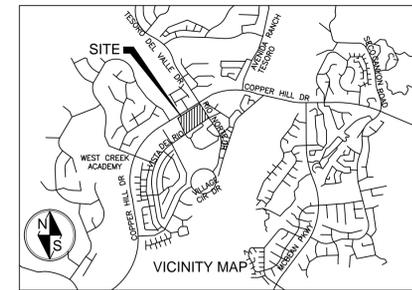


# CONDITIONAL USE PERMIT RCUP201500130 FOR FOUNTAINHEAD DEVELOPMENT

## WEST CREEK VILLAGE CENTER COPPER HILL DRIVE & RIO NORTE DRIVE VALENCIA, CA



**PROJECT INFORMATION:**

**SITE ADDRESS:**  
SWC COPPER HILL DRIVE AND RIO NORTE DRIVE  
VALENCIA, CA 91354  
APNS: 2810-110-015  
2810-110-016  
2810-110-017  
2810-110-004  
2810-110-005  
2810-110-006

**OWNER:**  
LNR CPI WEST CREEK RETAIL, LLC  
21255 BURBANK BOULEVARD, SUITE 140  
WOODLAND HILLS, CA 91367  
TEL. NO. (818)206-3011

**DEVELOPER:**  
FOUNTAINHEAD DEVELOPMENT  
1401 QUAIL STREET, SUITE 100  
NEWPORT BEACH, CA 92660  
TEL. NO. (949)752-2515 EXT. 6  
FAX (949)752-7442 (FAX)  
ATTN: VASANTHI OKUMA

**PROJECT ENGINEER:**  
LARS ANDERSEN AND ASSOCIATES, INC.  
4694 WEST JACQUELYN AVENUE  
FRESNO, CA 93722  
TEL. NO. (559)276-2790  
PROJECT NO. 14095.00  
ATTN: SCOTT MOMMER

**SHEET INDEX:**

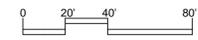
- C-1 COVER SHEET
- C-2 CONCEPTUAL SITE PLAN
- C-3 CONCEPTUAL GRADING PLAN
- C-4 CONCEPTUAL UTILITY PLAN
- C-5 CONCEPTUAL FIRE PLAN
- A-1 CONCEPTUAL BUILDING A FLOOR PLAN AND ELEVATIONS
- A-2 CONCEPTUAL BUILDING B FLOOR PLAN AND ELEVATIONS
- A-3 CONCEPTUAL BUILDING C FLOOR PLAN AND ELEVATIONS
- A-4 CONCEPTUAL BUILDING D ELEVATIONS
- A-4.1 CONCEPTUAL BUILDING D ELEVATIONS
- A-5 CONCEPTUAL BUILDING D FLOOR PLAN
- A-5.1 ENLARGED COMMON AREA PLANS
- A-5.2 ENLARGES UNIT PLANS
- A-6 CONCEPTUAL BUILDING E ELEVATIONS
- A-7 CONCEPTUAL BUILDING E FLOOR PLAN
- A-8 CONCEPTUAL BUILDING FRONT VIEW
- LS-1 CONCEPTUAL LANDSCAPE
- LS-2 CONCEPTUAL LANDSCAPE
- LS-3 CONCEPTUAL LANDSCAPE
- LS-4 PRELIMINARY FUEL MODIFICATION SITE IMAGES
- LS-5 PRELIMINARY FUEL MODIFICATION ASSESSMENT NOTES
- SL-1 SITE PHOTOMETRIC PLAN
- SL-2 LIGHT FIXTURE CUT SHEETS
- SL-3 LIGHT FIXTURE CUT SHEETS
- SL-4 TITLE 24 OUTDOOR LIGHTING FORMS
- SL-5 TITLE 24 OUTDOOR LIGHTING FORMS
- SL-6 TITLE 24 OUTDOOR LIGHTING POWER ALLOWANCE FORMS



Aerial Map  
No Scale

DATE	DESCRIPTION
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12-23-2015	RESPONSE TO PLANNING DEPARTMENT
05-27-2016	C.U.P. RESUBMITTAL
07-20-2016	C.U.P. RESUBMITTAL

DATE: 07-20-16  
DRAWN BY: LT  
CHECKED BY: DJZ



**LEGEND**

- BSL BUILDING SETBACK LINE
- INSTALL PRECAST CONCRETE WHEEL STOP
- PROPOSED CONCRETE SIDEWALK AREA
- PAINT 4" WIDE DIAGONAL STRIPES AT 36" MAX O.C.
- ACCESSIBLE PARKING SPACES
- STALL COUNT
- ADA PEDESTRIAN CIRCULATION
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE (PENDING FINAL MAP APPROVAL DESIGNATED JOB NUMBER 13-11-53-14025)
- PROPOSED CONCRETE CURB
- EXISTING CONCRETE CURB
- PROPOSED CONCRETE BLOCK WALL
- EXISTING CONCRETE BLOCK WALL
- PROPOSED GROUND SLOPE
- FIRE HYDRANT

**KEYNOTES**  
PROPOSED IMPROVEMENTS

- 1 CONSTRUCT CONCRETE CURB
- 2 INSTALL PARKING LOT PAVING
- 3 PROPOSED ACCESSIBLE RAMP, INSTALL DETECTABLE WARNING SURFACE PER CURRENT ACCESSIBILITY CODE REQUIREMENTS.
- 4 INSTALL 4" THICK PCC SIDEWALK/HARDSCAPE.
- 5 PROPOSED TRASH ENCLOSURE
- 6 PROPOSED BICYCLE PARKING SPACE AND BICYCLE RACK AS SHOWN ON PLAN
- 7 INSTALL WHEEL STOP
- 8 PROPOSED MONUMENT SIGN
- 9 PROPOSED FIRE HYDRANT
- 10 PROPOSED 6' HIGH WROUGHT IRON FENCE
- 11 PROPOSED FIRE DEPARTMENT EMERGENCY ACCESS GATE
- 12 PROPOSED PEDESTRIAN ACCESS GATE
- 13 PROPOSED LIGHTING. SEE PHOTOMETRIC PLANS FOR DETAIL.
- 14 PAINT FACE OF CURB RED WITH STENCILED WHITE LETTERING 3" HIGH STROKE, OR 3 1/4" "NO PARKING - FIRE LANE" @ 25' MAXIMUM INTERVAL
- 15 PROPOSED LANDSCAPE BERM
- 16 PROPOSED BIOSWALE BOUNDARY

EXISTING IMPROVEMENTS

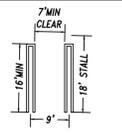
- 1 EXISTING CONCRETE CURB INLET TO REMAIN
- 2 EXISTING CONCRETE CURB OR CURB & GUTTER TO BE REMOVED.
- 3 EXISTING CONCRETE CURB OR CURB & GUTTER TO REMAIN.
- 4 EXISTING SIDEWALK TO REMAIN. ALL EXISTING SIDEWALKS IN EXCESS OF 2% MAXIMUM CROSS SLOPE MUST BE BROUGHT INTO COMPLIANCE PRIOR TO ACCEPTANCE BY PUBLIC WORKS
- 5 EXISTING SIDEWALK TO BE REMOVED
- 6 EXISTING BLOCK WALL TO REMAIN
- 7 EXISTING STREET LIGHT TO REMAIN
- 8 EXISTING FIRE HYDRANT TO BE RELOCATED
- 9 EXISTING FIRE HYDRANT TO REMAIN
- 10 EXISTING FENCE TO BE REMOVED
- 11 EXISTING LANDSCAPE TO REMAIN
- 12 EXISTING TRAFFIC SIGNAL POLE TO REMAIN
- 13 EXISTING DRIVEWAY APPROACH TO REMAIN
- 14 EXISTING TREE TO BE REMOVED

**PARKING DATA:**

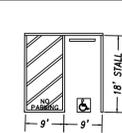
PARCEL/ BUILDING	REQUIRED RATIO		REQUIRED SPACES		PROPOSED PARKING SPACES				
	PARKING	BICYCLE	PARKING	ACCESSIBLE BICYCLE	STANDARD	COMPACT	ACCESSIBLE	BICYCLE	
A/A	1:3PERSON	1:1000 SF LT*	24	1	2	24	0	1	2
B/B	1:3PERSON	1:1000 SF LT*	35	2	3	38	0	2	4
C/C	1:250 SQ. FT.	1:1000 SF LT*	20	1	5	23	0	1	6
D/D	1:2 UNIT	1:10 UNITS ST*	80	4	11	80	0	4	12
E/E	1:250 SQ. FT.	1:5000 SF ST*	50	2	3	78	0	2	4
TOTAL PARKING			209	10	24	243	0	10	28

\*MINIMUM 2 SHORT TERM (ST), 2 LONG TERM (LT)

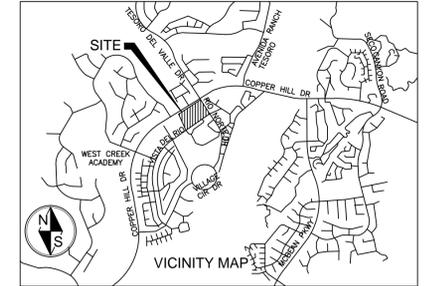
**TYPICAL STANDARD PARKING STALL:**



**TYPICAL STANDARD ACCESSIBLE STALL:**



- NOTE:**
1. IF FAST-FOOD RESTAURANTS ARE APPROVED FOR DEVELOPMENT ON THE SITE, IMPROVE TRAFFIC FLOW AT RESTAURANT DRIVE-THROUGH WINDOWS BY DESIGNING SEPARATE WINDOWS FOR DIFFERENT FUNCTIONS AND BY PROVIDING TEMPORARY PARKING FOR ORDERS NOT IMMEDIATELY READY FOR PICKUP.
  2. PROVIDE ON-SITE TRUCK LOADING ZONES WITHIN COMMERCIAL DEVELOPMENTS.
  3. THE DRIVE-THRU RESTAURANTS WILL PROVIDE SEPARATE WINDOWS FOR DIFFERENT FUNCTIONS AND TEMPORARY PARKING FOR ORDERS NOT IMMEDIATELY READY FOR PICKUP.
  4. ALL EXISTING AND PROPOSED CURB RAMPS TO COMPLY WITH 2013 CBC. EXISTING CURB RAMP TO BE REMOVED AND REPLACED IF NON COMPLIANT.



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TEL. NO. (818)206-3011

**DEVELOPER:**  
FOUNTAINHEAD DEVELOPMENT  
1401 QUAIL STREET, SUITE 100  
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TEL. NO. (949)752-2515 EXT. 6  
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ATTN: VASANTHI OKUMA

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4694 WEST JACQUELYN AVENUE  
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TEL. NO. (559)276-2790  
PROJECT NO. 14095.00  
ATTN: SCOTT MOMMER

**SITE DATA:**

PLANNED LAND USE: WEST HILLS WEST CREEK PLANNED AREA  
EXISTING ZONE: C-2 (NEIGHBORHOOD BUSINESS ZONE)  
WATER PURVEYOR: THE VALENCIA WATER COMPANY  
AFFER TO BE CONSIDERED IN THE WATER SUPPLY ASSESSMENT.

**NET AREA:**

PARCEL A	0.66 AC
PARCEL B	0.82 AC
PARCEL C	1.29 AC
PARCEL D	3.54 AC
PARCEL E	2.00 AC
PARCEL F	0.31 AC
TOTAL SITE AREA:	8.62 AC

**BUILDING SETBACKS**

REQUIRED:	MAXIMUM HEIGHT**
COPPER HILL DRIVE	35'*
RIO NORTE DRIVE	30'
VISTA DEL RIO DRIVE	10'
PROPOSED:	
COPPER HILL DRIVE	32'
RIO NORTE DRIVE	35'
VISTA DEL RIO DRIVE	19'

\*\*BUILDING HEIGHT SHALL COMPLY WITH FIRE CODE 503.1.1 AND 503.2.2

**PROPOSED BUILDING AREA**

PARCEL	DESCRIPTION	AREA
PARCEL A	BUILDING A (RESTAURANT W/ DRIVE THRU)(70 SEATS)	1,800 S.F.
PARCEL B	BUILDING B (RESTAURANT WITH DRIVE THRU)(104 SEATS)	2,995 S.F.
PARCEL C	BUILDING C (CONVENIENCE STORE)	4,968 S.F.
PARCEL D	BUILDING D (ASSISTED LIVING TWO STORY)	85,000 S.F.
PARCEL E	BUILDING E (RETAIL SINGLE STORY)	12,300 S.F.
TOTAL AREA		107,063 S.F.

**PROPOSED LANDSCAPE AREA**  
PROPOSED LANDSCAPE AREA OF OVERALL SITE AREA 36.7%

**DRAWING ISSUE/REVISION RECORD**

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CHECKED BY: DJZ



**COPPER HILL DRIVE & RIO NORTE DRIVE, VALENCIA, CA**

**CONCEPTUAL SITE PLAN**



(ACTUAL) NORTH  
(PROJECT) NORTH

LARS ANDERSEN & ASSOCIATES, INC.  
CIVIL ENGINEERS - LAND SURVEYORS - PLANNERS  
4694 WEST JACQUELYN AVENUE, FRESNO, CALIFORNIA 93722  
TEL. 559.276.2790 FAX 559.276.6850 WWW.LARSANDERSEN.COM

Sheet Number: C-2

**ESTIMATED QUANTITIES :**

CUT : 12,332 CY    FILL : 11,735 CY  
 IMPORT : 0 CY    EXPORT : 597 CY

THESE QUANTITIES DO NOT INCLUDE ANY SHRINKAGE, SUBSIDENCE, OVER-EXCAVATION, OR ANY SPECIAL CONDITIONS OR REQUIREMENTS THAT MAY BE SPECIFIED IN THE GEOTECHNICAL INVESTIGATION REPORT. THESE QUANTITIES ARE FOR PERMIT PURPOSES ONLY. ALL CONTRACTORS BIDDING ON THIS PROJECT SHOULD MAKE THEIR OWN DETERMINATION OF EARTHWORK QUANTITIES PRIOR TO SUBMITTING A BID.

**LEGEND**

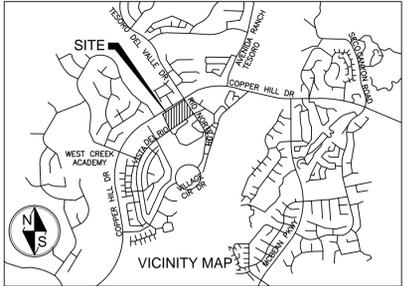
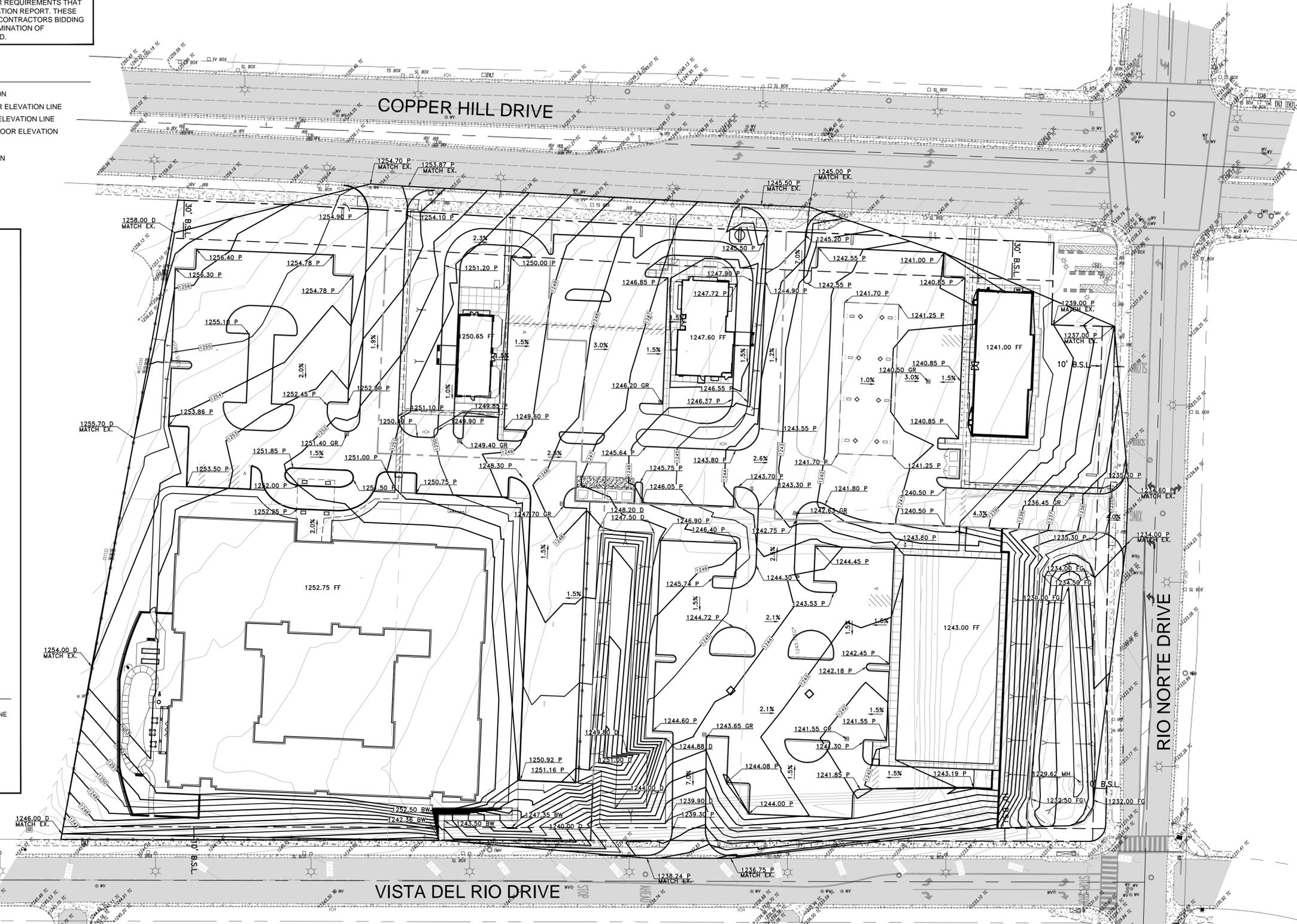
- 1244 P PROPOSED ELEVATION
- 361 PROPOSED CONTOUR ELEVATION LINE
- 361 EXISTING CONTOUR ELEVATION LINE
- FF = 362.00 PROPOSED FINISH FLOOR ELEVATION
- 361.30 GR GRATE ELEVATION
- 360.30 P PAVEMENT ELEVATION
- 360.30 D DIRT ELEVATION
- GRADE BREAK

**KEYNOTES**

- PAINT DIRECTIONAL ARROW IN CENTER OF LANE
- PAINT SOLID 4" WHITE LINE
- PAINT SOLID 4" YELLOW LINE

**DETAIL A**

OFFSITE STRIPING    NO SCALE



**PROJECT INFORMATION:**

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**DEVELOPER:**  
 FOUNTAINHEAD DEVELOPMENT  
 1401 QUAIL STREET, SUITE 100  
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 FAX (949)752-7442 (FAX)  
 ATTN: VASANTHI OKUMA

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 LARS ANDERSEN AND ASSOCIATES, INC.  
 4694 WEST JACQUELYN AVENUE  
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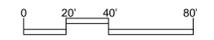
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**COPPER HILL DRIVE & RIO NORTE DRIVE, VALENCIA, CA**

**CONCEPTUAL GRADING PLAN**

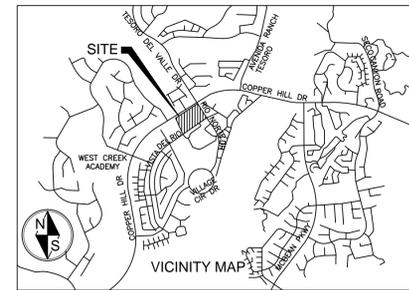


(ACTUAL) NORTH

(PROJECT) NORTH

LARS ANDERSEN & ASSOCIATES, INC.  
 CIVIL ENGINEERS - LAND SURVEYORS - PLANNERS  
 4694 WEST JACQUELYN AVENUE, FRESNO CALIFORNIA 93722  
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Sheet Number: C-3



**PROJECT INFORMATION:**

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 SWC COPPER HILL DRIVE AND RIO NORTE DRIVE  
 VALENCIA, CA 91354  
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 FAX (949)752-7442 (FAX)  
 ATTN: VASANTHI OKUMA

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 4694 WEST JACQUELYN AVENUE  
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**NOTES:**

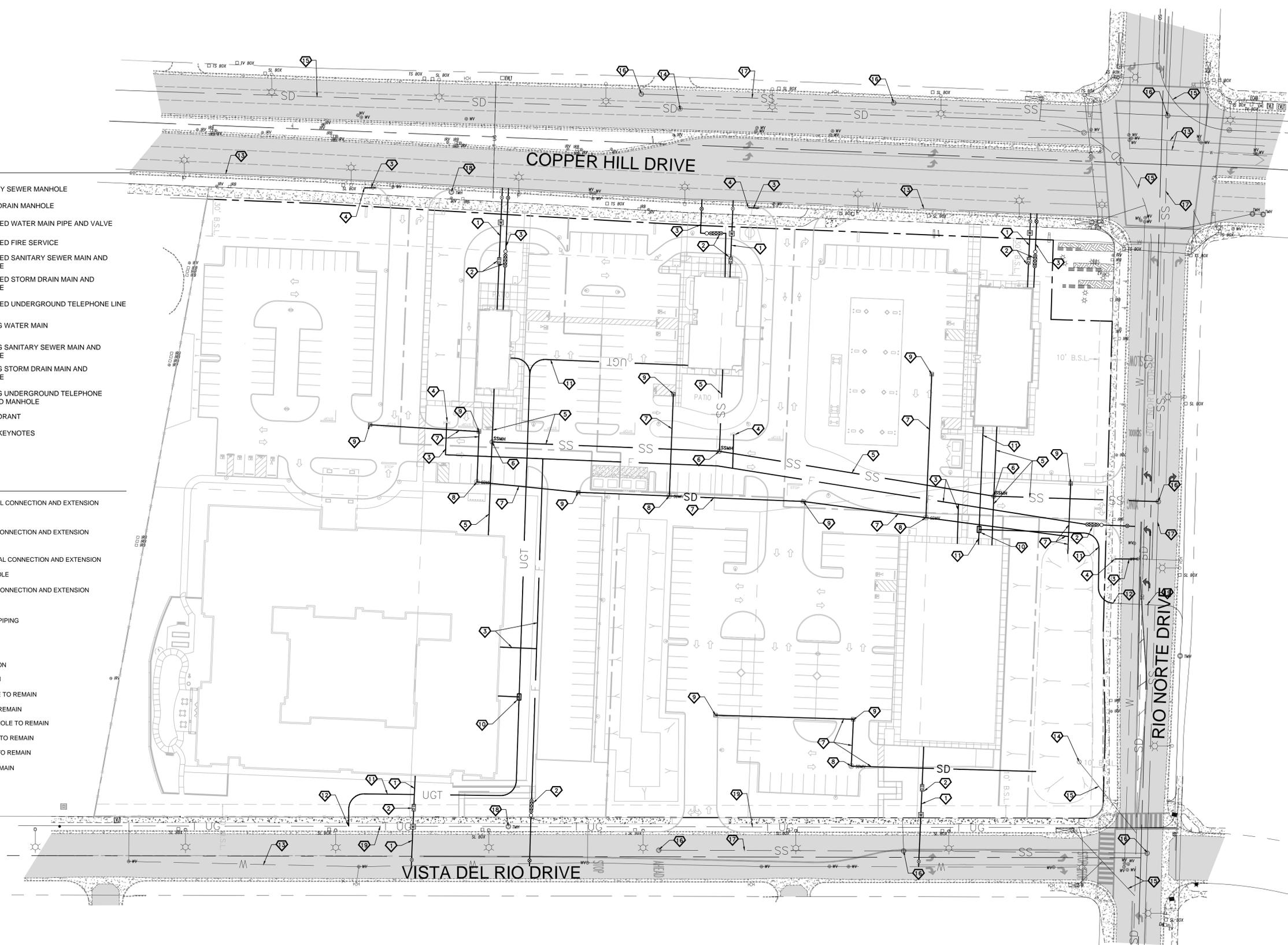
1. ALL FIRE HYDRANTS SHALL MEASURE 6"x4"x2-1/2" BRASS OR BRONZE, CONFORMING TO CURRENT AWWA STANDARD C503 OR APPROVED EQUAL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATION 8.
2. ALL REQUIRED PUBLIC FIRE HYDRANTS SHALL BE INSTALLED, TESTED, AND ACCEPTED PRIOR TO BEGINNING CONSTRUCTION. FIRE CODE 501.4.
3. ALL PRIVATE ON-SITE FIRE HYDRANTS SHALL BE INSTALLED, TESTED, AND ACCEPTED PRIOR TO BEGINNING CONSTRUCTION. FIRE CODE 901.5.1.
4. ALL ON-SITE FIRE HYDRANTS SHALL BE INSTALLED A MIN. OF 25' FROM A STRUCTURE OR PROTECTED BY A TWO (2) HOUR RATED FIREWALL. FIRE CODE APPENDIX C106.
5. PLANS SHOWING UNDERGROUND PIPING FOR PRIVATE ON-SITE FIRE HYDRANTS SHALL BE SUBMITTED TO THE SPRINKLER PLAN CHECK UNIT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. FIRE CODE 901. & COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATION 7.

**LEGEND**

- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- W PROPOSED WATER MAIN PIPE AND VALVE
- F PROPOSED FIRE SERVICE
- SS PROPOSED SANITARY SEWER MAIN AND MANHOLE
- SD PROPOSED STORM DRAIN MAIN AND MANHOLE
- UGT PROPOSED UNDERGROUND TELEPHONE LINE
- W EXISTING WATER MAIN
- SS EXISTING SANITARY SEWER MAIN AND MANHOLE
- SD EXISTING STORM DRAIN MAIN AND MANHOLE
- TUG EXISTING UNDERGROUND TELEPHONE LINE AND MANHOLE
- HOH FIRE HYDRANT
- KEYNOTE UTILITY KEYNOTES

**KEYNOTES**

- 1 INSTALL WATER SERVICE LATERAL CONNECTION AND EXTENSION
- 2 INSTALL BACKFLOW PREVENTOR
- 3 INSTALL FIRE SERVICE LATERAL CONNECTION AND EXTENSION
- 4 INSTALL FIRE HYDRANT
- 5 INSTALL SANITARY SEWER LATERAL CONNECTION AND EXTENSION
- 6 INSTALL SANITARY SEWER MANHOLE
- 7 INSTALL STORM DRAIN LATERAL CONNECTION AND EXTENSION
- 8 INSTALL STORM DRAIN MANHOLE
- 9 INSTALL INLET AND CONNECT TO PIPING
- 10 INSTALL 3'X5' TELEPHONE BOX
- 11 INSTALL TELEPHONE LINE
- 12 POINT OF TELEPHONE CONNECTION
- 13 EXISTING WATER MAIN TO REMAIN
- 14 EXISTING STORM DRAIN MANHOLE TO REMAIN
- 15 EXISTING STORM DRAIN MAIN TO REMAIN
- 16 EXISTING SANITARY SEWER MANHOLE TO REMAIN
- 17 EXISTING SANITARY SEWER MAIN TO REMAIN
- 18 EXISTING TELEPHONE MANHOLE TO REMAIN
- 19 EXISTING TELEPHONE LINE TO REMAIN



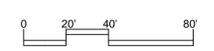
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**COPPER HILL DRIVE & RIO NORTE DRIVE, VALENCIA, CA**

**CONCEPTUAL UTILITIES PLAN**

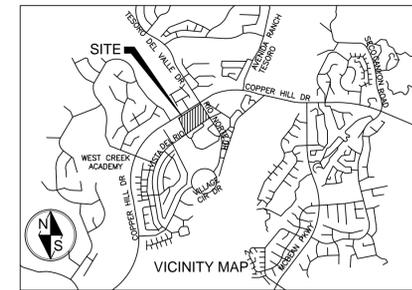
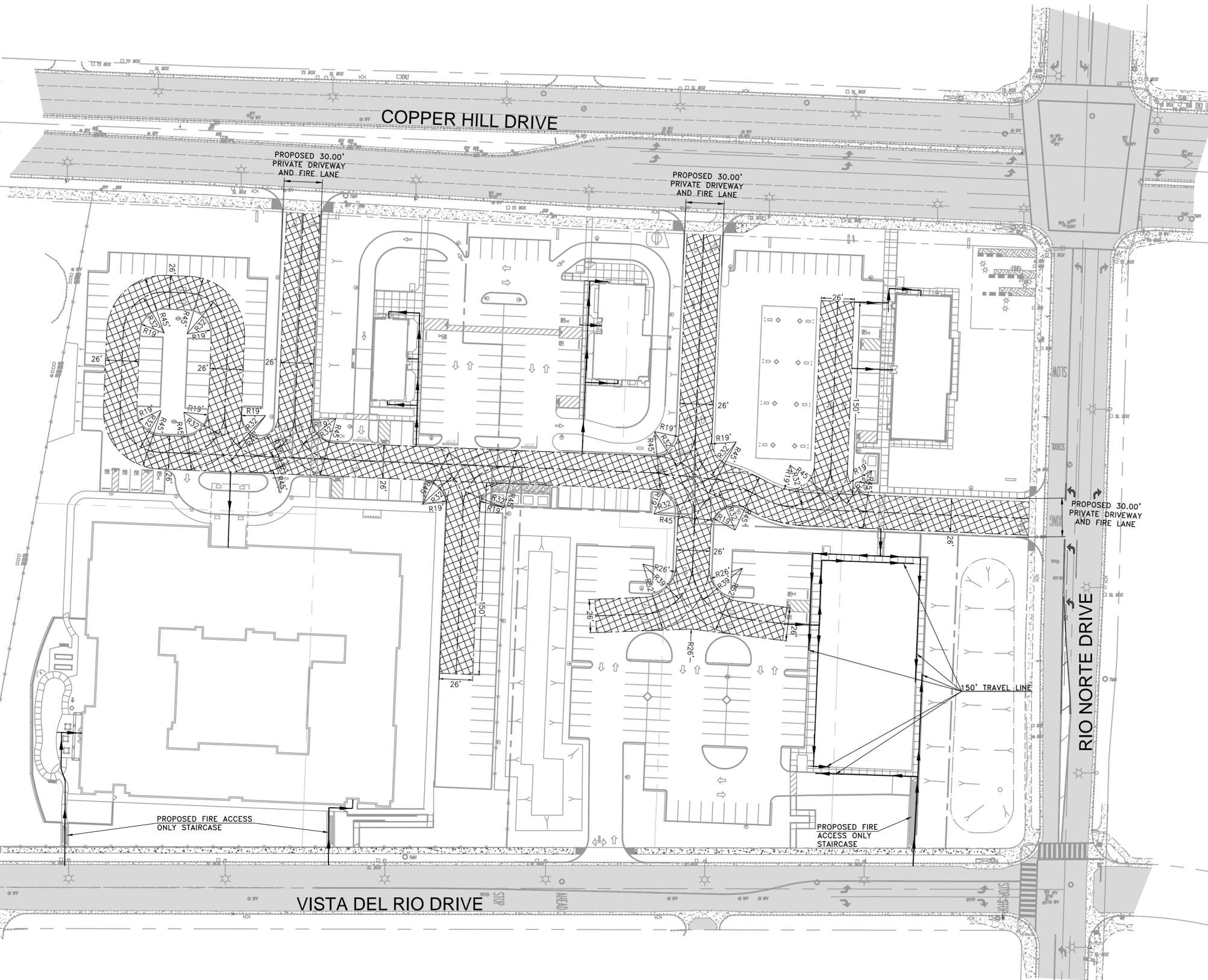


Sheet Number: C-4

LARS ANDERSEN & ASSOCIATES, INC.  
 CIVIL ENGINEERS - LAND SURVEYORS - PLANNERS  
 4694 WEST JACQUELYN AVENUE, FRESNO CALIFORNIA 93722  
 TEL: 559.276.2790 FAX: 559.276.6850 WWW.LARSANDERSEN.COM

- NOTES:**
- ALL ON-SITE FIRE APPARATUS ACCESS ROADS SHALL BE LABELED AS "PRIVATE DRIVEWAY AND FIRE LANE" ON THE SITE PLAN ALONG WITH THE WIDTHS CLEARLY DEPICTED ON THE PLAN. LABELING IS REQUIRED TO ASSURE THE ACCESS AVAILABILITY FOR FIRE DEPARTMENT USE. THE DESIGNATION ALLOWS FOR APPROPRIATE SIGNAGE PROHIBITING PARKING.
  - FIRE APPARATUS ACCESS ROADS MUST BE INSTALLED AND MAINTAINED IN A SERVICEABLE MANNER PRIOR TO AND DURING THE TIME OF CONSTRUCTION. FIRE CODE 501.4
  - ALL FIRE LANES SHALL BE CLEAR OF ALL ENCROACHMENTS, AND SHALL BE MAINTAINED IN ACCORDANCE WITH THE TITLE 32, COUNTY OF LOS ANGELES FIRE CODE.
  - THE FIRE APPARATUS ACCESS ROADS AND DESIGNATED FIRE LANES SHALL BE MEASURED FROM FLOW LINE TO FLOW LINE.
  - PROVIDE A MINIMUM UNOBSTRUCTED WIDTH OF 26 FEET, EXCLUSIVE OF SHOULDERS AND AN UNOBSTRUCTED VERTICAL CLEARANCE "CLEAR TO SKY" FIRE DEPARTMENT VEHICULAR ACCESS TO WITHIN 150 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING. FIRE CODE 503.1.1 & 503.2.2
  - PROVIDE A MINIMUM UNOBSTRUCTED WIDTH OF 28 FEET, EXCLUSIVE OF SHOULDERS AND AN UNOBSTRUCTED VERTICAL CLEARANCE "CLEAR TO SKY" FIRE DEPARTMENT VEHICULAR ACCESS TO WITHIN 150 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING ABOVE THE LOWEST LEVEL OF THE FIRE APPARATUS ACCESS ROAD IS MORE THAN 30 FEET HIGH OR THE BUILDING IS MORE THAN THREE STORIES. THE ACCESS ROADWAY SHALL BE LOCATED A MINIMUM OF 15 FEET AND A MAXIMUM OF 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING. THE SIDE OF THE BUILDING ON WHICH THE AERIAL FIRE APPARATUS ACCESS ROAD IS POSITIONED SHALL BE APPROVED BY THE FIRE CODE OFFICIAL. FIRE CODE 503.1.1 AND 503.2.2.
  - IF THE FIRE APPARATUS ACCESS ROAD IS SEPARATED BY ISLAND, PROVIDE A MINIMUM UNOBSTRUCTED WIDTH OF 20 FEET EXCLUSIVE OF SHOULDERS AND AN UNOBSTRUCTED VERTICAL CLEARANCE "CLEAR TO SKY" FIRE DEPARTMENT'S VEHICULAR ACCESS TO WITHIN 150 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING. FIRE CODE 503.1.1 AND 503.2.2.
  - FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED WITH A 32 FOOT CENTERLINE TURNING RADIUS. FIRE CODE 503.2.4
  - FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. FIRE APPARATUS ACCESS ROADS HAVING A GRADE OF 10 PERCENT OR GREATER SHALL HAVE A PAVED OR CONCRETE SURFACE. FIRE CODE 503.2.3
  - PROVIDE APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS "NO PARKING - FIRE LANE". SIGNS SHALL HAVE A MINIMUM DIMENSION OF 12 INCHES WIDE BY 18 INCHES HIGH AND HAVE RED LETTERS ON A WHITE REFLECTIVE BACKGROUND. SIGNS SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS, TO CLEARLY INDICATE THE ENTRANCE TO SUCH ROAD, OR PROHIBIT THE OBSTRUCTION THEREOF AND AT INTERVALS, AS REQUIRED BY THE FIRE INSPECTOR. FIRE CODE 503.3
  - A MINIMUM 5 FOOT WIDE APPROVED FIREFIGHTER ACCESS WALKWAY LEADING FROM THE FIRE DEPARTMENT ACCESS ROAD TO ALL REQUIRED OPENINGS IN THE BUILDING'S EXTERIOR WALLS SHALL BE PROVIDED FOR FIREFIGHTING AND RESCUE PURPOSES. FIRE CODE 504.1
  - FIRE APPARATUS ACCESS ROADS SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING BY THE PARKING OF VEHICLES, OR THE USE OF TRAFFIC CALMING DEVICES, INCLUDING BUT NOT LIMITED TO, SPEED BUMPS OR SPEED HUMPS. THE MINIMUM WIDTHS AND CLEARANCES ESTABLISHED IN SECTION 503.2.1 SHALL BE MAINTAINED AT ALL TIMES. FIRE CODE 503.4
  - TRAFFIC CALMING DEVICES, INCLUDING BUT NOT LIMITED TO, SPEED BUMPS AND SPEED HUMPS, SHALL BE PROHIBITED UNLESS APPROVED BY THE FIRE CODE OFFICIAL. FIRE CODE 503.4.1
  - SECURITY BARRIERS, VISUAL SCREEN BARRIERS OR OTHER OBSTRUCTIONS SHALL NOT BE INSTALLED ON THE ROOF OF ANY BUILDING IN SUCH A MANNER AS TO OBSTRUCT FIREFIGHTER ACCESS OR EGRESS IN THE EVENT OF FIRE OR OTHER EMERGENCY. PARAPETS SHALL NOT EXCEED 48 INCHES FROM THE TOP OF THE PARAPET TO THE ROOF SURFACE ON MORE THAN TWO SIDES. FIRE CODE 504.5
  - APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH. FIRE CODE 505.1
  - THE DIMENSIONS OF THE APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE MAINTAINED AS ORIGINALLY APPROVED BY THE FIRE CODE OFFICIAL. FIRE CODE 503.2.2.1.
  - MULTIPLE RESIDENTIAL AND COMMERCIAL BUILDINGS HAVING ENTRANCES TO INDIVIDUAL UNITS NOT VISIBLE FROM THE STREET OR ROAD SHALL HAVE UNIT NUMBERS DISPLAYED IN GROUPS FOR ALL UNITS WITHIN EACH STRUCTURE. SUCH NUMBERS MAY BE GROUPED ON THE WALL OF THE STRUCTURE OR MOUNTED ON A POST INDEPENDENT OF THE STRUCTURE AND SHALL BE POSITIONED TO BE PLAINLY VISIBLE FROM THE STREET OR ROAD AS REQUIRED BY FIRE CODE 505.3 AND IN ACCORDANCE WITH FIRE CODE 505.1.

- LEGEND**
-  PRIVATE DRIVEWAY AND FIRE LANE
  -  FIRE APPARATUS ACCESS ROAD CENTERLINE
  -  FULL WIDTH FIRE APPARATUS ACCESS ROAD
  -  FIREFIGHTER WALKWAY ACCESS ROUTE



**PROJECT INFORMATION:**

**SITE ADDRESS:**  
 SWC COPPER HILL DRIVE AND RIO NORTE DRIVE  
 VALENCIA, CA 91354  
 APNS: 2810-110-015  
 2810-110-016  
 2810-110-017  
 2810-110-004  
 2810-110-005  
 2810-110-006

**OWNER:**  
 LNR CPI WEST CREEK RETAIL, LLC  
 21255 BURBANK BOULEVARD, SUITE 140  
 WOODLAND HILLS, CA 91367  
 TEL. NO. (818)206-3011

**DEVELOPER:**  
 FOUNTAINHEAD DEVELOPMENT  
 1401 QUAIL STREET, SUITE 100  
 NEWPORT BEACH, CA 92660  
 TEL. NO. (949)752-2515 EXT. 6  
 FAX (949)752-7442 (FAX)  
 ATTN: VASANTHI OKUMA

**PROJECT ENGINEER:**  
 LARS ANDERSEN AND ASSOCIATES, INC.  
 4694 WEST JACQUELYN AVENUE  
 FRESNO, CA 93722  
 TEL. NO. (559)276-2790  
 PROJECT NO. 14095.00  
 ATTN: SCOTT MOMMER

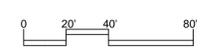
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DATE	DESCRIPTION
10-27-2015	C.U.P. SUBMITTAL
12-23-2015	RESPONSE TO PLANNING DEPARTMENT
05-27-2016	C.U.P. RESUBMITTAL
07-20-2016	C.U.P. RESUBMITTAL

DATE: 07-20-16  
 DRAWN BY: LT  
 CHECKED BY: DJZ



# COPPER HILL DRIVE & RIO NORTE DRIVE, VALENCIA, CA

## CONCEPTUAL FIRE PLAN

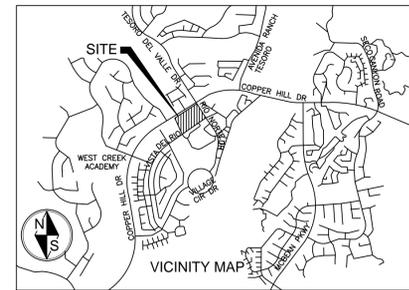


(ACTUAL) NORTH  
  
 (PROJECT) NORTH  




LARS ANDERSEN & ASSOCIATES, INC.  
 CIVIL ENGINEERS - LAND SURVEYORS - PLANNERS  
 4694 WEST JACQUELYN AVENUE, FRESNO CALIFORNIA 93722  
 TEL. 559.276.2790 FAX. 559.276.6850 WWW.LARSANDERSEN.COM

Sheet Number: C-5



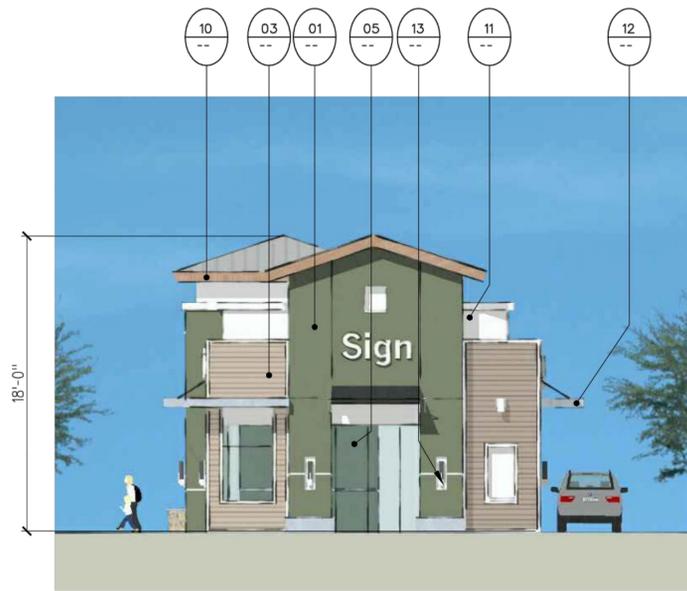
**PROJECT INFORMATION:**

**SITE ADDRESS:**  
 SWC COPPER HILL DRIVE AND RIO NORTE DRIVE  
 VALENCIA, CA 91354  
 APNS: 2810-110-015  
 2810-110-016  
 2810-110-017  
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 4694 WEST JACQUELYN AVENUE  
 FRESNO, CA 93722  
 TEL. NO. (559)276-2790  
 PROJECT NO. 14095.00  
 ATTN: SCOTT MOMMER



**BUILDING A - NORTH**

1/8"=1'-0"



**BUILDING A - EAST**

1/8"=1'-0"



**BUILDING A - SOUTH**

1/8"=1'-0"

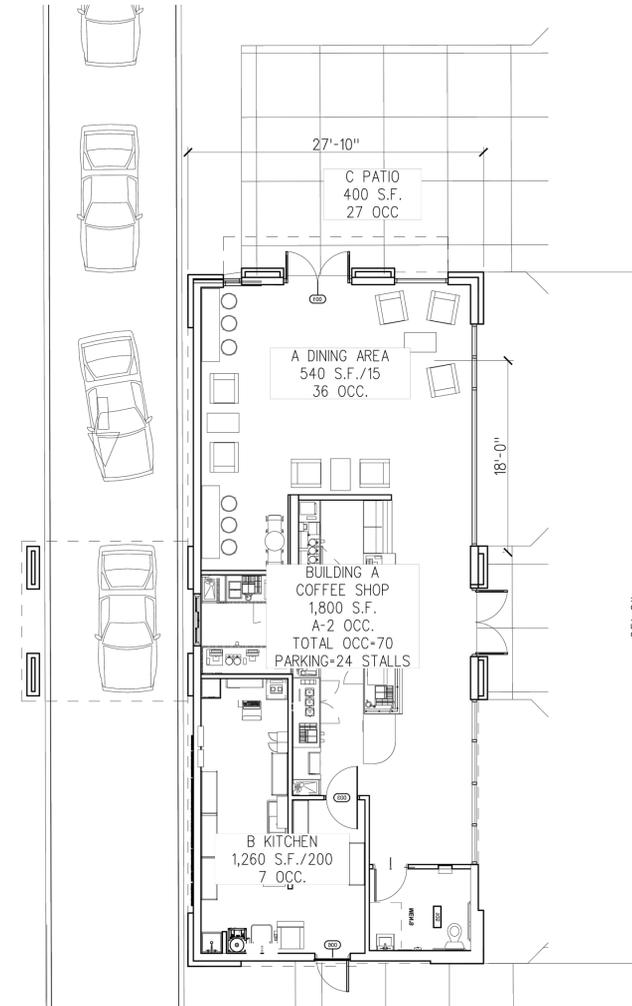


**BUILDING A - WEST**

1/8"=1'-0"

**BUILDING A, CBTL W/DT - FLOOR PLAN**

1/8"=1'-0"



1 SYMBOL NUMBER

NO.	DESCRIPTION
01	EXTERIOR PLASTER W/ LIGHT SAND FINIS
02	STANDING SEAM METAL ROOF
03	HORIZONTAL SIMULATED WOOD SIDING
04	LIGHTED SIGNAGE
05	ALUMINUM STOREFRONT SYSTEM WITH HIC PERFORMANCE TINTED GLAZING
06	PLASTER REVEAL
07	SHEET METAL-CLAD AWNING
08	WOOD WINDOW TRIM
09	GREEN SCREEN
10	WOOD FASCIA- ARCHITECTURAL GRADE- STAIN
11	RECESSED NICHE W/ PLASTER FINISH
12	FABRIC AWNING OVER METAL FRAME
13	LIGHTING FIXTURE
14	POURED-IN-PLACE CONCRETE CURB



**DRAWING ISSUE/REVISION RECORD**

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07-20-2016	C.U.P. RESUBMITTAL

DATE: 07-20-16

DRAWN BY:  
 CHECKED BY:

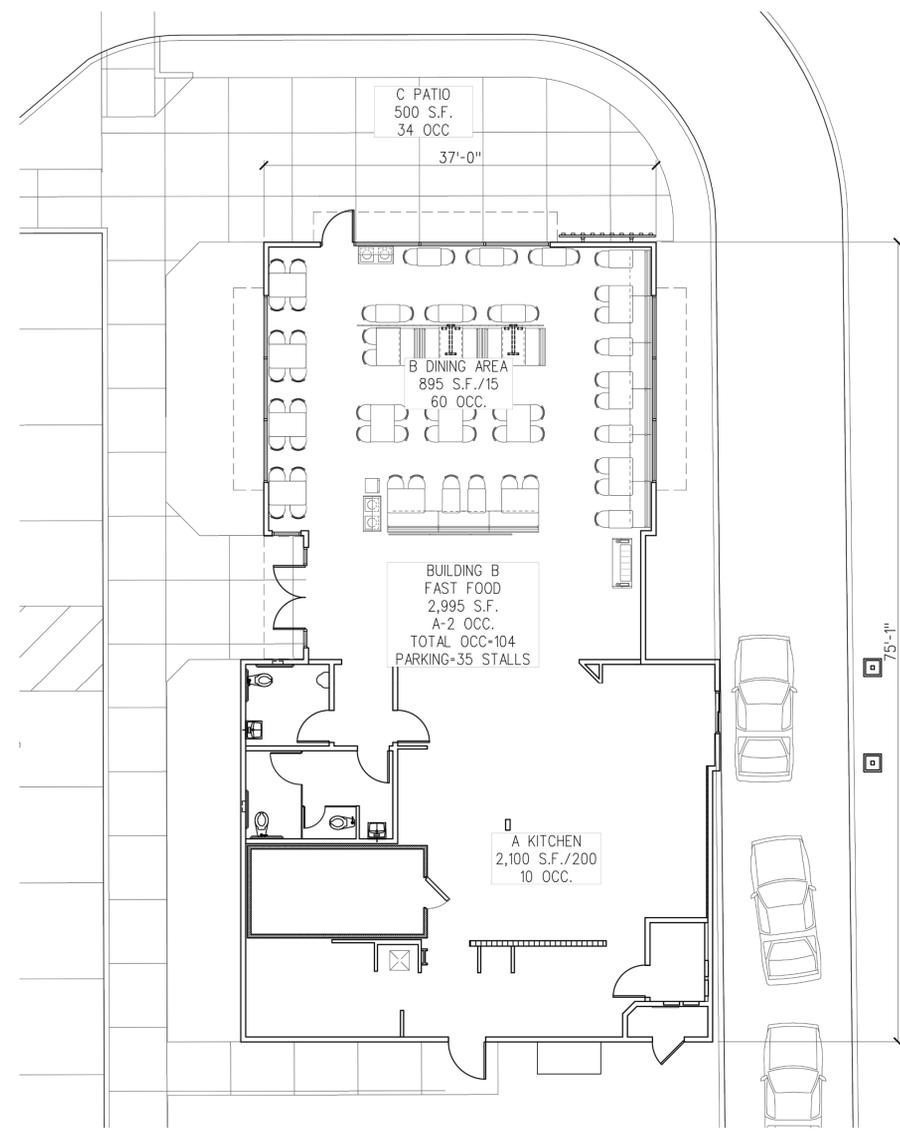


**BUILDING B - NORTH**

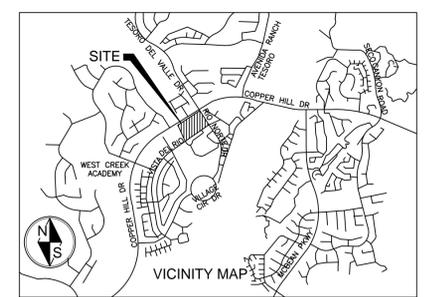
- 1 SYMBOL NUMBER
- | NO. | DESCRIPTION   |
|-----|---|
| 01  | EXTERIOR PLASTER W/ LIGHT SAND FINISH                           |
| 02  | STANDING SEAM METAL ROOF  |
| 03  | HORIZONTAL SIMULATED WOOD SIDING                                |
| 04  | LIGHTED SIGNAGE   |
| 05  | ALUMINUM STOREFRONT SYSTEM WITH HIGH-PERFORMANCE TINTED GLAZING |
| 06  | PLASTER REVEAL  |
| 07  | SHEET METAL-CLAD AWNING   |
| 08  | WOOD WINDOW TRIM  |
| 09  | GREEN SCREEN  |
| 10  | WOOD FASCIA- ARCHITECTURAL GRADE- STAINED                       |
| 11  | RECESSED NICHE W/ PLASTER FINISH                                |
| 12  | FABRIC AWNING OVER METAL FRAME                                  |
| 13  | LIGHTING FIXTURE  |
| 14  | POURED-IN-PLACE CONCRETE CURB                                   |



**BUILDING B - WEST**



**BUILDING B - FLOOR PLAN**



**PROJECT INFORMATION:**  
**SITE ADDRESS:**  
 SWC COPPER HILL DRIVE AND RIO NORTE DRIVE  
 VALENCIA, CA 91354  
 APNS: 2810-110-015  
 2810-110-016  
 2810-110-017  
 2810-110-004  
 2810-110-005  
 2810-110-006

**OWNER:**  
 LNR CPI WEST CREEK RETAIL, LLC  
 21255 BURBANK BOULEVARD, SUITE 140  
 WOODLAND HILLS, CA 91367  
 TEL. NO. (818)206-3011

**DEVELOPER:**  
 FOUNTAINHEAD DEVELOPMENT  
 1401 QUAIL STREET, SUITE 100  
 NEWPORT BEACH, CA 92660  
 TEL. NO. (949)752-2515 EXT. 6  
 FAX (949)752-7442 (FAX)  
 ATTN: VASANTHI OKUMA

**PROJECT ENGINEER:**  
 LARS ANDERSEN AND ASSOCIATES, INC.  
 4694 WEST JACQUELYN AVENUE  
 FRESNO, CA 93722  
 TEL. NO. (559)276-2790  
 PROJECT NO. 14095.00  
 ATTN: SCOTT MOMMER



**BUILDING B - SOUTH**



**BUILDING B - EAST**

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07-20-2016	C.U.P. RESUBMITTAL

DATE: 07-20-16  
 DRAWN BY:  
 CHECKED BY:



**BUILDING C - WEST**

3/32"=1'-0"



**BUILDING C - EAST**

3/32"=1'-0"



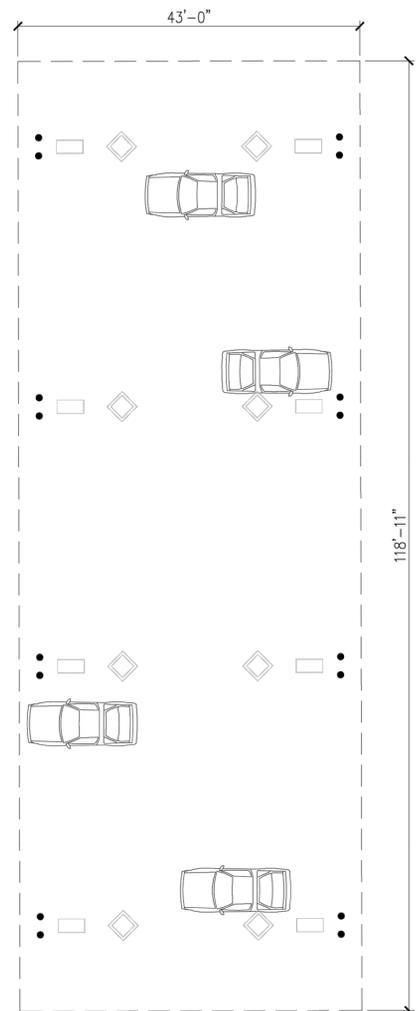
**BUILDING C - SOUTH**

3/32"=1'-0"



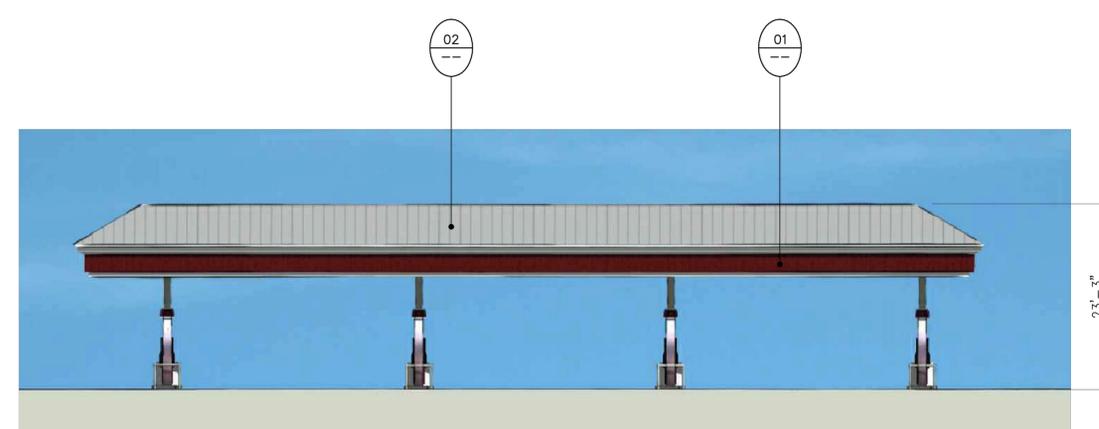
**BUILDING C - NORTH**

3/32"=1'-0"



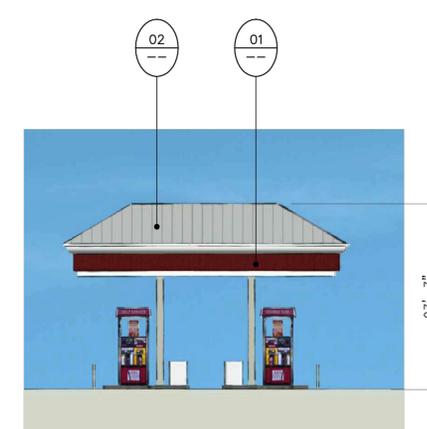
**BUILDING D - FLOOR PLAN**

3/32"=1'-0"



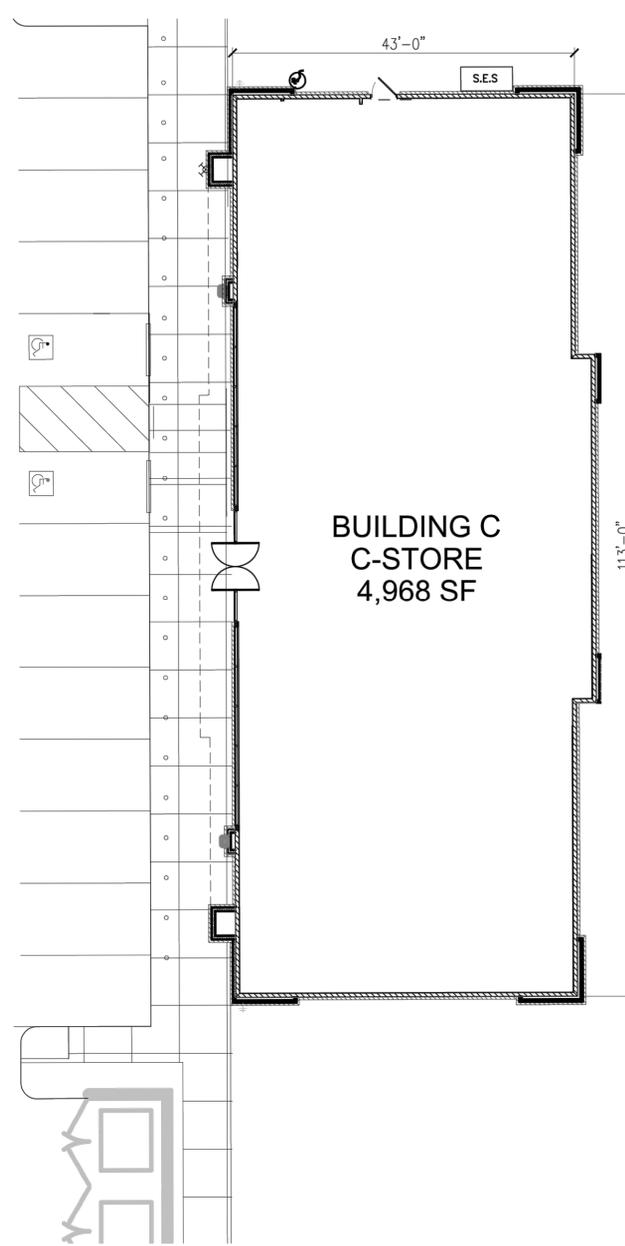
**GAS CANOPY - SIDE**

3/32"=1'-0"

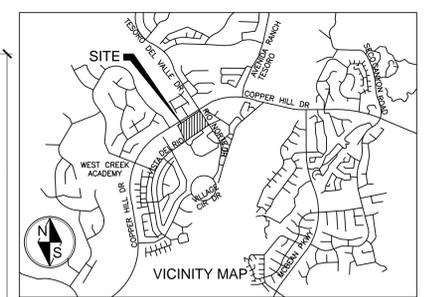


**GAS CANOPY - END**

3/32"=1'-0"



**BUILDING C  
C-STORE  
4,968 SF**



**PROJECT INFORMATION:**

**SITE ADDRESS:**  
SWC COPPER HILL DRIVE AND RIO NORTE DRIVE  
VALENCIA, CA 91354  
APNS: 2810-110-015  
2810-110-016  
2810-110-017  
2810-110-004  
2810-110-005  
2810-110-006

**OWNER:**  
LNR CPI WEST CREEK RETAIL, LLC  
21255 BURBANK BOULEVARD, SUITE 140  
WOODLAND HILLS, CA 91367  
TEL. NO. (818)206-3011

**DEVELOPER:**  
FOUNTAINHEAD DEVELOPMENT  
1401 QUAIL STREET, SUITE 100  
NEWPORT BEACH, CA 92660  
TEL. NO. (949)752-2515 EXT. 6  
FAX (949)752-7442 (FAX)  
ATTN: VASANTHI OKUMA

**PROJECT ENGINEER:**  
LARS ANDERSEN AND ASSOCIATES, INC.  
4694 WEST JACQUELYN AVENUE  
FRESNO, CA 93722  
TEL. NO. (559)276-2790  
PROJECT NO. 14095.00  
ATTN: SCOTT MOMMER

1 SYMBOL NUMBER

NO.	DESCRIPTION
01	EXTERIOR PLASTER W/ LIGHT SAND FINISH
02	STANDING SEAM METAL ROOF
03	HORIZONTAL SIMULATED WOOD SIDING
04	LIGHTED SIGNAGE
05	ALUMINUM STOREFRONT SYSTEM WITH HIGH-PERFORMANCE GLAZING
06	PLASTER REVEAL
07	SHEET METAL-CLAD AWNING
08	WOOD WINDOW TRIM
09	WOOD TRELLIS- ARCHITECTURAL GRADE RESAWN LUMBER- STAINED
10	WOOD FASCIA- ARCHITECTURAL GRADE- STAINED
11	RECESSED NICHE W/ PLASTER FINISH
12	FABRIC AWNING OVER METAL FRAME
13	LIGHTING FIXTURE
14	POURED-IN-PLACE CONCRETE CURB

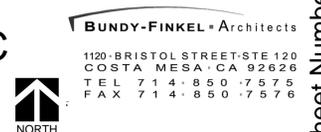
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05-27-2016	C.U.P. RESUBMITTAL
07-20-2016	C.U.P. RESUBMITTAL

DATE: 07-20-16  
DRAWN BY:  
CHECKED BY:



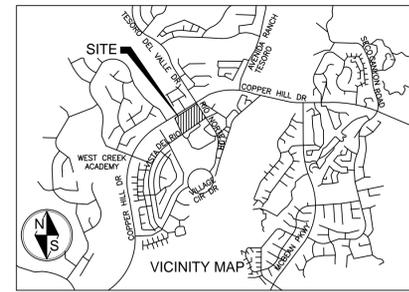
**COPPER HILL DRIVE & RIO NORTE DRIVE, VALENCIA, CA**

**CONCEPTUAL BUILDING C  
FLOOR PLAN AND  
ELEVATIONS**



Sheet Number: A-3

NO.	DESCRIPTION	NO.	DESCRIPTION
01	EXTERIOR PLASTER W/ LIGHT SAND FINISH	08	WOOD WINDOW TRIM
02	STANDING SEAM METAL ROOF	09	GREEN SCREEN
03	HORIZONTAL SIMULATED WOOD SIDING	10	WOOD FASCIA- ARCHITECTURAL GRADE- STAINED
04	LIGHTED SIGNAGE	11	RECESSED NICHE W/ PLASTER FINISH
05	PRE-MANUFACTURED WINDOWS W/INSULATED HIGH-PERFORMANCE GLAZING	12	CHIMNEY CAP
06	PLASTER REVEAL	13	LIGHTING FIXTURE
07	PYRAMID SKYLIGHT	14	POURED-IN-PLACE CONCRETE CURB



**PROJECT INFORMATION:**

**SITE ADDRESS:**  
 SWC COPPER HILL DRIVE AND RIO NORTE DRIVE  
 VALENCIA, CA 91354  
 APNS: 2810-110-015  
 2810-110-016  
 2810-110-017  
 2810-110-004  
 2810-110-005  
 2810-110-006

**OWNER:**  
 LNR CPI WEST CREEK RETAIL, LLC  
 21255 BURBANK BOULEVARD, SUITE 140  
 WOODLAND HILLS, CA 91367  
 TEL. NO. (818)206-3011

**DEVELOPER:**  
 FOUNTAINHEAD DEVELOPMENT  
 1401 QUAIL STREET, SUITE 100  
 NEWPORT BEACH, CA 92660  
 TEL. NO. (949)752-2515 EXT. 6  
 FAX (949)752-7442 (FAX)  
 ATTN: VASANTHI OKUMA

**PROJECT ENGINEER:**  
 LARS ANDERSEN AND ASSOCIATES, INC.  
 4694 WEST JACQUELYN AVENUE  
 FRESNO, CA 93722  
 TEL. NO. (559)276-2790  
 PROJECT NO. 14095.00  
 ATTN: SCOTT MOMMER



**BUILDING D - NORTH**

3/32"=1'-0"



**BUILDING D - EAST**

3/32"=1'-0"

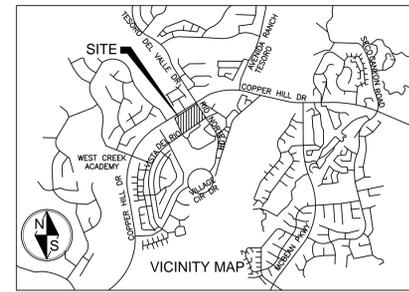
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DATE: 07-20-16

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 CHECKED BY:

1 SYMBOL NUMBER

NO.	DESCRIPTION	NO.	DESCRIPTION
01	EXTERIOR PLASTER W/ LIGHT SAND FINISH	08	WOOD WINDOW TRIM
02	STANDING SEAM METAL ROOF	09	GREEN SCREEN
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**PROJECT INFORMATION:**

**SITE ADDRESS:**  
 SWC COPPER HILL DRIVE AND RIO NORTE DRIVE  
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 FRESNO, CA 93722  
 TEL. NO. (559)276-2790  
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 ATTN: SCOTT MOMMER



**BUILDING D - WEST**  
 1/16"=1'-0"

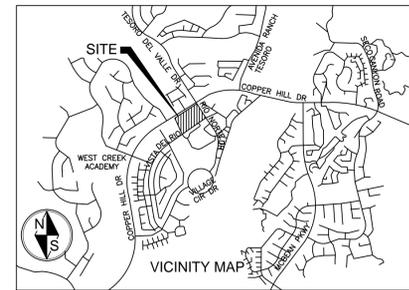


**BUILDING D - SOUTH**  
 1/16"=1'-0"

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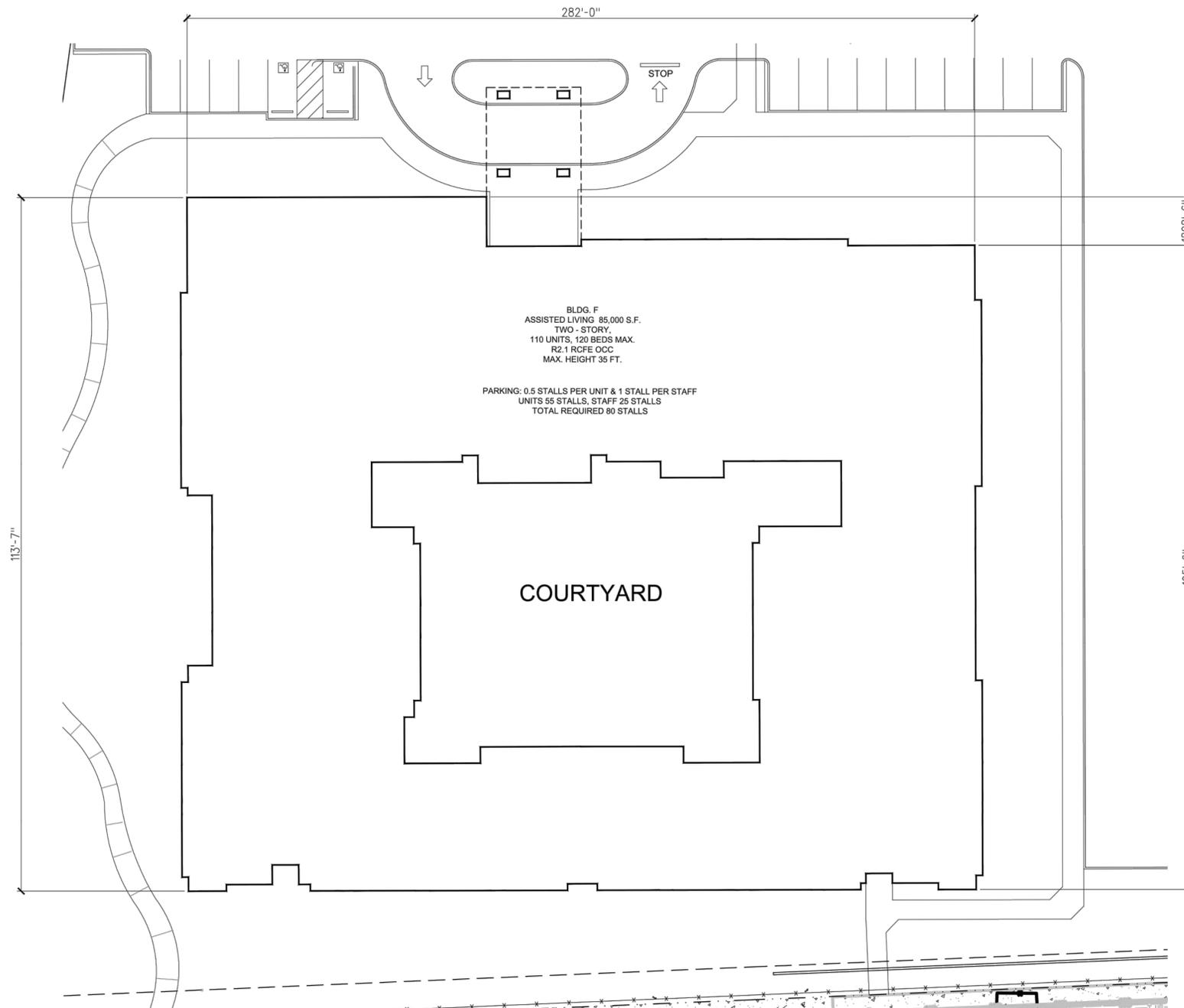
**PROJECT INFORMATION:**

**SITE ADDRESS:**  
 SWC COPPER HILL DRIVE AND RIO NORTE DRIVE  
 VALENCIA, CA 91354  
 APNS: 2810-110-015  
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 PROJECT NO. 14095.00  
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BLDG. F  
 ASSISTED LIVING 85,000 S.F.  
 TWO - STORY,  
 110 UNITS, 120 BEDS MAX.  
 R2.1 RCPE OCC  
 MAX. HEIGHT 35 FT.

PARKING: 0.5 STALLS PER UNIT & 1 STALL PER STAFF  
 UNITS 55 STALLS, STAFF 25 STALLS  
 TOTAL REQUIRED 80 STALLS



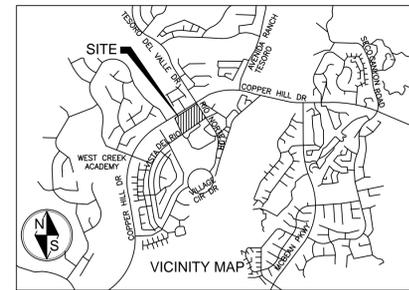
**BUILDING D - FLOOR PLAN**



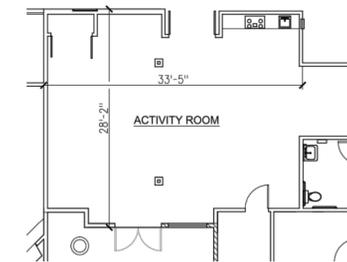
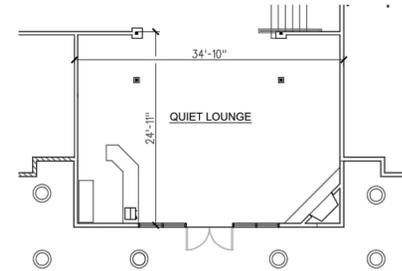
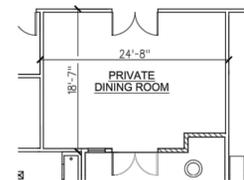
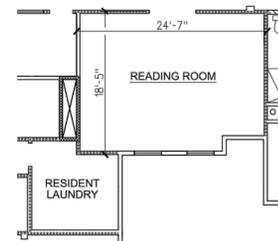
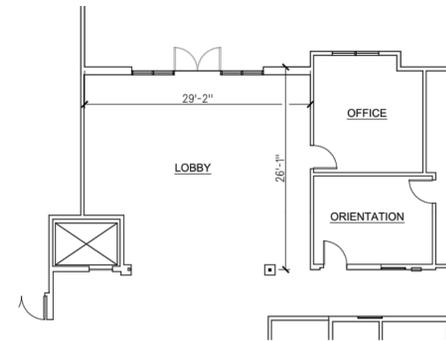
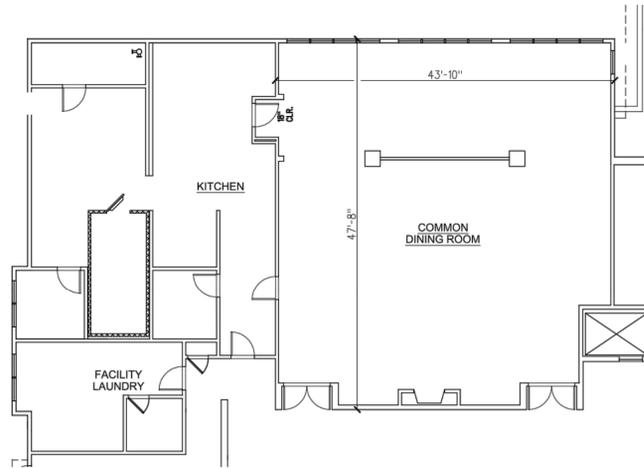
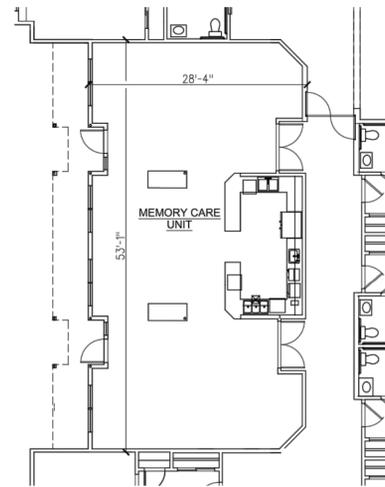
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12-23-2015	RESPONSE TO PLANNING DEPARTMENT
05-27-2016	C.U.P. RESUBMITTAL
07-20-2016	C.U.P. RESUBMITTAL

DATE: 07-20-16

DRAWN BY:  
 CHECKED BY:



**CONCEPTUAL COMMON AREA PARTIAL PLANS**



NOTE:  
FINAL CONFIGURATIONS MAY VARY

NOTE:  
FINAL SITE AND FLOOR PLANS WILL BE REVIEWED FOR COMPLIANCE WITH LOS ANGELES TITLE 22 REQUIREMENTS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT



**PROJECT INFORMATION:**

**SITE ADDRESS:**  
SWC COPPER HILL DRIVE AND RIO NORTE DRIVE  
VALENCIA, CA 91354  
APNS: 2810-110-015  
2810-110-016  
2810-110-017  
2810-110-004  
2810-110-005  
2810-110-006

**OWNER:**  
LNR CPI WEST CREEK RETAIL, LLC  
21255 BURBANK BOULEVARD, SUITE 140  
WOODLAND HILLS, CA 91367  
TEL. NO. (818)206-3011

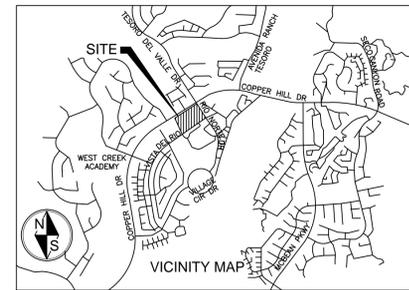
**DEVELOPER:**  
FOUNTAINHEAD DEVELOPMENT  
1401 QUAIL STREET, SUITE 100  
NEWPORT BEACH, CA 92660  
TEL. NO. (949)752-2515 EXT. 6  
FAX (949)752-7442 (FAX)  
ATTN: VASANTHI OKUMA

**PROJECT ENGINEER:**  
LARS ANDERSEN AND ASSOCIATES, INC.  
4694 WEST JACQUELYN AVENUE  
FRESNO, CA 93722  
TEL. NO. (559)276-2790  
PROJECT NO. 14095.00  
ATTN: SCOTT MOMMER

DRAWING ISSUE/REVISION RECORD	
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**SAMPLE UNIT PLANS**



**2-BEDROOM**  
(550 SF - 675 SF)



**2-BEDROOM**  
(580 SF - 670 SF)



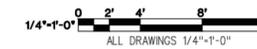
**STUDIO**  
(400 SF - 450 SF)



**2-BEDROOM**  
(550 SF - 625 SF)



**1-BEDROOM**  
(600 SF - 725 SF)



**NOTE:**  
FINAL CONFIGURATIONS  
MAY VARY

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APNS: 2810-110-015  
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TEL. NO. (949)752-2515 EXT. 6  
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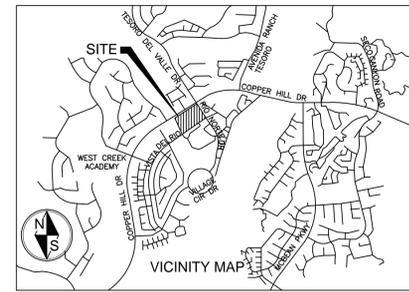
**PROJECT ENGINEER:**  
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4694 WEST JACQUELYN AVENUE  
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CHECKED BY:

NO.	DESCRIPTION
01	EXTERIOR PLASTER W/ LIGHT SAND FINISH
02	STANDING SEAM METAL ROOF
03	HORIZONTAL SIMULATED WOOD SIDING
04	LIGHTED SIGNAGE
05	ALUMINUM STOREFRONT SYSTEM WITH HIGH-PERFORMANCE TINTED GLAZING
06	PLASTER REVEAL
07	SHEET METAL-CLAD AWNING
08	WOOD WINDOW TRIM
09	GREEN SCREEN
10	WOOD FASCIA- ARCHITECTURAL GRADE- STAINED
11	RECESSED NICHE W/ PLASTER FINISH
12	FABRIC AWNING OVER METAL FRAME
13	LIGHTING FIXTURE
14	POURED-IN-PLACE CONCRETE CURB



**PROJECT INFORMATION:**

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 4694 WEST JACQUELYN AVENUE  
 FRESNO, CA 93722  
 TEL. NO. (559)276-2790  
 PROJECT NO. 14095.00  
 ATTN: SCOTT MOMMER



**BUILDING E - NORTH**

3/32"=1'-0"



**BUILDING E - WEST**

3/32"=1'-0"



**BUILDING E - SOUTH**

3/32"=1'-0"



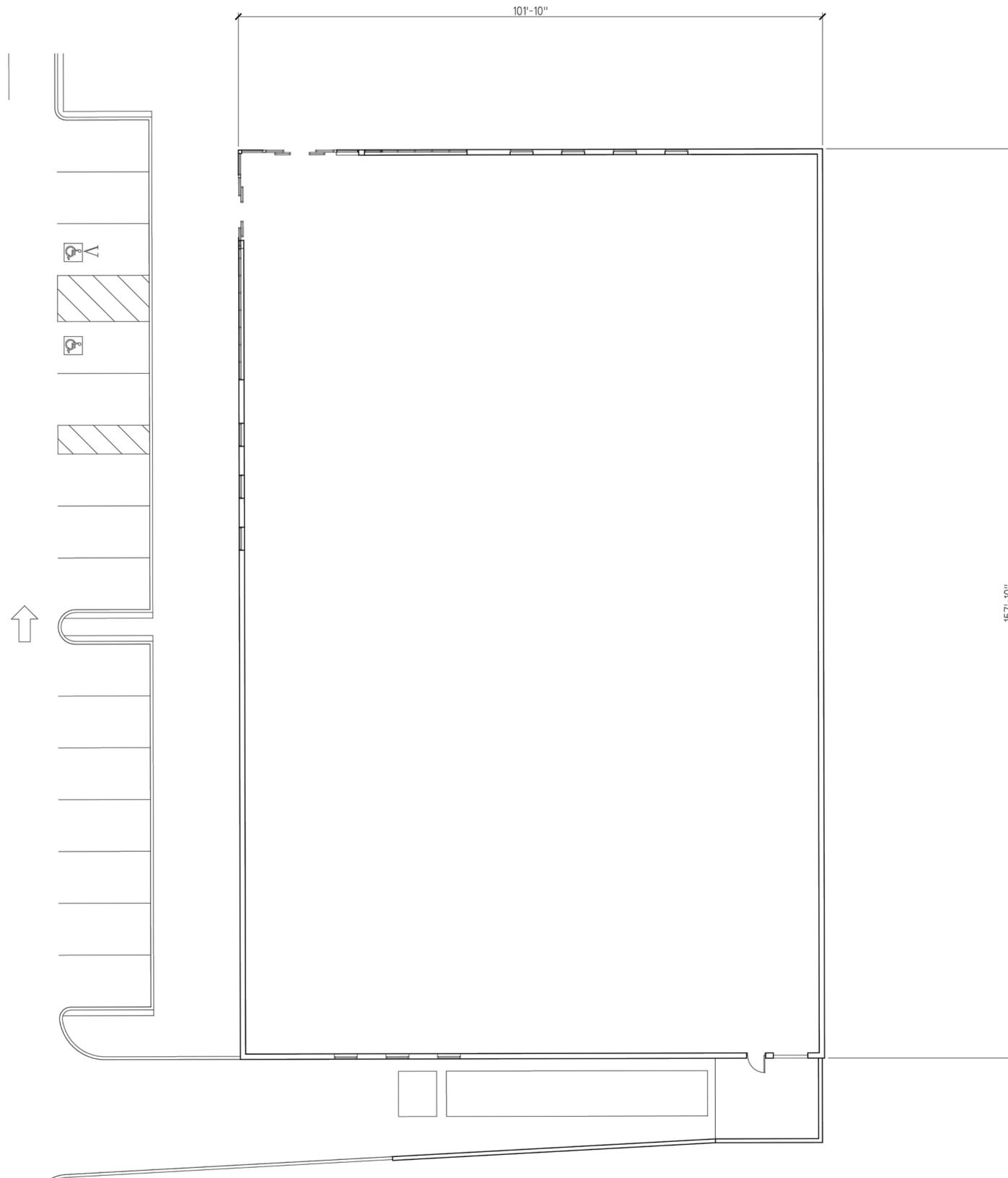
**BUILDING E - EAST**

3/32"=1'-0"

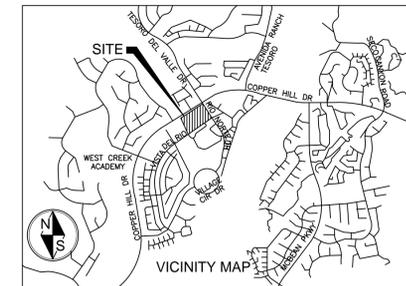
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DATE: 07-20-16

DRAWN BY:  
 CHECKED BY:



PARCEL E, RETAIL- FLOOR PLAN  
3/32"=1'-0"



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VALENCIA, CA 91354  
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TEL. NO. (818)206-3011

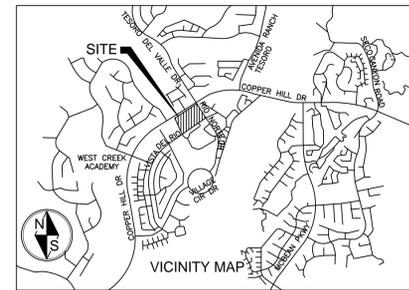
**DEVELOPER:**  
FOUNTAINHEAD DEVELOPMENT  
1401 QUAIL STREET, SUITE 100  
NEWPORT BEACH, CA 92660  
TEL. NO. (949)752-2515 EXT. 6  
FAX (949)752-7442 (FAX)  
ATTN: VASANTHI OKUMA

**PROJECT ENGINEER:**  
LARS ANDERSEN AND ASSOCIATES, INC.  
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 WOODLAND HILLS, CA 91367  
 TEL. NO. (818)206-3011

**DEVELOPER:**  
 FOUNTAINHEAD DEVELOPMENT  
 1401 QUAIL STREET, SUITE 100  
 NEWPORT BEACH, CA 92660  
 TEL. NO. (949)752-2515 EXT. 6  
 FAX (949)752-7442 (FAX)  
 ATTN: VASANTHI OKUMA

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 FRESNO, CA 93722  
 TEL. NO. (559)276-2790  
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 ATTN: SCOTT MOMMER

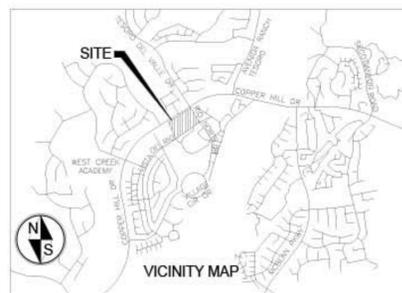
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05-27-2016	C.U.P. RESUBMITTAL
07-20-2016	C.U.P. RESUBMITTAL

DATE: 07-20-16

DRAWN BY:  
 CHECKED BY:

PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT
	Magnolia grandiflora 'Samuel Sommer' TM / Southern Magnolia	24" Box Standard
	Olea europaea 'Wilsonii' / Wilson Olive	24" Box Multi Trunk
	Pinus eldarica / Afghan Pine	24" Box
	Platanus x acerifolia 'Columbia' / London Plane Tree	24" Box Standard
	Rhapiolepis indica 'Majestic Beauty' TM / Majestic Beauty Indian Hawthorne Standard	15 Gal Standard
	Washingtonia filifera hybrid / California Fan Palm	18" Brown Trunk Skinned
STREET TREES	BOTANICAL NAME / COMMON NAME	CONT
	Agonis flexuosa / Peppermint Tree Existing Street Tree Rio Del Norte	Existing City Street Tree
	Eucalyptus viminalis / Ribbon Gum Proposed New Street Tree Copper Hill Drive	24" Box Standard
	Eucalyptus viminalis / Ribbon Gum Existing Street Tree Copper Hill Drive	Existing City Street Tree
	Platanus x acerifolia 'Yanwood' / London Plane Tree Proposed New Street Tree Vista Del Rio Drive	24" Box Standard
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT
	Anigozanthos x 'Big Red' / Big Red Kangaroo Paw	5 gal
	Diets bicolor / Fortnight Lily	5 gal
	Echium fastuosum 'Select Blue' / Blue Pride of Madeira	5 gal
	Escallonia fradesii / Escallonia	5 gal
	Escallonia x 'Compacts' / Compact Escallonia	5 gal
	Euonymus japonicus / Japanese Spindle	5 gal
	Hemerocallis x 'Yellow' / Daylily	5 gal
	Ligustrum texanum / Texas Privet	5 gal
	Myrtus communis 'Compacts' / Dwarf Myrtle	5 gal
	Rhapiolepis indica 'Ballerina' / Ballerina Indian Hawthorn	5 gal
	Trachelospermum jasminoides 'Star' / Star Jasmine	5 gal
	Parthenocissus tricuspidata / Boston Ivy	5 gal staked
	Rosa banksiae 'Lutea' / Yellow Banks Rose Espalier	5 gal
GRASSES	BOTANICAL NAME / COMMON NAME	CONT
	Carex divulsa / Berkeley Sedge Bio Retention Basin	1 gal
	Muhlenbergia rigens / Deer Grass Bio Retention Basin	5 gal
SHRUBS-SLOPES	BOTANICAL NAME / COMMON NAME	CONT
	Cotoneaster lacteus / Red Clusterberry Cotoneaster	5 gal
	Leptospermum scoparium / New Zealand Tea Tree	5 gal
	Rhapiolepis indica 'Clara' / Indian Hawthorn	5 gal
	Rhapiolepis indica 'Springtime' TM / Springtime Indian Hawthorne	5 gal
ROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT
	Myoporum parvifolium 'Burgundy Carpet' / Trailing Myoporum	flat
	Rosmarinus officinalis 'Huntington Carpet' / Huntington Carpet Rosemary	flat
SOD/SEED	BOTANICAL NAME / COMMON NAME	CONT
	Festuca arundinacea 'Marathon II' / Dwarf Cool Season Turf Parkway Ground Cover	Sod



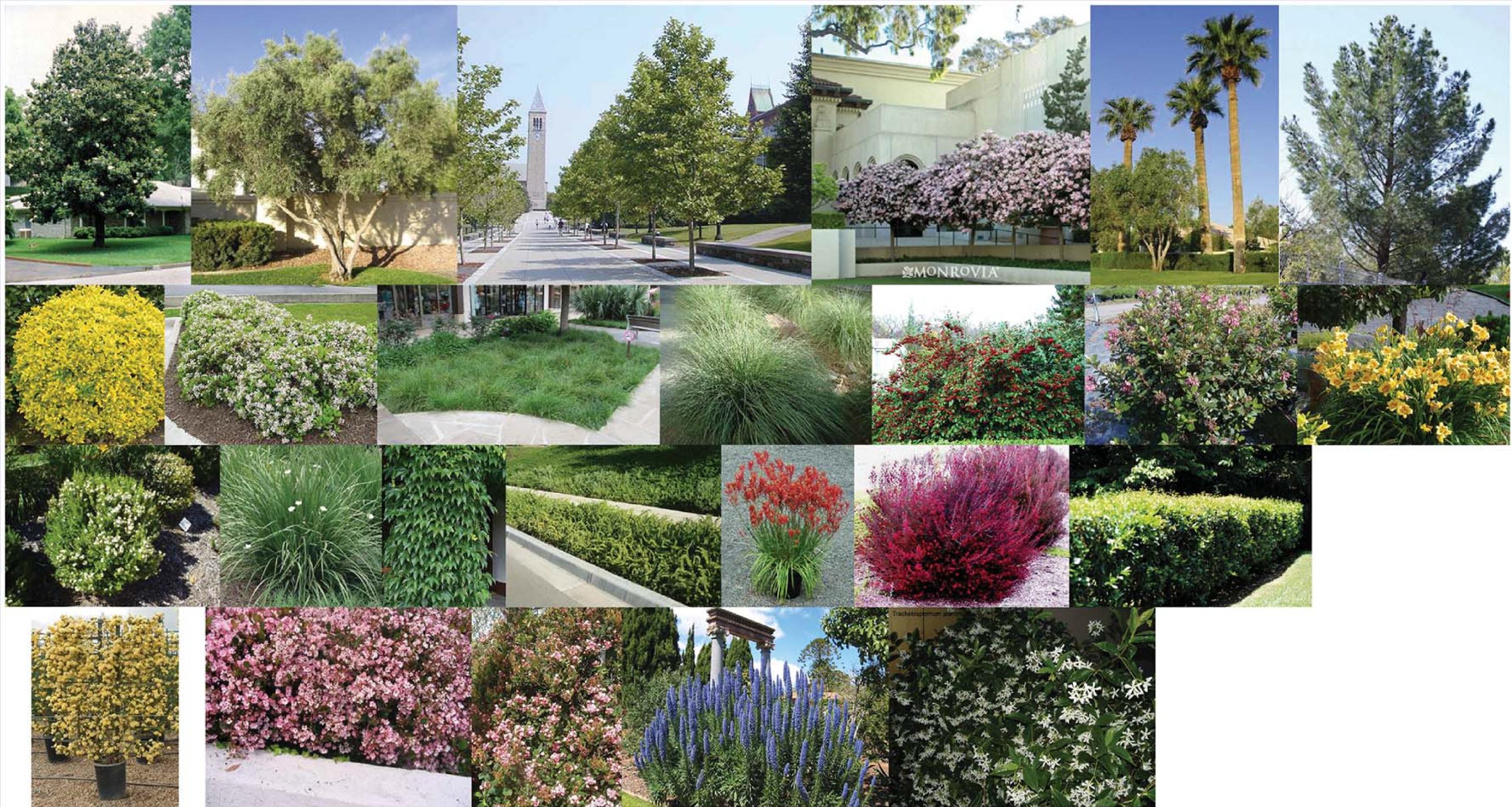
PROJECT INFORMATION:

SITE ADDRESS:  
 SWC COPPER HILL DRIVE AND RIO NORTE DRIVE  
 VALENCIA, CA 91354  
 APNS: 2810-110-015  
 2810-110-016  
 2810-110-017  
 2810-110-004  
 2810-110-005  
 2810-110-008

OWNER:  
 LNR CPI WEST CREEK RETAIL, LLC  
 21255 BURBANK BOULEVARD, SUITE 140  
 WOODLAND HILLS, CA 91387  
 TEL. NO. (818)208-3011

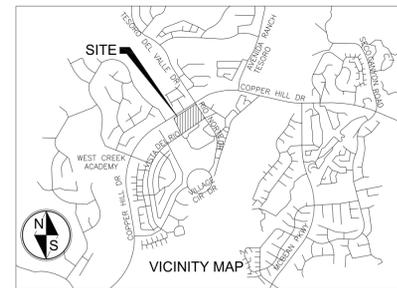
DEVELOPER:  
 FOUNTAINHEAD DEVELOPMENT  
 1401 QUAIL STREET, SUITE 100  
 NEWPORT BEACH, CA 92660  
 TEL. NO. (949)752-2515 EXT. 8  
 FAX (949)752-7442 (FAX)  
 ATTN: VASANTHI OKUMA

PROJECT ENGINEER:  
 LARS ANDERSEN AND ASSOCIATES, INC.  
 4694 WEST JACQUELYN AVENUE  
 FRESNO, CA 93722  
 TEL. NO. (559)278-2700  
 PROJECT NO. 14095.00  
 ATTN: SCOTT MOMMER



PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT
	Magnolia grandiflora 'Samuel Sommer' TM / Southern Magnolia	24" Box Standard
	Olea europaea 'Wilsonii' / Wilson Olive	24" Box Multi Trunk
	Pinus edulis / Afghan Pine	24" Box
	Platanus x acerifolia 'Columbia' / London Plane Tree	24" Box Standard
	Rhaphiolepis indica 'Majestic Beauty' TM / Majestic Beauty Indian Hawthorne Standard	15 Gal Standard
	Washingtonia filifera hybrid / California Fan Palm	18" Brown Trunk Skinned
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	Eucalyptus viminalis / Ribbon Gum Proposed New Street Tree Copper Hill Drive	24" Box Standard
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	Platanus x acerifolia 'Yarwood' / London Plane Tree Proposed New Street Tree Vista Del Rio Drive	24" Box Standard
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT
	Anigozanthos x 'Big Red' / Big Red Kangaroo Paw	5 gal
	Dietes bicolor / Fortnight Lily	5 gal
	Echium fastuosum 'Select Blue' / Blue Pride of Madeira	5 gal
	Escallonia fradesii / Escallonia	5 gal
	Escallonia x 'Compacta' / Compact Escallonia	5 gal
	Euonymus japonicus / Japanese Spindle	5 gal
	Hemercallis x 'Yellow' / Daylily	5 gal
	Ligustrum texanum / Texas Privet	5 gal
	Myrtus communis 'Compacta' / Dwarf Myrtle	5 gal
	Rhaphiolepis indica 'Ballerina' / Ballerina Indian Hawthorn	5 gal
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GRASSES	BOTANICAL NAME / COMMON NAME	CONT
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GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT
	Myoporum parvifolium 'Burgundy Carpet' / Trailing Myoporum	flat
	Rosmarinus officinalis 'Huntington Carpet' / Huntington Carpet Rosemary	flat
SOD/SEED	BOTANICAL NAME / COMMON NAME	CONT
	Festuca arundinacea 'Marathon II' / Dwarf Cool Season Turf Parkway Ground Cover	Sod



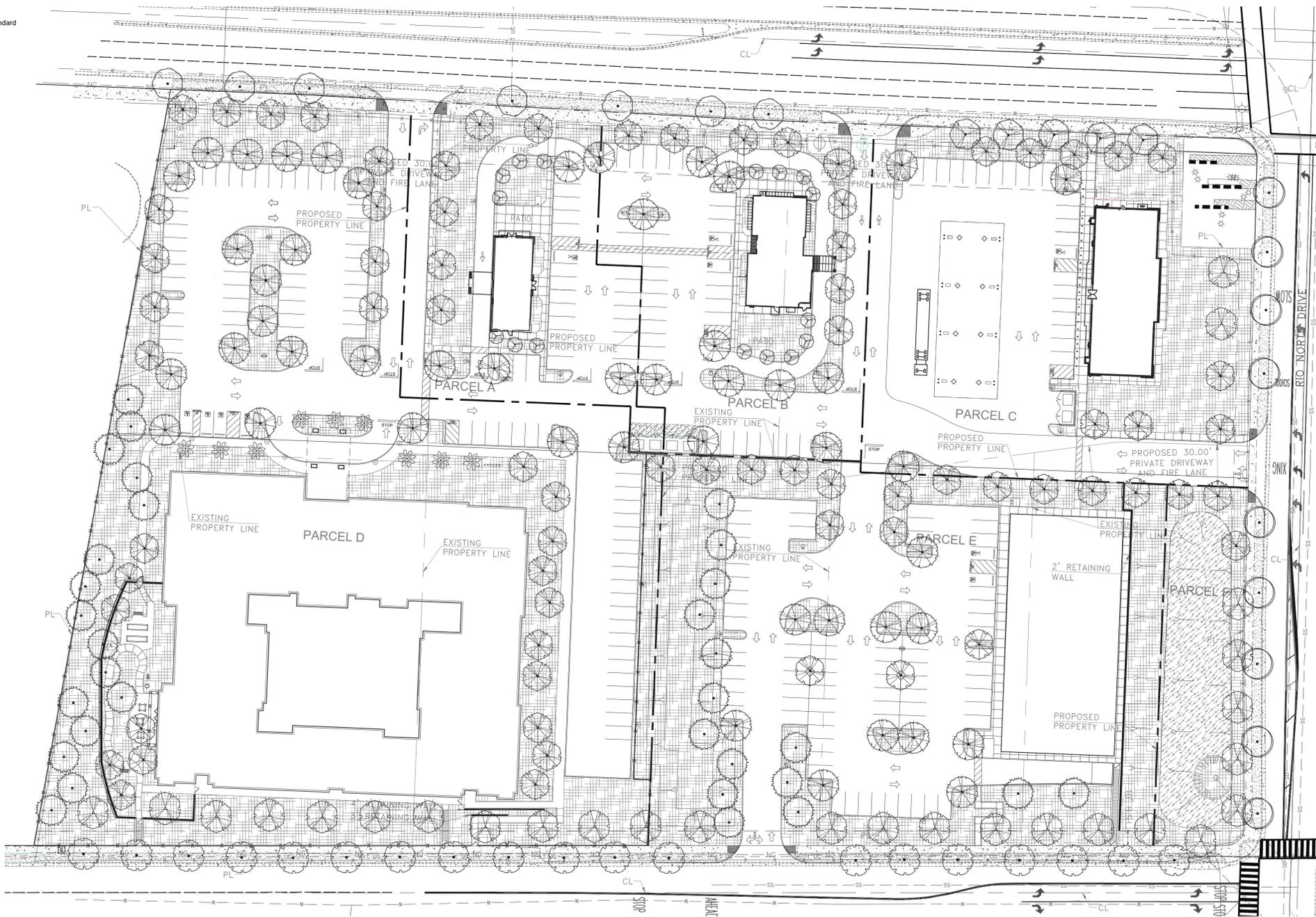
PROJECT INFORMATION:

SITE ADDRESS:  
 SWC COPPER HILL DRIVE AND RIO NORTE DRIVE  
 VALENCIA, CA 91354  
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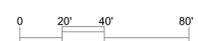
DEVELOPER:  
 FOUNTAINHEAD DEVELOPMENT  
 1401 QUAIL STREET, SUITE 100  
 NEWPORT BEACH, CA 92660  
 TEL. NO. (949)752-2515 EXT. 6  
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 ATTN: VASANTHI OKUMA

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COPPER HILL DRIVE & RIO NORTE DRIVE, VALENCIA, CA

CONCEPTUAL LANDSCAPE



Sheet Number: LS-3



LEGAL DESCRIPTION

LOTS 353, 354, 355, 408, 409 AND 410 OF TRACT NO. 52455-01, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON THE MAP RECORDED IN BOOK 1323, PAGE(S) 43 THROUGH 73, INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY.

EXCEPTING THEREFROM ALL OIL, OIL RIGHTS, MINERALS, MINERAL RIGHTS, NATURAL GAS RIGHTS AND OTHER HYDROCARBONS BY WHATSOEVER NAME KNOWN, GEOTHERMAL STEAM AND ALL PRODUCTS DERIVED FROM ANY OF THE FOREGOING, THAT MAY BE WITHIN OR UNDER THE REAL PROPERTY REFERRED TO ABOVE, TOGETHER WITH THE PERPETUAL RIGHT OF DRILLING, MINING, EXPLORING AND OPERATING THEREFOR AND STORING IN AND REMOVING THE SAME FROM SUCH REAL PROPERTY OR ANY OTHER PROPERTY, INCLUDING THE RIGHT TO WHIPSTOCK OR DIRECTIONALLY DRILL AND MINE FROM PROPERTIES OTHER THAN THE REAL PROPERTY REFERRED TO ABOVE, OIL OR GAS WELLS, TUNNELS AND SHAFTS INTO, THROUGH OR ACROSS THE SUBSURFACE OF THE REAL PROPERTY REFERRED TO ABOVE, AND TO THE BOTTOM SUCH WHIPSTOCKED OR DIRECTIONALLY DRILLED WELLS, TUNNELS AND SHAFTS UNDER AND BENEATH OR BEYOND THE EXTERIOR LIMITS THEREOF, AND TO REDRILL, RETUNNEL, EQUIP, MAINTAIN, REPAIR, DEEPEN AND OPERATE ANY SUCH WELLS OR MINES WITHOUT, HOWEVER, THE RIGHT TO DRILL, MINE, STORE, EXPLORE OR OPERATE THROUGH THE SURFACE OF THE REAL PROPERTY REFERRED TO ABOVE OR THE UPPER 500 FEET OF THE SUBSURFACE OF SUCH REAL PROPERTY AS RESERVED IN THE DEED RECORDED NOVEMBER 29, 1006 AS INSTRUMENT NO. 06-2635935 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM ALL WATER AND WATER RIGHTS NOW OR IN THE FUTURE OWNED BY GRANTOR APPURTENANT TO OR RELATED IN ANY WAY TO THE REAL PROPERTY REFERRED TO ABOVE OR USED BY GRANTOR IN CONNECTION WITH OR RELATED TO SUCH REAL PROPERTY (NO MATTER HOW ACQUIRED BY GRANTOR) TOGETHER WITH THE RIGHT AND POWER TO EXPLORE, DRILL, REDRILL, REMOVE AND STORE THE SAME FROM, UNDER OR IN THE REAL PROPERTY REFERRED TO ABOVE OR TO DIVERT OR OTHERWISE UTILIZE SUCH WATER RIGHTS OR INTERESTS ON ANY OTHER PROPERTY OWNED OR LEASED BY GRANTOR AND THE RIGHT AND POWER TO CONDUCT WATER OVER OR TO STORE WATER UNDERNEATH THE REAL PROPERTY REFERRED TO ABOVE BY SUCH MEANS AS GRANTOR DEEMS REASONABLE. THE WATER AND WATER RIGHTS EXCEPTED AND RESERVED TO GRANTOR INCLUDE, BUT ARE NOT LIMITED TO, ALL RIPARIAN WATER RIGHTS, ALL APPROPRIATIVE WATER RIGHTS, ALL WATER RIGHTS AND RIGHTS TO STORE WATER IN SUBSURFACE RESERVOIRS BASED ON OVERLYING LAND OWNERSHIP, ALL LITTORAL WATER RIGHTS, ALL RIGHTS TO PERCOLATING WATER, ALL PRESCRIPTIVE WATER RIGHTS, ALL ADJUDICATED, STATUTORY OR CONTRACTUAL WATER RIGHTS, ALL RIGHTS TO AQUIFERS, RESERVOIRS, SUBSURFACE AND SURFACE WATERS, AND ALL RIGHTS TO TAKE, USE AND DEVELOP FOR USE ANY AND ALL WATER THAT MAY NOW EXIST OR MAY IN THE FUTURE EXIST UPON, IN OR UNDER THE REAL PROPERTY REFERRED TO ABOVE WITHOUT, HOWEVER, THE RIGHT TO DRILL, MINE, STORE, EXPLORE OR OPERATE THROUGH THE SURFACE OF THE REAL PROPERTY REFERRED TO ABOVE OR THE UPPER 50 FEET OF THE SUBSURFACE OF SUCH REAL PROPERTY



ASSESSMENT NOTES AND MAINTENANCE AGREEMENT FOR  
FUEL MODIFICATION PLAN #

**Zone A – Setback Zone**

- Extends 20 feet beyond the edge of any combustible structure, accessory structure, appendage or projection. Overhangs or other parts of the structure not accurately reflected on the plans may negate the approval of plant location on the approved plan.
- Irrigation by automatic or manual systems shall be provided to landscaping to maintain healthy vegetation and fire resistance.
- Landscaping and vegetation in this zone shall consist primarily of green lawns, ground covers not exceeding 6 inches in height, and adequately spaced shrubs. The overall characteristics of the landscape shall provide adequate defensible space in a fire environment.
- Plants in Zone A shall be inherently highly fire resistant and spaced appropriately. Species selection should be made referencing the Fuel Modification Plant List. Other species may be utilized subject to approval. Final or revised Plans submitted after 6 months from the initial submittal will have plants in all zones evaluated based on the most current Fuel Modification Plant List available from the Fuel Modification Unit.
- Except for dwarf varieties or mature trees small in stature, trees are generally **not recommended** within Zone A.
- Target species will typically not be allowed within 30 or more feet of combustible structures and may require removal if existing on site.
- Vines and climbing plants shall not be allowed on any combustible structure requiring review.

**Zone B – Irrigated Zone**

- Extends from the outermost edge of Zone A to 100 feet from structure.
- Irrigation by automatic or manual systems shall be provided to landscaping to maintain healthy vegetation and fire resistance.
- Landscaping and vegetation in this zone shall typically consist primarily of green lawns, ground covers, and adequately spaced shrubs and trees.
- Unless otherwise approved, Ground covers shall be maintained at a height not to exceed 6 inches in Zone B, 12 inches is acceptable within 50 feet of a structure and 18 inches beyond 50 feet in Zone B if it is on a slope. The overall characteristics of the landscape shall provide adequate defensible space in a fire environment. Specimen native plants may be approved to remain if properly maintained for adequate defensible space. Annual grasses and weeds shall be maintained at a height not to exceed 3 inches.
- Plants in Zone B shall typically be fire resistant and spaced appropriately. Species selection should be made referencing the Fuel Modification Plant List. Other species may be utilized subject to approval.
- Vegetation in this zone may consist of modified existing native plants, adequately spaced ornamental shrubs and trees, or both. There may also be replacement landscape planting with ornamental or native species to meet minimum slope coverage requirements of City or County agencies or other Landscape or Hillside ordinances. In all cases the overall characteristics of the landscape shall provide adequate defensible space in a fire environment.
- Target species will typically not be allowed within 30 or more feet of combustible structures and may require removal if existing on site. This distance may extend to 50 feet if the situation dictates.
- Irrigation systems are not required for this zone if it consists entirely of native plants. (Native plants are generally not compatible with regular, un-seasonal supplemental water.)
- All trees, unless otherwise approved, shall be planted far enough from structures and Fire Department accesses as to not overhang any structure or access at maturity.

**Zone C – Native Brush Thinning Zone**

- Extends from the outermost edge of Zone B up to 200 feet from structure.
- Required thinning and clearance will be determined upon inspection. Required clearance may increase to the maximum allowed by the Fire Code as needed because of vegetation growth.
- Irrigation systems are not required for this zone if it consists entirely of native plants. (Native plants are generally not compatible with regular, un-seasonal supplemental water.)
- Vegetation in this zone may consist of modified existing native plants, adequately spaced ornamental shrubs and trees, or both. There may also be replacement landscape planting with ornamental or native species to meet minimum slope coverage requirements of City or County agencies or other Landscape or Hillside ordinances. In all cases the overall characteristics of the landscape shall provide adequate defensible space in a fire environment
- Plants in Zone C shall be spaced appropriately. Existing native vegetation shall be modified by thinning and removal of those species constituting a fire risk. These species include, but are not limited to chamise, sage, sage brush, and buckwheat.
- Annual grasses and weeds shall be maintained at a height not to exceed 3 inches.
- General spacing for existing native shrubs or groups of shrubs is 15 feet between canopies. Native plants may be thinned by reduced amounts as the distance from development increases.
- General spacing for existing native trees or groups of trees is 30 feet between canopies. This distance may increase or decrease depending on the slope, arrangement of the trees in relation to slope, and the species of tree.

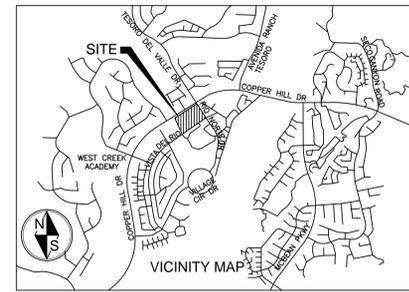
**Fire Access Road Zone**

- Extends a minimum of 10 feet from the edge of any public or private roadway that may be used as access for fire-fighting apparatus or resources.
- Clear and remove flammable growth for a minimum of 10 feet on each side of Fire Access Roads. (Fire Code 325.10) Additional clearance beyond 10 feet may be required upon inspection.
- Fire access roads, driveways and turnarounds shall be maintained in accordance with fire code. Fire Access Roads shall have unobstructed vertical clearance for a width of 20 feet. (Fire Code 503.2.1)
- Landscaping and native plants within the Fire Access Road Zone shall be appropriately spaced and maintained to provide safe egress in wildland fire environments.
- All trees, unless otherwise approved, shall be planted far enough from structures and Fire Department accesses as to not overhang any structure or access at maturity.

**Maintenance**

**Routine maintenance shall be regularly performed in all zones. Requirements include but are not limited to those items in the Fuel Modification Guidelines and those outlined below:**

- Removal or thinning of undesirable combustible vegetation and removal of dead or dying landscaping to meet minimum brush clearance requirements.
- Pruning and thinning to reduce the overall fuel load and continuity of fuels.
- Fuel loads shall be reduced by pruning lower branches of trees and tree-form shrubs to 1/3 of their height, or 6 feet from lowest hanging branches to the ground, to help prevent fire from spreading and make maintenance easier. Trees with understory plants should be limbed up at least three times the height of the underlying vegetation or up to a height of 40 feet, whichever is less, to help prevent fire from spreading upward into the crown.
- Accumulated plant litter and dead wood shall be removed. Debris and trimmings produced by thinning and pruning should be removed from the site or chipped and evenly dispersed in the same area to a maximum depth of 6 inches.
- All invasive species and their parts should be removed from the site.
- Manual and automatic irrigation systems shall be maintained for operational integrity and programming. Effectiveness should be regularly evaluated to avoid over or under-watering.
- Compliance with the Fire Code is a year-round responsibility. Enforcement will occur following inspection by the Fire Department. Annual inspections for brush clearance code requirements are conducted following the natural drying of grasses and fine fuels, between the months of April and June depending on geographic region. Inspection for compliance with an approved Fuel modification Plan may occur at any time of year.
- Brush Clearance enforcement issues on adjacent properties should be directed to the County of Los Angeles Fire Department's Brush Clearance Unit at (626) 969-2375.
- All future plantings shall be in accordance with the County of Los Angeles Fire Department Fuel Modification Guidelines and approved prior to installation. Changes to the approved plan which require an additional plan review will incur a plan review fee.
- Questions regarding landscape planting and maintenance with regard to fire safety should be directed to the Fire Department's Fuel Modification Unit at (626) 969-5205.



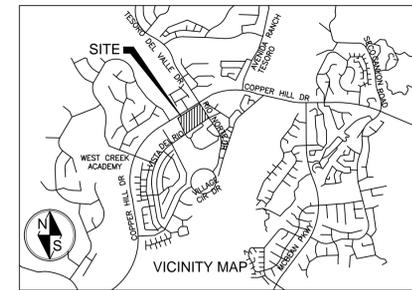
**PROJECT INFORMATION:**

**SITE ADDRESS:**  
SWC COPPER HILL DRIVE AND RIO NORTE DRIVE  
VALENCIA, CA 91354  
APNS: 2810-110-015  
2810-110-016  
2810-110-017  
2810-110-004  
2810-110-005  
2810-110-006

**OWNER:**  
LNR CPI WEST CREEK RETAIL, LLC  
21255 BURBANK BOULEVARD, SUITE 140  
WOODLAND HILLS, CA 91367  
TEL. NO. (818)206-3011

**DEVELOPER:**  
FOUNTAINHEAD DEVELOPMENT  
1401 QUAIL STREET, SUITE 100  
NEWPORT BEACH, CA 92660  
TEL. NO. (949)752-2515 EXT. 6  
FAX (949)752-7442 (FAX)  
ATTN: VASANTHI OKUMA

**PROJECT ENGINEER:**  
LARS ANDERSEN AND ASSOCIATES, INC.  
4694 WEST JACQUELYN AVENUE  
FRESNO, CA 93722  
TEL. NO. (559)276-2790  
PROJECT NO. 14095.00  
ATTN: SCOTT MOMMER



**PROJECT INFORMATION:**

**SITE ADDRESS:**  
 SWC COPPER HILL DRIVE AND RIO NORTE DRIVE  
 VALENCIA, CA 91354  
 APNS: 2810-110-015  
 2810-110-016  
 2810-110-017  
 2810-110-004  
 2810-110-005  
 2810-110-006

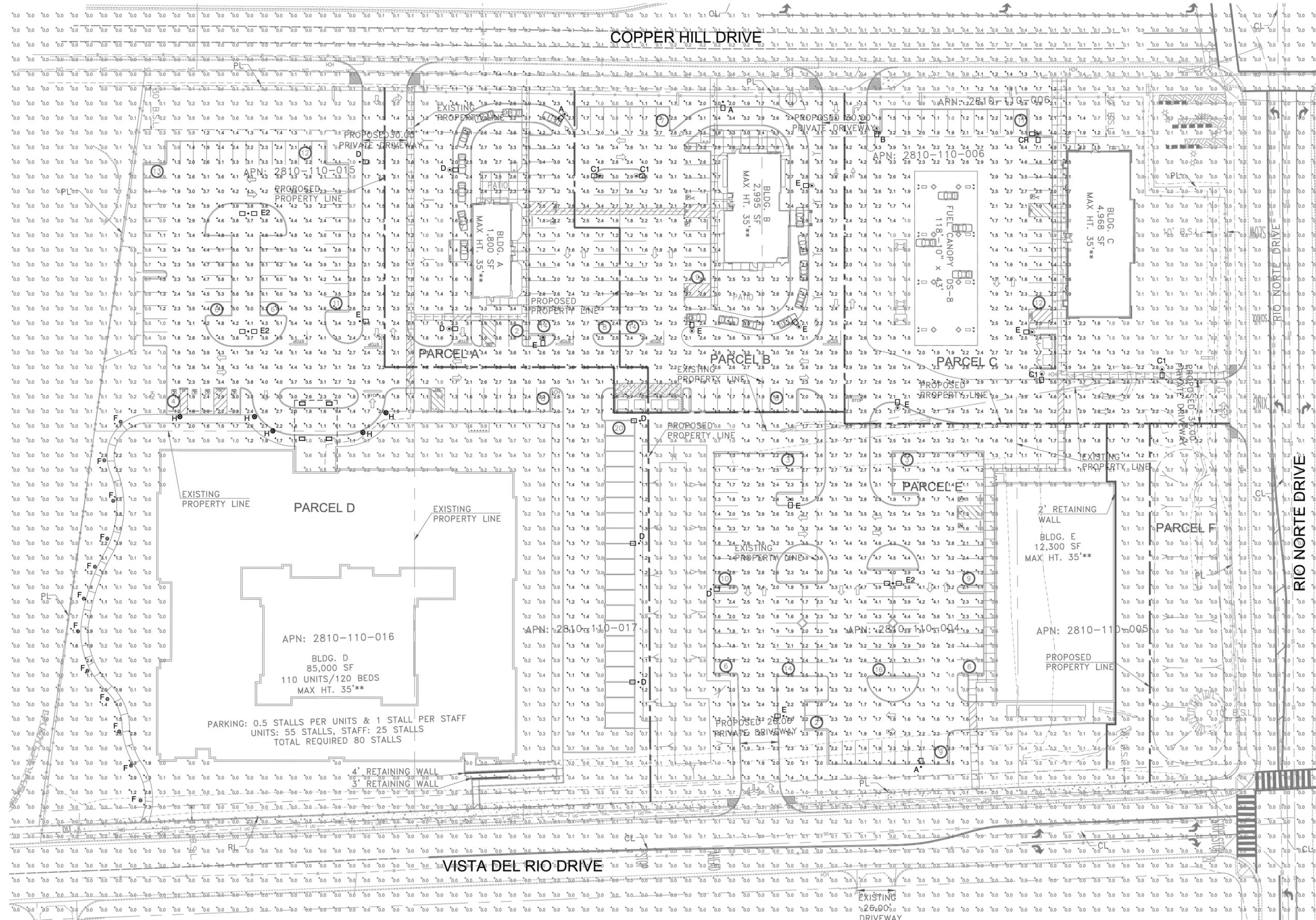
**OWNER:**  
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 WOODLAND HILLS, CA 91367  
 TEL. NO. (818)206-3011

**DEVELOPER:**  
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 FAX (949)752-7442 (FAX)  
 ATTN: VASANTHI OKUMA

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 FRESNO, CA 93722  
 TEL. NO. (559)276-2790  
 PROJECT NO. 14095.00  
 ATTN: SCOTT MOMMER

REFER TO SHEET SL-2 FOR LIGHT FIXTURE SCHEDULE

STATISTICS						
DESCRIPTION	SYMBOL	AVE	MAX	MIN	MAX/MIN	AVG/MIN
SITE	+	0.8 FC	8.5 FC	0.0 FC	N/A	N/A



DRAWING ISSUE/REVISION RECORD	
DATE	DESCRIPTION
10-27-2015	C.U.P. SUBMITTAL
12-23-2015	RESPONSE TO PLANNING DEPARTMENT
05-27-2016	C.U.P. RESUBMITTAL
07-20-2016	C.U.P. RESUBMITTAL

DATE: 07-20-16

DRAWN BY:  
 CHECKED BY:

### D-Series Size 2 LED Area Luminaire

**Specifications**  
 EPA: 2.0 ft (0.17 m)  
 Length: 40" (1016 mm)  
 Width: 15" (381 mm)  
 Height: 7.44" (189 mm)  
 Weight (max): 36 lbs (16.3 kg)

**Ordering Information**  
 EXAMPLE: DSX2 LED BOC 1000 40K T4M MVOLT SPA DDBXD

DSX2 LED	BOC	700	50K	MVOLT	SPA
Series	LEDs	Drive current	Color temperature	Distribution	Mounting
DSX2 LED	Forward optics	530 530 mA	30K 3000 K	T5 Type I Short	TFIM Forward Three Medium
80C 80 LEDs	80C 80 LEDs	700 700 mA	40K 4000 K	T25 Type II Short	TSVS Type V Short
100C 100 LEDs	100C 100 LEDs	1000 1000 mA	50K 5000 K	T2M Type II Medium	T55 Type V Short
120C 120 LEDs	120C 120 LEDs	1200 1200 mA	AMBPIC Amber phosphor converted	T3M Type III Short	TSM Type V Short
90C 90 LEDs	90C 90 LEDs			T4M Type III Medium	T5W Type V Wide

**Performance Data**

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LEDs	Site (m)	System (m)	Inc. Type	30K			40K			50K			MVP			
				Lumens	lm/ft²	lm/m²										
530 mA	100W	100W	T5	15,770	3.0	3.115	16,599	3.0	3.121	16,201	3.0	3.120	16,272	3.0	3.120	
			T5	16,270	3.0	3.119	15,111	3.0	3.120	12,200	3.0	3.120	10,524	3.0	3.120	
			T5	15,877	3.0	3.116	16,702	3.0	3.120	16,805	3.0	3.120	16,548	3.0	3.120	
			T5	16,951	3.0	3.117	16,854	3.0	3.120	16,908	3.0	3.120	16,969	3.0	3.120	
			T5	16,270	3.0	3.119	17,083	3.0	3.120	17,188	3.0	3.120	17,242	3.0	3.120	
			T5	15,996	3.0	3.117	16,827	3.0	3.120	16,827	3.0	3.120	16,827	3.0	3.120	
	700 mA	180W	180W	T5	16,899	4.0	4.113	17,276	4.0	4.113	17,388	4.0	4.113	17,335	4.0	4.113
				T5	17,048	4.0	4.114	17,048	4.0	4.113	16,899	4.0	4.113	16,899	4.0	4.113
				T5	17,048	4.0	4.114	17,048	4.0	4.113	16,899	4.0	4.113	16,899	4.0	4.113
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				T5	17,048	4.0	4.114	17,048	4.0	4.113	16,899	4.0	4.113	16,899	4.0	4.113

**Ordering Information**

EXAMPLE: DSX2 LED BOC 1000 40K T4M MVOLT SPA DDBXD

DSX2 LED	BOC	700	50K	MVOLT	SPA
Series	LEDs	Drive current	Color temperature	Distribution	Mounting
DSX2 LED	Forward optics	530 530 mA	30K 3000 K	T5 Type I Short	TFIM Forward Three Medium
80C 80 LEDs	80C 80 LEDs	700 700 mA	40K 4000 K	T25 Type II Short	TSVS Type V Short
100C 100 LEDs	100C 100 LEDs	1000 1000 mA	50K 5000 K	T2M Type II Medium	T55 Type V Short
120C 120 LEDs	120C 120 LEDs	1200 1200 mA	AMBPIC Amber phosphor converted	T3M Type III Short	TSM Type V Short
90C 90 LEDs	90C 90 LEDs			T4M Type III Medium	T5W Type V Wide

**Controls options**

**Shipped installed**

**PER** Remote back receptacle only (no control)<sup>10</sup>  
**PFES** One-wire receptacle only (no control)<sup>10</sup>  
**PERF** Two-wire receptacle only (no control)<sup>10</sup>  
**DAG** 0-10V dimming driver (no control)<sup>10</sup>  
**DCR** Dimmable and controllable via DIMAP (no control)<sup>10</sup>  
**DS** Dual switching<sup>10</sup>  
**PIRH** Motion sensor, 15-30' mounting height<sup>10</sup>

**ELSD** Bi-level switched dimming, 20%<sup>10</sup>  
**ELSD** Bi-level switched dimming, 50%<sup>10</sup>  
**PFM02D3** Part right, dim 81' down<sup>10</sup>  
**PFM02D3** Part right, dim 5' up<sup>10</sup>  
**PFM02D3** Part right, dim 6' up<sup>10</sup>  
**PFM02D3** Part right, dim 7' up<sup>10</sup>  
**PFM02D3** Part right, dim 8' up<sup>10</sup>

**Shipped installed**

**HS** House-side shield<sup>10</sup>  
**SF** Single face (120, 277, 347V)<sup>10</sup>  
**DF** Double face (276, 480V)<sup>10</sup>  
**ROO** Right-angled optics<sup>10</sup>  
**L80** Left-angled optics<sup>10</sup>  
**R80** Right-angled optics<sup>10</sup>

**DDBD** Dark bronze  
**DBXD** Black  
**DNXD** Natural aluminum  
**WVXD** White  
**DBDXD** Textured dark bronze  
**DBLXD** Textured black  
**DNWDXD** Textured natural aluminum  
**FWDXD** Textured white

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**Performance Data**

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LEDs	Site (m)	System (m)	Inc. Type	30K			40K			50K			MVP			
				Lumens	lm/ft²	lm/m²										
530 mA	100W	100W	T5	15,770	3.0	3.115	16,599	3.0	3.121	16,201	3.0	3.120	16,272	3.0	3.120	
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				T5	17,048	4.0	4.114	17,048	4.0	4.113	16,899	4.0	4.113	16,899	4.0	4.113
				T5	17,048	4.0	4.114	17,048	4.0	4.113	16,899	4.0	4.113	16,899	4.0	4.113
				T5	17,048	4.0	4.114	17,048	4.0	4.113	16,899	4.0	4.113	16,899	4.0	4.113
				T5	17,048	4.0	4.114	17,048	4.0	4.113	16,899	4.0	4.113	16,899	4.0	4.113

**Ordering Information**

EXAMPLE: DSX2 LED BOC 1000 40K T4M MVOLT SPA DDBXD

DSX2 LED	BOC	700	50K	MVOLT	SPA
Series	LEDs	Drive current	Color temperature	Distribution	Mounting
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80C 80 LEDs	80C 80 LEDs	700 700 mA	40K 4000 K	T25 Type II Short	TSVS Type V Short
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120C 120 LEDs	120C 120 LEDs	1200 1200 mA	AMBPIC Amber phosphor converted	T3M Type III Short	TSM Type V Short
90C 90 LEDs	90C 90 LEDs			T4M Type III Medium	T5W Type V Wide

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**Performance Data**

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				T5	17,048	4.0	4.114	17,048	4.0	4.113	16,899	4.0	4.113	16,899	4.0	4.113
				T5	17,048	4.0	4.114	17,048	4.0	4.113	16,899	4.0	4.113	16,899	4.0	4.113
				T5	17,048	4.0	4.114	17,048	4.0	4.113	16,899	4.0	4.113	16,899	4.0	4.113

**Ordering Information**

EXAMPLE: DSX2 LED BOC 1000 40K T4M MVOLT SPA DDBXD

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Series	LEDs	Drive current	Color temperature	Distribution	Mounting
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80C 80 LEDs	80C 80 LEDs	700 700 mA	40K 4000 K	T25 Type II Short	TSVS Type V Short
100C 100 LEDs	100C 100 LEDs	1000 1000 mA	50K 5000 K	T2M Type II Medium	T55 Type V Short
120C 120 LEDs	120C 120 LEDs	1200 1200 mA	AMBPIC Amber phosphor converted	T3M Type III Short	TSM Type V Short
90C 90 LEDs	90C 90 LEDs			T4M Type III Medium	T5W Type V Wide

**Lumen Ambient Temperature (LAT) Multipliers**

Ambient	32°F	1.04
30°C	32°F	1.02
40°C	40°F	1.01
50°C	77°F	1.00
60°C	80°F	0.99
70°C	165°F	0.97

**Electrical Load**

LEDs	Power (watt)	300	200	240	277	347
100	100W	1.56	0.86	0.81	0.81	0.81
180	180W	1.58	0.80	0.83	0.83	0.81
1000	270W	2.07	1.16	1.16	0.81	0.81
100	330W	1.47	0.86	0.86	0.81	0.81
1000	330W	1.83	1.03	0.88	0.87	0.87

**Projected LED Lumen Maintenance**

Operating Hours	0	25,000	50,000	100,000
DSX2 LED BOC 1200	1.0	0.98	0.95	0.90
DSX2 LED BOC 1000	1.0	0.98	0.90	0.89
DSX2 LED 100C 1000	1.0	0.98	0.95	0.90
DSX2 LED 100C 2000	1.0	0.97	0.94	0.88

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### D-Series LED Bollard

**Specifications**  
 Diameter: 8" Round (203 mm)  
 Height: 42" (1067 mm)  
 Weight (max): 27 lbs (12.25 kg)

**Ordering Information**  
 EXAMPLE: DSXB LED 16C 700 40K SYM MVOLT DDBXD

DSXB LED	12C	350	40	ASY	MVOLT	PE
Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Central option
DSXB LED	Asymmetric	350 350 mA	30K 3000 K	ASY Asymmetric-1	MVOLT <sup>1</sup>	PE
12C 12 LEDs	12C 12 LEDs	450 450 mA	40K 4000 K	SYM Symmetric-2	120 <sup>2</sup>	
350 530 mA	350 530 mA	530 530 mA	50K 5000 K		208 <sup>3</sup>	
700 700 mA	700 700 mA	700 700 mA	AMBPIC Amber phosphor converted		240 <sup>4</sup>	
			AMBWL Amber limited wavelength <sup>10</sup>		277 <sup>5</sup>	
					347 <sup>6</sup>	

**Performance Data**

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating in 120-480V +/- 10%.

LEDs	Site (m)	System (m)	Inc. Type	30K			40K			50K			MVP		
				Lumens	lm/ft²	lm/m²									
Asymmetric (12 LEDs)	350	15	15												

### ANTIQUE STREET LAMPS RG LED SERIES ROUND METAL TOP

CATALOG # PROJECT TYPE



This acorn styled luminaire consists of a decorative luminaire base with an integral globe holder/gear housing and an acorn shaped globe.

- Injection molded, refractive, clear acrylic or polycarbonate base with curved metal top
- Optional trim selection: Finials, Bands, Medallions
- Tool-less gear housing option
- Stainless steel hardware
- 9 Different styles of bases coordinate with this luminaire
- CSA listed and labeled as suitable for wet locations
- Powder coat finish
- 3" O.D. x 3" tall tenon required for mounting

Sample Catalog number as it might appear when ordering below:

RGRL	A	32LED	4K	ARF	RS	MVOLT	ANBK	RF
Series	Decorative Base	LED/Driver	Color Temperature	Lens Options	Distribution Options	Voltage	Finish	Final Options

Ordering Guide:

Series	Decorative Base	LED/Driver	Color Temperature	Lens Options	Distribution Options	Voltage	Final Options	Arm Options
RGRL	A	32LED	4K	ARF	RS	MVOLT	PEF	ARH
RGRL	D	32LED	4K	PRF	R3	347	SMF	ARY
RGRL	K	32LED	4K	PRF	R3	480	SFF	ARU
RGRL	N	32LED	4K	PRF	R3	480	PDF	ARV
RGRL	W	32LED	4K	PRF	R3	480	GF	ARV
RGRL	X	32LED	4K	PRF	R3	480	RF	ARV

Med Options: MD3, MD4, MD5, MD6, MD7, MD8, MD9, MD10, MD11

Band Options: BS1, BS2, BS3, BS4, BS5, BS6, BS7, BS8, BS9, BS10, BS11, BS12, BS13, BS14, BS15, BS16, BS17, BS18, BS19, BS20, BS21, BS22, BS23, BS24, BS25, BS26, BS27, BS28, BS29, BS30, BS31, BS32, BS33, BS34, BS35, BS36, BS37, BS38, BS39, BS40, BS41, BS42, BS43, BS44, BS45, BS46, BS47, BS48, BS49, BS50, BS51, BS52, BS53, BS54, BS55, BS56, BS57, BS58, BS59, BS60, BS61, BS62, BS63, BS64, BS65, BS66, BS67, BS68, BS69, BS70, BS71, BS72, BS73, BS74, BS75, BS76, BS77, BS78, BS79, BS80, BS81, BS82, BS83, BS84, BS85, BS86, BS87, BS88, BS89, BS90, BS91, BS92, BS93, BS94, BS95, BS96, BS97, BS98, BS99, BS100

Photocontrol Options: PE1, PE2, PE3, PE4, PE5, PE6, PE7, PE8, PE9, PE10, PE11, PE12, PE13, PE14, PE15, PE16, PE17, PE18, PE19, PE20, PE21, PE22, PE23, PE24, PE25, PE26, PE27, PE28, PE29, PE30, PE31, PE32, PE33, PE34, PE35, PE36, PE37, PE38, PE39, PE40, PE41, PE42, PE43, PE44, PE45, PE46, PE47, PE48, PE49, PE50, PE51, PE52, PE53, PE54, PE55, PE56, PE57, PE58, PE59, PE60, PE61, PE62, PE63, PE64, PE65, PE66, PE67, PE68, PE69, PE70, PE71, PE72, PE73, PE74, PE75, PE76, PE77, PE78, PE79, PE80, PE81, PE82, PE83, PE84, PE85, PE86, PE87, PE88, PE89, PE90, PE91, PE92, PE93, PE94, PE95, PE96, PE97, PE98, PE99, PE100

Fuse Options: SF, DF

Finish: DBL, DDB, DNA, DWH, CS, CM, ANBK, ANDB, ANDG, ANVG

Historic / Progressive RG LED SERIES

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### SERIES

SELECT YOUR OPTIONS FROM

RGR4L, RGR1L, RGR2L, RGR3L

### DECORATIVE BASES

SELECT YOUR OPTIONS FROM

A, E, N, AU, K, W, D, M, X

LED/DRIVER

SELECT YOUR OPTIONS FROM

32LED 525MA, 32LED 700MA

### COLOR TEMPERATURE

SELECT YOUR OPTIONS FROM

3K, 4K, 5K

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### LENS OPTIONS

SELECT YOUR OPTIONS FROM

ARF (Acrylic Refractor), PRF (Polycarbonate Refractor)

### DISTRIBUTION OPTIONS

SELECT YOUR OPTIONS FROM

R3 (Type III (32 LED)), R5 (Type V (32 LED))

### VOLTAGE

SELECT YOUR OPTIONS FROM

MVOLT, 347, 480

### FINIAL OPTIONS

SELECT YOUR OPTIONS FROM

PF, SF, GF, RF, FPF, SAF, ARU, AMF, PGF

### ARM OPTIONS

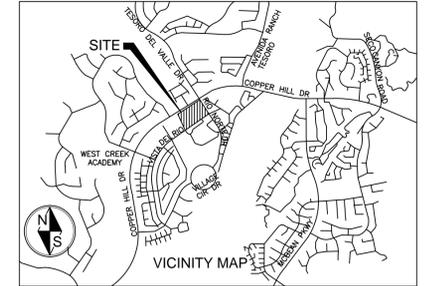
SELECT YOUR OPTIONS FROM

ARH, ARY, ARU, ARV

Historic / Progressive RG LED SERIES

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### PROJECT INFORMATION:

SITE ADDRESS:  
 SWC COPPER HILL DRIVE AND RIO NORTE DRIVE  
 VALENCIA, CA 91354  
 APNS: 2810-110-015, 2810-110-016, 2810-110-017, 2810-110-005, 2810-110-006

OWNER:  
 LNR CPI WEST CREEK RETAIL, LLC  
 21255 BURBANK BOULEVARD, SUITE 140  
 WOODLAND HILLS, CA 91367  
 TEL. NO. (818)206-3011

DEVELOPER:  
 FOUNTAINHEAD DEVELOPMENT  
 1401 QUAIL STREET, SUITE 100  
 NEWPORT BEACH, CA 92660  
 TEL. NO. (949)752-2515 EXT. 6  
 FAX (949)752-7442 (FAX)  
 ATTN: VASANTHI OKUMA

PROJECT ENGINEER:  
 LARS ANDERSEN AND ASSOCIATES, INC.  
 4694 WEST JACQUELYN AVENUE  
 FRESNO, CA 93722  
 TEL. NO. (559)276-2790  
 PROJECT NO. 14095.00  
 ATTN: SCOTT MOMMER

### MED OPTIONS

SELECT YOUR OPTIONS FROM

MD3, MD4, MD5, MD6, MD7, MD8, MD9, MD10, MD11

### BAND OPTIONS

SELECT YOUR OPTIONS FROM

BS1, BS2, BS3, BS4, BS5, BS6, BS7, BS8, BS9, BS10, BS11, BS12, BS13, BS14, BS15, BS16, BS17, BS18, BS19, BS20, BS21, BS22, BS23, BS24, BS25, BS26, BS27, BS28, BS29, BS30, BS31, BS32, BS33, BS34, BS35, BS36, BS37, BS38, BS39, BS40, BS41, BS42, BS43, BS44, BS45, BS46, BS47, BS48, BS49, BS50, BS51, BS52, BS53, BS54, BS55, BS56, BS57, BS58, BS59, BS60, BS61, BS62, BS63, BS64, BS65, BS66, BS67, BS68, BS69, BS70, BS71, BS72, BS73, BS74, BS75, BS76, BS77, BS78, BS79, BS80, BS81, BS82, BS83, BS84, BS85, BS86, BS87, BS88, BS89, BS90, BS91, BS92, BS93, BS94, BS95, BS96, BS97, BS98, BS99, BS100

### PHOTOCONTROL OPTIONS

SELECT YOUR OPTIONS FROM

PE1, PE2, PE3, PE4, PE5, PE6, PE7, PE8, PE9, PE10, PE11, PE12, PE13, PE14, PE15, PE16, PE17, PE18, PE19, PE20, PE21, PE22, PE23, PE24, PE25, PE26, PE27, PE28, PE29, PE30, PE31, PE32, PE33, PE34, PE35, PE36, PE37, PE38, PE39, PE40, PE41, PE42, PE43, PE44, PE45, PE46, PE47, PE48, PE49, PE50, PE51, PE52, PE53, PE54, PE55, PE56, PE57, PE58, PE59, PE60, PE61, PE62, PE63, PE64, PE65, PE66, PE67, PE68, PE69, PE70, PE71, PE72, PE73, PE74, PE75, PE76, PE77, PE78, PE79, PE80, PE81, PE82, PE83, PE84, PE85, PE86, PE87, PE88, PE89, PE90, PE91, PE92, PE93, PE94, PE95, PE96, PE97, PE98, PE99, PE100

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### FUSE OPTIONS

SELECT YOUR OPTIONS FROM

SF Single Fuse, DF Double Fuse

### FINISH

SELECT YOUR OPTIONS FROM

DBL Black, DDB Dark Bronze, DNA Natural Aluminum, DWH White, CS Custom Select (RAL colors), CM Custom Match, ANBK ASL Black, ANDB ASL Dark Bronze, ANDG ASL Dark Green, ANVG ASL Verde Green

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### ANTIQUE STREET LAMPS CAPITOL SERIES

20" DIA. BASE CAST ALUMINUM POSTS NARROW TAPER

PA C20 11A AB3/15 3T3

Description: The lighting post shall be all cast aluminum construction, gracefully tapered with a deep, 16-flute pattern on the shaft and base. The post shall be Antique Street Lamps' catalog number PA C20 20XA finish.

Materials: The post shall be heavy wall, copper free, cast aluminum produced from certified ASTM 356. 1 ingot per ASTM B179-95a or ASTM B26-95, formed true to the pattern with complete detail. All exposed hardware shall be tamper resistant stainless steel. Anchor bolts to be completely hot dip galvanized. Partially galvanized bolts are not acceptable.

Dimensions: The post shall be "X"-XX" in height with a 20" diameter base. The post shall taper from 7" diameter at the top of the base to 3.5" diameter at the post top. An integral 3" O.D. x 3" tenon shall be provided at the top for luminaire mounting. The post top shall include a transitional donut between the fluted shaft and the tenon.

Installation: The post shall be provided with four 3/4" diameter by 18" long, L-type anchor bolts to be installed on a 15" diameter bolt circle. A door shall be provided in the base for anchorage and wiring access. A grounding screw shall be provided inside the base opposite the door.

For finish specifications and color options, see "Finish" section in catalog.

Sample Catalog number:

PA C20	11A	AB3/15	3T3	ANBK	FG-S
Post Series	Height	Anchorage	Tenon	Finish	Options

Ordering Guide:

PA C20	11A	AB3/15	3T3	DBL	RECEPTACLES
Post Series	Height	Anchorage	Tenon	Finish	Options
PA C20	11A	AB3/15	3T3 (STANDARD)	DBL	BANNER ARMS
			3T4	DNA	FLAGPOLE HOLDERS
			3T5	DWH	CUSTOM LOGOS
			3T6	CS	SIGNAGE
			3T9	CM	
				ANBK	
				ANDB	
				ANDG	
				ANVG	

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DATE	DESCRIPTION
10-27-2015	C.U.P. SUBMITTAL
12-23-2015	RESPONSE TO PLANNING DEPARTMENT
05-27-2016	C.U.P. RESUBMITTAL
07-20-2016	C.U.P. RESUBMITTAL

DATE: 07-20-16

DRAWN BY: CHECKED BY:





STATE OF CALIFORNIA  
OUTDOOR LIGHTING POWER ALLOWANCES

CEC-NRCC-LTO-03-E (Revised 05/15) CALIFORNIA ENERGY COMMISSION  
CERTIFICATE OF COMPLIANCE NRCC-LTO-03-E  
Outdoor Lighting Power Allowances (Page 1 of 4)  
Project Name: Rio Norte Drive & Vista del Rio Drive, Valencia Date Prepared: 04/27/2016

**A. OUTDOOR LIGHTING POWER ALLOWANCE SUMMARY**

1. General Hardscape Lighting Power Allowance (Site Total from Section B of NRCC-LTO-03-E) 1. 26001.678

2. Additional Specific "use it or lose it" Lighting Power Allowances listed in each of these cells shall be identical to total allowed watts determined in Section C-1 to C-4 of NRCC-LTO-03-E.

PER APPLICATION from Section C-1	PER UNIT LENGTH (SALES FRONTAGE) from Section C-2	PER HARDSCAPE AREA (ORNAMENTAL LIGHTING) from Section C-3	PER SPECIFIC AREA from Section C-4	
80		103.48		2. 183.48
3. Sum Total ALLOWED Outdoor Lighting Wattage (add rows 1 and 2)				3. 26185.158

**B. GENERAL HARDSCAPE LIGHTING POWER ALLOWANCE FROM TABLE 140.7-A**

Area Wattage Allowance (AWA)				Linear Wattage Allowance (LWA)			Initial Wattage Allowance (IWA)	Total General Hardscape Lighting Allowance
A	B	C	D	E	F	G	H	I
Name of area	Illuminated Hardscape Area	AWA Per Square Foot	AWA (B x C)	Perimeter Length of General Hardscape	LPA per Linear Foot	LWA (E x F)	IWA (Watts)	D + G + H
Parcel A	26982.91	0.090	2328.45	803.16	.8	481.908	770	3644.358
Parcel B	33973.31	0.090	2957.59	807.15	.8	484.29	770	4221.89
Parcel C	46220.45	0.090	4141.84	977.16	.8	589.31	770	5408.15
Parcel D	69007.91	0.045	3105.36	1782.55	.45	793.15	610	4408.51
Parcel E	74853.78	0.090	6736.84	1203.21	.8	721.93	770	8228.77
TOTAL								26001.678

CA Building Energy Efficiency Standards - 2013 Nonresidential Compliance

May 2015

STATE OF CALIFORNIA  
OUTDOOR LIGHTING POWER ALLOWANCES

CEC-NRCC-LTO-03-E (Revised 05/15) CALIFORNIA ENERGY COMMISSION  
CERTIFICATE OF COMPLIANCE NRCC-LTO-03-E  
Outdoor Lighting Power Allowances (Page 2 of 4)  
Project Name: Rio Norte Drive & Vista del Rio Drive, Valencia Date Prepared: 04/27/2016

**C. ADDITIONAL "USE IT OR LOSE IT" OUTDOOR LIGHTING POWER ALLOWANCES FOR SPECIFIC APPLICATIONS**

- The additional specific outdoor lighting power allowance shall be the smaller of the allowed lighting power or the actual lighting power used.
- Use Outdoor Lighting Zone (OLZ) that is documented on page 1 of NRCC-LTO-01-E to calculate the specific wattage allowances.

**C-1. WATTAGE ALLOWANCE PER APPLICATION - Table 140.7-B**

- Available only for qualifying locations, which include Building Entrances or Exits; Primary Entrances to Senior Care Facilities, Police Stations, Hospitals, Fire Stations, and Emergency Vehicle Facilities; Drive Up Windows; Vehicle Service Station Uncovered Fuel Dispenser
- If more than one luminaire type is used per location, use multiple rows for that location

Name of Location for which allowance is claimed	ALLOTTED WATTS			DESIGN WATTS					
	Number of qualifying locations	Wattage Allowance per qualifying location	Allotted Watts (B x C)	Luminaire Code or Symbol	Luminaire Description	Luminaire Quantity	Watts per luminaire	Design Watts (G x H)	Allowed Watts (smaller of D or I)
Senior Care Facility	1	80	80	H	Post Top LED	5	37.7	188.5	80
Sum total allowance per application on this site:									80

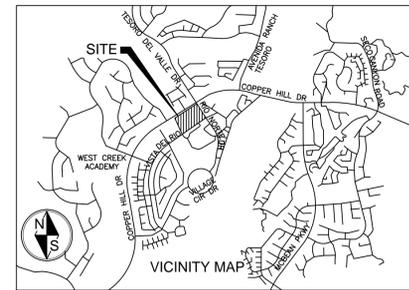
**C-2. WATTAGE ALLOWANCE PER UNIT LENGTH (Sales Frontage) from Table 140.7-B**

- If more than one luminaire type is used per location, use multiple rows for that location

Name of Location for which allowance is claimed	ALLOTTED WATTS			DESIGN WATTS					
	Linear feet of Sales Frontage	Wattage Allowance per linear foot	Allotted Watts (B x C)	Luminaire Code or Symbol	Luminaire Description	Luminaire Quantity	Watts per luminaire	Design Watts (G x H)	Allowed Watts (smaller of D or I)
Sum total allowance for sales frontage on the site:									

CA Building Energy Efficiency Standards - 2013 Nonresidential Compliance

May 2015



**PROJECT INFORMATION:**

**SITE ADDRESS:**  
SWC COPPER HILL DRIVE AND RIO NORTE DRIVE  
VALENCIA, CA 91354  
APNS: 2810-110-015  
2810-110-016  
2810-110-017  
2810-110-004  
2810-110-005  
2810-110-006

**OWNER:**  
LNR CPI WEST CREEK RETAIL, LLC  
21255 BURBANK BOULEVARD, SUITE 140  
WOODLAND HILLS, CA 91367  
TEL. NO. (818)206-3011

**DEVELOPER:**  
FOUNTAINHEAD DEVELOPMENT  
1401 QUAIL STREET, SUITE 100  
NEWPORT BEACH, CA 92660  
TEL. NO. (949)752-2515 EXT. 6  
FAX (949)752-7442 (FAX)  
ATTN: VASANTHI OKUMA

**PROJECT ENGINEER:**  
LARS ANDERSEN AND ASSOCIATES, INC.  
4694 WEST JACQUELYN AVENUE  
FRESNO, CA 93722  
TEL. NO. (559)276-2790  
PROJECT NO. 14095.00  
ATTN: SCOTT MOMMER

STATE OF CALIFORNIA  
OUTDOOR LIGHTING POWER ALLOWANCES

CEC-NRCC-LTO-03-E (Revised 05/15) CALIFORNIA ENERGY COMMISSION  
CERTIFICATE OF COMPLIANCE NRCC-LTO-03-E  
Outdoor Lighting Power Allowances (Page 3 of 4)  
Project Name: Rio Norte Drive & Vista del Rio Drive, Valencia Date Prepared: 04/27/2016

**C-3. WATTAGE ALLOWANCE PER SQUARE FOOT OF HARDSCAPE AREA (Ornamental Lighting) - Table 140.7-B**

- Allowance for the total site illuminated hardscape area. Luminaires qualifying for this allowance shall be rated for 100 watts or less as determined in accordance with Section 130.0(c), and shall be post-top luminaires, lanterns, pendant luminaires, or chandeliers.
- If more than one luminaire type is used per location, use multiple rows for that location

Name of area for which ornamental allowance is claimed	ALLOTTED WATTS			DESIGN WATTS					
	Square feet of Hardscape	Wattage Allowance per square foot	Allotted Watts (B x C)	Luminaire Code or Symbol	Luminaire Description	Luminaire Quantity	Watts per luminaire	Design Watts (G x H)	Allowed Watts (smaller of D or I)
Building D ped walk	5174	.02	103.48	F	LED Bollard	12	16	192	103.48
Sum total allowance for ornamental lighting on the site:									103.48

**C-4. WATTAGE ALLOWANCE PER SQUARE FOOT OF SPECIFIC AREA - Table 140.7-B**

- Allowances for Building Facades; Outdoor Sales Lots; Vehicle Service Station Hardscapes; Vehicle Service Station Canopies; Sales Canopies; Non-sales Canopies; Guard Stations; Student Pick-up/Drop-off zone; Outdoor Dining; Special Security Lighting for Retail Parking and Pedestrian Hardscapes.
- If more than one luminaire type is used per location, use multiple rows for that location

Name of Location for which allowance is claimed	ALLOTTED WATTS			DESIGN WATTS					
	Illuminated Area of Application	Wattage Allowance per square foot	Allotted Watts (B x C)	Luminaire Code or Symbol	Luminaire Description	Luminaire Quantity	Watts per luminaire	Design Watts (G x H)	Allowed Watts (smaller of D or I)
Sum total allowance for specific area on the site:									

CA Building Energy Efficiency Standards - 2013 Nonresidential Compliance

May 2015

STATE OF CALIFORNIA  
OUTDOOR LIGHTING POWER ALLOWANCES

CEC-NRCC-LTO-03-E (Revised 05/15) CALIFORNIA ENERGY COMMISSION  
CERTIFICATE OF COMPLIANCE NRCC-LTO-03-E  
Outdoor Lighting Power Allowances (Page 4 of 4)  
Project Name: Rio Norte Drive & Vista del Rio Drive, Valencia Date Prepared: 04/27/2016

**DOCUMENTATION AUTHOR'S DECLARATION STATEMENT**

1. I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Carmen Lee  
Signature Date: 04/27/2016  
Company: Acies Engineering  
Address: 3371 Olcott Street  
City/State/Zip: Santa Clara, CA 95054  
Phone: (408) 522-5255

**RESPONSIBLE PERSON'S DECLARATION STATEMENT**

- I certify the following under penalty of perjury, under the laws of the State of California:
- The information provided on this Certificate of Compliance is true and correct.
  - I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
  - The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
  - The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
  - I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: Carmen Lee  
Signature Date: 04/27/2016  
Company: Acies Engineering  
Address: 3371 Olcott Street  
City/State/Zip: Santa Clara, CA 95054  
Phone: (408) 522-5255

CA Building Energy Efficiency Standards - 2013 Nonresidential Compliance

May 2015

DATE	DESCRIPTION
10-27-2015	C.U.P. SUBMITTAL
12-23-2015	RESPONSE TO PLANNING DEPARTMENT
05-27-2016	C.U.P. RESUBMITTAL
07-20-2016	C.U.P. RESUBMITTAL

DATE: 07-20-16

DRAWN BY:  
CHECKED BY: