

Regional Planning Commission Transmittal Checklist

Hearing Date
August 26, 2015
Agenda Item No.

8

Project Number: R2015-00052-(1)
Case(s): Conditional Use Permit No. 201500002
Planner: Anthony Curzi

- Project Summary
- Property Location Map
- Staff Analysis
- Draft Resolution / Draft Ordinance / 8.5x11 Map (ZC or PA)
- Draft Findings
- Draft Conditions
- Burden of Proof Statement(s)
- Environmental Documentation (ND / MND / EIR)
- Correspondence
- Photographs/Photo simulations
- Aerial Image(s)
- Land Use/Zoning Map
- Tentative Tract / Parcel Map
- Site Plan / Floor Plans / Elevations
- Exhibit Map
- Landscaping Plans
- Coverage Maps
- Alternatives Maps
- Appeal Form
- Hearing Officer and Regional Planning Commission Notices of Public Hearing

Reviewed By: _____





Department of Regional Planning
 320 West Temple Street
 Los Angeles, California 90012

PROJECT NUMBER
 R2015-00052-(1)

HEARING DATE
 August 26, 2015

REQUESTED ENTITLEMENTS

Conditional Use Permit No. 201500002
 Environmental Assessment No. 201500004

PROJECT SUMMARY

OWNER / APPLICANT

Southern California Edison (Public Right-of-Way) / Verizon Wireless

MAP/EXHIBIT DATE

July 25, 2014

PROJECT OVERVIEW

Appeal of Hearing Officer's approval on May 19, 2015.

The applicant, Verizon Wireless, requests a conditional use permit to authorize the construction, operation, and maintenance of a new unmanned wireless telecommunication facility (WTF) on an existing Southern California Edison (SCE) utility pole located in the public right-of-way. The WTF will comprise antennas and ancillary equipment on the existing 34-foot-tall wooden pole and a 20-inch-by-48-inch-by-17-inch 200-amp electrical pedestal in the right-of-way, as well as an underground pull-box.

LOCATION

3330 1/2 City Terrace Drive

ACCESS

City Terrace Drive

ASSESSORS PARCEL NUMBER

Adjacent to 5231-004-008

SITE AREA

NA

GENERAL PLAN / LOCAL PLAN

East Los Angeles Community Plan

ZONED DISTRICT

City Terrace

LAND USE DESIGNATION

CR (Commercial/Residential)

ZONE

C-2 (Neighborhood Business) Zone

PROPOSED UNITS

NA

MAX DENSITY/UNITS

NA

COMMUNITY STANDARDS DISTRICT

East Los Angeles

ENVIRONMENTAL DETERMINATION (CEQA)

Class 1 Categorical Exemption – Existing Facilities

KEY ISSUES

- Consistency with the Los Angeles County General and East Los Angeles Community Plans
- Satisfaction of the following Section(s) of Title 22 of the Los Angeles County Code:
 - 22.56.040 (Conditional Use Permit Burden of Proof Requirements)
 - 22.44.118 (East Los Angeles CSD requirements)
 - 22.28.170 (C-2 Zone Development Standards)

CASE PLANNER:

Anthony Curzi

PHONE NUMBER:

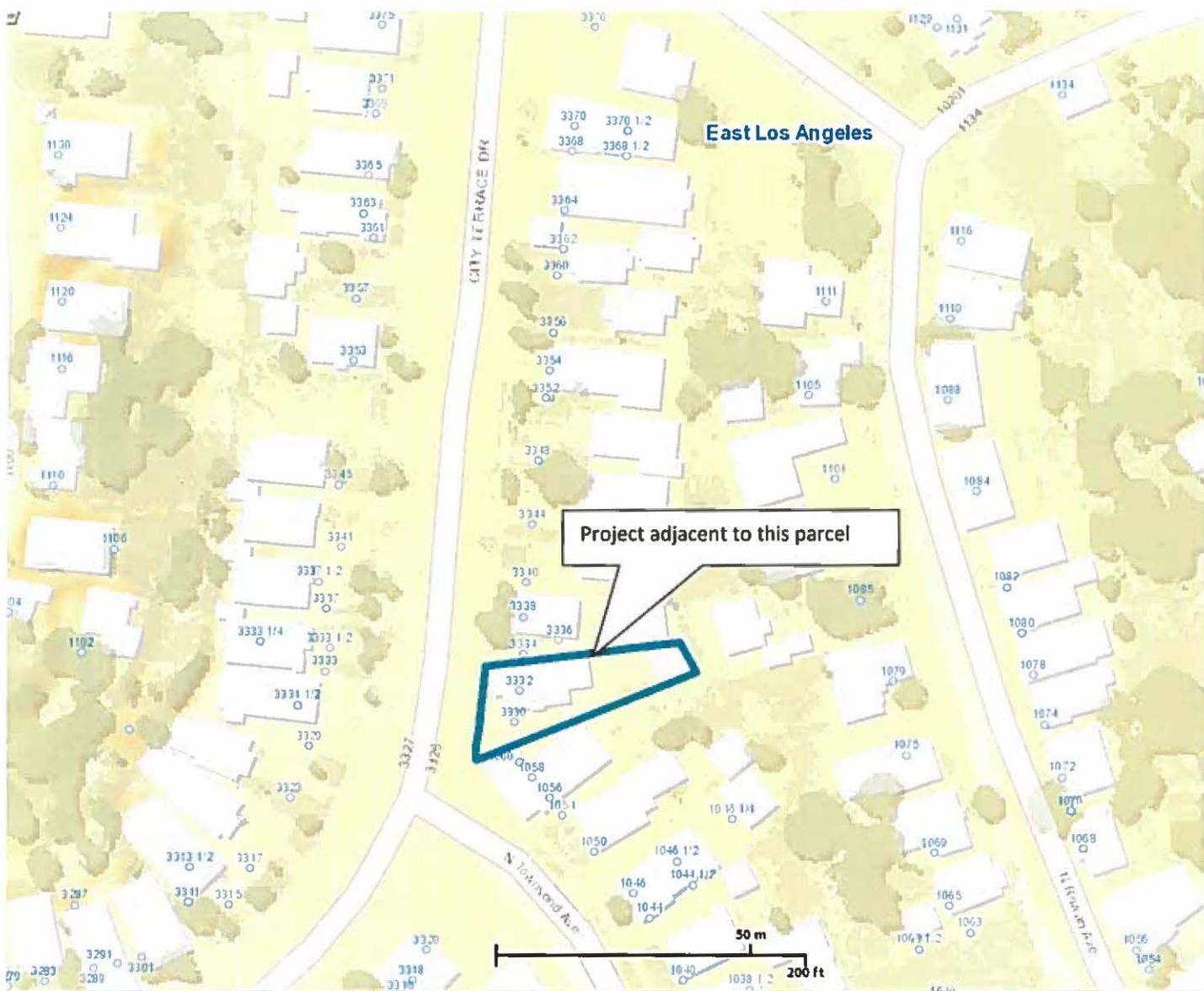
(213) 974 - 6443

E-MAIL ADDRESS:

acurzi@planning.lacounty.gov

East Los Angeles

Project adjacent to this parcel



ENTITLEMENTS REQUESTED

- Conditional Use Permit (CUP) for the construction, operation, and maintenance of a new wireless telecommunication facility (WTF) in the public right-of-way in the C-2 (Neighborhood Business) Zone pursuant to the Los Angeles County ("County") Code Section 22.28.160.

PROJECT DESCRIPTION

The applicant, Verizon Wireless, requests authorization to construct, operate, and maintain a new unmanned WTF on and around an existing Southern California Edison utility pole located in the public right-of-way.

The WTF will comprise antennas and ancillary equipment on the existing 34-foot-tall wooden pole and a 20-inch-by-48-inch-by-17-inch 200-amp electrical pedestal in the right-of-way, as well as an underground pull-box located south of the pole.

SITE PLAN DESCRIPTION

The site plan for the Project depicts the subject site with the existing utility pole and new, underground pull-box 5 feet to the south of the pole. Ninety feet to the north of the pole, the above-ground pedestal is located. Two 15-gallon toyons (*Heteromeles arbutifolia*) are depicted near the pedestal. Elevations depict the 34-foot-tall existing SCE pole with two Remote Radio Units (RRUs) and an antenna mounted on top, rising to 36.5 feet above ground level

EXISTING ZONING

The subject property is zoned C-2.

Surrounding properties are zoned as follows:

North: C-2
South: R-2 (Two Family Residence)
East: R-2, R-1 (Single Family Residence)
West: C-2, R-2

EXISTING LAND USES

The subject property is developed with the existing 34-foot-tall Southern California Edison (SCE) utility pole.

Surrounding properties are developed as follows:

North: Single- and multi-family residences, church, auto repair, markets
South: Single- and multi-family residences, auto repair, markets, clothing shops
East: Single- and multi-family residences
West: Single- and multi-family residences, realty, discount store

PREVIOUS CASES/ZONING HISTORY

The Project Site was zoned C-2 by Ordinance No. 2022 on December 14, 1931.

HEARING OFFICER PUBLIC HEARING

A duly-noticed public hearing was held on the subject project on May 19, 2015 before the County Hearing Officer. The project was approved and was subsequently appealed on June 2, 2015 by a member of the public, Mr. William Schwartz. Mr. Schwartz cited aesthetic, health, and public noticing deficiency concerns. Please see attached appeal form.

ENVIRONMENTAL DETERMINATION

County Staff recommends that this project qualifies for a Categorical Exemption (Class 1 Exemption, Existing Facilities under the California Environmental Quality Act (CEQA) and the County environmental guidelines. The project is for the addition of antennas and other minor equipment on and around an existing SCE utility pole. Such modifications and expansions are permitted under a Class 1 exemption. Therefore, staff recommends that the Regional Planning Commission ("Commission") determine that the project is categorically exempt from CEQA.

STAFF EVALUATION

General Plan/Community Plan Consistency

The project site is located within the Commercial/Residential (CR) land use category of the East Los Angeles Community Plan. This designation is intended for a mix of commercial and residential uses, as is typical of the neighborhood of the proposed project. The maximum density is 30 dwelling units per net acre. The WTF is located on previously existing utility infrastructure within the previously disturbed right-of-way area and is, therefore, consistent with the permitted uses of the underlying land use category.

The following policy of the Community Plan is applicable to the proposed project:

- *Land Use Policy (page 2): Allow the intensification of land uses only if it does not adversely impact existing uses, neighborhoods, and the existing character and density of the East Los Angeles Community.*

The WTF will be located within the public right-of-way which has already been disturbed by development of a utility pole and sidewalk infrastructure. The project slightly modifies the existing utility pole and adds ancillary equipment. By locating the WTF where the existing utility infrastructure is located in the public right-of-way, the WTF does not adversely impact the existing uses, neighborhoods, or the existing character or density of the community. Therefore, the project is in conformance with this policy.

Zoning Ordinance and Development Standards Compliance

Pursuant to Section 22.28.170 of the County Code, establishments in the C-2 Zone are subject to the following development standards:

- The C-2 development standards apply to buildings and other development on private property and there are no applicable ones to the proposed project

Pursuant to Section 22.44.118 of the County Code, establishments in the East Los Angeles Community Standards District (CSD) are subject to the following development standards:

- The CSD standards apply to buildings and other development on private property and there are no applicable ones to the proposed project.

Site Visit

Staff conducted a site visit of the subject site and observed the existing SCE utility pole and the surrounding neighborhood with a mix of single-family, multi-family, and commercial uses.

Burden of Proof

The applicant is required to substantiate all facts identified by Section 22.56.040 of the County Code. The Burden of Proof with applicant's responses is attached. Staff believes that the applicant has met the burden of proof.

The use requested (construction, operation, and maintenance of a new WTF on an existing utility pole) will provide a utility-type service to the area, and will allow residents, visitors, and motorists the possibility to make emergency calls if necessary. In addition to voice calls, many wireless subscribers are using their devices to send and receive text messages and data. Therefore, it is important that telecommunication providers keep up with the public's demand for such service.

Therefore, the proposed use with the attached conditions will be consistent with the adopted General Plan.

The utility pole has existed for many years at the subject site, and the proposed WTF will be well integrated into the utility pole such that antennas and ancillary equipment are scarcely noticeable.

Therefore, the proposed use at the site will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area, will not be materially detrimental to the use, enjoyment or valuation of property of other persons located in the vicinity of the site, and will not jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare.

The proposed project will not require any variations or deviations from development standards. WTF antennas are affixed to the utility tower and ancillary equipment is mostly below grade, with a pedestal above grade. The applicant will also plant 15-gallon toyons in the right-of-way on the sidewalk. The WTF is in the public ROW and many development standards, including CSD standards, do not apply.

Therefore, the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in Title 22, or as is otherwise required in order to integrate said use with the uses in the surrounding area.

The WTF is located in the public ROW on an existing utility pole on City Terrace Drive, a public highway. The WTF will require periodic visits from maintenance personnel, and there is adequate parking on the street to accommodate the service vehicle. The use is not anticipated to generate pedestrian or bicycle trips.

Therefore, the proposed site is adequately served by highways or streets of sufficient width and improved as necessary to carry the kind and quantity of pedestrian, bicycle, and vehicle traffic such use would generate, and by other public or private service facilities as are required.

Neighborhood Impact/Land Use Compatibility

The WTF will be well integrated into the neighborhood by being located onto and around and exiting 34-foot wooden utility pole. The applicant will plant two 15-gallon toyons in the parkway adjacent to above-ground pedestal. Other necessary equipment for the WTF (the pull-box) will be located in a below-ground vault, further reducing visual impacts.

By locating onto existing infrastructure, the applicant reduces the need to construct a new WTF, thereby making better use of existing utility structures and reducing aesthetic impacts in the community.

COUNTY DEPARTMENT COMMENTS AND RECOMMENDATIONS

The County Department of Public Works ("Public Works") recommends approval of this Project and has recommended conditions of approval, which are included in the Project's conditions.

LEGAL NOTIFICATION AND PUBLIC OUTREACH

Pursuant to the provisions of Sections 22.60.174 and 22.60.175 of the County Code, the community was appropriately notified of the public hearings by mail, newspaper, property posting, library posting and DRP website posting.

PUBLIC COMMENTS

The Department of Regional Planning staff received one e-mail in opposition to the Project. The e-mail cited visual and health impacts from the proposed Project.

FEES/DEPOSITS

If approved, fees identified in the attached project conditions will apply unless modified by the Commission.

STAFF RECOMMENDATION

The following recommendation is made prior to the public hearing and is subject to change based upon testimony and/or documentary evidence presented at the public hearing:

Staff recommends **APPROVAL** of Project Number R2015-00052-(1), Conditional Use Permit Number 201500002, subject to the attached conditions.

SUGGESTED APPROVAL MOTION:

**I MOVE THAT THE REGIONAL PLANNING COMMISSION APPROVE
CONDITIONAL USE PERMIT NUMBER 201500002 SUBJECT TO THE ATTACHED
FINDINGS AND CONDITIONS.**

Prepared by Anthony Curzi, Regional Planning Assistant II, Zoning Permits North
Section

Reviewed by Robert Glaser, Acting Supervising Regional Planner, Zoning Permits
North Section

Attachments:

Draft Findings, Draft Conditions of Approval

Applicant's Burden of Proof statement

Correspondence

Site Photographs, Photo Simulations, Aerial Image

Site Plan, Land Use Map

Coverage Maps, Alternatives Maps

Appeal Form

Hearing Officer and Regional Planning Commission Notices of Public Hearing

RG:AMC

August 13, 2015

**DRAFT FINDINGS OF THE REGIONAL PLANNING COMMISSION
AND ORDER
COUNTY OF LOS ANGELES
PROJECT NO. R2015-00052-(1)
CONDITIONAL USE PERMIT NO. 201500002**

1. The Los Angeles County ("County") Regional Planning Commission ("Commission") conducted a duly-noticed public hearing in the matter of Conditional Use Permit No. 201500002 ("CUP") on August 26, 2015. The County Hearing Officer also conducted a duly-noticed public hearing on the same matter on May 19, 2015. The Hearing Officer's decision was appealed by a member of the public on June 2, 2015.
2. The permittee, Verizon Wireless ("permittee"), requests the CUP to authorize the construction, operation, and maintenance of a new wireless telecommunication facility (WTF) on an existing Southern California Edison (SCE) utility pole located in the public right-of-way ("Project") on a property located adjacent to 3330 ½ City Terrace Drive, in the unincorporated community of East Los Angeles ("Project Site") in the C-2 (Neighborhood Business) Zone pursuant to Los Angeles County Code ("County Code") Section 22.28.160.
3. The Project Site is located in the public right-of-way (ROW) and contains an existing 34-foot-tall SCE utility pole.
4. The Project Site is located in the City Terrace Zoned District and is currently zoned C-2.
5. The Project Site is located within the East Los Angeles Community Standards District.
6. The Project Site is located within the CR (Commercial/Residential) land use category of the East Los Angeles Community Plan Land Use Policy Map.
7. Surrounding Zoning within a 500-foot radius includes:
 - North: C-2
 - South: R-2 (Two-Family Residence)
 - East: R-2, R-1 (Single-Family Residence)
 - West: C-2, R-2
8. Surrounding land uses within a 500-foot radius include:
 - North: Single- and multi-family residences, church, auto repair, markets
 - South: Single- and multi-family residences, auto repair, markets, clothing shops
 - East: Single- and multi-family residences
 - West: Single- and multi-family residences, realty, discount store
9. The Project Site was zoned C-2 by Ordinance No. 2022 on December 14, 1931.

10. The site plan for the Project depicts the subject site with the existing utility pole and new, underground pull-box five feet to the south of the pole. Ninety feet to the north of the pole, the above-ground pedestal is located. Two 15-gallon toyon (*Heteromeles arbutifolia*) are depicted near the pedestal. Elevations depict the 34-foot-tall existing SCE pole with two Remote Radio Units (RRUs) and an antenna mounted on top, rising to 36.5 feet above ground level.
11. The Project Site is accessible via City Terrace Drive.
12. The proposed WTF is located in the public ROW along City Terrace Drive, and there is sufficient parking on the street to accommodate construction and maintenance vehicles.
13. The County Department of Public Works ("Public Works") recommends approval of this Project and has recommended conditions of approval, which are included in the Project's conditions.
14. Prior to the Commission's public hearing on the Project, Regional Planning staff determined that the Project qualified for a Class 1, Existing Facilities, categorical exemption from the California Environmental Quality Act (Public Resources Code section 21000, et seq.) ("CEQA"), the State CEQA Guidelines, and the Environmental Document Reporting Procedures and Guidelines for the County, because the Project involved the addition of antennas and ancillary telecommunication on and near an existing utility pole. Such minor additions are permitted under a Class 1 categorical exemption.
15. Pursuant to the provisions of Sections 22.60.174 and 22.60.175 of the Zoning Code, the community was appropriately notified of the Project's public hearing by mail, newspaper, and property posting.
16. Prior to the Hearing Officer's public hearing on May 19, 2015, the Department of Regional Planning ("Regional Planning") staff received one e-mail in opposition to the Project. The e-mail cited visual and health impacts from the proposed Project.
17. A duly-noticed public hearing occurred before the Hearing Officer. Staff presented the case and recommended approval. The applicant's representative, Korina Arvizu, stated that she agreed with the project findings and conditions and offered to answer questions regarding the project from the Hearing Officer.

One person, Mr. William Schwartz, spoke in opposition to the project, citing aesthetic and health impacts from the WTF. This individual also raised concerns regarding sufficient noticing of the project in the community, including the fact that postcards noticing the public hearing were mailed only to property owners and not renters; that the postcards were only in English; the effect on lowering property values from WTFs being located adjacent to residences; questions about alternative locations for the WTF; questions regarding whether this project would lead to additional WTFs in the community; and questions regarding whether the neighborhood qualified as an historic district.

After discussion with Staff and the applicant's representative, the Hearing Officer explained that the project was adequately noticed as required by state law, that local jurisdictions cannot deny applications for WTFs based on health concerns as that is a matter that is regulated by the Federal Communication Commission, and that the visual impacts from the project were relatively minor, and were, therefore, unlikely to cause detrimental impacts upon property values.

The Hearing Officer then recommended changes to the findings and conditions, including adding a condition requiring the applicant to submit proof of SCE review and approval of the project prior to the applicant receiving building permits and a condition requiring the applicant to adequately maintain in good condition the two toyon trees to be planted in the parkway. The Hearing Officer then closed the public hearing, determined the Project categorically exempt from CEQA and approved the Project.

Additional Commission proceedings to be inserted after hearing.

18. The Hearing Officer's approval was appealed on June 2, 2015 by a member of the public, Mr. William Schwartz. Mr. Schwartz cited many of the concerns he raised at the public hearing as reasons for the appeal.
19. The Commission finds that the Project is consistent with the plans and policies of the East Los Angeles Community Plan. The WTF is located on a previously existing utilities infrastructure within the previously disturbed ROW area and is therefore consistent with the permitted uses of the underlying land use category.
20. The Commission finds that the Project is allowed in the subject zone category with the approval of a conditional use permit. Further, the Project is consistent with the development standards of the C-2 Zone as set forth in Section 22.28.170 of the County Code. The Project is also consistent with the Subdivision and Zoning Ordinance Policy No. 01-2010, which regulates development of WTFs, including WTFs in the public ROW. The proposed WTF will place equipment that can be undergrounded under the sidewalk, as required, and two 15-gallon toyons will be planted on either side of the above-ground electrical meter pedestal to further mitigate for visual impacts.
21. The use requested (construction, operation, and maintenance of a new WTF on an existing utility pole) will provide a utility-type service to the area, and will allow residents, visitors, and motorists the possibility to make emergency calls if necessary.

Therefore, the Commission finds that the proposed use with the attached conditions will be consistent with the adopted General Plan.

22. The utility pole has existed for many years at the subject site, and the proposed WTF will be well-integrated into the utility pole such that antennas and ancillary equipment are scarcely noticeable.

Therefore, the Commission finds that the proposed use at the site will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area, will not be materially detrimental to the use, enjoyment or valuation of property of other persons located in the vicinity of the site, and will not jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare.

23. The proposed project will not require any variations or deviations from development standards. WTF antennas are affixed to the utility tower and ancillary equipment is mostly below grade, with a pedestal above grade. The applicant will also plant 15-gallon toyons on either side of the above-ground electrical meter pedestal in the ROW on the sidewalk. The WTF is in the public ROW and many development standards, including CSD standards, do not apply.

Therefore, the Commission finds that the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this Title 22, or as is otherwise required in order to integrate said use with the uses in the surrounding area.

23. The WTF is located in the public ROW on an existing utility pole on City Terrace Drive, a public highway. The WTF will require periodic visits from maintenance personnel, and there is adequate parking on the street to accommodate the service vehicle. The use is not anticipated to generate pedestrian or bicycle trips.

Therefore, the Commission finds that the proposed site is adequately served by highways or streets of sufficient width and improved as necessary to carry the kind and quantity of pedestrian, bicycle, and vehicle traffic such use would generate, and by other public or private service facilities as are required.

24. The Commission finds that to ensure continued compatibility between the Project and the surrounding land uses, it is necessary to limit the conditional use permit to 15 years.

25. The Commission finds that pursuant to Sections 22.60.174 and 22.60.175 of the County Code, the community was properly notified of both the Hearing Officer and Commission public hearings by mail, newspaper, and property posting. Additionally, the Project was noticed and case materials were available on Regional Planning's website and at libraries located in the vicinity of the East Los Angeles community. On April 16, 2015, a total of 122 Notices of Public Hearing were mailed to all property owners as identified on the County Assessor's record within a 500-foot radius from the Project Site for the May 19, 2015 Hearing Officer public hearing, and on July 8, 2015, a total of 122 Notices of Public Hearing were mailed to all property owners as identified on the County Assessor's record within a 500-foot radius from the Project Site for the Commission public hearing for the appeal.

26. The location of the documents and other materials constituting the record of proceedings upon which the Commission's decision is based in this matter is the Los Angeles County Department of Regional Planning, 13th Floor, Hall of Records, 320 West Temple Street, Los Angeles, California 90012. The custodian of such documents and materials shall be the Section Head of the Zoning Permits North Section, Department of Regional Planning.

BASED ON THE FOREGOING, THE REGIONAL PLANNING COMMISSION CONCLUDES THAT:

- A. The proposed use with the attached conditions will be consistent with the adopted General Plan and the East Los Angeles Community Plan.
- B. The proposed use at the site will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area, will not be materially detrimental to the use, enjoyment or valuation of property of other persons located in the vicinity of the site, and will not jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare.
- C. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in Title 22, or as is otherwise required in order to integrate said use with the uses in the surrounding area.
- D. The proposed site is adequately served by highways or streets of sufficient width and improved as necessary to carry the kind and quantity of pedestrian, bicycle, and vehicle traffic such use would generate, and by other public or private service facilities as are required.

THEREFORE, THE REGIONAL PLANNING COMMISSION:

- 1. Finds that the Project is exempt from the California Environmental Quality Act pursuant to section 15301 of the State CEQA Guidelines (Class 1, Existing Facilities categorical exemption); and
- 2. Approves Conditional Use Permit No. 201500002, subject to the attached conditions.

ACTION DATE: August 26, 2015

RG:AMC
August 13, 2015

c: Zoning Enforcement, Building and Safety

**DRAFT CONDITIONS OF APPROVAL
COUNTY OF LOS ANGELES
PROJECT NO. R2015-00052-(1)
CONDITIONAL USE PERMIT NO. 201500002**

PROJECT DESCRIPTION

The project is for the construction, operation, and maintenance of a new, unmanned wireless telecommunication facility (WTF) on and around an existing Southern California Edison (SCE) 34-foot-tall utility pole in the public right-of-way, comprised of antennas and Remote Radio Units on the pole, an underground pull-box, and an above-ground pedestal, subject to the following conditions of approval:

GENERAL CONDITIONS

1. Unless otherwise apparent from the context, the term "permittee" shall include the applicant, owner of the property, and any other person, corporation, or other entity making use of this grant.
2. This grant shall not be effective for any purpose until the permittee, and the owner of the subject property if other than the permittee, have filed at the office of the Los Angeles County ("County") Department of Regional Planning ("Regional Planning") their affidavit stating that they are aware of and agree to accept all of the conditions of this grant, and that the conditions of the grant have been recorded as required by Condition No. 7, and until all required monies have been paid pursuant to Condition No. 10. Notwithstanding the foregoing, this Condition No. 2 and Conditions No. 4, 5, and 9 shall be effective immediately upon the date of final approval of this grant by the County.
3. Unless otherwise apparent from the context, the term "date of final approval" shall mean the date the County's action becomes effective pursuant to Section 22.60.260 of the County Code.
4. The permittee shall defend, indemnify, and hold harmless the County, its agents, officers, and employees from any claim, action, or proceeding against the County or its agents, officers, or employees to attack, set aside, void, or annul this permit approval, which action is brought within the applicable time period of Government Code Section 65009 or any other applicable limitations period. The County shall promptly notify the permittee of any claim, action, or proceeding and the County shall reasonably cooperate in the defense. If the County fails to promptly notify the permittee of any claim, action, or proceeding, or if the County fails to cooperate reasonably in the defense, the permittee shall not thereafter be responsible to defend, indemnify, or hold harmless the County.
5. In the event that any claim, action, or proceeding as described above is filed against the County, the permittee shall within 10 days of the filing make an initial deposit with Regional Planning in the amount of up to \$5,000.00, from which actual costs and expenses shall be billed and deducted for the purpose of defraying the costs or expenses involved in Regional Planning's cooperation in the defense,

including but not limited to, depositions, testimony, and other assistance provided to permittee or permittee's counsel.

If during the litigation process, actual costs or expenses incurred reach 80 percent of the amount on deposit, the permittee shall deposit additional funds sufficient to bring the balance up to the amount of \$5,000.00. There is no limit to the number of supplemental deposits that may be required prior to completion of the litigation.

At the sole discretion of the permittee, the amount of an initial or any supplemental deposit may exceed the minimum amounts defined herein. Additionally, the cost for collection and duplication of records and other related documents shall be paid by the permittee according to County Code Section 2.170.010.

6. If any material provision of this grant is held or declared to be invalid by a court of competent jurisdiction, the permit shall be void and the privileges granted hereunder shall lapse.
7. Prior to the use of this grant, the permittee, or the owner of the subject property if other than the permittee, shall **record the terms and conditions** of the grant in the office of the County Registrar-Recorder/County Clerk ("Recorder"). In addition, upon any transfer or lease of the property during the term of this grant, the permittee, or the owner of the subject property if other than the permittee, shall promptly provide a copy of the grant and its conditions to the transferee or lessee of the subject property.
8. **This grant shall terminate on August 26, 2030.** Entitlement to use of the property thereafter shall be subject to the regulations then in effect. If the permittee intends to continue operations after such date, whether or not the permittee proposes any modifications to the use at that time, the permittee shall file a new conditional use permit application with Regional Planning, or shall otherwise comply with the applicable requirements at that time. Such application shall be filed at least six (6) months prior to the expiration date of this grant and shall be accompanied by the required fee. In the event that the permittee seeks to discontinue or otherwise change the use, notice is hereby given that the use of such property may require additional or different permits and would be subject to the then-applicable regulations.
9. This grant shall expire unless used within two (2) years from the date of final approval of the grant. A single one-year time extension may be requested in writing and with the payment of the applicable fee prior to such expiration date.
10. The subject property shall be maintained and operated in full compliance with the conditions of this grant and any law, statute, ordinance, or other regulation applicable to any development or activity on the subject property. Failure of the permittee to cease any development or activity not in full compliance shall be a violation of these conditions. Inspections shall be made to ensure compliance with the conditions of this grant as well as to ensure that any development undertaken on the subject property is in accordance with the approved site plan on file. The

permittee shall deposit with the County the sum of **\$1,600.00**. The deposit shall be placed in a performance fund, which shall be used exclusively to compensate Regional Planning for all expenses incurred while inspecting the premises to determine the permittee's compliance with the conditions of approval. The fund provides for **eight (8) biennial (one every other year)** inspections. Inspections shall be unannounced.

If additional inspections are required to ensure compliance with the conditions of this grant, or if any inspection discloses that the subject property is being used in violation of any one of the conditions of this grant, the permittee shall be financially responsible and shall reimburse Regional Planning for all additional enforcement efforts necessary to bring the subject property into compliance. The amount charged for additional inspections shall be \$200.00 per inspection, or the current recovery cost at the time any additional inspections are required, whichever is greater.

11. Notice is hereby given that any person violating a provision of this grant is guilty of a misdemeanor. Notice is further given that the Regional Planning Commission ("Commission") or a Hearing Officer may, after conducting a public hearing, revoke or modify this grant, if the Commission or Hearing Officer finds that these conditions have been violated or that this grant has been exercised so as to be detrimental to the public's health or safety or so as to be a nuisance, or as otherwise authorized pursuant to Chapter 22.56 Part 13 of the County Code.
12. All development pursuant to this grant must be kept in full compliance with the County Fire Code to the satisfaction of the Fire Department.
13. All development pursuant to this grant shall conform with the requirements of the County Department of Public Works to the satisfaction of said department.
14. All development pursuant to this grant shall comply with the requirements of Title 22 of the County Code and of the specific zoning of the subject property, unless specifically modified by this grant, as set forth in these conditions, including the approved Exhibit "A," or a revised Exhibit "A" approved by the Director of Regional Planning ("Director").
15. The permittee shall maintain the subject property in a neat and orderly fashion. The permittee shall maintain free of litter all areas of the premises over which the permittee has control.
16. All structures, walls and fences open to public view shall remain free of graffiti or other extraneous markings, drawings, or signage that was not approved by Regional Planning. These shall include any of the above that do not directly relate to the business being operated on the premises or that do not provide pertinent information about said premises. The only exceptions shall be seasonal decorations or signage provided under the auspices of a civic or non-profit organization.

In the event of graffiti or other extraneous markings occurring, the permittee shall remove or cover said markings, drawings, or signage within 24 hours of notification of such occurrence, weather permitting. Paint utilized in covering such markings shall be of a color that matches, as closely as possible, the color of the adjacent surfaces.

17. The subject property shall be developed and maintained in substantial conformance with the plans marked Exhibit "A." If changes to any of the plans marked Exhibit "A" are required as a result of instruction given at the public hearing, **three (3) copies** of a modified Exhibit "A" shall be submitted to Regional Planning by **October 26, 2015**.
18. In the event that subsequent revisions to the approved Exhibit "A" are submitted, the permittee shall submit **three (3) copies** of the proposed plans to the Director for review and approval. All revised plans must substantially conform to the originally approved Exhibit "A". All revised plans must be accompanied by the written authorization of the property owner(s) and applicable fee for such revision.

PERMIT-SPECIFIC CONDITIONS - CONDITIONAL USE PERMIT (WIRELESS TELECOMMUNICATION FACILITY)

19. The facility shall be operated in accordance with regulations of the State Public Utilities Commission.
20. The permittee shall provide upon request to the Zoning Enforcement Section of Regional Planning written certification that the radio frequency electromagnetic emissions levels comply with adopted Federal Communications Commission (FCC) limitations for general population/uncontrolled exposure to such emissions when operating at full strength and capacity. If other WTFs are located on the subject property or on adjacent parcels, the aforementioned report shall include the radio frequency electromagnetic emissions of said WTFs.
21. Insofar as is feasible, the permittee shall cooperate with any subsequent applicants for wireless communications facilities in the vicinity with regard to possible co-location. Such subsequent applicants will be subject to the regulations in effect at that time.
22. Any proposed WTF that will be co-locating on the proposed facility will be required to provide upon request the same written verification of emissions and include the cumulative radiation and emissions of all such facilities to the Zoning Enforcement Section of Regional Planning.
23. All structures shall conform to the requirements of the Department of Public Works, Building and Safety Division or other appropriate agency.
24. Placement and height of all pole-mounted equipment shall be in substantial conformance with that shown on said Exhibit "A". The facility shall be constructed

and maintained as depicted in the photo simulations presented at the public hearing.

25. Maintenance vehicles shall not block access to driveways or garages.
26. The permittee shall maintain current contact information with the Zoning Enforcement Section of Regional Planning.
27. The facility shall be maintained in good condition and repair, and shall remain free of: general dirt and grease; chipped, faded, peeling or cracked paint; trash, debris, litter, graffiti and other forms of vandalism; cracks, dents, blemishes and discolorations; visible rust or corrosion on any unpainted metal areas. Any damage from any cause shall be repaired by the permittee within 30 days of notice. Weathered, faded or missing parts/materials used to disguise/camouflage the facility shall be maintained and/or replaced by the permittee within 30 days of notice.
28. Upon request, the permittee shall submit annual reports to the Zoning Enforcement Section of Regional Planning to show compliance with the maintenance and removal conditions.
29. The project number, CUP number and leaseholder contact information shall be prominently displayed on the facility where it can be easily viewed at or near eye level.
30. Upon termination of this grant or if the facility has ceased to operate, the permittee shall remove such facility and clear the site of all equipment within six months of the cease-of-operation date. The permittee shall restore the site as nearly as practicable to the condition prior to the installation of the subject facility. Failure to remove such facility as required herein shall constitute a public nuisance and be subject to appropriate enforcement actions by the Zoning Enforcement Section of Regional Planning and any other government agency. In the event the facility is not so removed within 90 days after the permittee's receipt of notice requiring removal, the County may itself cause the facility to be removed at the permittee's expense.
31. The facilities shall be on flat rate power. No additional meter boxes contained outside existing facilities as shown in approved Exhibit "A," are authorized by these grants.
32. External lighting, including security lighting, shall be on motion sensors, be of low-intensity, fully shielded and directed away from adjacent residences and open space. Pole-mounted lighting is prohibited on the leasehold. Antenna lighting is prohibited. Beacon lights are prohibited unless required by the Federal Aviation Administration. All lighting shall comply with the requirements of the County Rural Outdoor Lighting Ordinance.

33. Construction and maintenance of the facility shall be limited to the hours of 9:00 AM to 5:00 PM, Monday through Friday. Emergency repairs of the facility may occur at any time.
34. The finished surface of the facility shall not be glossy or reflective in nature unless such finish is necessary to blend into existing design features. The finish shall be graffiti-resistant.
35. New equipment added to the facility shall not compromise the stealth design of the facility.
36. Antennas shall be painted or covered to match their background.
37. Prior to the construction of the project, the permittee shall obtain an encroachment permit from Public Works and provide a copy of the permit to the Zoning Enforcement Section of Regional Planning.
38. Ventilation enclosures for the project site shall be mounted to the ground surface with no projection above ground.
39. This grant entitles the permittee to install the wireless telecommunications facilities on the existing or a replacement utility pole but does not entitle the permittee to retain the pole for its sole use or to install a new pole for its facilities in the event the existing pole is removed, such as to accommodate the undergrounding of utilities. Notwithstanding the provision of Condition 8, if the existing pole is removed prior to the termination date of this grant, this grant shall thereupon terminate. The permittee will be required to obtain a new conditional use permit to relocate its facilities or to install a new pole or poles at the present location and continue the use at the same location. Application for a conditional use permit at such time shall be subject to the regulations then in effect.
40. The permittee shall maintain the two toyon trees in a neat, clean, and healthful condition and shall properly prune, weed, remove litter, fertilize and replace the trees when necessary.
41. The height of the facility shall not exceed 36.5 feet (36 feet, 6 inches).
42. The placement of the facility shall not interfere with the public's unobstructed use of highways, sidewalks or trails, or unobstructed access from private property to highways and other public access.
43. If Public Works requires the facility to relocate due to street improvement projects and undergrounding of utilities, the cost of relocation of wireless facilities due to such projects shall be fully borne by the owner or permittee of the wireless facilities involved.

44. If street parking is prohibited on the street where the facility is located and on nearby side streets, the permittee shall obtain an approved traffic plan for the parking of maintenance vehicles from Public Works.
45. Maintain standard Americans with Disabilities Act clearances around all above-ground wireless telecommunication equipment including poles within the public right-of-way to the satisfaction of Public Works, where applicable.
46. Prior to obtaining building permits for the project, the applicant shall submit documentation to the satisfaction of the Director of Regional Planning that SCE has reviewed and approved the project.

PROJECT SITE-SPECIFIC CONDITIONS

47. This grant shall authorize the construction, operation, and maintenance of a WTF located on and around an existing SCE utility pole in the public right-of-way.



CONDITIONAL USE PERMIT BURDEN OF PROOF

Pursuant to Zoning Code Section 22.56.040, the applicant shall substantiate the following:

(Do not repeat the statement or provide Yes/No responses. If necessary, attach additional pages.)

A. That the requested use at the location will not:

1. Adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area, or
2. Be materially detrimental to the use, enjoyment or valuation of property of other persons located in the vicinity of the site, or
3. Jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare.

See attached

B. That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this Title 22, or as is otherwise required in order to integrate said use with the uses in the surrounding area.

See attached

C. That the proposed site is adequately served:

1. By highways or streets of sufficient width, and improved as necessary to carry the kind and quantity of traffic such use would generate, and
2. By other public or private service facilities as are required.

see attached



**Verizon Wireless – Site: Ramona LA G2
County of Los Angeles - Conditional Use Permit
Burden of Proof**

Project Location

Address: F/O 3330 1/2 City Terrace Drive Los Angeles CA 90063

Zoning: Public right-of-way

A. The proposed wireless telecommunications facility will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area because the facility is completely unmanned, generates no traffic, noise, odor, waste, hazardous materials or additional light. The existing public right-of-way will remain the same with only minor upgrades to the existing utility pole with associated at grade equipment.

The proposed wireless telecommunications facility is not materially detrimental to the use, enjoyment or valuation of the surrounding properties of other persons located in the vicinity of the site, nor does it jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare because the proposed facility is a benign use that does not interfere with the use of the neighboring properties. The proposed facility does not block any views, attract criminal elements, nor generate/sell offensive products. The proposed facility is a vital part of the Verizon Wireless' network and without it, subscribers will drop calls when passing through this area and will be unable to make or receive calls. The vital national infrastructure that this proposed facility provides may actually increase the enjoyment, valuation and safety of properties and others located in the vicinity.

B. The proposed site is located within the public right-of way along City terrace Drive at the intersection of Townsend Ave. The site is more than adequate in size to accommodate the proposed telecommunications facility. The proposed installation an Omni antenna two (2) RRUs and two (2) PSUs to an existing 34' wood pole with a 20"x48"x17" 200 AMP Myers meters pedestal and a 17" x 30" x 18" pull box in the Right-of-Way. The proposed design is integrated with existing wood utility pole and is in scale with the nature of the surrounding area. The specifics of the above outlined wireless proposal, in terms of location, size and design are further illustrated within the provided plans and photo simulations.

C. The proposed site is adequately served by fully sufficient/improved public roads (City Terrace Drive at the intersection of Pomeroy Avenue). The proposed facility is unmanned and does not generate any traffic other than a maintenance visit every four to six weeks, therefore will not have any traffic impacts. The proposed use will not require or impact any public or private services facilities.

- Enhanced emergency response communications for police, fire, paramedics and other emergency services in the wake of an emergency or disaster.
- Better voice and reception quality through use of the all-digital technology.
- Higher security and privacy for telephone users.
- More affordable service due to increased competition in the marketplace.

Findings:

1. The proposed wireless facility location will be desirable to the public convenience and welfare.

Wireless facilities are a public utility, licensed and regulated by the California Public Utilities Commission (CPUC) and the Federal Communications Commission (FCC). Wireless communication is a vital element of the communications network for both emergency services and public convenience. Utilities are mandated to provide adequate coverage in each of the geographic areas they serve. Wireless technology has stringent location and elevation requirements, and the existing wireless facility continues to provide viable wireless communications services to subscribers in the surrounding community.

2. The proposed facility is proper in relation to adjacent uses and the development character of the community.

The proposed location and use is compatible with adjacent uses and the development character of the area. The proposed facility is consist with the existing environment and minimizes the visual obtrusiveness of the facility with is proposed stealth design.

This will be an unmanned facility and not require any sewer, or parking infrastructure to support its operation. The facility will continue to be visited once or twice per month by a technician for routine maintenance and testing.

3. The proposed facility is not detrimental to the character of the development in the immediate neighborhood and is in harmony with the various elements and objectives of the General Plan.

The use will have no substantial adverse impact on properties or improvements in the surrounding neighborhood. The proposed unmanned wireless telecommunications facility is a passive use and there will be no increase to vehicular or pedestrian traffic in the area as a direct result of this proposal.

The California Public Utilities Commission considers the proposed use a public utility. In addition, demand by the public for wireless telecommunications services is rapidly increasing and contributes to the economic health and welfare of the general public.



**Verizon Wireless - Site: Ramona LA G2
County of Los Angeles - Supplemental Information
For a New Wireless Telecommunications Facility (WTF)**

Project Location

Address: F/O 3330 ½ City Terrace Dr., Los Angeles CA 90063

Zoning: Public right-of-way

18 a. Coverage Analysis

Verizon Wireless is requesting a CUP to install a wireless facility within the public right-of-way at F/O 3330 ½ City Terrace Dr., Los Angeles CA 90063. Verizon Wireless proposed installation consists of flush mounting (2) RRUs-12, (1) PSU and an Omni antenna mounted at the top of an existing 34' wood utility pole and a 20"x48"x17" 200 amp electrical meter pedestal in the ROW. The proposed wireless communications facility provides voice, e-mail and internet access capabilities for customers' communications needs virtually anywhere at any time. The proposed CUP will allow for the installation and operation of the wireless facility, in an attempt to enhance the efficiency and effectiveness of the service to immediate vicinity, particularly within an approximate 750 Ft radius of the proposed site.

18. b. Coverage Maps are attached and part of this submittal.

18. c. Site Analysis

No alternative designs were considered for this proposal as the area of needed service is entirely comprised of residential uses – single family homes, and utilizing existing utility structure/poles with a stealth antenna design and stealth equipment enclosure would pose as the least intrusive means of proposing. The proposed wireless telecommunications facility does not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area because the facility is complete unmanned, generates no traffic, noise, odor, waste, hazardous materials or additional light. The existing public right-of-way will remain the same with only minor changes. The location and design continue to deem as the best and most viable. This site is ideally suited to provide the coverage required to fully develop Verizon Wireless' residential and commuter service, specifically within the immediate vicinity and throughout Los Angeles County. The utilization of this site/property with the antennas affords Verizon Wireless the opportunity to maintain the facility where coverage is needed while utilizing a design that is both functional and consistent with the environment and in-scale with the surrounding area and uses. As such, the existing facility will not impact the use of the environment and will be least visually intrusive site and/or alternative. The proposed site design adheres to the development standards as set forth in the regulations, policies and standards, set forth within the County of Los Angeles. In sum, the following proposal is designed to minimize the overall visual impact to the surrounding neighborhood and deems to be the least visually intrusive site and/or alternative. The specifics of the above outlined wireless proposal, in terms of location, size and design are illustrated in further detail within the provided plans and photo simulations.

18. d. Alternates Site Map is attached and part of this submittal.

18. e. Design Analysis

Alternative locations where considered, please see list below; however all were of similar design and were to also utilize existing utility structures/poles, all within the vicinity of the proposed location; however, in an effort to utilize the least intrusive location and propose a site that would be furthest



away from the surrounding residential uses, the following site is being proposed at F/O 3330 ½ City Terrace Dr., Los Angeles CA 90063. This site is to serve Verizon Wireless' small cell or micro cell deployment. This installation is typically limited to a very small area to locate a site to provide the needed coverage/capacity – typically only few hundred feet. Please note that Verizon Wireless is a recognized utility company and has the right to propose installations within the public right-of way.

- F/O 3342 City Terrace Dr.
- F/O 3352 City Terrace Dr.
- F/O 3314 City Terrace Dr

18. f. Photo Simulations are attached and part of this submittal.

18. g. Contact Information

Verizon Wireless
15505 Sand Canyon Avenue,
Irvine, CA 92618
Property Management 949.286.7000



**Project Narrative – Ramona LA G2
New CUP Proposal - Wireless Telecommunications Facility**

Applicant's Agent: Korina Arvizu, Zoning Manager
Core Development Services
28310 Roadside Drive, Suite 220
Agoura Hills, CA 91301

Project Location: Address: F/O 3330 ½ City Terrace Dr., Los Angeles CA 90063
Zoning: Public right-of-way

Project Description:

Verizon Wireless is requesting a CUP to install a wireless facility within the public right-of-way at F/O 3330 City Terrace Dr., Los Angeles CA 90063. Verizon Wireless proposed installation consists of flush mounting (2) RRUs-12, (1) PSU and an Omni antenna mounted at the top of an existing 34' wood utility pole and a 20"x48"x17" 200 amp electrical meter pedestal in the ROW.

Introduction to Wireless Facilities:

Verizon Wireless is a registered as a public utility company, licensed and regulated by the California Public Utilities Commission (CPUC) and the Federal Communications Commission (FCC). As public utilities, they are licensed by the FCC and *must* provide wireless communication services throughout the Southern California area.

The network of Verizon Wireless' cell sites throughout the Los Angeles region is "locationally dependent," meaning that there is a necessary and logical interrelationship between each cell site. Eliminating or relocating a single cell site can lead to gaps in the system and prohibit Verizon Wireless from providing uninterrupted service to customers in a defined coverage area. Further, the elimination or relocation of a cell site will most often have a "domino" effect on other cell site locations and necessitate significant design changes or modifications to the network.

Overview of Objective:

The proposed CUP will allow for the installation and operation of the wireless facility, in an attempt to enhance the efficiency and effectiveness of the service to immediate vicinity, particularly within an approximate 750 Ft radius of the proposed site. Please refer to enclosed Coverage Maps.

Alternative Analysis:

Alternative locations where considered, please see list below; however all were of similar design and were to utilize existing utility structures/poles, all within the vicinity of the proposed location; however, in an effort to utilize the least intrusive location and propose a site that would be furthest away from the surrounding residential uses, the following site is being proposed at F/O 3330 ½ City Terrace Dr., Los Angeles CA 90063. Since this site is to serve the small cell or micro cell deployment of Verizon Wireless,



we are typically limited to a very small area to locate a site to provide the needed coverage/capacity – typically only a few hundred feet. Please note that Verizon Wireless is a recognized utility company and has the right to propose installations within the public right-of way.

- F/O 3342 City Terrace Dr.
- F/O 3352 City Terrace Dr.
- F/O 3314 City Terrace Dr.

Compatibility with Other Site Development Standards and General Plan:

The location, size, design and operating characteristics of the existing facility will continue not to create any unusual noise, traffic or other conditions or situations that may be objectionable, detrimental or incompatible with the surrounding land uses. The use will remain consistent with this finding in that:

1. The proposed equipment associated with the telecommunication structure operates quietly or virtually noise free.
2. The proposed equipment does not emit fumes, smoke or odors that could be considered objectionable.
3. The proposed telecommunications facility is unmanned and only requires periodic maintenance, which equates to approximately one trip per month.
4. The proposed communications facility will not result in conditions or circumstances contrary to the public health, safety and the general welfare.

Regulating Agencies:

The proposed wireless communications facility is regulated by the Federal Communications Commission (FCC) and is authorized to operate. All telecommunications facilities operate at the lowest possible power levels and are well below established standards used by the FCC for safe human exposure to radio frequency electromagnetic fields. These standards have been tested and proven safe by the American National Standards Institute (ANSI) and the Institute of Electrical and Electronics Engineers (IEEE).

The proposed communications facility continues to operate in full compliance with the U.S. standards for radio frequency emissions as published by the American National Standards Institute (ANSI). The ANSI was developed by the committee composed of 125 scientists from universities, non-profit laboratories and Federal Health Laboratories (FDA, NIOSH and EPA). In 1992 the ANSI established, as a public safety standard, a maximum exposure level to radio frequency emissions of 1000 microwatts per centimeter squared (1,000 uW/cm²).

Project Benefits:

The approval of the proposed CUP will allow the immediate residential community the continuing benefits of:

- Telephone, data transmission, paging, short message functions, and voicemail services and reliable services for emergency purposes.

Anthony Curzi

From: Will [monichee@aol.com]
Sent: Monday, April 13, 2015 5:53 PM
To: Anthony Curzi
Subject: Re: Project information R2015-00052-(1) WTF in East L.A.

Dear Anthony,

Thank you for sending the information.

I would like to go on record that as a homeowner who resides at 1075 N Rowan Ave, which would be directly affected by the proposed wireless tower with potential adverse health effects and an aesthetic eyesore, I am adamantly opposed to the project. I will pursue every avenue possible including notifying the homeowners association in my area, sending flyers to nearby residences, and having neighbors appear at the public hearing to voice opposition. Please let the appropriate parties know and let me know if you wish to discuss the matter further

Best
Will Schwartz
818 424 8405
Sent from my beeper

On Apr 13, 2015, at 4:53 PM, Anthony Curzi <acurzi@planning.lacounty.gov> wrote:

Please see attachment documents for information on the above-referenced project.

Anthony Curzi

Los Angeles County Department of Regional Planning
320 West Temple Street, Room 1348
Los Angeles, CA 90012
(213) 974-6443 ComLine 264

<image001.png>

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<Factual R2015-00052-(1).pdf>

<Supplemental Information.pdf>

<Propagation Map.pdf>



SCL RAMONA LA G2

3330 1/2 CITY TERRACE DRIVE LOS ANGELES CA 90063



VIEW 1



ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT.



SCL RAMONA LA G2

3330 1/2 CITY TERRACE DRIVE LOS ANGELES CA 90063



VIEW 2



LOCATION

©2014 Google Maps



EXISTING



PROPOSED

LOOKING NORTHEAST FROM CITY TERRACE DRIVE

ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT.



SCL RAMONA LA G2

3330 1/2 CITY TERRACE DRIVE LOS ANGELES CA 90063



VIEW 3



LOCATION

©2014 Google Maps



EXISTING



PROPOSED

LOOKING SOUTHEAST FROM CITY TERRACE DRIVE

ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT.

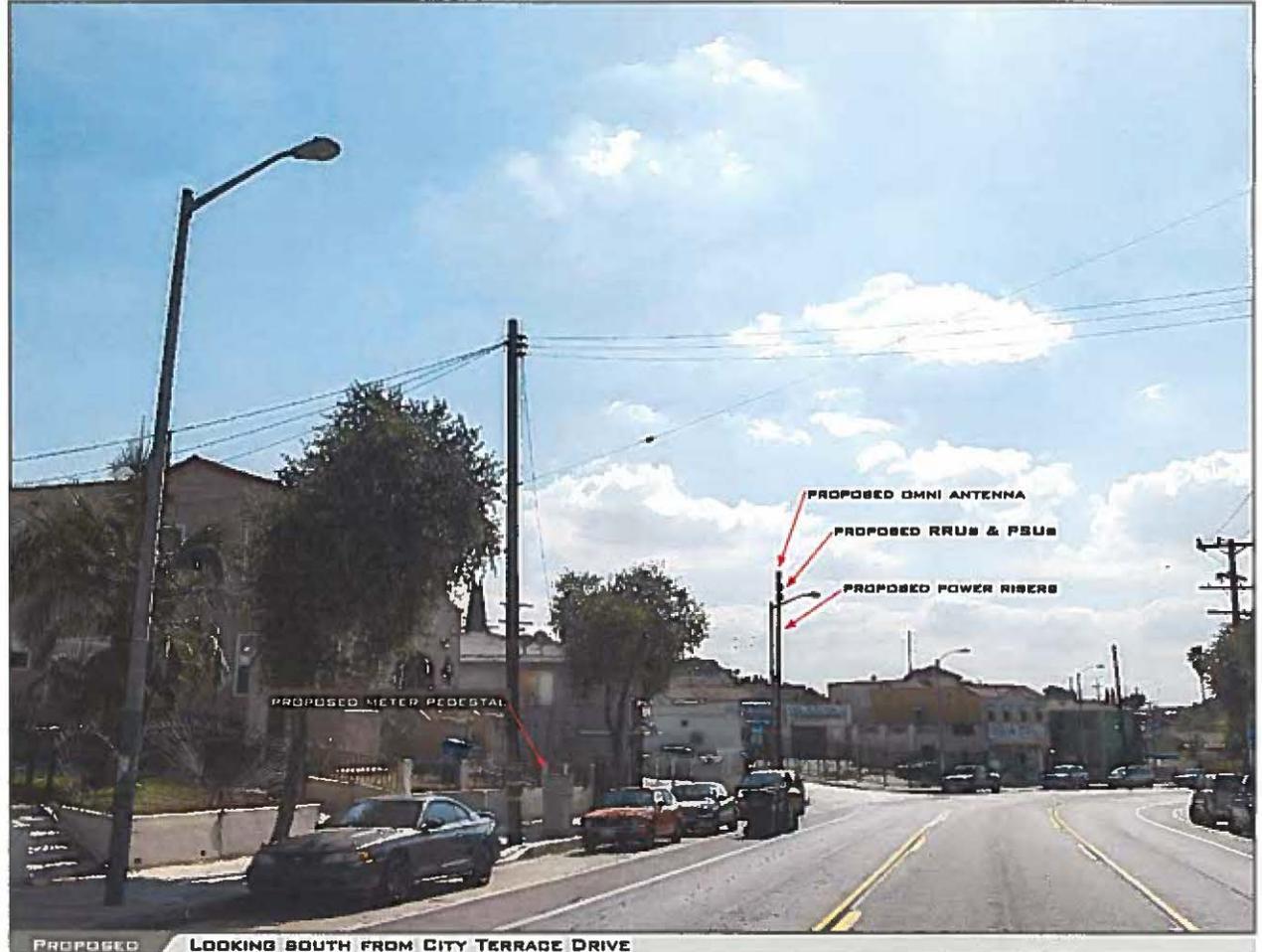


SCL RAMONA LA G2

3330 1/2 CITY TERRACE DRIVE LOS ANGELES CA 90063



VIEW 4



ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT.



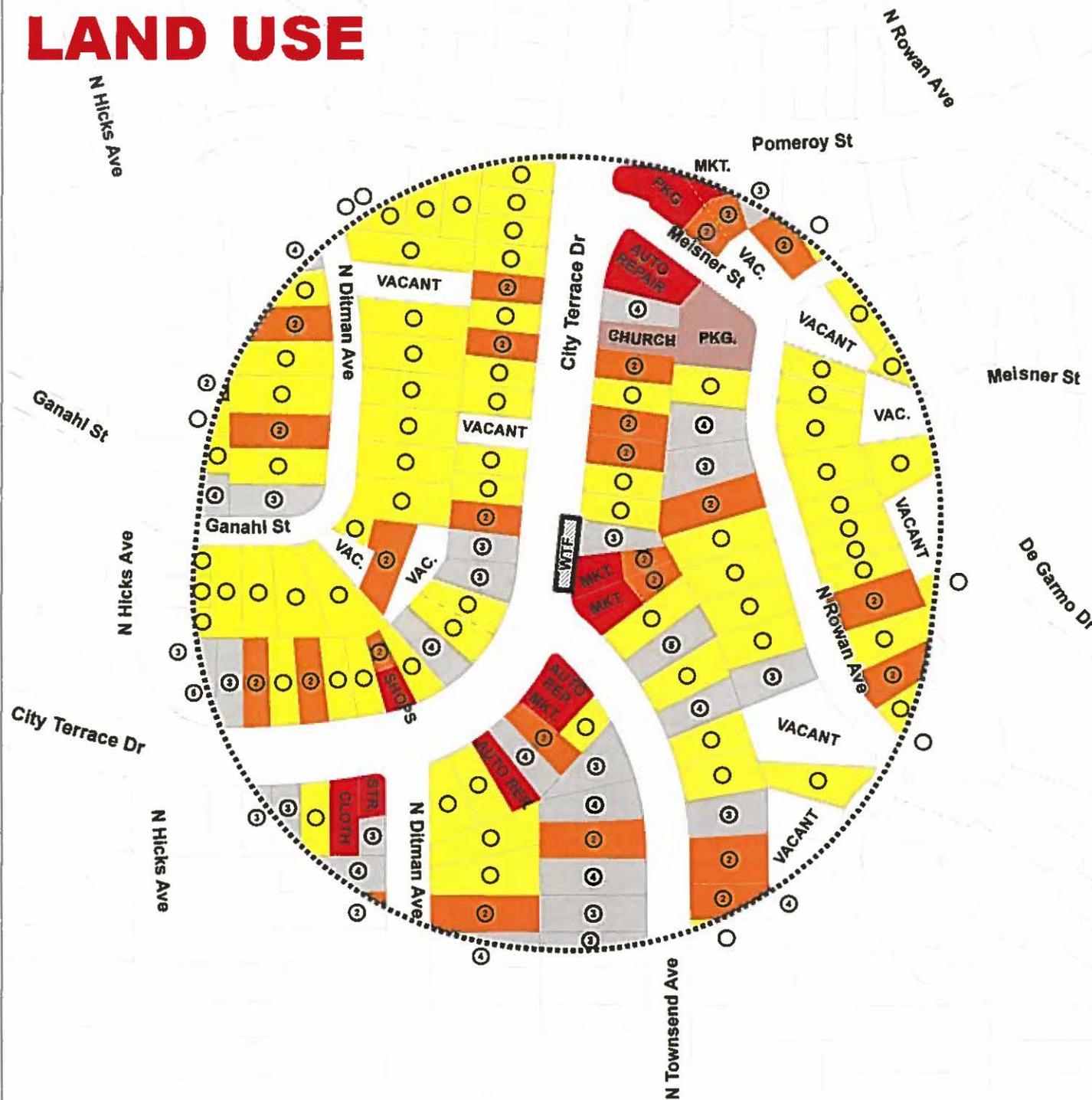
LAND USE

LAND USE 500 FOOT RADIUS MAP

Proj. R2015-00052 (1)
RCUP 2015-00002

Legend

- SINGLE-FAMILY RESIDENCE
- ② MULTI-FAMILY RESIDENCE
- SINGLE-FAMILY RESIDENCE
- TWO-FAMILY RESIDENCE
- MULTI-FAMILY RESIDENCE
- INSTITUTION (NON-PROFIT)
- COMMERCIAL
- VACANT
- vacant



VICINITY MAP



LOS ANGELES COUNTY
Department of Regional Planning
320 W. Temple St.
Los Angeles, CA 90012

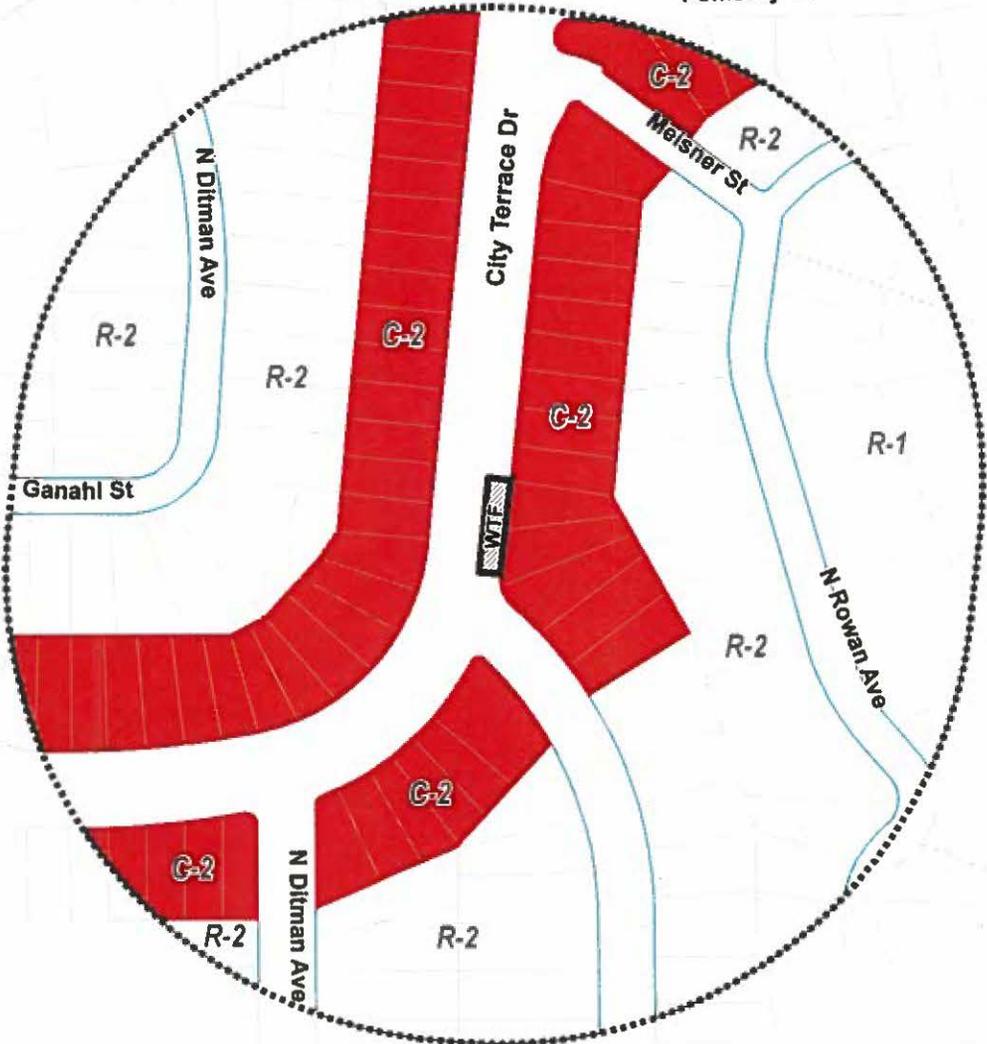
ZONING

ZONING 500 FOOT RADIUS MAP

Proj. R2015-00052 (1)
RCUP 2015-00002

Legend

-  R-1 - SINGLE-FAMILY RESIDENCE
-  R-2 - TWO-FAMILY RESIDENCE
-  C-2 - NEIGHBORHOOD COMMERCIAL



VICINITY MAP



LOS ANGELES COUNTY
Department of Regional Planning
320 W. Temple St.
Los Angeles, CA 90012

SYMBOL	DESCRIPTION
E.O.D.	EDGE OF DIRT
W/L	WHITE LINE
R.O.W.	RIGHT OF WAY
E.O.P.	EDGE OF PAVEMENT
C/L	CENTER LINE
C/F	CURBFACE
P/L	PROPERTY LINE
----	FENCE
=====	WALL
=====	DRIVEWAY
	BUSHES
○	TREE
⊗	UTILITY POLE
●	SITE POLE
☼	STREET LIGHT
●	PARKING METER/STREET SIGN
Λ	DOWN GUT
○	FIRE HYDRANT
⊗	UTILITY VALVE
⊗	UTILITY MANHOLE
⊗	SEWER MANHOLE
■	SQUARE VENT
●	ROUND VENT
→	DIG-ALERTS
↖	HANDICAP RAMP

ABBREVIATIONS AND SYMBOLS

DESCRIPTION	GENERAL NOTES AND SPECIFICATIONS
INTENT	<p>1. THESE CONSTRUCTION DRAWINGS DESCRIBE THE WORK TO BE DONE & THE MATERIALS TO BE FURNISHED FOR CONSTRUCTION.</p> <p>2. THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AS STIPULATED IN THE CONTRACT.</p> <p>3. THE PURPOSE OF THE SPECIFICATIONS IS TO INTERPRET THE INTENT OF THE DRAWINGS AND TO DESCRIBE THE METHOD OF THE PROCEDURE, TYPE AND QUALITY OF MATERIALS REQUIRED TO COMPLETE THE WORK.</p> <p>4. MINOR DEVIATIONS FROM THE DESIGN LAYOUT ARE ANTICIPATED AND SHALL BE CONSIDERED AS PART OF THE WORK. NO CHANGES THAT ALTER THE CHARACTER OF THE WORK WILL BE MADE OR PERMITTED BY THE OWNER WITHOUT ISSUING A CHANGE ORDER.</p>
CONFLICTS	<p>1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK. NO EXTRA CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND DIMENSIONS INDICATED IN THE CONSTRUCTION DRAWINGS. ANY SUCH DISCREPANCY IN DIMENSIONS WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE OWNER FOR CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK IN THE AFFECTED AREAS.</p> <p>2. THE BIDDER, IF AWARDED THE CONTRACT, WILL NOT BE ALLOWED ANY EXTRA COMPENSATION BY REASON OF ANY MATTER OR THING CONCERNING WHICH SUCH BIDDER MIGHT HAVE FULLY INFORMED THEMSELVES PRIOR TO THE BIDDING.</p> <p>3. NO AREA OF KNOWLEDGE OF CONDITIONS THAT EXIST, OR OF DIFFICULTIES OR CONDITIONS THAT MAY BE ENCOUNTERED OR OF ANY OTHER RELEVANT MATTER CONCERNING THE WORK TO BE PERFORMED IN THE EXECUTION OF THE WORK WILL BE ACCEPTED AS AN EXCUSE FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR TO FULFILL EVERY DETAIL OF ALL THE REQUIREMENTS OF THE CONTRACT DOCUMENTS GOVERNING THE WORK.</p>
WARRANTIES & BONDS	<p>1. CONTRACTOR IS RESPONSIBLE FOR APPLICATION AND PAYMENT OF CONTRACT LICENSES AND BONDS.</p> <p>2. SEE MASTER CONTRACTION SERVICES AGREEMENT FOR ADDITIONAL DETAILS.</p>
STORAGE	<p>1. ALL MATERIALS MUST BE STORED IN A LEVEL AND DRY FASHION AND IN A MANNER THAT DOES NOT ACCESSIBLY OBSTRUCT THE FLOOR OF OTHER WORK.</p> <p>2. BITS CABINETS MUST BE STORED INSIDE UNTIL THERE IS POWER ON SITE.</p> <p>3. STORAGE METHOD MUST MEET ALL RECOMMENDATIONS OF THE ASSOCIATED MANUFACTURER.</p>
RELATED DOCUMENTS AND COORDINATION	<p>1. GENERAL CONSTRUCTION ELECTRICAL AND ANTENNA DRAWINGS ARE ANTICIPATED. IN PERFORMANCE OF THE WORK, THE CONTRACTOR MUST REFER TO ALL DRAWINGS ALL COORDINATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.</p>
CHANGE ORDER PROCEDURE	<p>1. CHANGE ORDERS MAY BE INITIATED BY THE OWNER AND/OR THE CONTRACTOR. UPON THE CONTRACTOR'S WRITTEN REQUEST, THE OWNER SHALL PREPARE A WRITTEN PROPOSAL DESCRIBING THE CHANGE IN WORK OR MATERIALS AND ANY CHANGES IN THE CONTRACT AMOUNT AND PRESENT TO THE OWNER WITHIN 72 HRS FOR APPROVAL. SUBMIT REQUESTS FOR SUBSTITUTIONS IN THE FORM AND IN ACCORDANCE WITH PROCEDURES REQUIRED FOR CHANGE ORDER PROPOSALS. ANY CHANGES IN THE SCOPE OF WORK OR MATERIALS WHICH ARE PERFORMED BY THE CONTRACTOR WITHOUT A WRITTEN CHANGE ORDER AS DESCRIBED & APPROVED BY THE OWNER SHALL PLACE FULL RESPONSIBILITY OF THESE ACTIONS ON THE CONTRACTOR.</p>
SHOP DRAWINGS	<p>1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AS REQUIRED AND LISTED IN THESE DRAWINGS TO THE OWNER FOR APPROVAL.</p> <p>2. ALL SHOP DRAWINGS SHALL BE REVIEWED, CHECKED AND CORRECTED BY CONTRACTOR PRIOR TO SUBMITTAL TO THE OWNER.</p>

GENERAL NOTES AND SPECIFICATIONS

DESCRIPTION	GENERAL NOTES AND CONDITIONS
PRODUCTS & SUBSTITUTIONS	<p>1. SUBMIT 3 COPIES OF EACH REQUEST FOR SUBSTITUTION IN EACH REQUEST IDENTIFY THE PRODUCT OR FABRICATION OR INSTALLATION METHOD TO BE REPLACED BY THE SUBSTITUTION INCLUDE RELATED SPECIFICATION SECTION AND DRAWING NUMBERS AND COMPLETE DOCUMENTATION SHOWING COMPLIANCE WITH THE REQUIREMENTS FOR SUBSTITUTIONS.</p> <p>2. SUBMIT ALL NECESSARY PRODUCT DATA AND CUT SHEETS WHICH PROPERLY IDENTIFY THE ITEMS. PRODUCTS & MATERIALS BEING INSTALLED. THE CONTRACTOR SHALL, IF DEEMED NECESSARY BY THE OWNER, SUBMIT ACTUAL SAMPLES (IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN SUCH SAMPLES) IN LEAD OF CUT SHEETS.</p>
CODE COMPLIANCE	<p>1. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THESE SHALL INCLUDE BUT NOT BE LIMITED TO THE LATEST VERSION OF THE FOLLOWING:</p> <ul style="list-style-type: none"> 2010 CALIFORNIA BUILDING CODE 2010 CALIFORNIA ELECTRICAL CODE 2008 CALIFORNIA MECHANICAL CODE 2010 CALIFORNIA PLUMBING CODE 2010 CALIFORNIA FIRE CODE 2010 CALIFORNIA OCCUPANCY REGULATIONS FOR ENERGY CONSERVATION COM-5/01129
INSURANCE AND BONDS	<p>1. CONTRACTOR SHALL AT THEIR OWN EXPENSE OBTAIN AND MAINTAIN FOR THE DURATION OF THE PROJECT ALL INSURANCE AS REQUIRED AND LISTED.</p> <p>2. CONTRACTOR SHALL NOT COMMENCE WITH THEIR WORK UNTIL THEY HAVE PRESENTED AN ORIGINAL CERTIFICATE OF INSURANCE STATING ALL COVERAGE TO THE OWNER.</p> <p>3. THE OWNER SHALL BE NAMED AS AN ADDITIONAL INSURED ON ALL POLICIES.</p> <p>4. REFER TO THE MASTER AGREEMENT FOR REQUIRED INSURANCE LIMITS.</p>
ADMINISTRATION	<p>1. BEFORE THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR WILL ASSIGN A PROJECT MANAGER WHO WILL ACT AS A SINGLE POINT OF CONTACT FOR ALL PERFORMED WORK IN THIS PROJECT. THIS PROJECT MANAGER WILL BE DEVELOPING A MASTER SCHEDULE FOR THE PROJECT WHICH WILL BE SUBMITTED TO THE OWNER PRIOR TO THE COMMENCEMENT OF ANY WORK.</p> <p>2. SUBMIT A BAR TIME PROGRESS CHART NOT MORE THAN THREE (3) DAYS AFTER THE DATE ESTABLISHED FOR COMMENCEMENT OF THE WORK ON THE SCHEDULE. INDICATING A TIME BAR FOR EACH MAJOR CATEGORY OF WORK TO BE PERFORMED AT THE SITE, PROPERLY SEQUENCED AND COORDINATED WITH OTHER ELEMENTS. WORK IS SHOWING COMPLETION OF THE WORK SUFFICIENT TO INDICATE THE DATE ESTABLISHED FOR SUBSTANTIAL COMPLETION OF THE SITE.</p> <p>3. PRIOR TO COMMENCING CONSTRUCTION, THE OWNER SHALL SCHEDULE AN ON-SITE MEETING WITH ALL MAJOR PARTIES THIS SHOULD INCLUDE (THOUGH NOT LIMITED TO) THE OWNER, PROJECT MANAGER, CONTRACTOR, LAND OWNER REPRESENTATIVE, LOCAL TELEPHONE COMPANY, POWER DELIVERY FOREMAN (IF SUBCONTRACTED).</p> <p>4. CONTRACTOR SHALL BE EQUIPPED WITH SOME MEANS OF CONSTANT COMMUNICATIONS, SUCH AS A MOBILE PHONE OR A BEEPER. THIS EQUIPMENT WILL NOT BE SUPPLIED BY THE BY THE OWNER, NOR WILL WIRELESS SERVICE BE ARRANGED.</p> <p>5. DURING CONSTRUCTION, CONTRACTOR MUST ENSURE THAT EMPLOYEES AND SUBCONTRACTORS WEAR HARD HATS AT ALL TIMES. CONTRACTOR WILL COMPLY WITH ALL VERBON WIRELESS SERVICE REQUIREMENTS IN THEIR AGREEMENT.</p> <p>6. PROVIDE WRITTEN DAILY UPDATES AND PHOTOGRAPHS OF ON-SITE PROGRESS TO THE PROJECT MANAGER VIA E-MAIL.</p> <p>7. A COMPLETE INVENTORY OF CONSTRUCTION MATERIALS AND EQUIPMENT IS REQUIRED PRIOR TO START OF CONSTRUCTION.</p> <p>8. NOTIFY THE OWNER / PROJECT MANAGER IN WRITING AND LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS, TOWER ERECTIONS, AND EQUIPMENT CABINET PLACEMENTS.</p> <p>9. DELIVERABLE PACKAGE IS DUE COMPLETE WITH DETAILED TOP PHOTOS UPON SITE PUNCHLIST WITH PROJECT MANAGER (SEE PROJECT MANAGER FOR SAMPLE CLOSURE CARD).</p>
CLEAN UP	<p>1. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE SITE FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR EMPLOYEES AT WORK. AT THE COMPLETION OF THE WORK, THEY SHALL REMOVE ALL RUBBISH FROM AND ABOUT THE BUILDING AREA, INCLUDING ALL THEIR TOOLS, SCAFFOLDING AND SURPLUS MATERIALS AND SHALL LEAVE THEIR WORK CLEAN AND READY FOR USE.</p> <p>2. REGULARLY INSPECT EXTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIALS, SPILLAGES & OTHER FOREIGN MATTER.</p> <p>3. REMOVE ALL TRACES OF SPILLED MATERIALS FROM ADJACENT SURFACES.</p> <p>4. IF NECESSARY TO ACHIEVE A UNIFORM DEGREE OF CLEANLINESS, HOSE DOWN THE EXTERIOR OF THE STRUCTURE.</p>
GENERAL NOTES:	<p>1. INDENIFICATION CLAUSE: THE CONTRACTOR AGREES AND SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY OF THE JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTIES. THESE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONDITIONS. THE CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD HARMLESS REPRESENTATIVES, AND EMPLOYEES WHATEVER FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT.</p> <p>2. PRIOR TO THE BEGINNING OF ANY CONSTRUCTION AND THROUGHOUT THE COURSE OF CONSTRUCTION WORK, THE CONTRACTOR SHALL FULLY COMPLY WITH CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ACT OF 1972 INCLUDING ALL PERSONS AND PROPERTIES.</p> <p>3. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF 2008 IFC, AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, AS ADOPTED BY THE CITY, COUNTY OR STATE AS MODIFIED BY STANDARD PLANS AND ADDENDUMS.</p> <p>4. THE EXISTENCE AND LOCATION OF UTILITIES AND OTHER ADJACENT FACILITIES AS SHOWN HEREON ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. OTHER FACILITIES MAY EXIST. THE CONTRACTOR SHALL VERIFY PRIOR TO THE START OF CONSTRUCTION AND SHALL USE EXTREME CARE AND PROTECTIVE MEASURES TO PREVENT DAMAGE TO THESE FACILITIES. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY AND ADJACENT FACILITIES WITHIN THE LIMITS OF WORK, WHETHER THEY ARE SHOWN ON THIS PLAN OR NOT.</p> <p>5. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (800) 277-7008 AT LEAST TWO WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION.</p> <p>6. THE CONTRACTOR SHALL NOTIFY THE CITY, COUNTY OR STATE ENGINEER INSPECTION DEPARTMENT, (714) 483-7036, AT LEAST TWO DAYS BEFORE START OF ANY WORK REQUIRING THEIR REVIEW.</p> <p>7. ALL WORK AREA AND STREET TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WORK AREA TRAFFIC CONTROL BOOK AND SPECIFICATIONS FROM THE CITY, COUNTY OR STATE.</p> <p>8. THE CITY, COUNTY OR STATE SHALL SPECIFY THE EXPANSION PERIOD OF THE PERMIT FOR THIS CONSTRUCTION PROJECT.</p> <p>9. THE EMPLOYER COVER FOR ALL CONDITIONS PLACED UNDERGROUND SHALL BE 36 INCHES TO THE FINISHED GRADE AT ALL TIMES.</p> <p>10. THE CONTRACTOR SHALL RUMBLE ALL CURBS AND GUTTERS AND BORE ALL CONCRETE DRIVEWAYS AND WALKWAYS AT THE DIRECTION OF THE CITY, COUNTY OR STATE INSPECTOR.</p> <p>11. ALL AC AND/OR CONCRETE PAVEMENT SHALL BE REPLACED AT THE DIRECTION OF THE CITY, COUNTY OR STATE ENGINEERS.</p> <p>12. ALL SHRUBS, PLANTS OR TREES THAT HAVE BEEN DAMAGED OR DISTURBED DURING THE COURSE OF THE WORK SHALL BE REPLANTED AND/OR REPLACED SO AS TO RESTORE THE WORK SITE TO ITS ORIGINAL CONDITION.</p> <p>13. IF DAMAGE OCCURS TO THE CITY OR COUNTY UTILITIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY TRAFFIC CONTROL LIGHTING, (213) 485-4184 STREET LIGHTING (213) 485-2121 EXT. 311.</p> <p>14. AT LEAST TWO DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK, NOTIFY THE POLICE TRAFFIC BUREAU (213) 872-2445 AND THE FIRE DEPARTMENT, (213) 485-2182.</p> <p>15. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROCESSING OF ALL APPLICATION PERMIT FORMS ALONG WITH THE REQUIRED LIABILITY INSURANCE FORMS, CLEARLY DEMONSTRATING THAT VERBON WIRELESS, THE CITY, COUNTY OR STATE AS ALSO INSURED WITH THE REQUIRED LIABILITY INSURANCE IN THE AMOUNT OF \$1,000,000.00 FOR THIS CONSTRUCTION PROJECT.</p> <p>16. WALKS, PEDESTALS, CONDUITS AND OTHER TYPES OF SUBSTITUTION ARE EITHER SPECIFIED ON THIS PLAN OR WILL BE SPECIFIED BY THE CONSTRUCTION ENGINEER. ANY AND ALL DEVIATIONS FROM THE SPECIFIED TYPES OF MATERIAL MUST BE APPROVED BY THE SYSTEM ENGINEER IN WRITING BEFORE INSTALLATION THEREOF.</p> <p>17. ALL 110V CONDUIT MUST BE SCHEDULE 40 OR BETTER.</p> <p>18. CONDUIT REQUIREMENTS: 1/2" SCHEDULE 40 (EXCEPT ALL ADVIS CONDUITS TO BE SCH 80 RISERS-SCHEDULE 80).</p> <p>19. GROUND REQUIREMENTS: 3/4" ROD-10' LENGTH #2 GROUND WIRE HOOD HOLDING, SPACED EVERY 3' AND AT EACH END GROUND 2' FROM POLE.</p> <p>20. THE WETTER ELECTRICAL WETTER PESTICIDE NEEDS SALICONE SEALANT AT BASE AROUND THE TIE TO PREVENT RAIN INTRUSION (LEAVE 1/2" GAP OPENING) AND ADD DESCANT BIC TACON TYPE 1, SIZE 18 TO PESTICIDE AS REQUIRED.</p> <p>21. POWER REQUIREMENT FOR 3 WIRE SERVICE 120/240V.</p> <p>22. CONTRACTOR SHALL NOTIFY POWER COMPANY THREE DAYS PRIOR TO START OF CONSTRUCTION FOR CONDUIT INSPECTION.</p> <p>23. ANY AND ALL PROPOSED SITE MODIFICATIONS, EXPANSION OR REARRANGEMENT OF THIS CELLULAR SITE MUST BE COMPLIANT WITH ALL CD 95, 96 AND CD 129 REGULATIONS AS PRESCRIBED BY STATE LAW. FUTURE EXPANSION OF THIS CELLULAR SITE WILL BE CONDUCTED BY AN ELECTRIC ENGINEERING FIRM OR AN EQUALLY QUALIFIED ENGINEERING COMPANY.</p>

GENERAL NOTES AND SPECIFICATIONS

A&E DEVELOPMENT

core

DEVELOPMENT SERVICES
A&E SERVICES
2148 Saturn Street
Brea, California 92821
(714) 728-0484 (714) 933-0441
www.aae.com

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY TO A&E. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO VERBON WIRELESS IS STRICTLY PROHIBITED.

SITE BUILDER



18800 SAND CANYON AVENUE
BLVD. 8, FIRST FLOOR
IRVINE, CALIFORNIA 92614
40826 ADD

SITE INFORMATION

SITE NAME:
**SCL RAMONA LA G2
R.O.W.**

SITE ADDRESS

F/O
3330 1/2 CITY TERRACE DR.,
LOS ANGELES, CA 90063

100% ZD'S

DATE: 07/25/14

ENGINEERED BY:
CORE DEVELOPMENT SERVICES

DRAWN BY:
CORE DEVELOPMENT SERVICES

REV	DESCRIPTION	DATE/BY
0	ISSUED FOR REVIEW	07/28/14 LD
1	90% ZD'S	08/26/14 LD
2	100% ZD'S	10/14/14 LD

STAMP

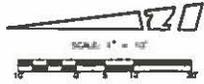
SHEET TITLE

GENERAL NOTES & SPECIFICATIONS

SHEET NUMBER

T-2

GENERAL NOTES AND SPECIFICATIONS



LEGEND:

- APX APX
- BLD BUILDING
- BY BACK OF WALL
- CPB EXISTING CURB
- CC CONCRETE
- FD FLOOR
- FS FINISHED SURFACE
- CL CENTER LINE
- CP CURB
- CH CH
- W/W/ LEAD AND TAG
- L/T LEAD, TAG, AND TAG
- NS NATURAL SURFACE
- OH OVERHANG
- OS OUTSIDE FACE OF WALL
- SL STREET LIGHT
- SM SEWER MANHOLE
- SS STREET SIGN
- CU CURB
- SM SEWER MANHOLE
- SP

- TR TRAIL
- UM UTILITY METER
- UP UTILITY POLE
- WF WOOD FENCE
- WH WOOD HANDRAIL
- WM WALL MOUNTED
- CB BLOCK BALL
- C CONCRETE
- CM CONCRETE MONUMENT
- M MANHOLE
- SM SEWER MANHOLE
- SL STREET LIGHT
- SD STREET SIGN
- UP UTILITY POLE
- UM UTILITY METER
- WF WOOD FENCE

COORDINATES:

LABORER 3400000000
 LONGITUDE 1191170000
 AND THIS GEODETIC COORDINATE AND ELEVATION WERE
 ESTABLISHED USING SURVEY GRADE "TRIMBLE" GPS,
 RECEIVERS AND GEOTRACK SURVEY GRADE POSITION SOFTWARE
 FOR POST-PROCESSING.

BASIS OF BEARINGS:
 THE COORDINATE OF TORRENO AVENUE BEING NORTH
 OF 0° 00' 00" WEST FROM TRACT NO. 5750, M.B. 62/74-85,
 RECORDS OF LOS ANGELES COUNTY.

ASSESSOR'S IDENTIFICATION:
 N/A
 AREA:
 N/A

BENCH MARK REFERENCE:

USADA BENCH MARK "BM 407"
 UNITED STATES GEOLOGICAL SURVEY BENCH MARK "BM 407" AS
 SHOWN ON THE "LOS ANGELES" 7.5 MINUTE QUADRANGLE MAP.
 ELEVATION: 422.5 FEET M.A.S.L. (SHOWN HEREIN IN
 FIELD TO BE WITHIN 1-METER ACCURACY STANDARD)

TITLE REPORT IDENTIFICATION:
 N/A
 EASEMENT NOTES:
 N/A
 LEGAL DESCRIPTION:
 N/A

DATE OF SURVEY:

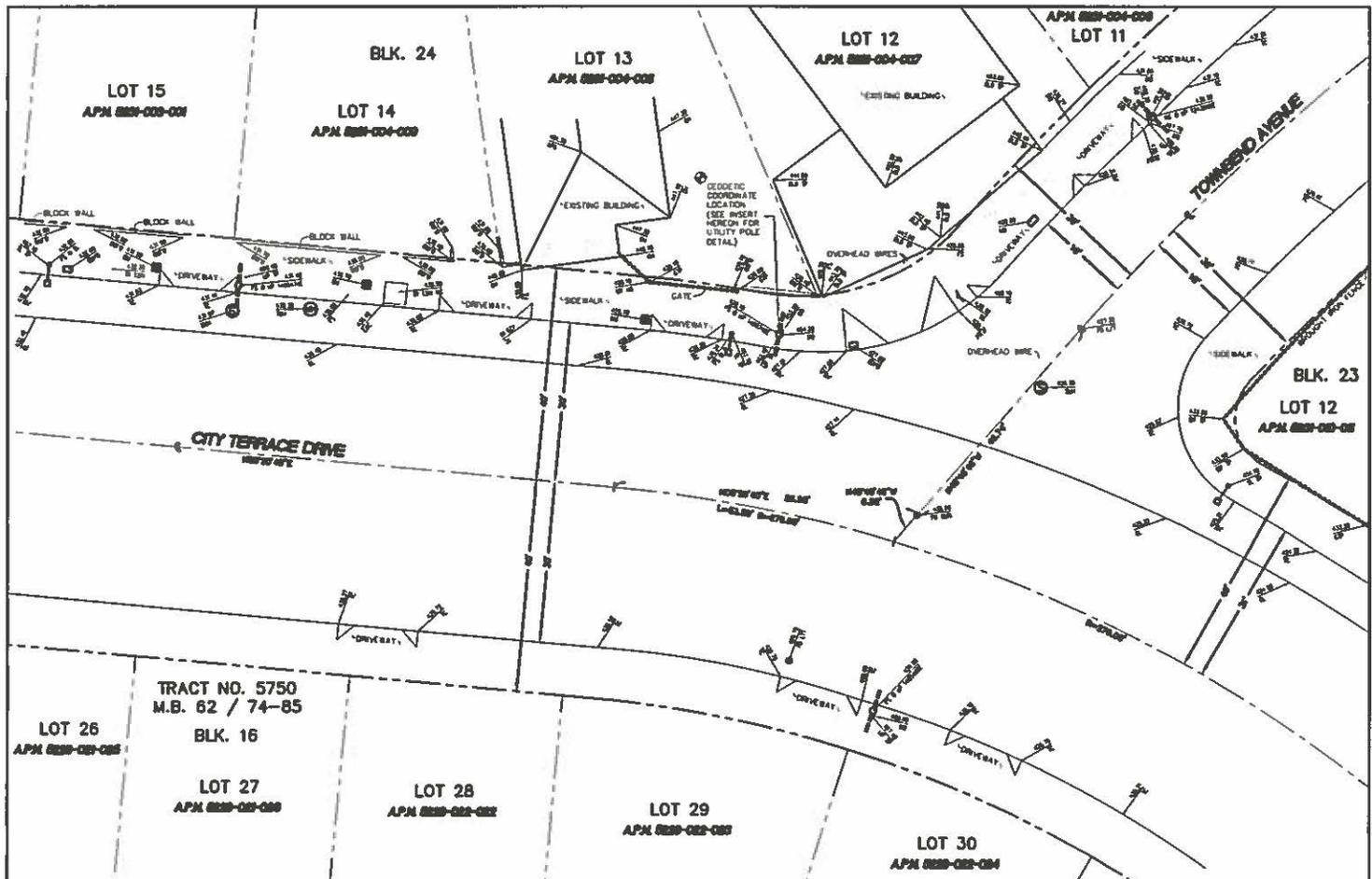
AUGUST 24, 2014

SURVEYOR'S NOTE:

THE BOUNDARY LINES AND THEIR DIMENSIONS SHOWN
 HEREIN ARE FOR SOLELY AVAILABLE RECORDED INFORMATION
 AND THEIR LOCATION AND APPROXIMATE DIMENSIONS SHOULD
 BE VERIFIED FOR THE ADJACENT REAL PROPERTY.

LIVING PLANTS STATEMENT:

THE DIMENSIONS AND LOCATIONS FOR THE TREES, SHRUBS AND
 OTHER LIVING PLANTS SHOWN HEREIN SHOULD BE CONSIDERED
 APPROXIMATE (±) AND ONLY VALID FOR THE DATE OF THIS
 SURVEY. THEY ARE PROVIDED AS A GENERAL REFERENCE AND
 SHOULD NOT BE USED FOR DESIGN PURPOSES.



AGE DEVELOPMENT

core

DEVELOPMENT SERVICES
 AGE SERVICES
 3149 Solano Street
 Brea, California 92623
 (714)729-0444 (714)333-4441 fax
 www.core-age.com

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF
 CONSTRUCTION DOCUMENTS IS PROPRIETARY TO CORE.
 ANY USE OR DISCLOSURE OTHER THAN THAT WHICH
 RELATES TO HEREIN UNLESS IS STRICTLY PROHIBITED.

SITE BUILDER

verizon wireless

1500 SAND CANYON AVENUE
 BLDG. 6, FIRST FLOOR
 IRVINE, CALIFORNIA 92618
 949.926.7000

SITE INFORMATION

SITE NAME:
**SCL RAMONA LA G2
 R.O.W.**

SITE ADDRESS

F/O
 3330 1/2 CITY TERRACE DR.,
 LOS ANGELES, CA 90063

100% ZD'S

DATE: 07/25/14

ENGINEERED BY:
 CORE DEVELOPMENT SERVICES

DRAFTED BY:
 CORE DEVELOPMENT SERVICES

REVISIONS

REV	DESCRIPTION	DATE/BY
0	ISSUED FOR REVIEW	07/25/14 LA
1	100% ZD'S	08/26/14 LA
2	100% ZD'S	10/16/14 LD

STAMP

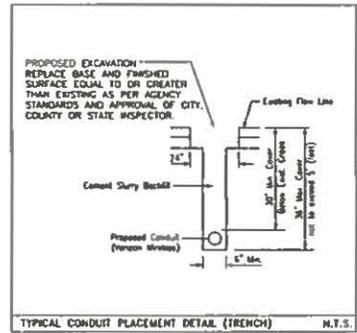
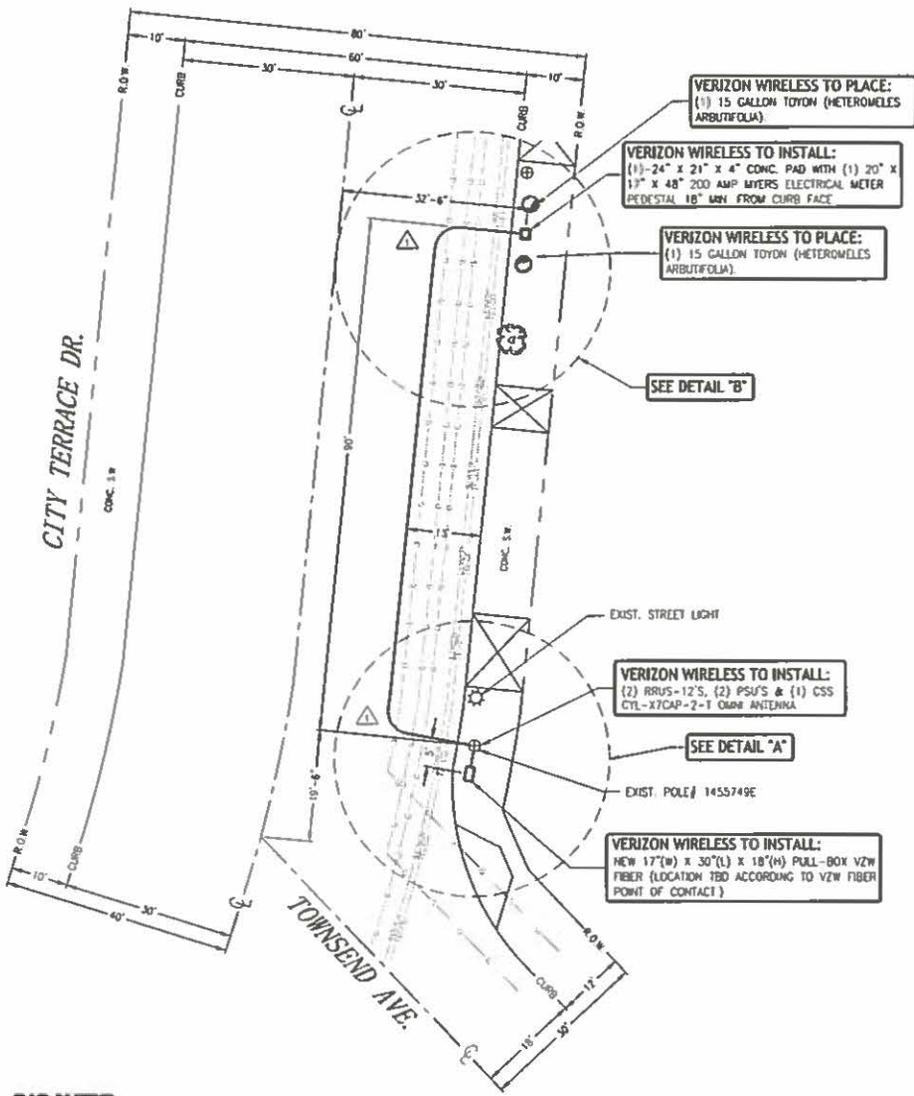
SHEET TITLE

SURVEY

SHEET NUMBER

S-1

UNDERGROUND UTILITIES NOTE:
 THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, STRUCTURES OR CONDUITS SHOWN ON THIS PLAN WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXIST UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.



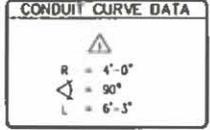
NOTES:

- 1) SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPERTY OWNER & NEAREST UTILITY COMPANIES FOR THE LOCATION OF ALL EXISTING BELOW GRADE UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE COSTS ASSOCIATED WITH EXISTING BELOW GRADE UTILITIES.
- 2) CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR CONNECTION OF TEMPORARY AND PERMANENT POWER TO THE SITE. THE TEMPORARY POWER AND ALL WORKUP COSTS TO BE PAID BY CONTRACTOR.
- 3) CONTRACTOR TO VERIFY LOCAL UTILITY REQUIREMENTS FOR DEPTH, SIZE & SEPARATION OF CONDUITS PRIOR TO INSTALLATION. NOTIFY CONSTRUCTION MANAGER IMMEDIATELY OF ANY DISCREPANCIES.
- 4) CONTRACTOR TO CALL DCA ALERT (800)-227-2800 A MINIMUM OF 48 HRS PRIOR TO EXCAVATING FOR UNDERGROUND UTILITY LOCATIONS. CONTRACTOR IS RESPONSIBLE TO HAVE ALL NEIGHBORING UTILITIES LOCATED AT THEIR OWN EXPENSE.
- 5) PROPOSED UTILITY SERVICES SHOWN NEED TO BE NOTICED & APPROVED BY UTILITY COMPANIES BEFORE START OF CONSTRUCTION. CONTRACTOR TO VERIFY WITH CLIENT PROJECT MANAGER TO OBTAIN FINAL APPROVAL.
- 6) LINES SHOWN DO NOT REPRESENT THE EXACT LOCATION OF THE CONDUITS RUNS. CONTRACTOR TO VERIFY SERVICE LOCATIONS +/- ACTUAL FIELD CONDITIONS.
- 7) CONTRACTOR SHALL IMMEDIATELY NOTIFY CLIENT OF ANY ACCIDENTAL DAMAGE TO EXISTING UTILITIES BY TELEPHONE AND E-MAIL, REGARDLESS OF ABILITY TO REPAIR OR REPAIR. A FOLLOW-UP E-MAIL REPORT WITH DIGITAL PHOTOS WILL BE REQUIRED. QUALITY ASSURANCE RESOLUTION HAS BEEN ACCEPTED BY CLIENT AND AFFECTED SERVICE PROVIDERS AND RESIDENTS. AT THEIR OWN EXPENSE. CONTRACTOR WILL EXERCISE ALL EFFORTS TO MAKE REPAIRS MADE BY QUALIFIED TECHNICIANS AS APPROVED BY SERVICE PROVIDER.



CUBIC FOOTAGE FOR TRENCH & EXCAVATION	
CONDUIT TRENCH CUBIC FOOTAGE =	75' (CONCRETE)
CONDUIT TRENCH CUBIC FOOTAGE =	285' (ASPHALT)
TOTAL TRENCH & EXCAV. CUBIC FOOTAGE =	360' (BOTH)

CITY OF LOS ANGELES PERMIT INFORMATION	
CONDUIT LINEAR (SQ FT) FOOTAGE	
CONCRETE SIDEWALK FOOTAGE:	25' (CONCRETE)
ASPHALT FOOTAGE:	95' (ASPHALT)
TOTAL PROJECT FOOTAGE:	120' (BOTH)



SITE PLAN

AGE DEVELOPMENT

core

DEVELOPMENT SERVICES
 AGE SERVICES
 2149 Broom Road
 Brea, California 92821
 (714) 729-8484 (714) 933-4411 fax
 www.coredev.com

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY TO COREDEV. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED.

SITE BUILDER

15000 SAND CANYON AVENUE
 SUITE 10, FIRST FLOOR
 IRVINE, CALIFORNIA 92618
 949.396.7000

SITE INFORMATION

SITE NAME:
SCL RAMONA LA G2
R.O.W.

SITE ADDRESS

F/O
3330 1/2 CITY TERRACE DR.,
LOS ANGELES, CA 90063

100% ZD'S

DATE: 07/25/14

ENGINEERED BY:
 CORE DEVELOPMENT SERVICES

DRAFTED BY:
 CORE DEVELOPMENT SERVICES

REV	DESCRIPTION	DATE/BY
0	ISSUED FOR REVIEW	07/25/14 LB
1	RCE ZD'S	08/22/14 LB
2	100% ZD'S	09/19/14 LB

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SHEET TITLE

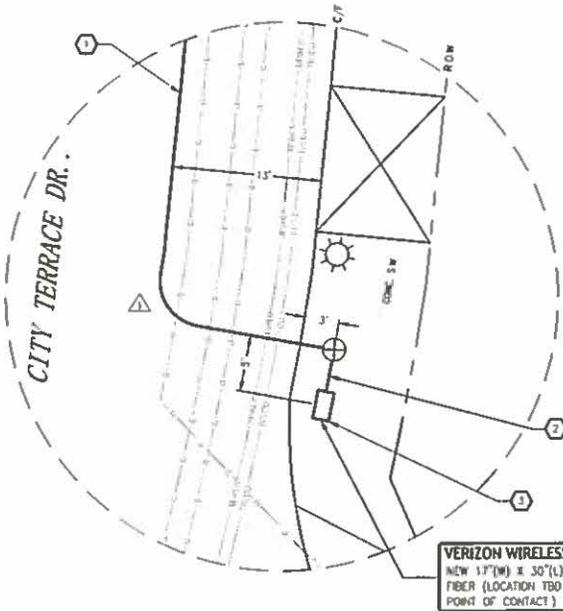
SITE PLAN

SHEET NUMBER

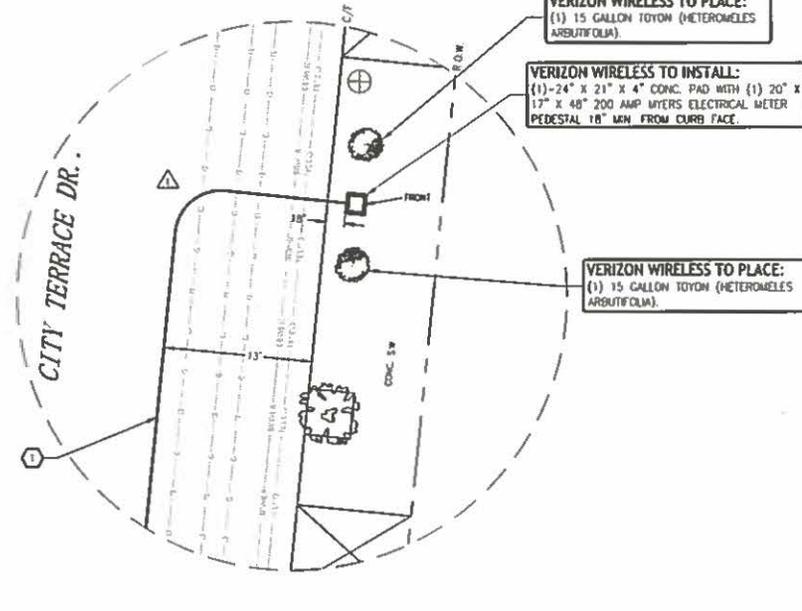
A-1

CONSTRUCTION DATA

- ① PL 115' 1-4" CONDUIT FOR VZW POWER (OPEN TRENCH)
- ② PL 5' 1-4" CONDUIT FOR VZW FIBER (OPEN TRENCH)
- ③ PL 17'(W) X 30'(L) X 18"(H) VZW PULL-BOX



DETAIL "A"
SCALE: 1"=5'



DETAIL "B"
SCALE: 1"=5'

CONDUIT CURVE DATA

R	= 4'-0"
Δ	= 90°
L	= 6'-3"

CUBIC FOOTAGE FOR TRENCH & EXCAVATION

CONDUIT TRENCH CUBIC FOOTAGE =	75 (CONCRETE)
CONDUIT TRENCH CUBIC FOOTAGE =	285 (ASPHALT)
TOTAL TRENCH & EXCAV. CUBIC FOOTAGE =	360 (BOTH)

**CITY OF LOS ANGELES PERMIT INFORMATION
CONDUIT LINEAR (SQ FT) FOOTAGE**

CONCRETE SIDEWALK FOOTAGE:	25 (CONCRETE)
ASPHALT FOOTAGE:	95 (ASPHALT)
TOTAL PROJECT FOOTAGE:	120 (BOTH)



ARE DEVELOPMENT

core
DEVELOPMENT SERVICES
ARE SERVICES
3749 Sabino Street
Brea, California 92611
(714) 770-8488 (714) 533-4441 fax
www.core.us.com

PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO WIRELESS IS STRICTLY PROHIBITED.

SITE BUILDER

verizon wireless
1300 LIND CANYON AVENUE
IRVINE, CA 92614
IRVINE, CALIFORNIA 92618
949.259.7000

SITE INFORMATION

SITE NAME:
SCL RAMONA LA G2
R.O.W.

SITE ADDRESS

F/O
3330 1/2 CITY TERRACE DR.,
LOS ANGELES, CA 90063

100% ZD'S

DATE: 07/25/14

ENGINEERED BY:
CORE DEVELOPMENT SERVICES

DRAFTED BY:
CORE DEVELOPMENT SERVICES

REVISIONS

REV	DESCRIPTION	DATE/BY
0	ISSUED FOR REVIEW	07/29/14 CR
1	90% ZD'S	08/04/14 LR
2	100% ZD'S	10/14/14 CR

STAMP

SHEET TITLE
ENLARGED
SITE PLAN

SHEET NUMBER
A-2

VERIZON WIRELESS TO INSTALL:
(1) CSS CYL-X7CAP-2-T OMNI ANTENNA

SEE SHEET A-4

TOP OF ANTENNA
ELEV. 36'-6" (A.G.L.)
VERIZON WIRELESS CSS ANTENNA (RAD CENTER)
ELEV. 35'-6" (A.G.L.)
TOP OF POLE # 1455749E
ELEV. 34'-0" (A.G.L.)
VERIZON WIRELESS (1) RRU-12
ELEV. 33'-0" (A.G.L.)
VERIZON WIRELESS (1) RRU-12
ELEV. 30'-6" (A.G.L.)

VERIZON WIRELESS TO INSTALL:
(2) RRU-12'S & (2) PSU'S

EXIST. OHG
ELEV. 26'-1" (A.G.L.)
EXIST. OHG
ELEV. 25'-1" (A.G.L.)

VERIZON WIRELESS TO INSTALL:
(1)-24" X 21" X 4" CONC. PAD WITH (1) 20" X 17" X 48" 200 AMP MYERS ELECTRICAL METER
PEDESTAL 18" MIN FROM CURB FACE

VERIZON WIRELESS TO INSTALL:
NEW 17"(W) X 30"(L) X 18"(H) PULL-BOX VZW FIBER (LOCATION TBD ACCORDING TO VZW FIBER POINT OF CONTACT)

CITY TERRACE DR.

FINISHED GRADE

VIEW LOOKING SOUTH EAST

SCALE
R.T.S. 1

VERIZON WIRELESS TO INSTALL:
(1) CSS CYL-X7CAP-2-T OMNI ANTENNA

SEE SHEET A-4

TOP OF ANTENNA
ELEV. 36'-6" (A.G.L.)
VERIZON WIRELESS CSS ANTENNA (RAD CENTER)
ELEV. 35'-6" (A.G.L.)
TOP OF POLE # 1455749E
ELEV. 34'-0" (A.G.L.)
VERIZON WIRELESS (1) RRU-12
ELEV. 33'-0" (A.G.L.)
VERIZON WIRELESS (1) RRU-12
ELEV. 30'-6" (A.G.L.)

VERIZON WIRELESS TO INSTALL:
(2) RRU-12'S & (2) PSU'S

EXIST. OHG
ELEV. 26'-1" (A.G.L.)
EXIST. OHG
ELEV. 25'-1" (A.G.L.)

VERIZON WIRELESS TO INSTALL:
NEW 17"(W) X 30"(L) X 18"(H) PULL-BOX VZW FIBER (LOCATION TBD ACCORDING TO VZW FIBER POINT OF CONTACT)

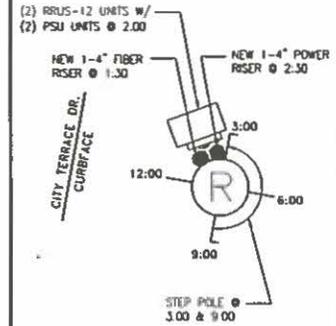
VERIZON WIRELESS TO PLACE:
(2) 15 GALLON 10YON (HETEROMELES ARBUTIFOLIA)

FINISHED GRADE

VERIZON WIRELESS TO INSTALL:
(1)-24" X 21" X 4" CONC. PAD WITH (1) 20" X 17" X 48" 200 AMP MYERS ELECTRICAL METER
PEDESTAL 18" MIN FROM CURB FACE.

VIEW LOOKING SOUTH WEST

SCALE
R.T.S. 2



RISER DETAIL

SCALE
R.T.S. 3

1. PL. 3 SECTOR CANISTER ANTENNA RAD @ 40'-0" ADL. 110', 230' & 350'
2. PL. (2) 40W RRU-12'S W/ (2) PSU'S ON OH STANDOFF BRACKET @ 2.00.
3. PL. 1-4" POWER RISER @ 2.30.
4. PL. 1-4" FIBER RISER @ 1.30.
5. STEP POLE @ 3.00 & 9.00.

A&E DEVELOPMENT

core

DEVELOPMENT SERVICES
A&E SERVICES
2749 Ramona Street
Brea, California 92621
(714) 794-8484 (714) 333-4441 fax
www.a&e.com

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY OF A&E. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE PROJECT WIRELESS IS STRICTLY PROHIBITED.

SITE BUILDER

verizon wireless

1000 SAND CANYON AVENUE
SUITE 6, FIRST FLOOR
IRVINE, CALIFORNIA 92618
949.238.7000

SITE INFORMATION

SITE NAME:
**SCL RAMONA LA G2
R.O.W.**

SITE ADDRESS

F/O
3330 1/2 CITY TERRACE DR.,
LOS ANGELES, CA 90063

100% ZD'S

DATE: 07/25/14

ENGINEERED BY:
CORE DEVELOPMENT SERVICES

DRAWN BY:
CORE DEVELOPMENT SERVICES

REVISIONS

REV	DESCRIPTION	DATE/BY
0	ISSUED FOR REVIEW	07/25/14 LR
1	90% ZD'S	08/05/14 LR
2	100% ZD'S	08/19/14 LR

STAMP

SHEET TITLE

ELEVATIONS

SHEET NUMBER

A-3

MAKE READY NOTES

SCALE
R.T.S. 4

CAUTION

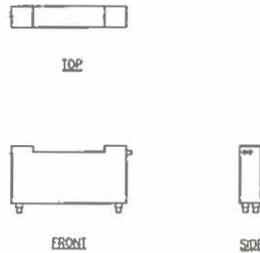
Transmitting Antenna(s)

Beyond This Point
Radio Frequency Emissions
May Exceed
FCC Occupational Limits.

Call 1-800-754-6630 prior to working
within _____ feet of antenna.

Site ID: _____

1. INSTALL ONE SIGN 3'-4" BELOW THE ANTENNA (FROM TOP OF SIGN)
2. INSTALL SECOND SIGN 8'-10" ABOVE THE GROUND (FROM BOTTOM OF SIGN)



NOT USED



ANTENNA SPECIFICATIONS

MANUFACTURER: CSS ANTENNA
MODEL: CYL-X7CAP-2-T
HEIGHT: 24.2 IN
Ø: 15.1 IN
WEIGHT: 22 LBS

AME DEVELOPMENT

core

DEVELOPMENT SERVICES
AAE SERVICES
3749 Sagem Street
Brea, California 92715
(714) 779-6400 (714) 333-4444 fax
www.coresvc.com

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF
CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE.
ANY USE OR DISCLOSURE OTHER THAN THAT WHICH
RELATES TO WORK HEREON IS STRICTLY PROHIBITED.

SITE BUILDER



13800 SAND CANYON AVENUE
SUITE 10, FIRST FLOOR
IRVINE, CALIFORNIA 92618
949.262.7600

SITE INFORMATION

SITE NAME:
**SCL RAMONA LA G2
R.O.W.**

SITE ADDRESS

F/O
3330 1/2 CITY TERRACE DR.,
LOS ANGELES, CA 90063

100% ZD'S

DATE: 07/23/14

ENGINEERED BY:
CORE DEVELOPMENT SERVICES

DRAFTED BY:
CORE DEVELOPMENT SERVICES

REVISIONS

REV	DESCRIPTION	DATE/BY
0	ISSUED FOR REVIEW	07/23/14 LP
1	90% ZD'S	08/29/14 LP
2	100% ZD'S	10/19/14 LP

STAMP

SHEET TITLE

**POLE & EQUIP.
DETAILS**

SHEET NUMBER

A-4

GO95 RF SIGNAGE

SCALE
N.T.S.

1 PSU DETAIL

SCALE
N.T.S.

2

SCALE
N.T.S.

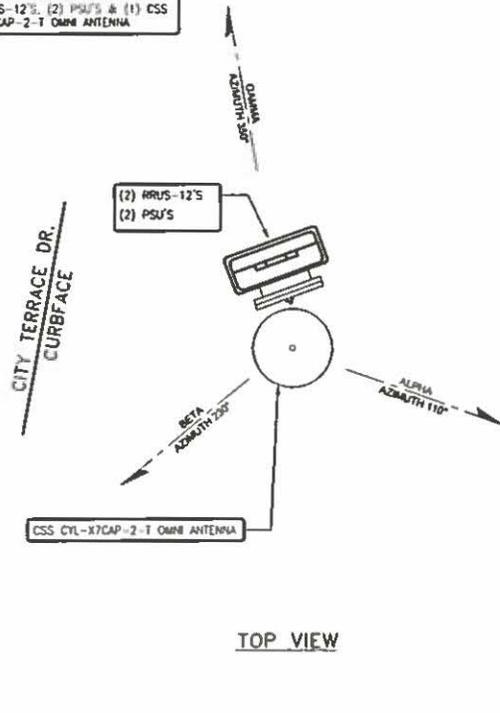
3

CSS CYL-X7CAP-2-T OMNI ANTENNA SPECS

SCALE
N.T.S.

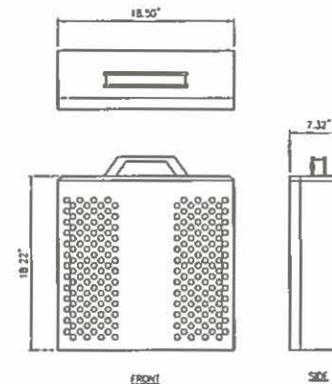
4

VERIZON WIRELESS TO INSTALL:
(2) RRU5-12'S, (2) PSU'S & (1) CSS
CYL-X7CAP-2-T OMNI ANTENNA



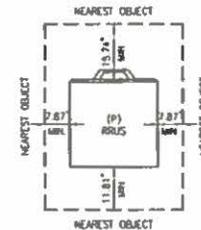
NOT USED

NOTE:
USE MANUFACTURER SUPPLIED MOUNTING
HARDWARE FOR RRU ATTACHMENT.



FRONT

SIDE



*KEEP 40" CLEAR FROM FRONT OF RRU

ANTENNA CONFIGURATION

SCALE
N.T.S.

5

SCALE
N.T.S.

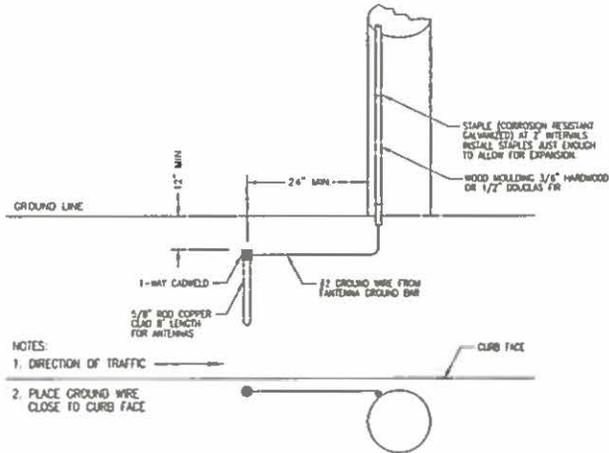
6

RRU5-12 SPECIFICATIONS

SCALE
N.T.S.

7

- NOTES:
 1. ALL STRANDED GROUND WIRE TO BE GREEN JACKETED.
 GROUND SCHEME MAY VARY DUE TO SITE SPECIFIC CONDITIONS.



TYPICAL WOOD POLE GROUNDING DETAIL

SCALE
N.T.S.

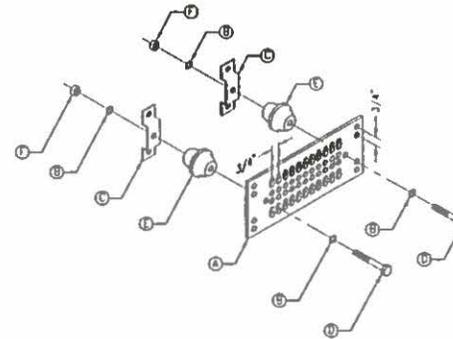
1

TYPICAL GROUND BAR

SCALE
N.T.S.

2

PARTS LIST	
A	COPPER GROUND BAR, USE STYLE "T" GIB TELECOM, INC. (ACTUAL GROUND BAR SIZE WILL VARY BASED ON NUMBER OF GROUND CONNECTIONS)
B	5/8" LOCK WASHERS, NEWTON INSTRUMENT CO. CAT. NO. 3015-B OR EQUAL
C	WALL MOUNTING BRACKET, NEWTON INSTRUMENT CO. CAT. NO. A-5026 OR EQUAL
D	5/8-11 X 1" FNCS BOLTS, NEWTON INSTRUMENT CO. CAT. NO. 3012-1 OR EQUAL
E	INSULATORS SHALL BE INSTALLED
F	5/8-11 MUT



A&E DEVELOPMENT

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DEVELOPMENT SERVICES
 A&E SERVICES
 2749 Soloro Street
 Santa California 92221
 (714) 729-8484 (714) 283-6661 fax
 www.core-us.com

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY TO A&E. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO HEREIN UNLESS IS STRICTLY PROHIBITED.

SITE BUILDER

verizon wireless

1300 SAND CANYON AVENUE
 BLDG. 2, FIRST FLOOR
 PUEBLO, CALIFORNIA 92118
 951.288.7028

SITE INFORMATION

SITE NAME:
SCL RAMONA LA G2
R.O.W.

SITE ADDRESS

F/O
 3330 1/2 CITY TERRACE DR.,
 LOS ANGELES, CA 90063

100% ZD'S

DATE: 07/25/14

ENGINEERED BY:
 CORE DEVELOPMENT SERVICES

DRAWN BY:
 CORE DEVELOPMENT SERVICES

REVISIONS		
REV	DESCRIPTION	DATE/BY
0	ISSUED FOR REVIEW	07/29/14 LS
1	100% ZD'S	08/26/14 LS
2	100% ZD'S	10/14/14 LS

STAMP

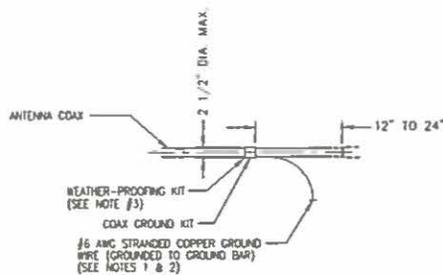
SHEET TITLE

GROUNDING
DETAILS

SHEET NUMBER

A-6

- NOTES:
 1. DO NOT INSTALL COAX GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BEND.
 2. GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY COAX MANUFACTURER.
 3. WEATHER PROOFING SHALL BE TWO-PART TAPE KIT, COLD SHRINK SHALL NOT BE USED.



CONNECTION OF COAX GROUND KIT TO ANTENNA COAX

SCALE
N.T.S.

3

(2) HOLD LB GROUNDING LUG

SCALE
N.T.S.

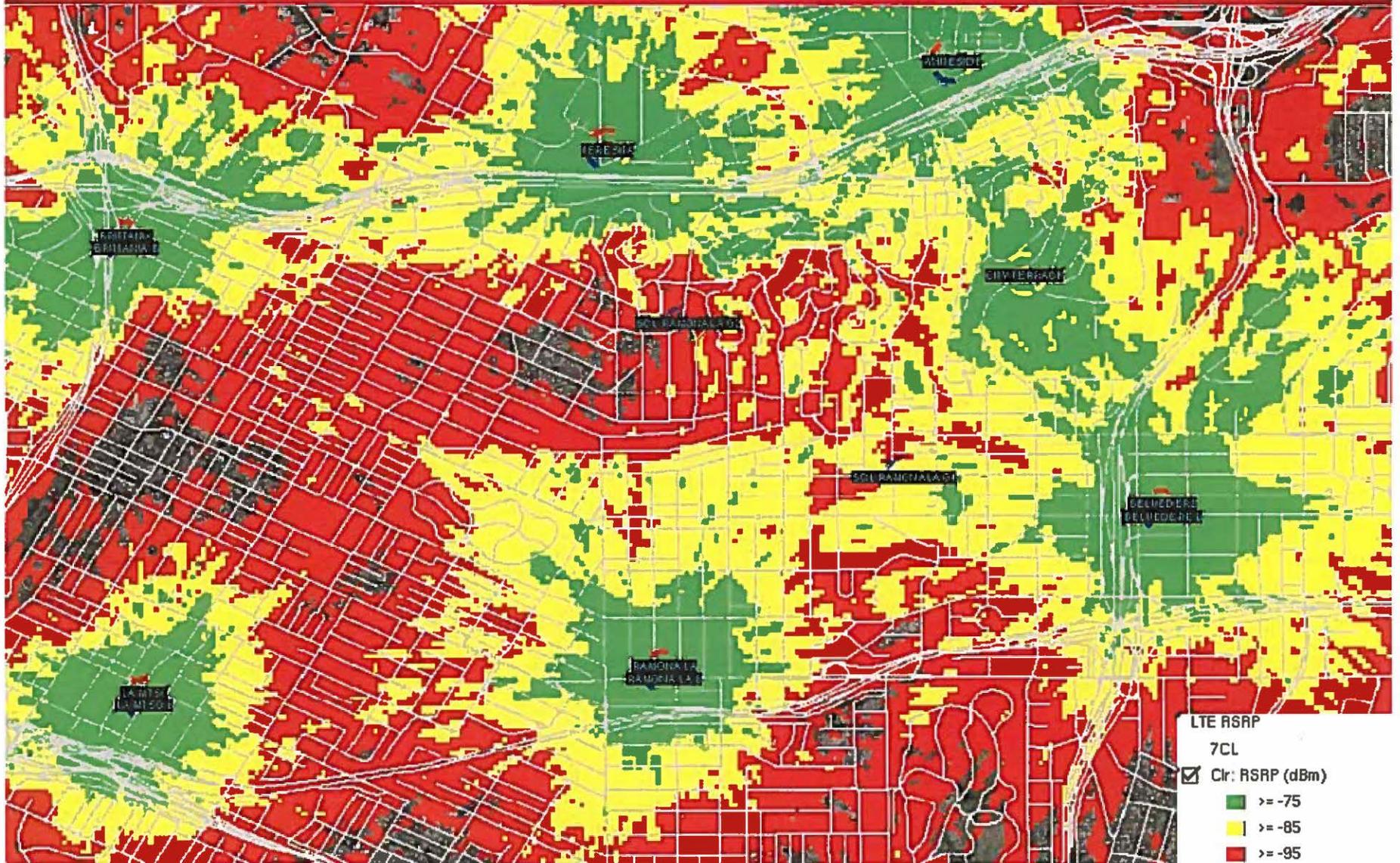
4

- NOTES:
 1. CRIMP (COMPRESSION) TYPE TWO-HOLE BOLTED TONGUE CONNECTORS SHALL BE USED TO TERMINATE STRANDED GROUNDING CONDUCTORS. THE CONNECTORS SHALL BE TIN PLATED COPPER, LONG BARREL LUG, AND SHALL BE LISTED FOR THEIR INTENDED USE BY AN NRTL.
 NOTE: TIN PLATED ALUMINUM CONNECTORS INSTALLED PRIOR TO THE DATE OF THIS STANDARD OR CONNECTORS THAT ARE PART OF AN APPROVED PRODUCT ARE ACCEPTABLE.
 2. CRIMP TYPE CONNECTORS USED ON SOLID CONDUCTORS MUST BE LISTED BY AN NRTL FOR USE ON SOLID CONDUCTORS, AND MUST BE CRIMPED WITH THE DIES SPECIFIED BY THE MANUFACTURER OF THE CONNECTOR. USE A HYDRAULIC CRIMPING TOOL.
 3. TWO-HOLE BOLTED TONGUE CONNECTORS SHALL BE USED. WIRES SHALL BE INSERTED THE ENTIRE LENGTH OF THE LUG. ENSURE COAX OUTER INSULATION IS SLID TO LUG BARREL. PROVIDE AN ANTI-OXIDE COMPOUND ON THE CONDUCTOR BEFORE CRIMPING (NO OX). INSTALL A TRANSPARENT HEAT SHRINK INSULATING TUBE ALONG THE ENTIRE LENGTH OF THE CRIMP.
 4. USE #6 AWG STRANDED-THOMAS & BETTS 455578 OR EQUIVALENT.
 5. USE #2 AWG STRANDED-THOMAS & BETTS 435306 OR EQUIVALENT.

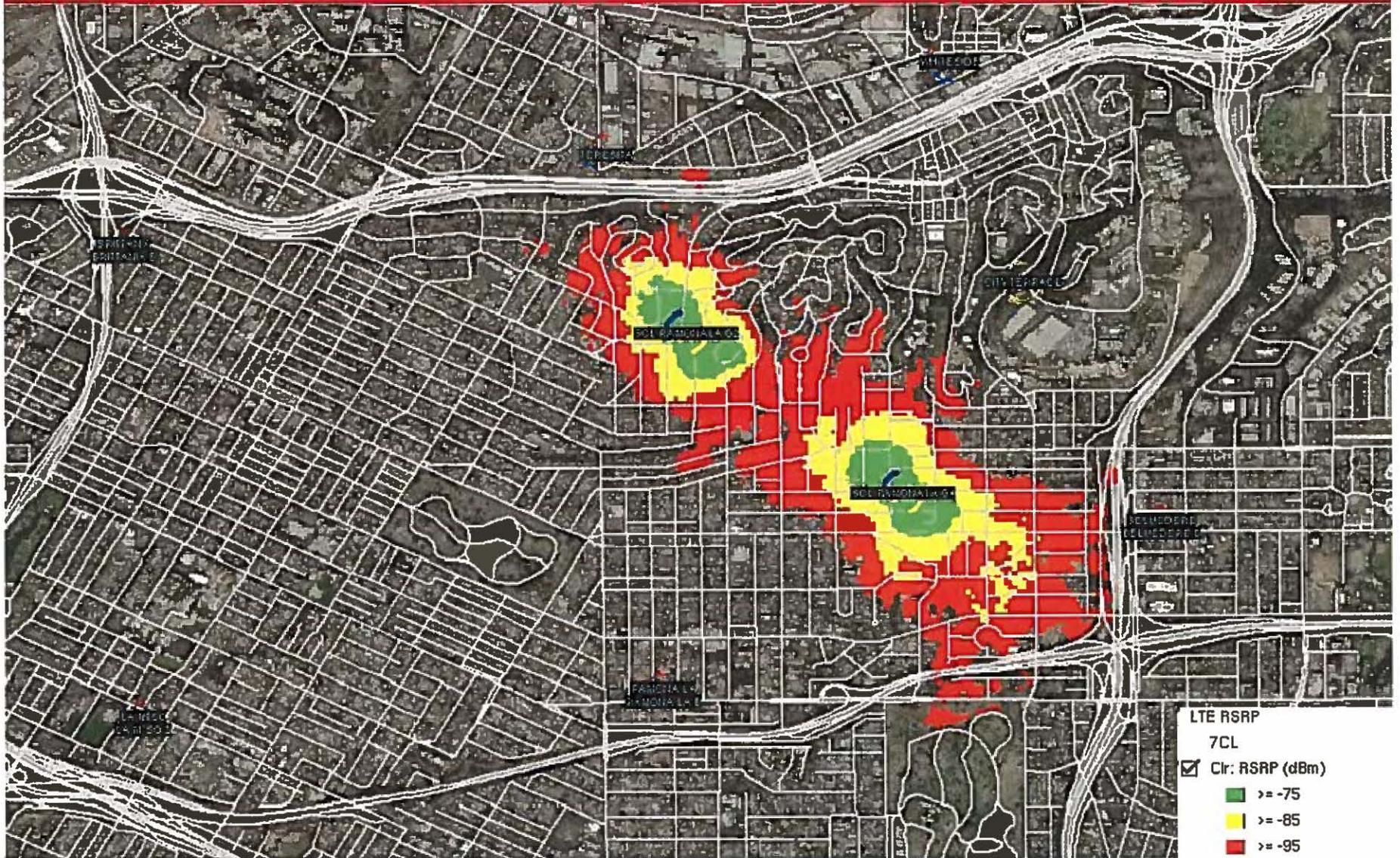




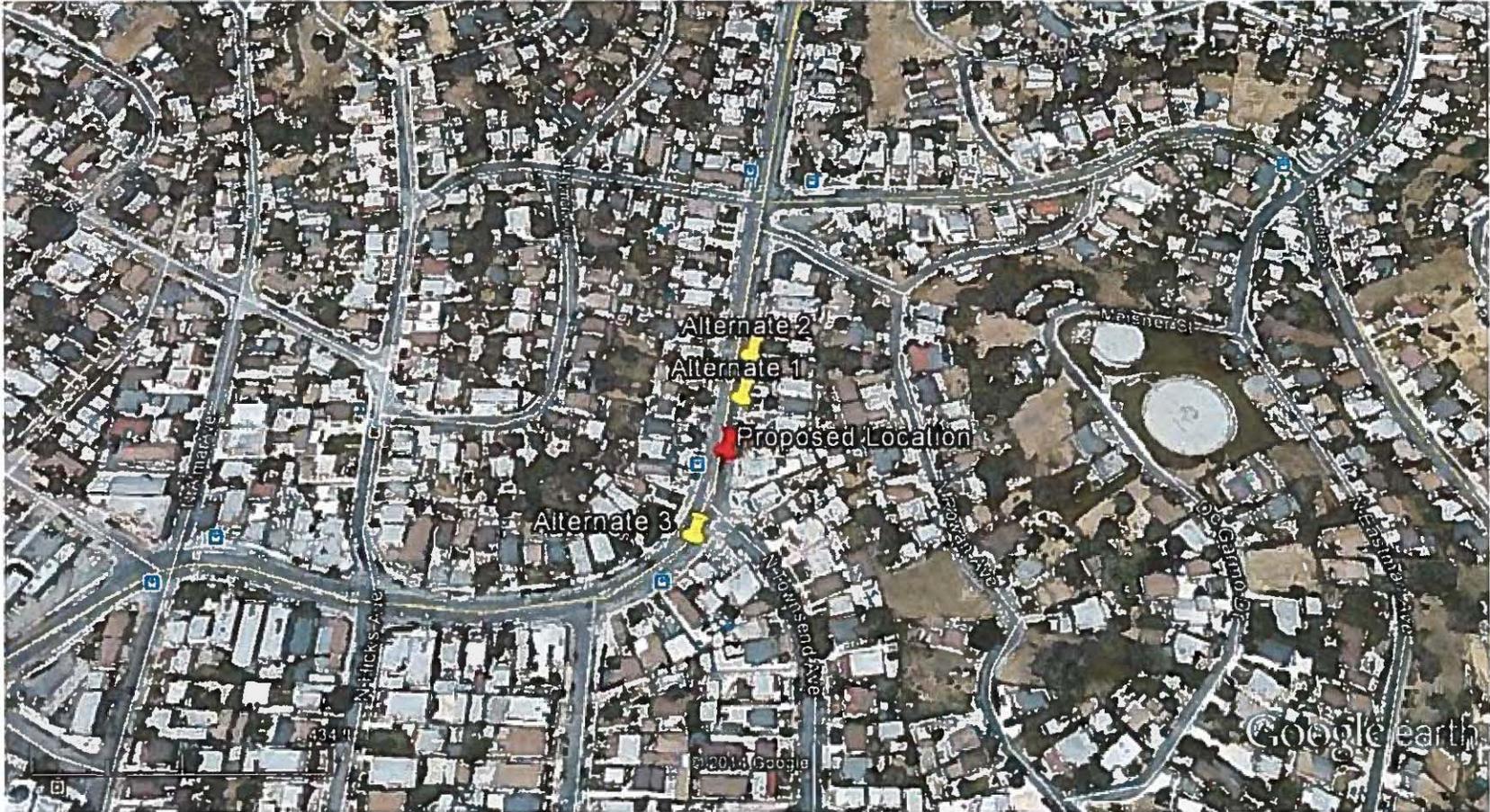
Without SCL Ramona LA G2/G4



SCL Ramona LA G2/G4 Coverage – Site by itself



Ramona LA G2 – Map of Alternatives





Los Angeles County
Department of Regional Planning

Planning for the Challenges Ahead



Richard J. Bruckner
Director

REGIONAL PLANNING COMMISSION
APPEAL FORM

DATE: June 2, 2015

TO: Ms. Rosie Ruiz
Regional Planning Commission Secretary
Department of Regional Planning
County of Los Angeles
320 W. Temple Avenue, Room 1350
Los Angeles, California 90012

RECEIVED
JUN 02 2015
BY: Lidia Gonzalez
COPIES: STAFF
Alexanian
Glaser (M)
Glaser (R)
Curzi
Lemke

FROM: William Schwartz
Name

SUBJECT: Project Number(s): R2015-00052-(1)
Case Number(s): 201500002
Case Planner: Anthony Curzi
Address: 3330 1/2 City Terrace Dr.
Assessors Parcel Number: in the public right of way
Zoned District: East Los Angeles

Entitlement Requested:

To authorize the construction, operation, and maintenance of a new wireless telecommunications facility in the public right of way.

Related Zoning Matters:

Tentative Tract/Parcel Map No.	
CUP, VAR or Oak Tree No.	
Change of Zone Case No.	
Other	

(Reverse)

I am appealing the decision of (check one and fill in the underlying information):

Decision Date: Director _____

Hearing Officer
Public Hearing Date: 05/19/15
Hearing Officer's Name: Gina Naldi
Agenda Item Number: 8

The following decision is being appealed (check all that apply):

- The Denial of this request
- The Approval of this request
- The following conditions of approval:

List conditions here

The reason for this appeal is as follows:

The planning office failed to send out a notice of proposal in Spanish, and over 85% of the residents are Latino; predominantly Spanish speaking only. The proposed cell tower is adjacent to an elementary school, a church, and a densely populated residential area.

Are you the applicant for the subject case(s) (check one)? YES NO It will affect property values and aesthetic of the community.

Submitted herewith is a check or money order for the amount due, as indicated on the Fee Schedule on the Los Angeles County Department of Regional Planning's website.

[Signature]
Appellant (Signature)

William Schwartz
Print Name

1075 N Rowan Ave
Address

LA, CA 90063

818 424 8405
Day Time Telephone No.

*Fee subject to change.

**LOS ANGELES COUNTY DEPARTMENT OF REGIONAL PLANNING
NOTICE OF PUBLIC HEARING**

The Los Angeles County ("County") Hearing Officer will conduct a public hearing to consider the project described below. You will have an opportunity to testify, or you can submit written comments to the planner below or at the public hearing. If the final decision on this proposal is challenged in court, testimony may be limited to issues raised before or at the public hearing.

Hearing Date and Time: Tuesday, May 19, 2015 at 9:00 a.m.

Hearing Location: 320 West Temple St., Hall of Records, Rm. 150, Los Angeles, CA 90012

Project & Permit(s): Project No. R2015-00052-(1), Conditional Use Permit 201500002

Project Location: Adjacent to 3330 ½ City Terrace Drive in the public right-of-way within the East Los Angeles Zoned District

CEQA Categorical Exemption: Class 1 (Existing Facilities)

Project Description: The applicant, Verizon Wireless, requests a conditional use permit to authorize the construction, operation, and maintenance of a new wireless telecommunication facility on an existing 34-foot Southern California Edison utility pole in the public right-of-way in the C-2 (Neighborhood Business) Zone pursuant to section 22.28.160 of the County Code.

For more information regarding this application, contact **Anthony Curzi**, Los Angeles County Department of Regional Planning (DRP), 320 W. Temple St., Los Angeles, CA 90012. Telephone: (213) 974-6443, Fax: (213) 626-0434, E-mail: acurzi@planning.lacounty.gov. Case materials are available online at <http://planning.lacounty.gov/case> or at City Terrace Library, 4025 East City Terrace Drive, Los Angeles, CA 90063, (323) 261-0295. All correspondence received by DRP shall be considered a public record.

If you need reasonable accommodations or auxiliary aids, contact the Americans with Disabilities Act (ADA) Coordinator at (213) 974-6488 (Voice) or (213) 617-2292 (TDD) with at least three business days' notice. **Si necesita más información por favor llame al (213) 974-6466.**

**LOS ANGELES COUNTY DEPARTMENT OF REGIONAL PLANNING
NOTICE OF PUBLIC HEARING**

The Los Angeles County ("County") Regional Planning Commission ("Commission") will conduct a public hearing to consider the project described below. **This case was approved by the County Hearing Officer on May 19, 2015 and has been appealed to the Commission.** You will have an opportunity to testify, or you can submit written comments to the planner below or at the public hearing. If the final decision on this proposal is challenged in court, testimony may be limited to issues raised before or at the public hearing.

Hearing Date and Time: Wednesday, August 26, 2015 at 9:00 a.m.

Hearing Location: 320 West Temple St., Hall of Records, Rm. 150, Los Angeles, CA 90012

Project & Permit(s): Project No. R2015-00052-(1), Conditional Use Permit 201500002

Project Location: Adjacent to 3330 ½ City Terrace Drive in the public right-of-way within the East Los Angeles Zoned District

CEQA Categorical Exemption: Class 1 (Existing Facilities)

Project Description: The applicant, Verizon Wireless, requests a conditional use permit to authorize the construction, operation, and maintenance of a new wireless telecommunication facility on an existing 34-foot Southern California Edison utility pole in the public right-of-way in the C-2 (Neighborhood Business) Zone pursuant to section 22.28.160 of the County Code.

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