

- NOTES**
- SITE ADDRESS: 26035 CYPRESS STREET, LOMITA, CALIFORNIA
 - TOTAL NUMBER OF LOTS:
EXISTING: 1
PROPOSED: 1 LOT FOR CONDOMINIUM PURPOSES
 - LOT AREA: 42,005 S.F. NET (0.964 AC)
44,715 S.F. GROSS TO CENTERLINE OF STREET (1.02 AC)
 - PROPOSED DENSITY: 15.6 D.U. PER GROSS AREA
 - EXISTING AND PROPOSED ZONING: RVD-2500
 - ALL UTILITIES AVAILABLE TO SITE
 - EXISTING SANITARY SEWER SYSTEM SERVES THE SITE.
 - ALL IMPROVEMENTS EXISTING.
 - EXISTING SITE : VACANT
 - SITE TOPOGRAPHY IS ROLLING TERRAIN.
 - NO OAK OR OTHER SPECIMEN TREES EXIST ON SITE.
 - PROPOSED USE: 16 DETACHED SINGLE-FAMILY RESIDENTIAL CONDOMINIUM UNITS
 - ASSESSOR'S PARCEL NOS.: 7553-001-062
 - GRADING AMOUNTS
2,209 C.Y. FILL 8,689 C.Y. CUT
6,480 C.Y. EXPORT 0 C.Y. IMPORT
 - TOTAL NO. OF GUEST PARKING: ON-SITE: 10
OFF-SITE: 2
 - DATE OF PREPARATION: SEPT. 29, 2012, REVISED: JAN. 09, 2013

LEGAL DESCRIPTION:
THE SOUTH THREE-FIFTHS OF LOT 87 OF TRACT NO. 848, IN THE CITY OF LOMITA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 16, PAGES 90 AND 91 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY
EXCEPT THEREFROM THE NORTHERLY 50 FEET OF SAID LAND.

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EMAIL: TYUGE@CETECH.PRO

OWNER / DEVELOPER: STORM WESTERN DEVELOPMENT, INC.
23223 NORMANDIE AVENUE
TORRANCE, CA 90505
PH: (310) 534-2442

- SITE NOTES:**
- NO DEBRIS FLOWS ALLOWED TO BE DISCHARGED OVER THE PUBLIC RIGHT-OF-WAY.
 - ALL ON-SITE DRAINAGE DEVICES, INTERCEPTOR DRAINS, AND LANDSCAPED SLOPED AREA TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION
 - THERE ARE NO OFF-SITE WORK ASSOCIATED WITH THIS PROJECT THAT WOULD REQUIRE SEPARATE COVENANTS, EASEMENTS, OR PERMISSION FROM ADJACENT PROPERTY OWNERS.
 - GRADING FOR THIS PROJECT INCLUDES THE ENTIRE PROPERTY EXCEPT THE SOUTHERLY 2' THEREOF. FOR GRADING LIMITS, SEE SECTIONS ON SHEET EM-2 & EM-4

UTILITY NOTES:
FOR WATER SERVICE AND SANITARY SEWER CONNECTIONS, SEE TENTATIVE TRACT MAP

EASEMENT NOTE:
ALL EXISTING EASEMENTS OF RECORD ARE INDICATED HEREON.

EXISTING EASEMENT NOTE:
EASEMENT IN FAVOR OF THE CITY OF LOMITA, A MUNICIPAL CORPORATION, SUCCESSOR IN INTEREST TO THE NARBONNE RANCH WATER CO. NO. 5, FOR WATER LINE PURPOSES, PER DEED RECORDED AUGUST 7, 1912, AS INST. NO. 167 IN BOOK 5092, PAGE 256, OF DEEDS, SAID EASEMENT IS BLANKET IN NATURE. SAID BLANKET EASEMENT TO BE ABANDONED UPON CONSTRUCTION OF NEW REPLACEMENT WATER LINE AND DEDICATION OF NEW 10' WIDE EASEMENT TO CITY OF LOMITA FOR NEW ALIGNMENT. NEW EASEMENT TO BE RECORDED PRIOR TO OR CONCURRENT WITH FINAL MAP RECORDATION.

CONDOMINIUM NOTE:
THIS SUBDIVISION IS APPROVED AS A CONDOMINIUM PROJECT FOR 16 UNITS WHEREBY THE OWNERS OF THE UNITS OF AIR SPACE WILL HOLD AN UNDIVIDED INTEREST IN THE COMMON AREAS WHICH WILL, IN TURN, PROVIDE THE NECESSARY ACCESS AND UTILITY EASEMENTS FOR THE UNITS.

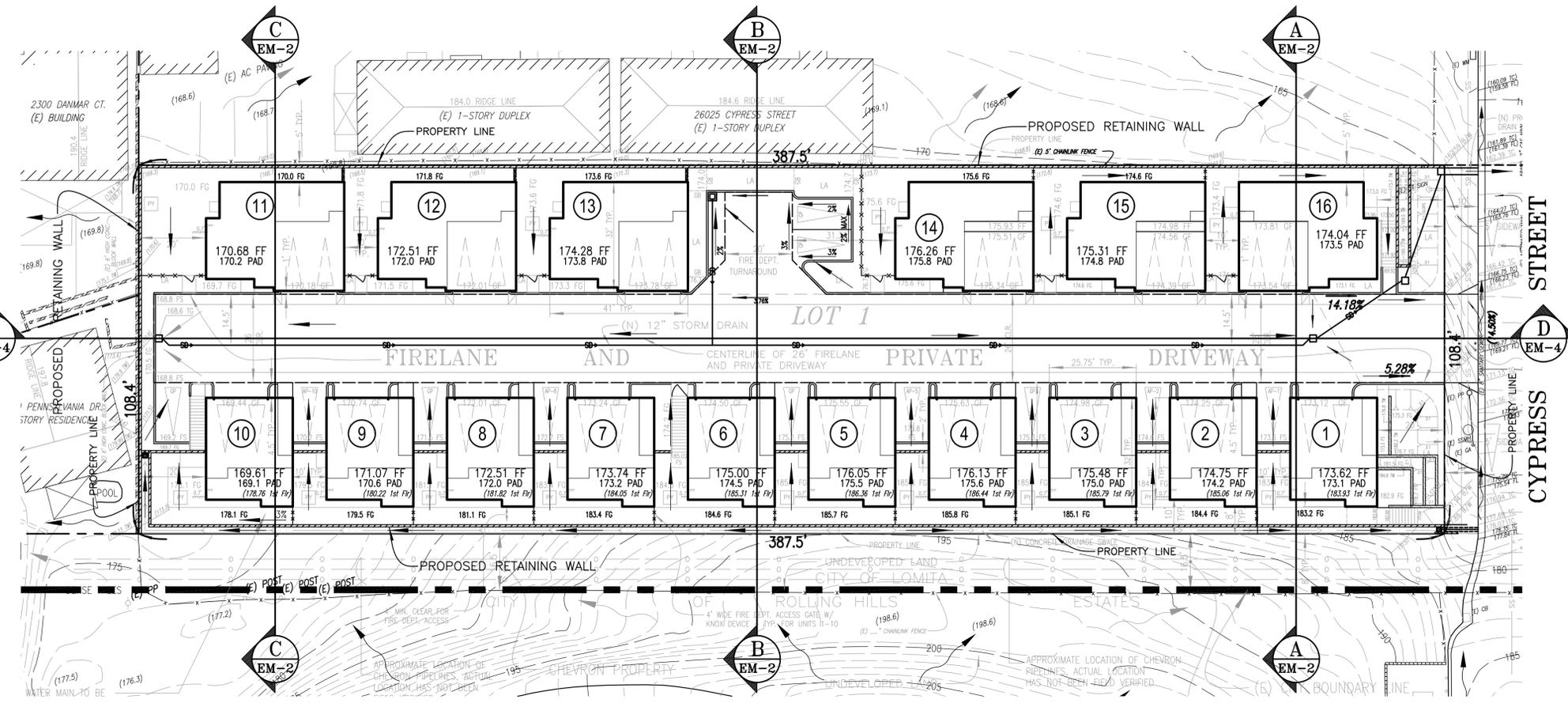
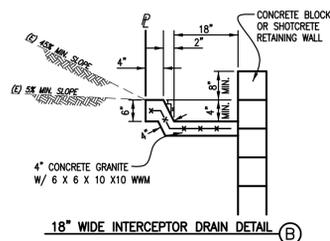
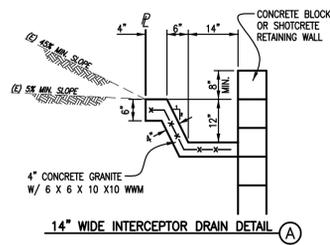
LEGEND

(E) EXISTING	[PY] PRIVATE YARD OF ADJACENT UNIT	(198.0) EXISTING ELEVATION
(N) NEW	[→] PROPOSED DRAINAGE FLOW DIRECTION	199.0 PROPOSED ELEVATION
LA LANDSCAPE AREA TO BE MAINTAINED BY HOA	[→] EXISTING DRAINAGE FLOW DIRECTION	
GP 9'x20' (MIN. SIZE) GUEST PARKING SPACE W/ 2' OVERHANG	[---] (N) CONCRETE BLOCK WALL	
AP PRIVATE ASSIGNED PARKING WITH UNIT NO.	[---] (E) CONCRETE BLOCK WALL	
	(8) UNIT NO.	

FOR TYPICAL SECTIONS AND PROPOSED DRAINAGE SEE SHEET EM-2
FOR SITE PERIMETER WALL SEE SHEET EM-3
FOR FIRELANE AND PRIVATE DRIVEWAY SEE SHEET EM-4

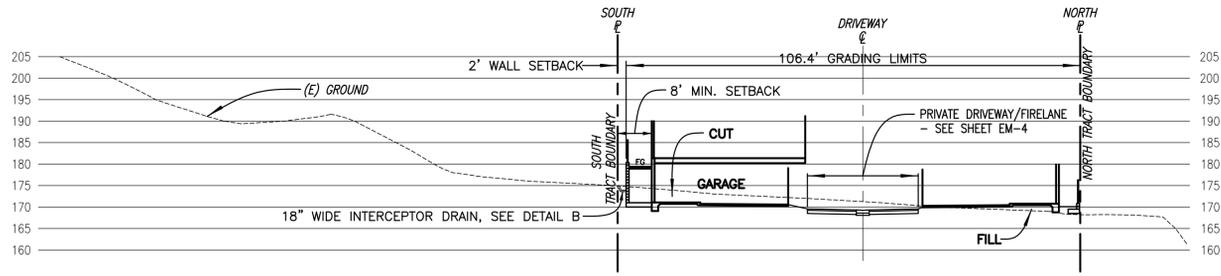
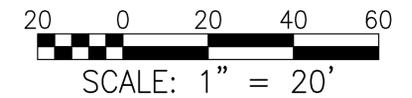
DEPT OF REGIONAL PLANNING
TR071769 EXHIBIT JAN 15 2013

	<p>PREPARED BY: Cetech Engineering ENGINEERS PLANNERS SURVEYORS 2252 West Carson Street, Suite B, Torrance, California, 90501 Ph: 310.533.1550 Fax: 310.533.1550 Email: cetecheengineering@sbcglobal.net THOMAS T. YUGE, P.E. REGISTERED CIVIL ENGINEER R.C.E. NO. 29861 DATE: 01-09-13 CETECH Project No. P-848.0</p>	<p>SITE ADDRESS: 26035 CYPRESS STREET LOMITA, CALIFORNIA</p> <p>TITLE: EXHIBIT MAP FOR VESTING TENTATIVE TRACT NO. 71769</p> <p>DR: C.V. APVD: T.Y. DRAWING NO. EM-1</p> <p>SCALE: AS SHOWN DATE: 01-09-13 SHEET 1 OF 4</p>
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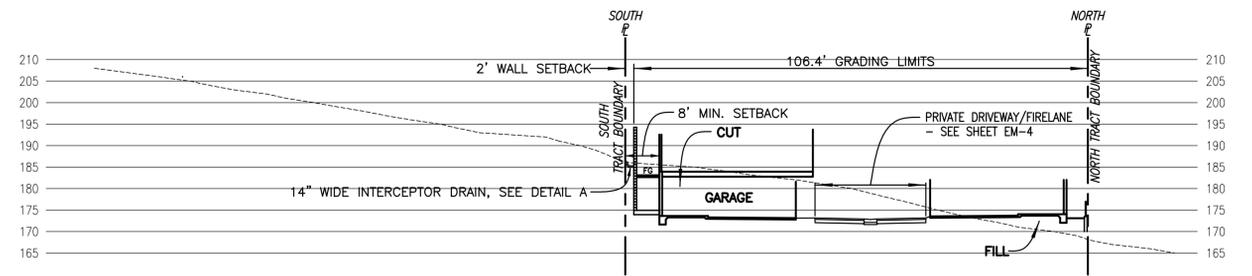


PROPOSED DRAINAGE SITE PLAN

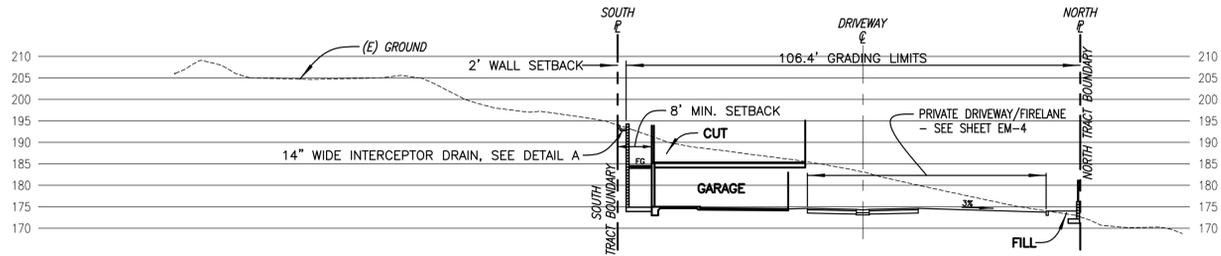
SCALE: 1" = 20'



SECTION C-C
SCALE: 1" = 20'



SECTION A-A
SCALE: 1" = 20'



SECTION B-B
SCALE: 1" = 20'

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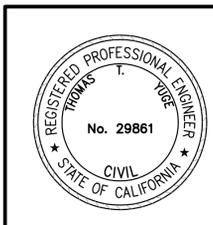
VESTING TENTATIVE TRACT NO. 71769

NO.	DATE	REVISION	BY

SITE ADDRESS: 26035 CYPRESS STREET
LOMITA, CALIFORNIA

TITLE: TYPICAL SECTIONS & PROPOSED DRAINAGE SITE PLAN
FOR
EXHIBIT MAP

DR: C.V.	APVD: T.Y.	DRAWING NO.
SCALE: AS SHOWN	DATE: 01-09-13	EM-2
SHEET 2	OF 4	



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REGISTERED CIVIL ENGINEER
R.C.E. NO. 29861

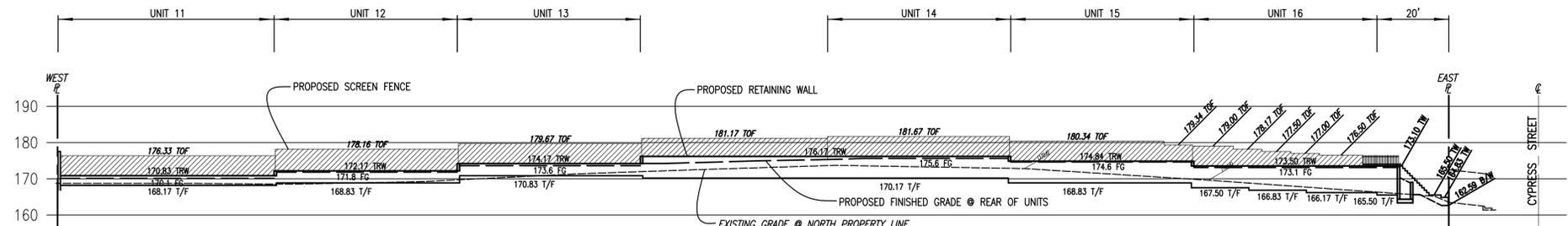
01-09-13
DATE

CETECH Project No. P-848.0

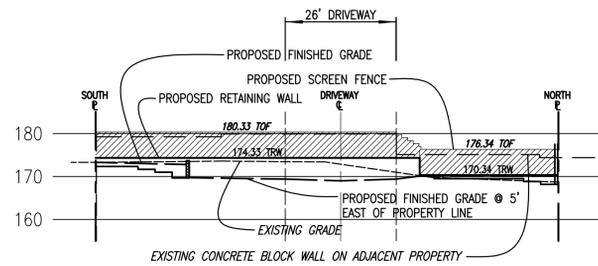
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ABBREVIATIONS:

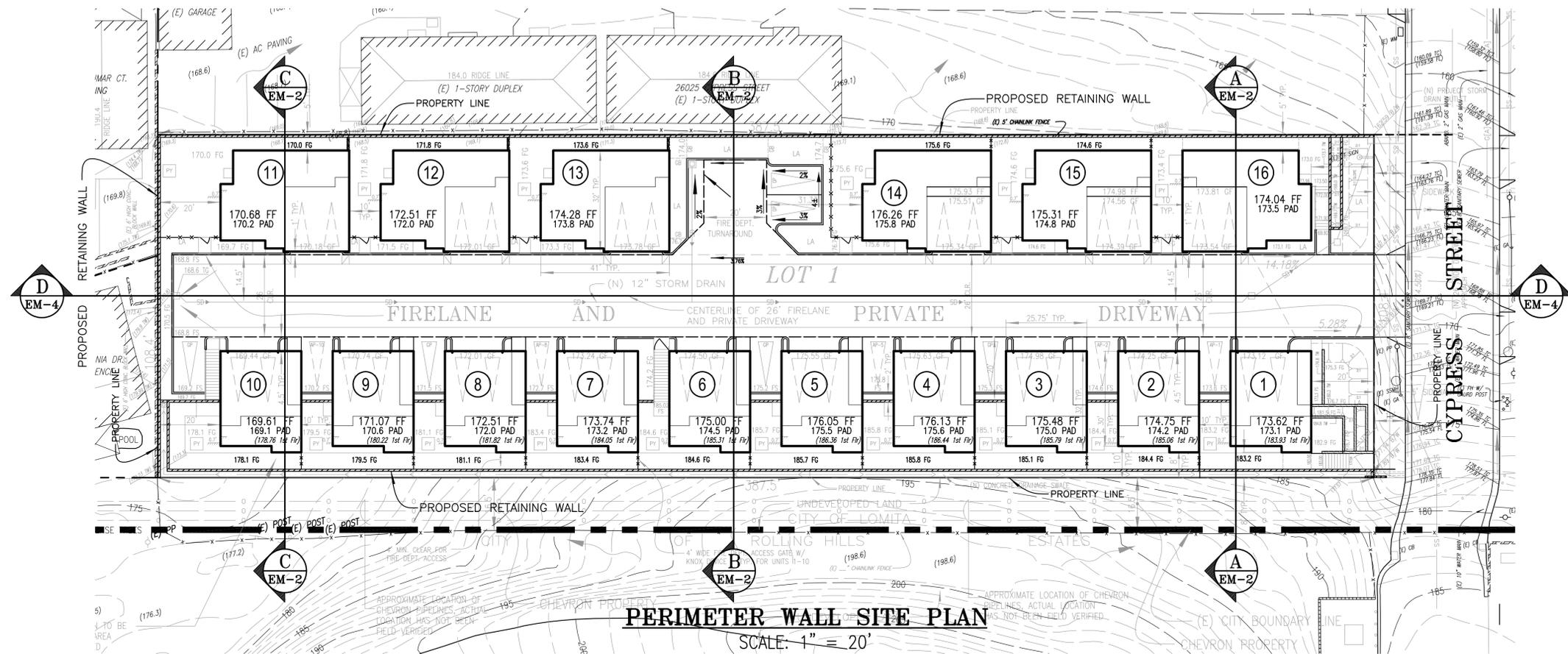
- TOF TOP OF FENCE
- TRW TOP OF RETAINING WALL
- TW TOP OF WALL
- T/F TOP OF FOOTING



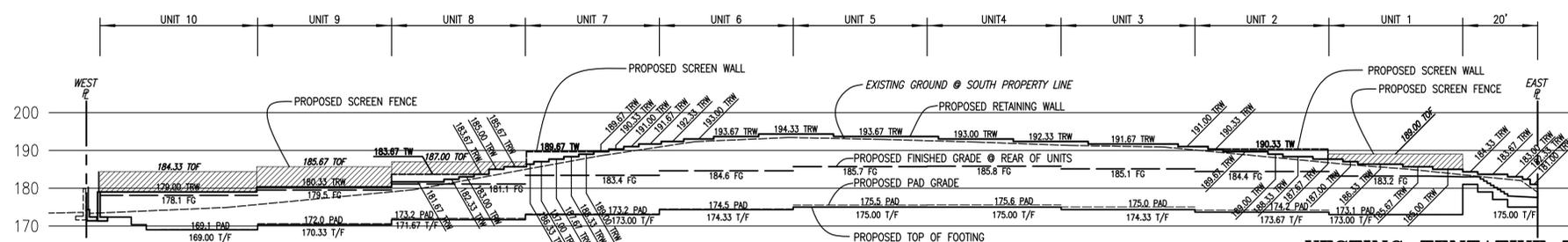
TRACT NO. 71769 - NORTH WALL (LOOKING NORTHERLY)
SCALE 1" = 20'



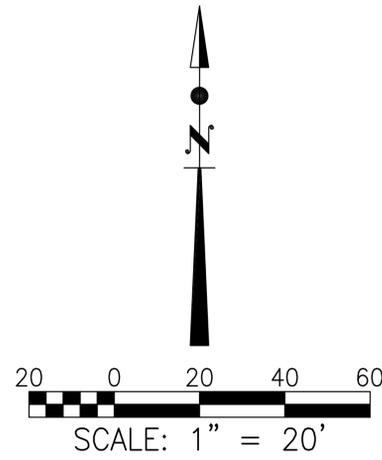
TRACT NO. 71769 - WEST WALL (LOOKING WESTERLY)
SCALE 1" = 20'



PERIMETER WALL SITE PLAN
SCALE: 1" = 20'



TRACT NO. 71769 - SOUTH WALL (LOOKING NORTHERLY)
SCALE 1" = 20'

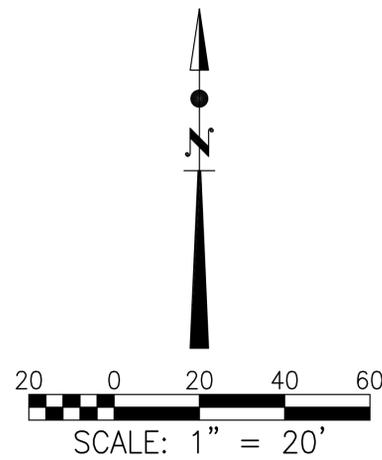
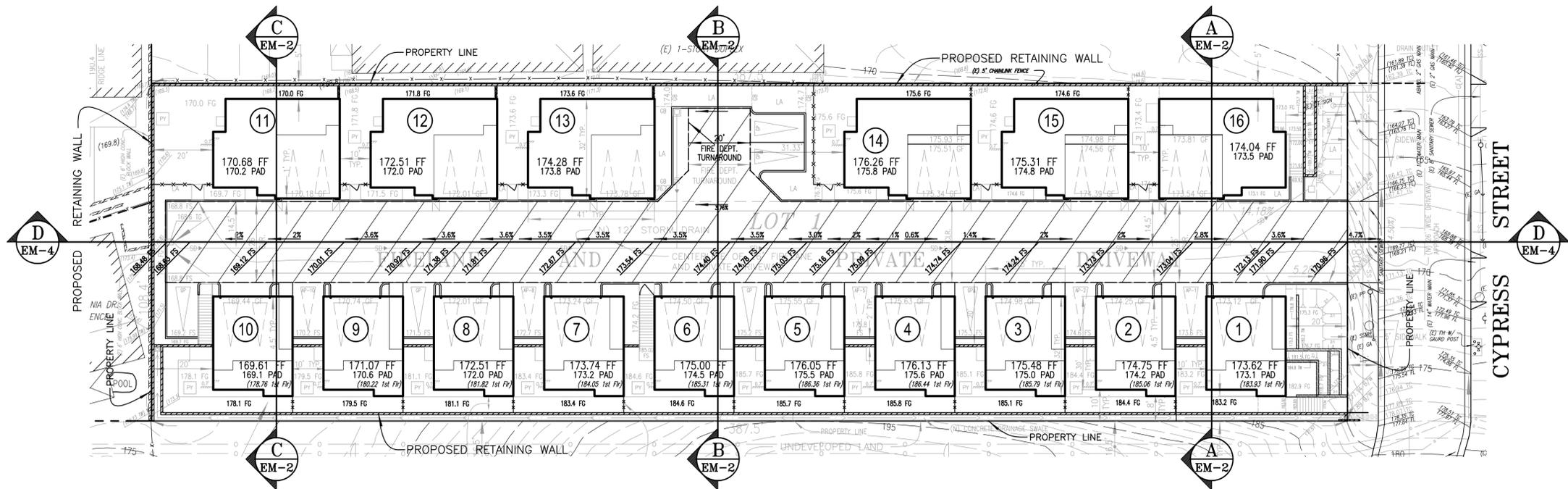


VESTING TENTATIVE TRACT NO. 71769

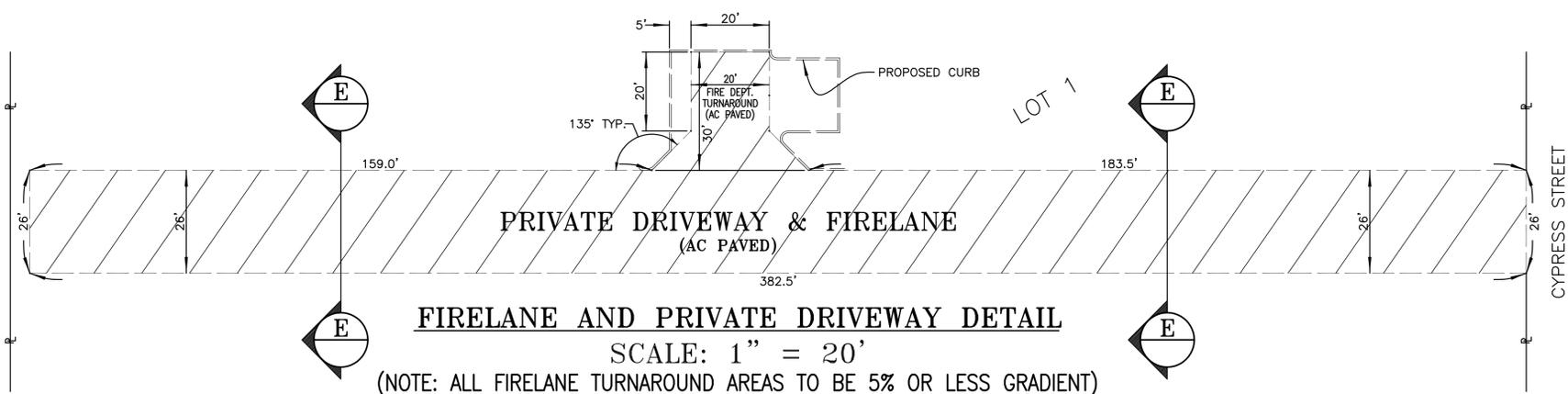
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	TITLE: PERIMETER WALL SITE PLAN FOR EXHIBIT MAP		DR: C.V. APVD: T.Y. SCALE: AS SHOWN DATE: 01-09-13	
DEPT OF REGIONAL PLANNING TR071769 EXHIBIT JAN 15 2013		DRAWING NO. EM-3		

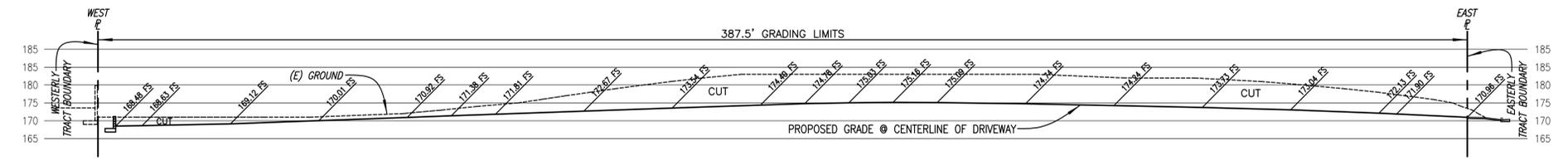
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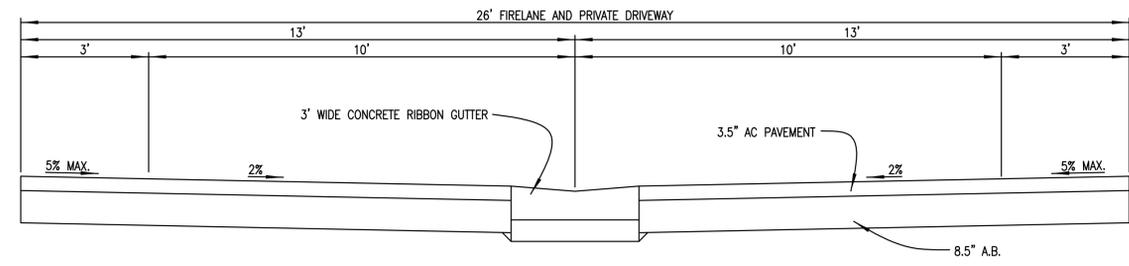
FIRELANE AND PRIVATE DRIVEWAY SITE PLAN
SCALE: 1" = 20'



FIRELANE AND PRIVATE DRIVEWAY DETAIL
SCALE: 1" = 20'
(NOTE: ALL FIRELANE TURNAROUND AREAS TO BE 5% OR LESS GRADIENT)



SECTION D-D
TRACT NO. 71769 - PROFILE OF DRIVEWAY CENTERLINE
SCALE: 1" = 20'



26' FIRELANE AND PRIVATE DRIVEWAY DETAIL
SCALE: 1" = 2'

VESTING TENTATIVE TRACT NO. 71769

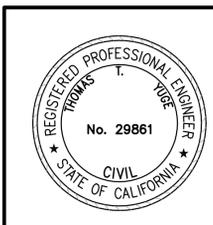
NO.	DATE	REVISION	BY

SITE ADDRESS: 26035 CYPRESS STREET
LOMITA, CALIFORNIA

TITLE FIRELANE AND PRIVATE DRIVEWAY SITE PLAN
FOR EXHIBIT MAP

DR: C.V.	APVD: T.Y.	DRAWING NO. EM-4
SCALE: AS SHOWN	DATE: 01-09-13	
SHEET 4	OF 4	

DEPT OF REGIONAL PLANNING
TR071769 EXHIBIT JAN 15 2013



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