300-2061.
7. A revised tentative map is required to show the following additional items:
 - a. Please see attached Hydrology review sheet (Comments 2 through 4) for comments and requirements.
 - b. Please see attached Grading review sheet (Comment 1) for comments and requirements.
 - c. Please see attached Road review sheet (Comment 1) and checked prints for comments and requirements.
 - d. Please see attached Sewer review sheet (Comment 2) for comments and requirements.
 - e. Please see attached Water review sheet (Comment 2) for comments and requirements.

8. A revised exhibit map is required to show the following additional items:
- a. Please see attached Road review sheet (Comment 1) and checked prints for comments and requirements.
 - b. Please see attached Sewer review sheet (Comment 2) for comments and requirements.
 - c. Please see attached Water review sheet (Comment 2) for comments and requirements.

HW 

Prepared by Aissa Carrillo
tr73336L-rev4.doc
<http://planning.lacounty.gov/case/view/tr073336/>

Phone (626) 458-3126

Date 10-26-2016



COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS
LAND DEVELOPMENT DIVISION
HYDROLOGY UNIT

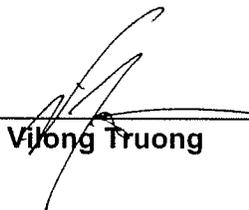
TRACT MAP NO. 073336

TENTATIVE MAP DATED 09/28/16
EXHIBIT MAP 09/28/16

Approval and clearance of the tentative map is subjected to compliance with the following **drainage** comments:

1. Prior to tentative map approval for drainage, submit a hydrology report showing the extent of drainage impacts and provide mitigation acceptable to the County. The analysis should address increases in runoff, any change in drainage patterns, debris producing areas, and the capacity of existing storm drain facilities. Provide line identification of all proposed drainage facilities. Preliminary soils and geology reports related to debris, retention, and detention basins may be required based on geographic and adverse geotechnical conditions. Provide engineering calculations to support sizing of debris, retention, and detention basins. Provide approximate flood hazard and bank erosion setbacks and lot identifications (as needed). Show slopes for existing and proposed streets. Provide a drainage/grading covenant for any offsite work.
 - The latest Drainage Concept / Hydrology Report submittal is currently pending review.
2. Prior to tentative map approval for drainage, submit an updated tentative map indicating all water quality basins to be publicly maintained.
3. Prior to tentative map approval for drainage, submit an updated tentative map showing and calling out all drainage facilities. The current conveyance system shown on the hydrology isn't reflected on the tentative map.
4. Prior to tentative map approval for drainage, submit an updated tentative map showing omitting future development that is not part of this project.
5. A water quality section of the Hydrology Report is required to comply with the LID requirements of Los Angeles County Code Section 12.84 (<http://library.municode.com/index.aspx?clientId=16274>).
6. Prior to tentative map approval for drainage, submit easement documents for all proposed offsite publicly maintained facilities.
7. If applicable, prior to tentative map approval for drainage, submit recorded covenants for offsite impacts.
8. A Drainage Benefit Assessment Area (DBAA) will be required to fund the ongoing operation, maintenance, and replacement (if required) of the proposed publically maintained water quality devices.

Reviewed by _____ Date 10/20/16 Phone (626) 458-4921


Vijong Truong

COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
LAND DEVELOPMENT DIVISION - GRADING
TRACT NO. 073336 (Rev.)

Page 1/1

TENTATIVE MAP DATED 09-28-2016
EXHIBIT MAP DATED 09-28-2016

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the previously required following:

1. A revised tentative map is required to show the following additional previously requested items:
 - a. Identify the maintenance responsibility of all water quality basins to be per LACFCD.

Name Nazem Said  Date 10/18/2016 Phone (626) 458-4921
P:\ldpub\SUBPCHECK\Plan Checking Files\Tract Map\TR 073336\GP\2016-09-28 TTR 073336 SUBMITTAL

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

1. If needed, provide proof that the subdivider has acquired any necessary off-site easements to construct the off-site sewer improvements prior to tentative map approval to the satisfaction of Public Works (5th Request).
2. An updated tentative map and an updated exhibit map are required to show the following items:
 - a. As previously requested, show and call out location of existing sewer main lines to serve the proposed development with the PC or CI number.
 - b. As previously requested, show how the proposed development/each unit is to be served by existing public sewer and call out the proposed points of connection.
 - c. As previously requested, sewer in the portions of proposed street that is a secondary or major highway (such as Ridge Route Road) must be 6' from curb or 14' from right of way.
 - d. As previously requested, provide a minimum of 10 feet sewer easement for sewer not to be constructed within the public street.
 - e. As previously requested, show sewer mitigations as required per the approved area study.

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

- (1) Provide a "Water Supply Assessment" from the water supplier to indicate the availability of adequate water supply as required per Section 10910 and Section 10912 of the California Water Code (SB 610) prior to tentative map approval. For additional information, please contact Mr. Tony Khalkhali of Land Development Division at (626) 458-4921. Also, we were advised by Mr. Michael Alvord Director of Operations for the Newhall County Water District that the proposed development is within the District service area for water service. We recommend that the developer/consultant to contact Mr. Michael Alvord at (661)702-4429 or malvord@ncwd.org for more details.

COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
LAND DEVELOPMENT DIVISION - ROAD
TRACT NO. 073336 (Rev.)

Page 1/1

TENTATIVE MAP DATED 09-28-2016
EXHIBIT MAP DATED 09-28-2016

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

1. A revised tentative map and exhibit map are required to show the following items:
 - a. See attached for comments.

P:\ldpub\SUBPCHECK\Plan Checking Files\Tract Map\TR 073336\RD 073336\2016-10-24 TR073336-REV4 TENTATIVE MAP 5TH CHECK.pdf



Prepared by Sam Richards
tr073336r-rev4.doc

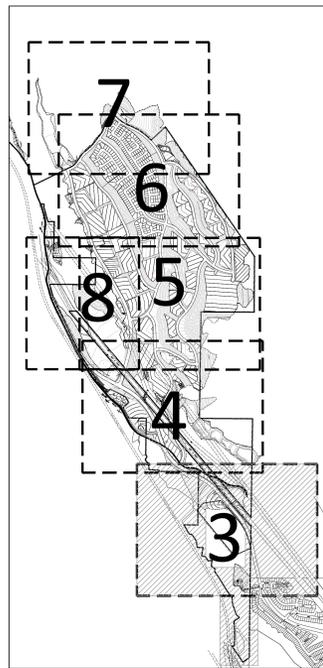
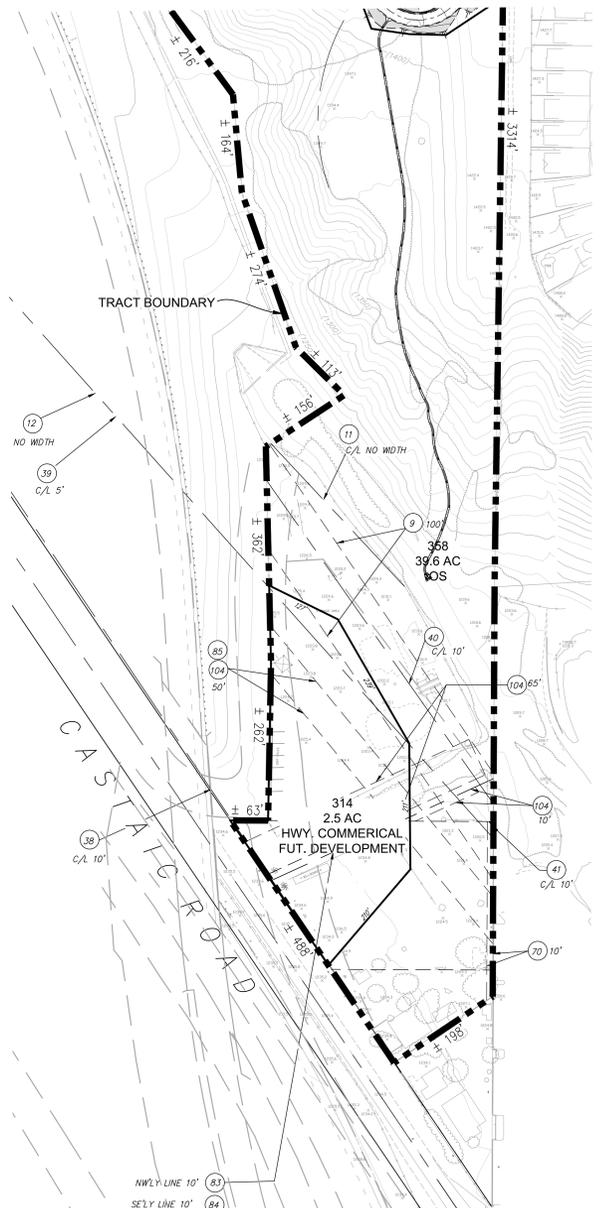
Phone (626) 458-4921

Date 10-26-2016

MATCH LINE SEE SHEET 4



MATCH LINE SEE LEFT



- LEGEND:**
- TRACT BOUNDARY
 - ▲ DAYLIGHT
 - CUT FILL LINE
 - SF SQUARE FEET
 - D.B. DEBRIS BASIN
 - P PAD ELEVATION
 - (P.V.T.) PRIVATE STREET
 - BIKE LANE
 - 1.20X (MIN) DIRECTION DRAINAGE AND APPROX. GRADE
 - R.W. TYPICAL RETAINING WALL
 - DISTURBED SIGNIFICANT RIDGELINE
 - UNDISTURBED SIGNIFICANT RIDGELINE
 - RIDGELINE
 - SEWER LINE
 - SEWER FORCE MAIN
 - STORM DRAIN
 - WATERLINE
 - P.B.I. PRIVATE BULK INLET
 - P-7 INDICATES PLANNING AREA 7
 - MULTI-USE TRAIL (10' TRAIL)
 - NEIGHBORHOOD PEDESTRIAN TRAIL (6' TRAIL)
 - NATURAL TRAIL (8' TRAIL)

KEY MAP
SCALE: 1" = 1500'

MATCH LINE SEE RIGHT

GENERAL COMMENTS

DELINEATE BETWEEN STOPPING SIGHT DISTANCE AND INTERSECTION SIGHT DISTANCE AND LABEL APPROPRIATELY.

THE VALUES USED FOR THE STOPPING SIGHT DISTANCE FOR THE SAME SPEED ARE NOT CONSISTENT.

ALSO PROPERLY SHOW THE LINE OF SIGHTS.

SHOW ON THE TENTATIVE MAP, THE P-APPROVED CONCEPTUAL STRIPPING.

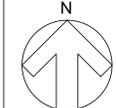
MAKE APPROPRIATE CORRECTIONS TO THE EXHIBIT MAP.

4TH CHECK
10/26/16 SR

PREPARED FOR:
NORHLAKE ASSOCIATES, LLC
199 AVENUE OF THE STARS, SUITE 2850
LOS ANGELES, CA 90067
ATTN: JOHN ARVIN
(310) 824-2200



LEGAL DESCRIPTION:
A PORTION OF SECTIONS 11, 13, 14, 23 AND 24,
T5N, R17W SBM



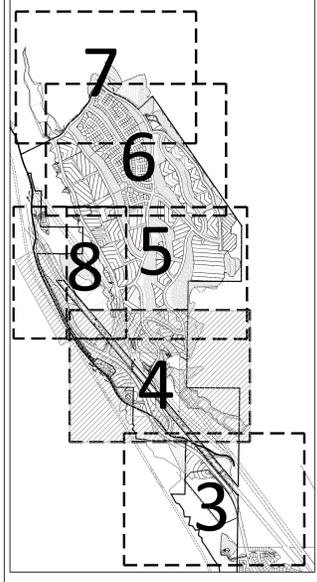
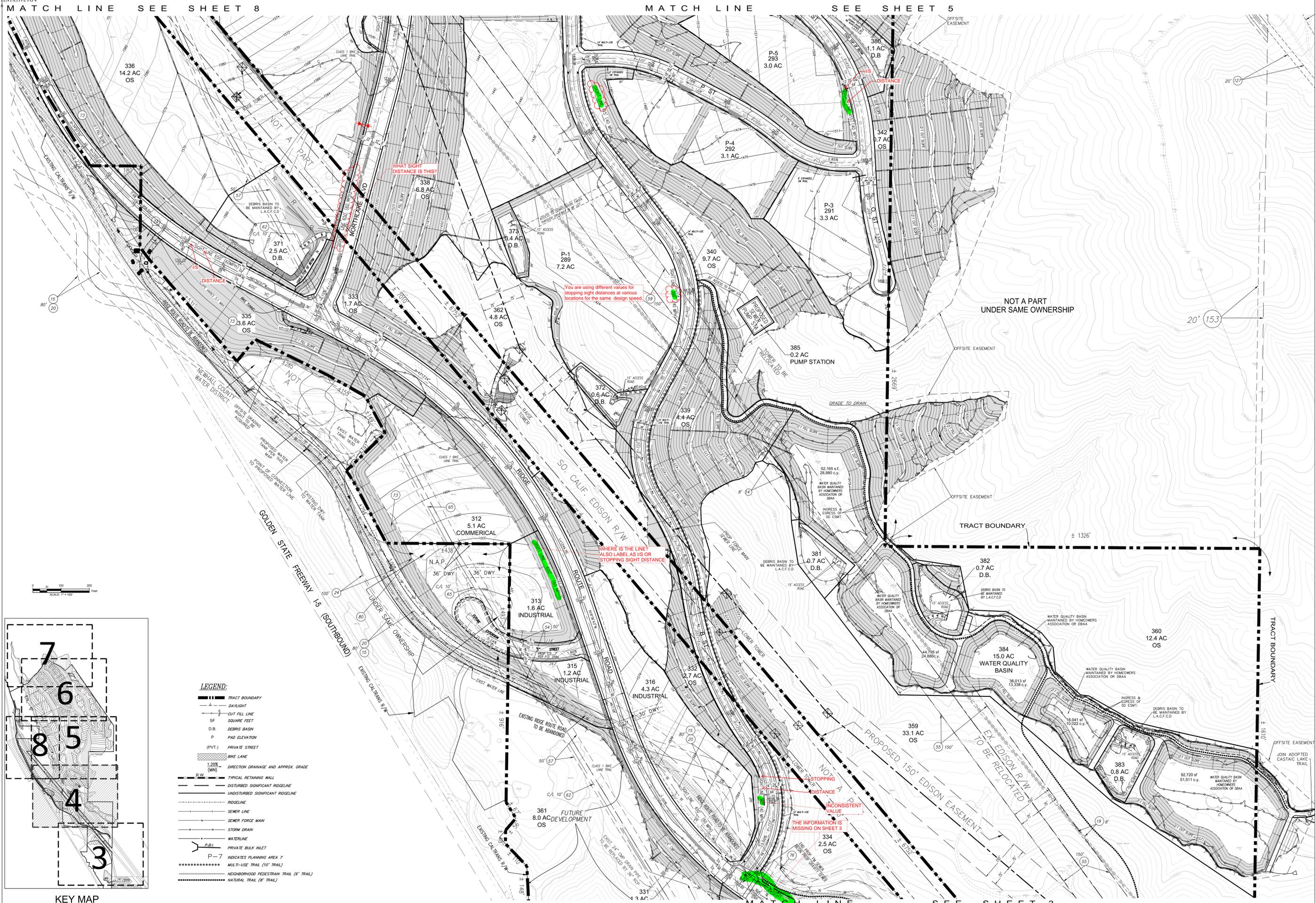
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3	6-4-2016	PER SCM COMMENTS DATED 10-7-2015	Y/L	--
2	9-9-2015	PER SCM COMMENTS DATED 7-14-2015	Y/L	--
1	6-1-2015	PER SCM COMMENTS DATED 2-17-2015	Y/L	--
	DATE	REVISION	BY	APP
SCALE: 1"=100'		CHK'D BY:	APPROVED BY:	DATE: 02/17/2015
				W.O. NO. 5090-033-35
				SHEET 3 OF 16



15230 Burbank Blvd,
Van Nuys, CA 91411
Tel: (818) 787-8550
Fax: (818) 901-7451
info@sikand.com

MAJOR LAND DIVISION
VESTING TENTATIVE TRACT NO. 073336
LOCATED IN THE UNINCORPORATED TERRITORY OF THE
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

ROAD

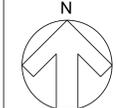


- LEGEND:**
- TRACT BOUNDARY
 - DAYLIGHT
 - CUT FILL LINE
 - SF SQUARE FEET
 - D.B. DEBRIS BASIN
 - P PAD ELEVATION
 - (P.V.T.) PRIVATE STREET
 - BIKE LANE
 - 1:20% (MIN) DIRECTION DRAINAGE AND APPROX. GRADE
 - TYPICAL RETAINING WALL
 - DISTURBED SIGNIFICANT RIDGELINE
 - UNDISTURBED SIGNIFICANT RIDGELINE
 - RIDGELINE
 - SEWER LINE
 - SEWER FORCE MAIN
 - STORM DRAIN
 - WATERLINE
 - P.B.I. PRIVATE BULK INLET
 - P-7 INDICATES PLANNING AREA 7
 - MULTI-USE TRAIL (10' TRAIL)
 - NEIGHBORHOOD PEDESTRIAN TRAIL (6' TRAIL)
 - NATURAL TRAIL (8' TRAIL)

PREPARED FOR:
NORHLAKE ASSOCIATES, LLC
1999 AVENUE OF THE STARS, SUITE 2850
LOS ANGELES, CA 90067
ATTN: JOHN ARVIN
(310) 824-2200



LEGAL DESCRIPTION:
A PORTION OF SECTIONS 11, 13, 14, 23 AND 24,
T5N, R17W SBM



4	9-27-2016	PER SCM COMMENTS DATED 7-21-2016	Y	-
3	6-4-2016	PER SCM COMMENTS DATED 10-7-2015	Y	-
2	9-9-2015	PER SCM COMMENTS DATED 7-14-2015	Y	-
1	6-1-2015	PER SCM COMMENTS DATED 2-17-2015	Y	-
DATE	REVISION		BY	APP
SCALE: 1"=100'	DWG'D BY:	APPROVED BY:	DATE: 02/17/2016	W.O. NO: 5090-033-35
			SHEET 4	OF 16

SIKAND
Engineering | Planning | Surveying
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Fax: (818) 901-7451
info@sikand.com

MAJOR LAND DIVISION
VESTING TENTATIVE TRACT NO. 073336
LOCATED IN THE UNINCORPORATED TERRITORY OF THE
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

ROAD

MATCH LINE SEE SHEET 6



MATCH LINE SEE SHEET 4

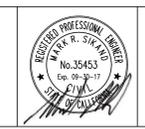
NOT A PART UNDER SAME OWNERSHIP

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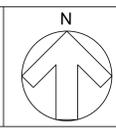
- TRACT BOUNDARY
- DAYLIGHT
- CUT FILL LINE
- SF SQUARE FEET
- D.B. DEBRIS BASIN
- P PAD ELEVATION
- (PVT.) PRIVATE STREET
- BIKE LANE
- DIRECTION DRAINAGE AND APPROX. GRADE
- 1.20% (MIN)
- R.W. TYPICAL RETAINING WALL
- DISTURBED SIGNIFICANT RIDGELINE
- UNDISTURBED SIGNIFICANT RIDGELINE
- RIDGELINE
- SEWER LINE
- SEWER FORCE MAIN
- STORM DRAIN
- WATERLINE
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- P-7 INDICATES PLANNING AREA 7
- MULTI-USE TRAIL (10' TRAIL)
- NEIGHBORHOOD PEDESTRIAN TRAIL (6' TRAIL)
- NATURAL TRAIL (9' TRAIL)

KEY MAP
SCALE: 1" = 1500'

PREPARED FOR:
NORHLAKE ASSOCIATES, LLC
1999 AVENUE OF THE STARS, SUITE 2850
LOS ANGELES, CA 90067
ATTN: JOHN ARVIN
(310) 824-2200



LEGAL DESCRIPTION:
A PORTION OF SECTIONS 11, 13, 14, 23 AND 24,
T5N, R17W SBM



4	9-27-2016	PER SCM COMMENTS DATED 7-21-2016	YL	-
3	6-4-2016	PER SCM COMMENTS DATED 10-7-2015	YL	-
2	9-30-2015	PER SCM COMMENTS DATED 7-16-2015	YL	-
1	6-1-2015	PER SCM COMMENTS DATED 2-17-2015	YL	-
SCALE:	DATE	REVISION	BY	APP
1"=100'	02/17/2015	5090-033-35		

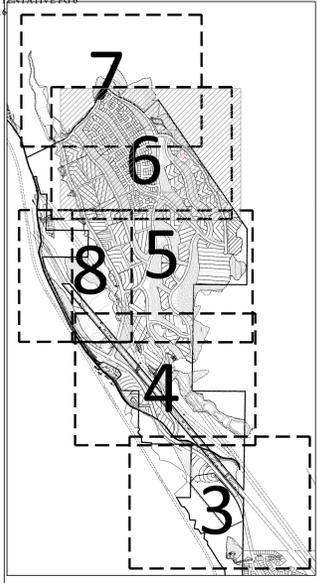
SIKAND
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Van Nuys, CA 91411
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Fax: (818) 901-7451
info@sikand.com

MAJOR LAND DIVISION
VESTING TENTATIVE TRACT NO. 073336
LOCATED IN THE UNINCORPORATED TERRITORY OF THE
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

ROAD

- LEGEND:**
- TRACT BOUNDARY
 - DAYLIGHT
 - CUT FILL LINE
 - SF SQUARE FEET
 - D.B. DEBRIS BASIN
 - P PAD ELEVATION
 - (PVT) PRIVATE STREET
 - BIKE LANE
 - 1:200 (MIN) DIRECTION DRAINAGE AND APPROX. GRADE
 - R.W. TYPICAL RETAINING WALL
 - DISTURBED SIGNIFICANT RIDGELINE
 - UNDISTURBED SIGNIFICANT RIDGELINE
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 - NATURAL TRAIL (6' TRAIL)



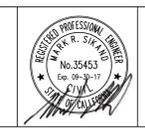
KEY MAP
SCALE: 1" = 1500'



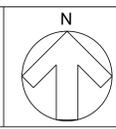
MATCH LINE SEE SHEET 7

MATCH LINE SEE SHEET 5

PREPARED FOR:
NORHLAKE ASSOCIATES, LLC
1999 AVENUE OF THE STARS, SUITE 2850
LOS ANGELES, CA 90067
ATTN: JOHN ARVIN
(310) 824-2200



LEGAL DESCRIPTION:
A PORTION OF SECTIONS 11, 13, 14, 23 AND 24,
T5N, R17W SBM



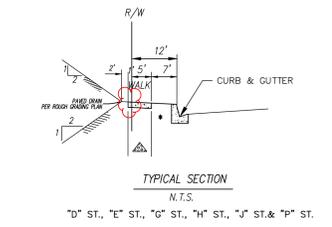
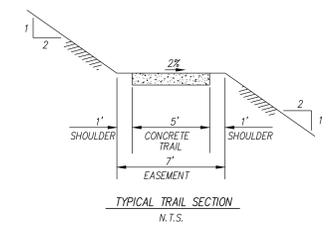
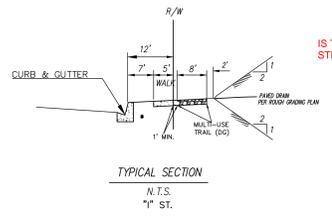
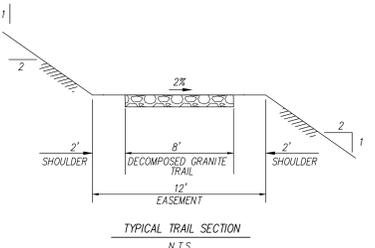
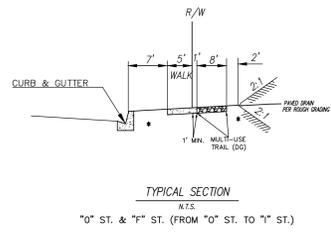
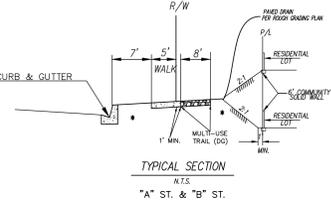
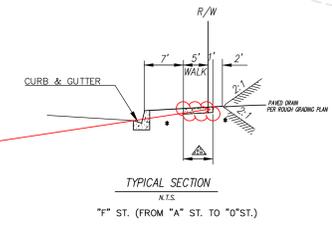
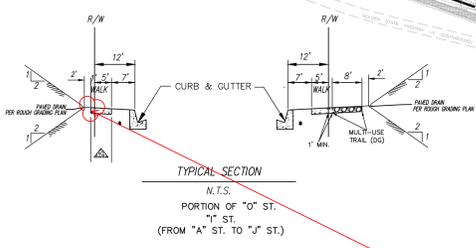
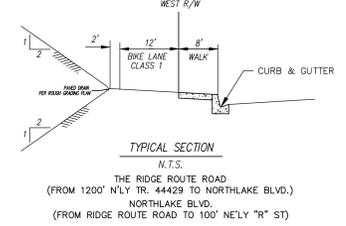
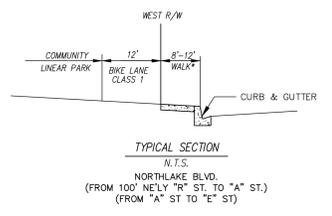
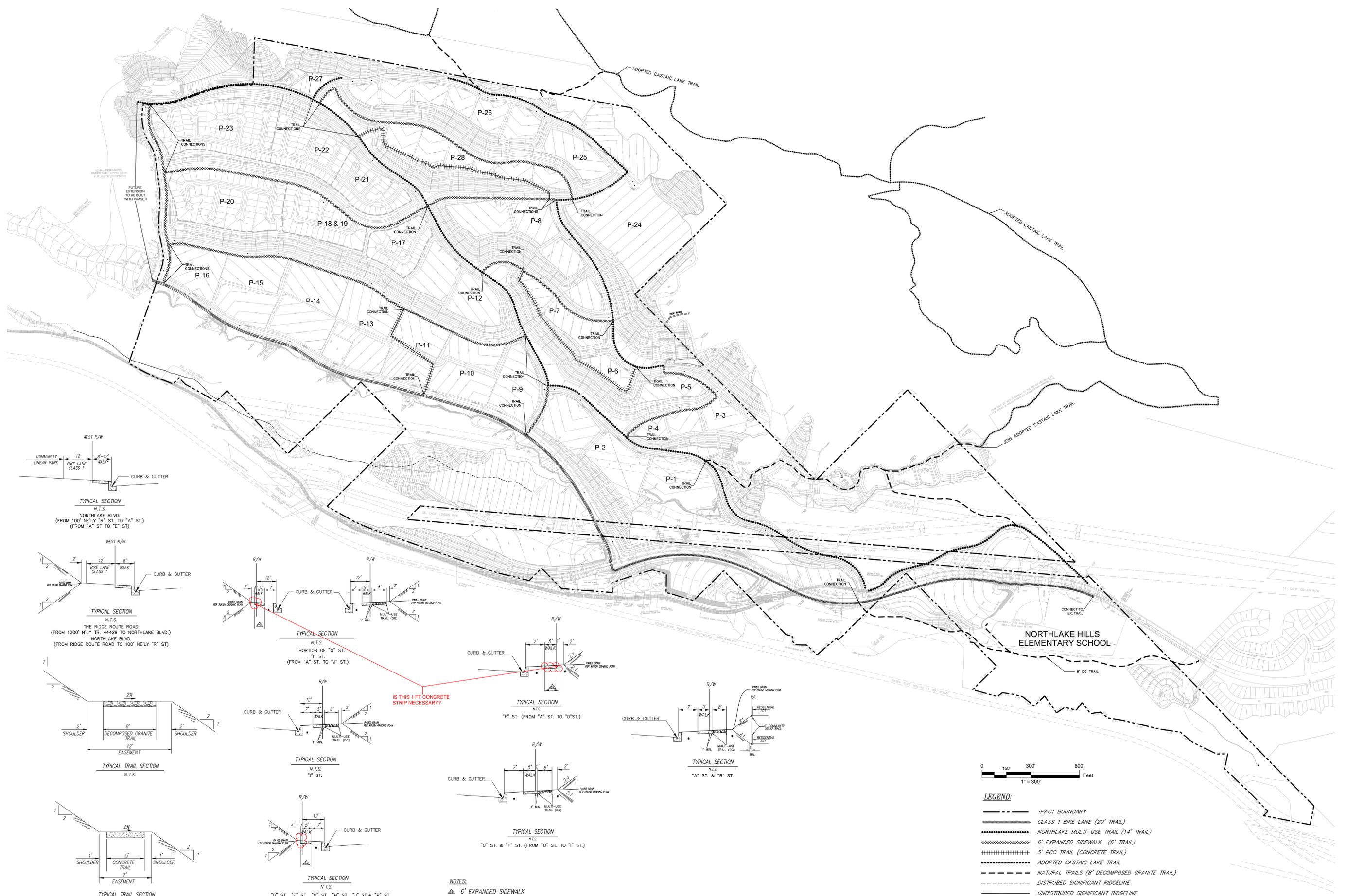
NO.	DATE	REVISION	BY	APP.
4	9-27-2016	PER SCM COMMENTS DATED 7-21-2016	YL	
3	6-4-2016	PER SCM COMMENTS DATED 10-7-2015	YL	
2	9-9-2015	PER SCM COMMENTS DATED 7-16-2015	YL	
1	6-1-2015	PER SCM COMMENTS DATED 2-17-2015	YL	

SCALE: 1"=100'
DWG'D BY: APPROVED BY: DATE: 02/17/2015 M.O. NO: 5090-033-35 SHEET 6 OF 16

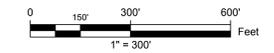
SIKAND
Engineering | Planning | Surveying
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Tel: (818) 787-8550
Fax: (818) 901-7451
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MAJOR LAND DIVISION
VESTING TENTATIVE TRACT NO. 073336
LOCATED IN THE UNINCORPORATED TERRITORY OF THE
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

ROAD



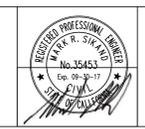
NOTES:
6' EXPANDED SIDEWALK



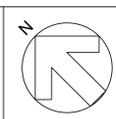
- LEGEND:**
- TRACT BOUNDARY
 - ==== CLASS 1 BIKE LANE (20' TRAIL)
 - NORTHLAKE MULTI-USE TRAIL (14' TRAIL)
 - 6' EXPANDED SIDEWALK (6' TRAIL)
 - 5' PCC TRAIL (CONCRETE TRAIL)
 - ADOPTED CASTAIC LAKE TRAIL
 - NATURAL TRAILS (8' DECOMPOSED GRANITE TRAIL)
 - DISTRIBUTED SIGNIFICANT RIDGELINE
 - UNDISTRIBUTED SIGNIFICANT RIDGELINE

TRAIL MAP

PREPARED FOR:
NORTHLAKE ASSOCIATES, LLC
1999 AVENUE OF THE STARS, SUITE 2850
LOS ANGELES, CA 90067
ATTN: JOHN ARVIN
(310) 824-2200



LEGAL DESCRIPTION:
A PORTION OF SECTIONS 11, 13, 14, 23 AND 24,
T5N, R17W S6M



4	9-27-2016	PER SCM COMMENTS DATED 7-21-2016	YL	-
3	6-4-2016	PER SCM COMMENTS DATED 10-7-2015	YL	-
2	9-9-2015	PER SCM COMMENTS DATED 7-16-2015	YL	-
1	6-1-2015	PER SCM COMMENTS DATED 2-17-2015	YL	-
SCALE:	DATE:	REVISION:	BY:	APP:
AS SHOWN	02/17/2015			



15230 Burbank Blvd,
Van Nuys, CA 91411
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MAJOR LAND DIVISION
VESTING TENTATIVE TRACT NO. 073336
LOCATED IN THE UNINCORPORATED TERRITORY OF THE
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

ROAD

COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
LAND DEVELOPMENT DIVISION – SUBDIVISION
TRACT NO. 073336 (Rev.)

Page 1/1

TENTATIVE MAP DATED 09-28-2016
EXHIBIT "A" DATED 09-28-2016

- If this recommendation of disapproval is changed to a recommendation of approval based on additional information, the following reports would be recommended for inclusion in the conditions of tentative approval:

Prepared by Aissa Carrillo
tr73336L-rev4.doc
<http://planning.lacounty.gov/case/view/tr073336/>

Phone (626) 458-3126

Date 10-26-2016

The following reports consisting of ___ pages are the recommendations of Public Works.

The subdivision shall conform to the design standards and policies of Public Works, in particular, but not limited to the following items:

1. Details and notes shown on the tentative map are not necessarily approved. Any details or notes which may be inconsistent with requirements of ordinances, general conditions of approval, or Department policies must be specifically approved in other conditions, or ordinance requirements are modified to those shown on the tentative map upon approval by the Advisory agency.
2. Easements are tentatively required, subject to review by the Director of Public Works to determine the final locations and requirements.
3. Easements shall not be granted or recorded within areas proposed to be granted, dedicated, or offered for dedication for public streets, highways, access rights, building restriction rights, or other easements until after the final map is filed with the Registrar-Recorder/County Clerk's Office. If easements are granted after the date of tentative approval, a subordination must be executed by the easement holder prior to the filing of the final map.
4. In lieu of establishing the final specific locations of structures on each lot at this time, the owner, at the time of issuance of a grading or building permit, agrees to develop the property in conformance with the County Code and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Ordinance, Highway Permit Ordinance, Mechanical Code, Zoning Ordinance, Undergrounding of Utilities Ordinance, Water Ordinance, Sanitary Sewer and Industrial Waste Ordinance, Electrical Code, and Fire Code. Improvements and other requirements may be imposed pursuant to such codes and ordinances.
5. All easements existing at the time of final map approval must be accounted for on the approved tentative map. This includes the location, owner, purpose, and recording reference for all existing easements. If an easement is blanket or indeterminate in nature, a statement to that effect must be shown on the tentative map in lieu of its location. If all easements have not been accounted for, submit a corrected tentative map to the Department of Regional Planning for approval.
6. Adjust, relocate, and/or eliminate lot lines, lots, streets, easements, grading, geotechnical protective devices, and/or physical improvements to comply with ordinances, policies, and standards in effect at the date the County determined the application to be complete all to the satisfaction of Public Works.

7. If applicable, quitclaim or relocate easements running through proposed structures.
8. Show the remainder of the last legally created parcel as "Not a Part" on any final map to the satisfaction of the Director of Public Works.
9. If applicable, place standard residential planned development notes on the final map to the satisfaction of Public Works.
10. Prior to final approval of the tract map submit a notarized affidavit to the Director of Public Works, signed by all owners of record at the time of filing of the map with the Registrar-Recorder/County Clerk's Office, stating that any proposed condominium building has not been constructed or that all buildings have not been occupied or rented and that said building will not be occupied or rented until after the filing of the map with the Registrar-Recorder/County Clerk's Office.
11. Place standard condominium notes on the final map to the satisfaction of Public Works.
12. Label driveways and multiple access strips as "Private Driveway and Fire Lane" and delineate on the final map to the satisfaction of Public Works and Fire Department.
13. Reserve reciprocal easements for drainage, ingress/egress, sewer, water, utilities, right to grade, and maintenance purposes, in documents over the common private driveways to the satisfaction of Public Works.
14. If applicable, place standard Landscape Maintenance District notes on the final map to the satisfaction of Public Works.
15. Furnish Public Works' Street Name Unit with a list of street names acceptable to the subdivider. These names must not be duplicated within a radius of 20 miles.
16. A Mapping & Property Management Division house numbering clearance is required prior to approval of the final map.
17. Show open space lots on the final map and dedicate residential construction rights over the open space lots.
18. Depict all line of sight easements on grading and/or landscaping plans.
19. If possible, modify the boundaries of the open space lots or add additional open space lots to include the airspace easements for sight distance to the satisfaction of Regional Planning and Public Works.

20. If unit filing occurs, reserve reciprocal easements for drainage, ingress/egress, utilities, and maintenance purposes, in documents over the private driveways and delineate on the final map to the satisfaction of Public Works.
21. The boundaries of the unit final maps shall be designed to the satisfaction of the Departments of Regional Planning and Public Works.
22. The first unit of this subdivision shall be filed as Tract No. 73336-01, the second unit, Tract No. 73336-02, and so forth and the last unit, Tract No. 73336.
23. A final tract map must be processed through the Director of Public Works prior to being filed with the Registrar-Recorder/County Clerk's Office.
24. Prior to submitting the tract map to the Director of Public Works for examination pursuant to Section 66442 of the Government Code, obtain clearances from all affected Departments and Divisions, including a clearance from the Subdivision Mapping Section of the Land Development Division of Public Works for the following mapping items; mathematical accuracy; survey analysis; and correctness of certificates, signatures, etc.
25. A final guarantee will be required at the time of filing of the final map with the Registrar-Recorder/County Clerk's Office.
26. Permission is granted to record large lots (20-acre or more) parcel/tract map as shown on the insert map provided full street right of way and slope easements are dedicated along the latest IEC approved alignments on Ridge Route Road to the satisfaction of Public Works. In addition, make an offer of private and future right of way and dedicate slope easements along all remaining interior streets on alignments to the satisfaction of Public Works.
27. Within 30 days of the approval date of this land use entitlement or at the time of first plan check submittal, the applicant shall deposit the sum of \$5,000 with Public Works to defray the cost of verifying conditions of approval for the purpose of issuing final map clearances.

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Prepared by  Aissa Carrillo
tr73336L-rev4.doc
<http://planning.lacounty.gov/case/view/tr073336/>

Phone (626) 458-3126

Date 10-26-2016

County of Los Angeles Department of Public Works
Geotechnical and Materials Engineering Division
GEOLOGIC AND SOILS ENGINEERING REVIEW SHEET
900 S. Fremont Avenue, Alhambra, CA 91803

Tentative Tract / Parcel Map 73336 Tentative Map Dated 9/28/16 (Rev./Exhib.) Parent Tract _____
Grading By Subdivider? [Y] (Y or N) 19,400,000 yd³ Location Castaic APN _____
Geologist G3SoilWorks Subdivider Northlake Associates, LLC
Soils Engineer G3SoilWorks Engineer/Arch. Sikand

Review of:

Geologic Report(s) Dated: _____
Soils Engineering Report(s) Dated: _____
Geotechnical Report(s) Dated: 5/19/16, 4/18/16, 2/10/16
References: Petra Geosciences: 9/30/15, 4/28/15
Pacific Soils Engineering (for Tract Map 51852): 3/16/06, 11/24/03, 1/31/03, 11/3/00, 7/10/00, 8/11/99, 2/13/98, 7/30/96, 12/1/95, 4/6/95, 6/16/94

TENTATIVE MAP FEASIBILITY IS RECOMMENDED FOR APPROVAL FROM A GEOTECHNICAL STANDPOINT

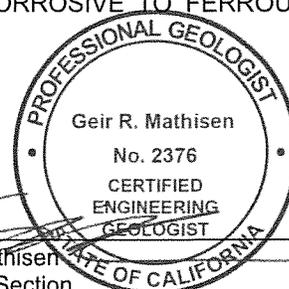
THE FOLLOWING CONDITIONS MUST BE FULFILLED:

- G1. The final map must be approved by the Geotechnical and Materials Engineering Division (GMED) to assure that all geotechnical requirements have been properly depicted. For Final Map clearance guidelines refer to policy memo GS051.0 in the County of Los Angeles Department of Public Works *Manual for Preparation of Geotechnical Reports*. The Manual is available at: <http://dpw.lacounty.gov/gmed/permits/docs/manual.pdf>.
- G2. A grading plan must be geotechnically approved by the GMED prior to Final Map approval. The grading depicted on the plan must agree with the grading depicted on the tentative tract or parcel map and the conditions approved by the Planning Commission. If the subdivision is to be recorded prior to the completion and acceptance of grading, corrective geologic bonds may be required.
- G3. Prior to grading plan approval, a detailed geotechnical report must be submitted that addresses the proposed grading. All recommendations of the geotechnical consultant(s) must be incorporated into the plan. The report must comply with the provisions of the County of Los Angeles Department of Public Works *Manual for Preparation of Geotechnical Reports*. The Manual is available at: <http://dpw.lacounty.gov/gmed/permits/docs/manual.pdf>.
- G4. All geologic hazards associated with this proposed development must be eliminated. Alternatively, the geologic hazards may be designated as restricted use areas (RUA), and their boundaries delineated on the Final Map. These RUAs must be approved by the GMED, and the subdivider must dedicate to the County the right to prohibit the erection of buildings or other structures within the restricted use areas. For information on the RUA policy refer to policy memo GS063.0 in the County of Los Angeles Department of Public Works *Manual for Preparation of Geotechnical Reports*. The Manual is available at: <http://dpw.lacounty.gov/gmed/permits/docs/manual.pdf>.
- S1. At the grading plan stage, submit grading plans to the GMED for verification of compliance with County Codes and policies.

NOTE(S) TO THE PLAN CHECKER/BUILDING AND SAFETY DISTRICT ENGINEER:

- A. THE GEOTECHNICAL MAPS DEPICT ADDITIONAL GRADING LOCATED EAST OF THE INTERSECTION OF PROPOSED O-STREET AND P-STREET THAT IS NOT SHOWN ON THE TENTATIVE MAP.
- B. OFF-SITE GRADING IS PROPOSED.
- PER THE SOILS ENGINEER:
- C. ON-SITE SOILS ARE SEVERELY DELETERIOUS TO CONCRETE AND EXTREMELY CORROSIVE TO FERROUS METALS. THE USE OF TYPE V CEMENT SHOULD BE ANTICIPATED.
- D. ON-SITE SOILS HAVE A VERY HIGH EXPANSION POTENTIAL.

Prepared by



Geir Mathisen
Geology Section

Date 10/20/16

Please complete a Customer Service Survey at <http://dpw.lacounty.gov/go/gmedsurvey>

NOTICE: Public safety, relative to geotechnical subsurface exploration, shall be provided in accordance with current codes for excavations, inclusive of the Los Angeles County Code, Chapter 11.48, and the State of California, Title 8, Construction Safety Orders.