



**COUNTY OF LOS ANGELES  
FIRE DEPARTMENT**

1320 NORTH EASTERN AVENUE  
LOS ANGELES, CALIFORNIA 90063-3294

**COASTAL COMMISSION APPROVAL ONLY**

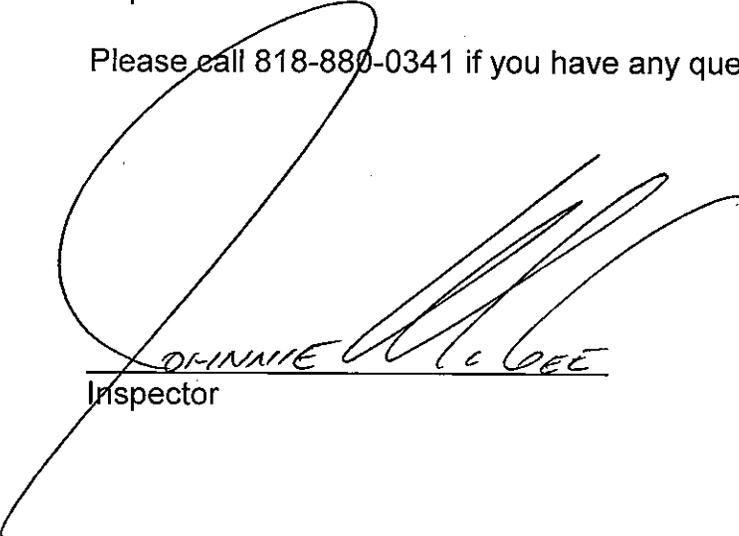
TO: CALIFORNIA COASTAL COMMISSION

RE: 1720 TUNA CANYON RD

This Department has reviewed the proposed project at the address shown above. We find the project to be feasible in concept. The roadway providing access to this project is required to be less than 20% grade and a minimum of 20 feet in width. Private access roadway has a grade of 10% or greater shall have a paved/concrete surface. See site plan signed & dated **APRIL 30, 2015**. Fire flow & Hydrant requirements will be determined during the plan review.

Access leading up to the proposed Parcel must also satisfy Fire department requirements

Please call 818-880-0341 if you have any questions regarding this matter.

  
Inspector

  
Date

APRIL 30, 2015



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FIRE DEPARTMENT  
1320 NORTH EASTERN AVENUE  
LOS ANGELES, CALIFORNIA 90063-3294

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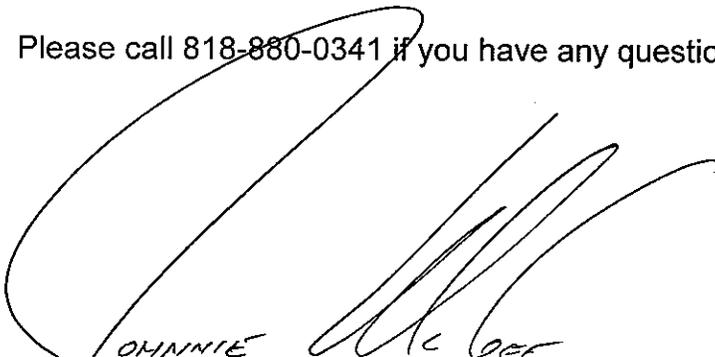
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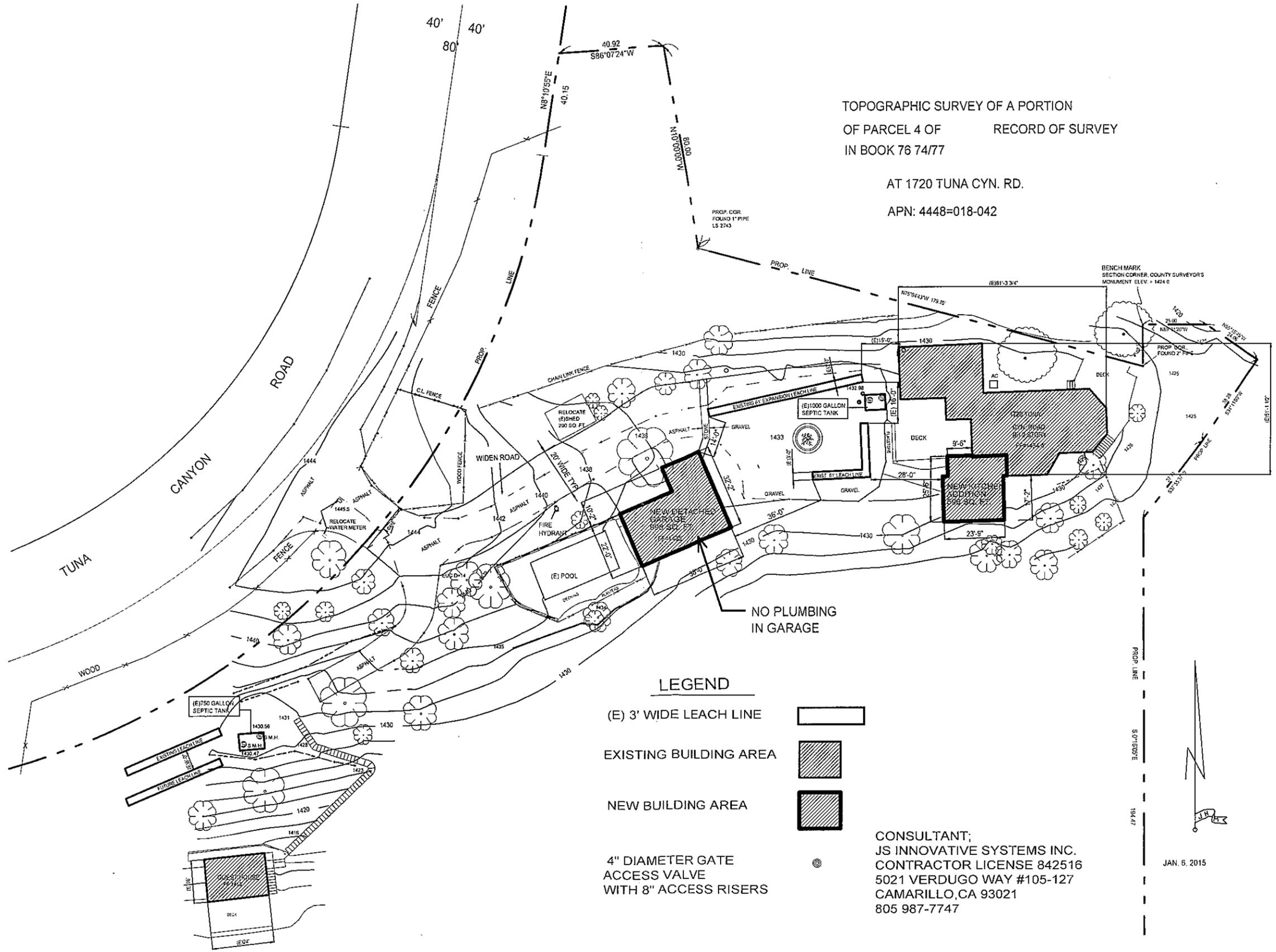


CLIENT  
 Angelo & Carmen Papparella  
 1720 Tuna Canyon Road  
 Topanga Canyon, CA.

SEPTIC SYSTEM PLAN  
 1720 TUNA CANYON ROAD

TOPOGRAPHIC SURVEY OF A PORTION  
 OF PARCEL 4 OF RECORD OF SURVEY  
 IN BOOK 76 74/77

AT 1720 TUNA CYN. RD.  
 APN: 4448-018-042



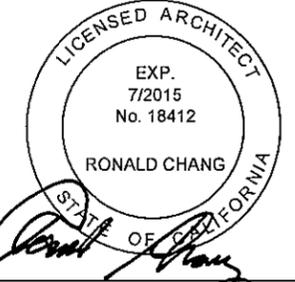
NO PLUMBING  
 IN GARAGE

LEGEND

- (E) 3' WIDE LEACH LINE
- EXISTING BUILDING AREA
- NEW BUILDING AREA
- 4" DIAMETER GATE ACCESS VALVE WITH 8" ACCESS RISERS

CONSULTANT;  
 JS INNOVATIVE SYSTEMS INC.  
 CONTRACTOR LICENSE 842516  
 5021 VERDUGO WAY #105-127  
 CAMARILLO, CA 93021  
 805 987-7747

Ronald Chang Architecture  
 1116 N. Beverly Glen Blvd.  
 Los Angeles, CA. 90077  
 T/F 310 709-3805



Date  
 04/08/2015

Scale  
 1" = 40'-0"

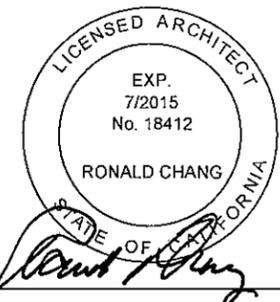
Sheet No.  
 1.0

JAN. 5. 2015

CLIENT  
Angelo & Carmen Papparella  
1720 Tuna Canyon Road  
Topanga Canyon, CA.

EXISTING GROUND  
FLOOR PLAN

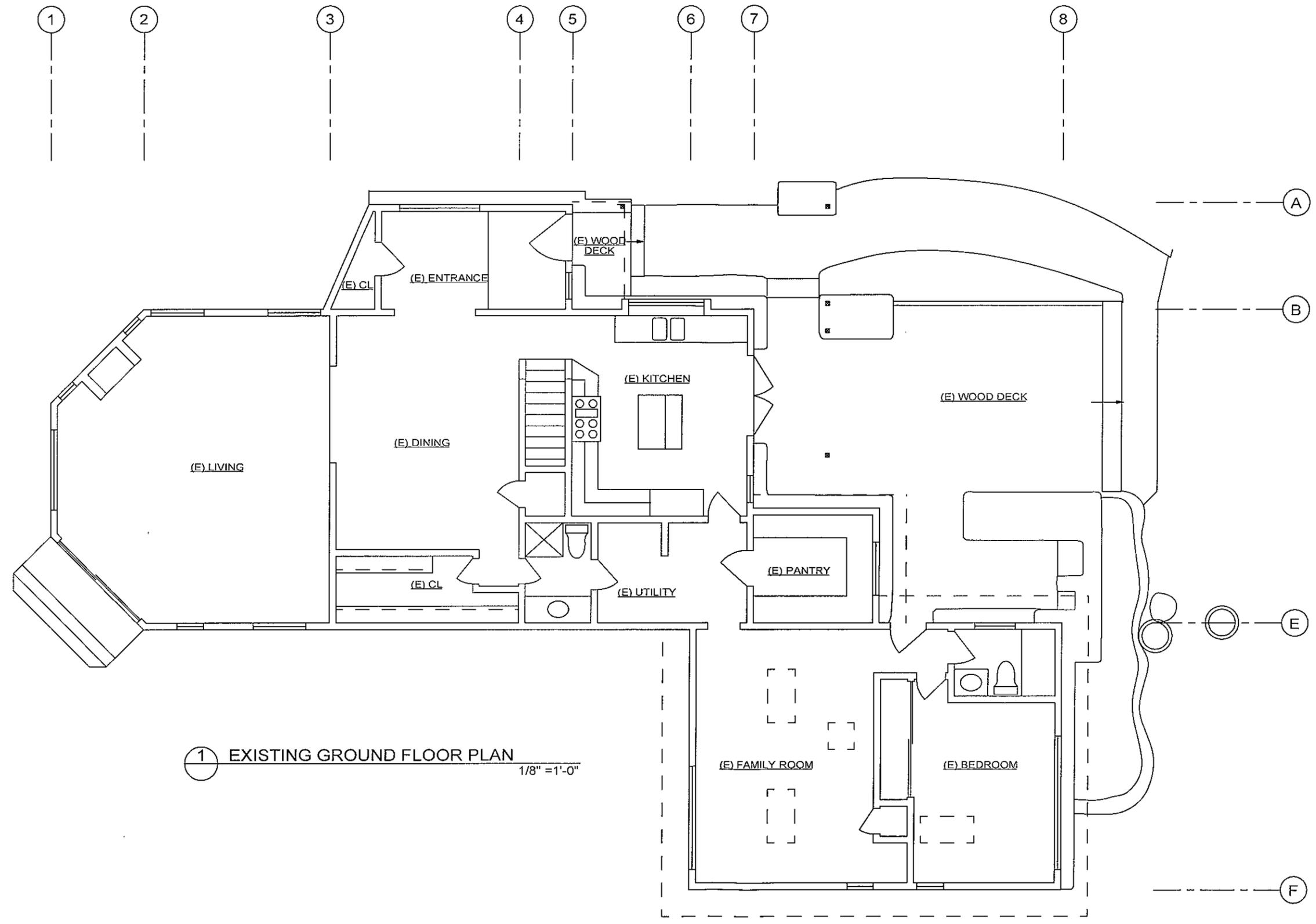
Ronald Chang Architecture  
1116 N. Beverly Glen Blvd.  
Los Angeles, CA. 90077  
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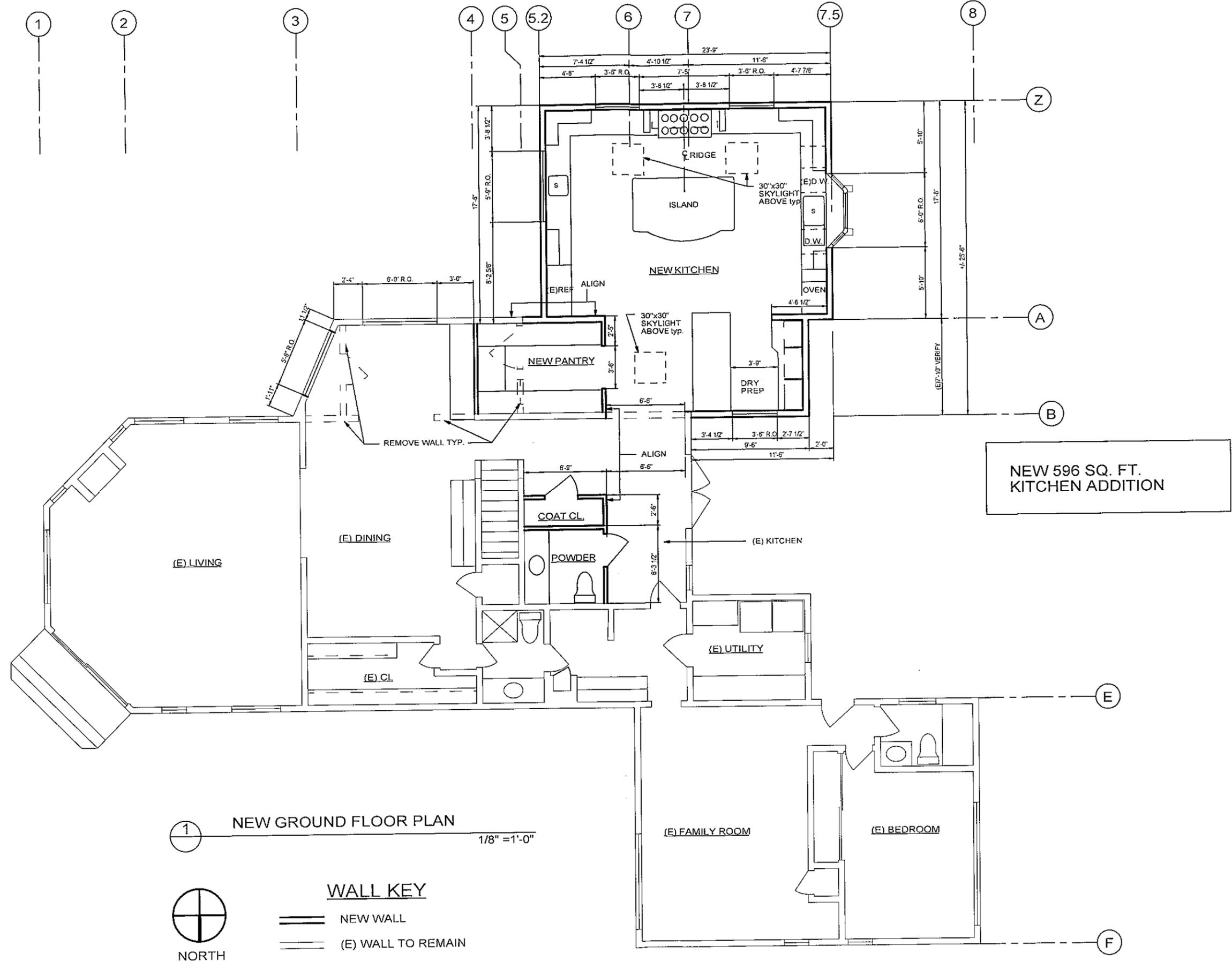
Date  
04/08/2015

Scale  
1" = 8'-0"

Sheet No.  
**2.0**

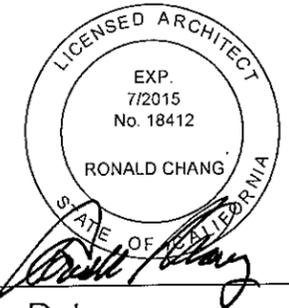


NEW GROUND FLOOR PLAN



NEW 596 SQ. FT.  
 KITCHEN ADDITION

Ronald Chang Architecture  
 1116 N. Beverly Glen Blvd.  
 Los Angeles, CA. 90077  
 T/F 310 709-3805



Date  
 04/08/2015

Scale  
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Sheet No.  
 3.0

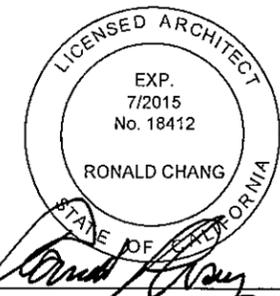
1 NEW GROUND FLOOR PLAN  
 1/8" = 1'-0"

**WALL KEY**  
 ——— NEW WALL  
 - - - (E) WALL TO REMAIN  
 - - - REMOVE WALL

NORTH

NEW ROOF & EXISTING  
 UPPER FLOOR PLAN

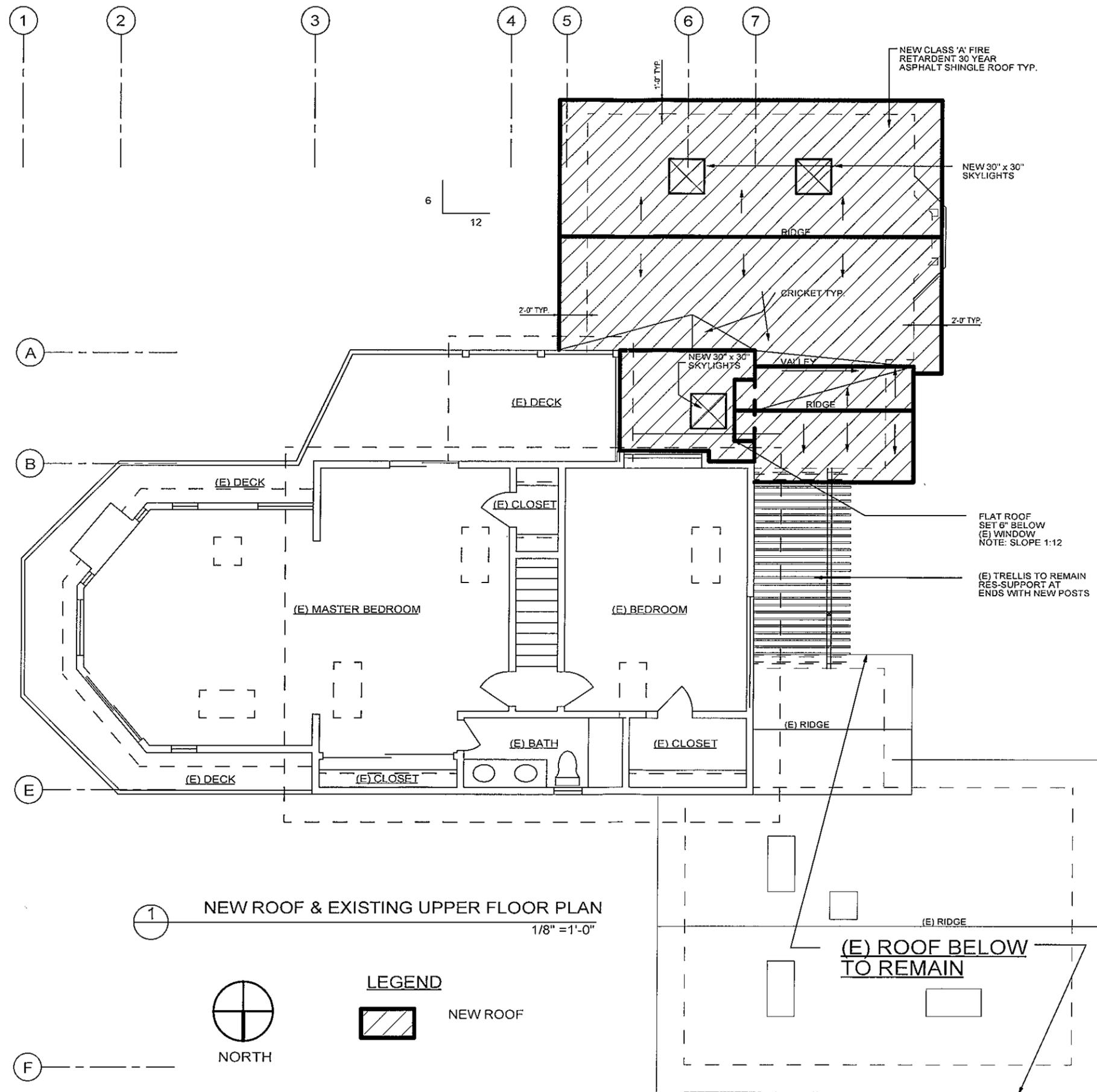
Ronald Chang Architecture  
 1116 N. Beverly Glen Blvd.  
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Date  
 04/08/2015

Scale  
 1" = 8'-0"

Sheet No.  
 4.0



1 NEW ROOF & EXISTING UPPER FLOOR PLAN  
 1/8" = 1'-0"

LEGEND  
 NEW ROOF



