

**Marzban Residence, R2014-00258  
1620 Cold Canyon Road, Malibu  
R2014-00680, RPP 201400258, APN 4455-018-043**

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3,056  
+  
3,535

## SITE PLAN REVIEW APPLICATION

Applications must be submitted in person. Appointments are required to submit three or more applications. Please call (213) 974-6438 for an appointment. Incomplete applications will not be accepted.

### FOR STAFF USE ONLY

Permit No.: 201400258  
 Project No.: R2014-00680  
 Zone: A-1-1 Plan Category: MTH land / RWA land III  
 CSD/TOD: Coastal Sup. Dist.: 3  
 RFS: REN CHW: Y / N  
 Previous/Pending cases: Env. 201400001

### Checklist Summary (Refer to No. 14)

- |                                                                                                              |                                                                                                                 |
|--------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------|
| 1. Completed application with original signature(s).                                                         | 1. La aplicación completa con la firma original.                                                                |
| 2. Three sets of folded plans (site plan, floor plans and elevations). For Coastal Zone, five sets of plans. | 2. Tres juegos de planos doblados (planos del sitio, piso y elevaciones). Cinco juegos de planos para costales. |
| 3. Minimum six (6) different color photos (no aeriels).                                                      | 3. Seis diferente fotografías a color (no fotos aéreas).                                                        |
| 4. Fees (cash, check or money order only). Make checks payable to "Los Angeles County".                      | 4. Costo (efectivo, cheques, o giros solamente). Haga los cheques pagados a "Los Angeles County".               |

### 1. Subject Property (Sujeto Propiedad)

Assessor's Parcel Number: **4455-018-043**

Property Address: **1620 Cold Canyon Drive, Calabasas, Ca.**

Legal Description: **See Survey plan**

### 2. Project Description and Proposed Use (Descripción del Proyecto y El Uso Propuesto)

Proposed structure is a two story Single Family dwelling consist of 4-bed room, 4bath

& two covered parking @ garage. Total building area is 3551 SQ.FT..There are 2<sup>nd</sup> floor half covered deck.

20' wide fire access & turn around per fire department standard is provided.15' wide private ramp also provid

8700 sq.ft of the vacant 3.19 acre land area is disturbded for grading+credited fire & access road.

### 3. Project and Property Data (Datos de la Propiedad y Proyecto)

Existing Use(s) and Structure(s) (square feet):

**None- Vacant land**

Total number of existing residential buildings/units: None

Existing structure(s) to be demolished (if applicable):

**N/A**

Proposed New Use(s) and Structure(s) (square feet):

**3551 SQ. FT.**

Total number of proposed residential buildings/units: One

### 4. Record Owner (Dueño/a Registrado)

### Applicant/Agent (Solicitante/Agente)

Name (print): **Mohsen Marzban**

Name (print): **Karim Bagheri Fard**

Address: **21808 Lopez Street**

Address: **4516 San Taela Court**

City/State: **Woodland Hills Ca,**

City/State: **Woodland Hills Ca.**

Zip: <b>91364</b>	Tel/Fax: <b>818-346 3922</b>	Zip: <b>91364</b>	Tel/Fax: <b>310-279-8799</b>
E-mail: <b>setoninc@sbcglobal.net</b>		E-mail: <b>kbford@gmail.com</b>	

**5. Project Data Continued (Datos de el Proyecto continuado)**

Is grading proposed? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, cubic yards Cut: _____ Fill: _____ Total grading (cut plus fill): _____ Will grading be balanced on-site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If no, indicate quantities to be transported off-site. Export _____ Import: _____ Natural and finished grade and finished floor must be Depicted on the elevations.	Are there slopes of 25% or more on the subject property? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, a slope map is required. The topographic lines must be depicted on the site plan./
Proposed maximum height of structure(s) from natural and finished grade: <b>30'-0"</b>	Are retaining walls proposed? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, submit wall cross-sections and elevations.
Does the proposal meet all required setbacks? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If no, a yard modification is required. Specify what setback is to be modified and the proposed setback:	Water source: <input checked="" type="checkbox"/> Public Water <input type="checkbox"/> Private Well <input type="checkbox"/> Shared well Sewer System: <input checked="" type="checkbox"/> Private Sewer <input type="checkbox"/> Public Sewer If a shared well is proposed, a Shared Water Well application is required.
Applying for a second unit? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, all supplemental information must be attached.	Applying for a density bonus? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, all supplemental information must be attached.

**5. Residential Parking Data (Datos de Estacionamiento Residencial)**

Number of <u>covered</u> on-site spaces provided: <b>2</b>	Number of <u>uncovered</u> on-site parking spaces provided: <b>2</b>
------------------------------------------------------------	----------------------------------------------------------------------

**6. Commercial/Industrial Parking Data (Datos de Estacionamiento Comercial/Industrial)**

Gross building area square footage (include all buildings)	Existing: _____	Proposed: _____
Landscaping area (sq ft)	Existing: _____	Proposed: _____

Existing or Proposed Use	Square Feet or Occupancy Load	Spaces/Square Footage	Required Parking	Proposed Parking
Retail		1/250		
Medical Office		1/250		
Professional Office		1/400		
Industrial		1/500		
Warehouse <sup>1</sup>		1/1,000 <sup>1</sup>		
Restaurant <sup>2</sup>		1/3 occupants <sup>2</sup>		
Churches <sup>3</sup>		1/5 occupants <sup>3</sup>		
Other				
		<b>Total Spaces:</b>		
		Standard Spaces:		
		Disabled Spaces:		
		Compact Spaces <sup>4</sup> :		

<sup>1</sup> A minimum of 80% of the floor area must be dedicated to warehouse use to apply the parking ratio of 1/1,000.  
<sup>2</sup> Parking for entertainment, assembly and dining are based on the occupancy load determined by Building & Safety (a minimum of 10 spaces are required). Occupancy load determination "Form A" from Building & Safety must be

attached.

<sup>3</sup> Parking for churches is based on the occupancy load of the largest assembly area determined by Building & Safety.

<sup>4</sup> A maximum of 40% compact parking is allowed.

## 7. Green Building Program (Programa de Edificación Verde)

### Green Building Requirements

- A project where a complete building permit application was filed with the County Department of Public Works (DPW) prior to **January 1, 2009** is exempt. For construction of a single family residence, or homes on lots created by a parcel map, the deadline is extended to **April 1, 2009**.
- Tree planting required. Number of trees required/provided: see Landscape plan  
If there are existing mature trees measuring at least six inches in diameter on the property, identify the trees on the plans and they may be used to satisfy the tree planting requirement.  
Location of trees per green building requirements shall be approved as depicted on the plans unless waived or modified by DPW.
- Unless waived/modified by DPW, the project shall comply with the energy efficiency, resource and water conservation provisions of the Green Building ordinance per DPW review.

### Drought-Tolerant Landscaping Requirements

- A project where a complete building permit application was filed with the County Department of Public Works (DPW) prior to **January 1, 2009** is exempt. For construction of a single family residence, or homes on lots created by a parcel map, the deadline is extended to **April 1, 2009**.
- Is landscaping required?  Yes  No  
Is landscaping proposed?  Yes  No  
If you check yes for either question, complete the landscaping information below.  
If you check no for both questions, skip to the next section. Please be aware that if landscaping is proposed in the future, a new site plan review and applicable fees must be filed to ensure compliance with the Drought – Tolerant Landscaping Ordinance, Chapter 22.52, Part 21
- Required landscaping (sq. ft.) (if applicable):
- Existing landscaping (sq. ft.) (if applicable):
- Proposed landscaping (sq. ft.) (if applicable): 2800 sq.ft..
- Total landscaping (existing and proposed) (sq. ft.):
- Drought-tolerant landscaping (sq ft):
- Percent of total landscaping to be drought tolerant:
- Total grass/turf area (sq. ft):  
Percent of total landscaping to be grass/turf:  
Grass/turf width must be minimum 5 feet and grass/turf must be water efficient.
- Plants shall be grouped in hydrozones (with similar water and sun needs)
- Drought-tolerant landscaping requirements may be modified with a yard modification application.

### Low Impact Development (LID) Requirements

- Development where a complete application was filed with the County Departments of Regional Planning, Public Works (DPW), or Beaches and Harbors prior to **January 1, 2009** are exempt from the requirement.
- EXISTING impervious surface areas (sq. ft.): 0.00
- NEW impervious surface areas (sq. ft): 10495 sq.ft.-0.24 acre
- For residential projects ≤ 4 units, install at least two of the following (check at least two):
  - Downspout routing- Cistern/rain barrel/raingarden/planter box (minimum 200 gallon capacity)
  - Plant two 15-gallon trees a maximum of 10 feet from impervious surfaces
  - Porous pavement (minimum 50% of all paving)
  - Dry well (minimum 200 gallon capacity)
  - Green roof (minimum 50% of total roof area)
  - Disconnect impervious surfaces- Slope impervious surfaces to drain toward pervious surfaces
- For projects other than the above, please contact DPW for information regarding LID requirements.
- Unless waived/modified by DPW, the development shall comply with LID per DPW review.

**8. Owner's Consent\* (Consentimiento del Dueño/a)**

I, the owner of the subject property, have read, understand and consent to the submission of this application. If the applicant signs for the owner, please submit a letter of authorization from the owner with original signature(s):

Signature:  Date: 03/13/14  
 (ORIGINAL SIGNATURE SIGNED IN BLUE INK)

\*If the record owner is a company, corporation, or association, include a copy of Statement by Domestic Corporation.  
 \* It is the responsibility of the owner to notify the Department of any changes in ownership during processing.

**9. Applicant or Owner Certification (Certificación del Solicitante o Dueño/a)**

I hereby certify that:

1. The information provided in this application, including all attachments, are accurate and correct,
2. I have carefully reviewed and signed with initials all items under Section No. 14 (pages 5-8) and included all applicable required information, and
3. I understand that the submittal of inaccurate or incomplete information and plans may result in processing delays and/or denial of my application.

Signature:  Date: 3/13/14  
 (ORIGINAL SIGNATURE SIGNED IN BLUE INK)

**10. Oak Tree Certification (Certificación de Árboles Robles) (Pursuant to Chapter 22.56, Part 16)**

Are there any oak trees on the subject property or next to the subject property?

Yes       No

If yes, please check one of the following boxes:

I certify that no activity will occur within five feet of any oak tree dripline (canopy) or within 15 feet of any oak tree trunk, whichever distance is greater. This applies to both oak trees located on the subject property AND oak trees next to the subject property. All oak tree dimensions, including trunk diameter and canopy, are accurately depicted on the plans and drawn to scale for verification.

Activity will occur within five feet of any oak tree canopy or within 15 feet of any oak tree trunk and I have concurrently filed for an oak tree permit. All oak tree dimensions, including trunk diameter and canopy, are accurately depicted on the site plan and are drawn to scale.

Signature:  Date: 03/13/14  
 (ORIGINAL SIGNATURE SIGNED IN BLUE INK)

**11. Lobbyist Statement (Declaración de un Grupo de Presión)**

The Los Angeles County Lobbyist Ordinance, effective May 7, 1993, requires certification that each person who applies for a County permit is familiar with the requirements or Ordinance No. 93-0031 (Lobbyist Ordinance), and that all persons acting on behalf of the applicant have complied and will continue to comply with the requirements of said Ordinance through the application process.

I hereby certify that I am familiar with the requirements of Ordinance No. 93-0031. I further understand that the making of such a certification, and compliance with this ordinance, shall be conditions precedent to the granting of the requested permit, license, contract or franchise.

Signature:  Date: 03/13/14  
 (ORIGINAL SIGNATURE SIGNED IN BLUE INK)

LOBBYIST PERMIT NO(S) IF APPLICABLE: \_\_\_\_\_

**12. Plan Distribution (Distribución de Planos) (check one box only)**

Mail approved plans to:  Record Owner     Applicant/Agent    OR

Call for pick up:  Record Owner  Applicant/Agent**13. Yard Modification Burden of Proof (only required for a yard modification)\***  
*(Carga de la Prueba para una Modificación de Yarda)*

Los Angeles County Zoning Ordinance Section 22.48.180 authorizes the Director of Planning without notice or hearing to grant a modification to specified setback regulations of the Zoning Ordinance where topographic features, subdivision plans and other conditions create an unnecessary hardship or unreasonable regulation or make it obviously impractical to require compliance with the setback requirements. (See page 10 for additional requirements that must be submitted along with this application)

A. What topographic features, lot design or other conditions justify the setback modification? (If necessary attach additional pages)

B. Are other adjacent or neighboring properties enjoying setbacks similar to what you propose? If so, please list addresses, relevant setback, height and description of structure involved. Include photos and a vicinity map showing the location of all listed properties. (If necessary attach additional pages)

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## 14. Application and Plan Certification (*Certificación de Aplicación y Planos*)

Please review carefully and sign your initials next to all sections to certify that you understand and have addressed all requirements. The application and plans must comply with all applicable regulations.

*Revise cuidadosamente y escribe su iniciales para reconocer que usted entiende y se ha cumplido con todos los requisitos. La aplicación y los planos deben de cumplir con todas las regulaciones aplicables.*

### General Information (Información General)

#### **kbf Approval (Aprobaciones)**

Approval only verifies that the project is consistent with the Zoning Ordinance. Review and approval by the Department of Public Works and any other regulatory agencies shall be required, as applicable.

*Aprobaciones solamente verifica que el proyecto esta consecuentes con la reglamentación de zonificación. El desarrollo actual requiere la aprobación del Departamento de Obras Publicas y cualquier otras agencias regulador, como pertinente.*

#### **kbf Zoning Violations (Violaciones de Zonificación)**

If there is a zoning violation on the property, plan review may be delayed and additional permits may be required. Any unpermitted structures or uses must either be removed or legalized at part of this application.

*Si hay una violación de zonificación en la propiedad, revisión del plano se va a demorar y permisos adicionales pueden ser requeridos. Cualquier uso o estructuras sin permisos deben de ser quitados o legalizados como parte de esta aplicación.*

#### **Certificate of Compliance (Certificado de Conformidad)**

If a Certificate of Compliance is required, the application must be submitted prior to or concurrently with the site plan application. An unconditional Certificate of Compliance or clearance of conditions for a conditional Certificate of Compliance must be recorded prior to site plan approval.

*Si un Certificado en Conformidad es requerido, la aplicación debe de someterse antes de o concurrente con la aplicación del plano del sitio. Un incondicional Certificado en Conformidad o un despeje de condiciones para un Certificado en Conformidad condicional deben de ser registrado antes de la aprobación del plano del sitio.*

#### **KBF Changes (Cambios)**

It is the responsibility of the owner to notify the Department in writing of any changes to the project. Any changes subsequent to planning approval will require additional planning review and payment of fees.

*Es la responsabilidad del dueño de notificar el Departamento por escrito de cualquier cambios al propuesto proyectó. Cualquier cambio de los planos subsiguientes a la aprobación de planificación va a requerir una revisión adicional y un pago de cuotas.*

### Application (Aplicación)

#### **KBF Record Owner (Dueño Registrado)**

The current property owner must sign the application or submit a letter of authorization with original signature in blue ink (photocopies or faxes will not be accepted). If the record owner is a Corporation, a copy of the Statement by Domestic Corporation is required verifying the signatory is authorized to sign.

*El dueño de propiedad debe de firmar la aplicación o entregar una carta de autorización con la firma original en tinta azul (fotocopias o faxes no son aceptados). Si el dueño registrado es una corporación, se requiere una copia de la acta constitutiva de la empresa confirmando que el signatario esta autorizado a firmar.*

#### **KBF Photographs (Fotografías)**

Provide at least six different printed color photographs of the property. Do not submit aerial photos. Photographs must be labeled or numbered and referenced on a copy of the site plan in a photo key.

*Proporcione por lo menos seis fotografías impresas diferentes de color del sujeto propiedad. No entregué aerofotos. Fotografías deben de ser clasificados o numerados y referenciados en una copia del plano del sitio en una clave fotostática.*

**Building Permits and Assessor's Building Description Blank (Permiso de Construcción y Permisos del Asesor)**

Submit building permits and Assessor's building description slip blanks for all existing buildings on the subject property. Visit your local Building and Safety office and regional Assessor's office for copies.

*Somete los permisos de construcción y documentos del Asesor para todos los edificios existentes en la propiedad. Para obtener copias, visite su oficina local de Obras Publicas y oficina regional del Asesor.*

**Second Units (Segundas Residencias)**

Second units must meet all requirements pursuant to Chapter 22.52, Part 16.

*Segunda residencias deben de cumplir con todos los requisitos según el Capitulo 22.52, Parte 16.*

**Infill for Residential Projects (Estudio de densidad para proyectos residenciales)**

For projects that exceed the maximum residential density allowed by the General Plan land use category up to one General Plan category, an Infill Burden of Proof is required. Also submit a 500-foot radius map showing the subject property and the gross density of all residential parcels within the radius. There is no guarantee of approval for infill requests.

Para los proyectos que excedan el máximo densidad residencial permitido por el Plan General de uso de la tierra hasta la categoría uno del Plan General, un estudio de densidad residencial es requerido. También se requiere un mapa de radio de 500 pies que demuestra la propiedad en cuestión y la densidad de todas las parcelas residenciales dentro del radio. No hay ninguna garantía de aprobación para este tipo de petición.

**Shared Water Wells (Posos de Agua Compartidos)**

A separate application must be filed for a shared water well. Approval of this project does not constitute an approval for a shared water well.

*Una aplicación separada debe de ser presentado para los posos de agua compartidos. La aprobación de este proyecto no constituye una aprobación por un poso de agua compartido.*

**Site Plan / Elevation Plan / Floor Plan (Planos del sitio/elevacion/del piso)**

**KBF Site Plan (Planos del Sitio)**

Three (3) sets of plans (five for projects within the Malibu Coastal Zone): each set must include a site plan, floor plan, and elevations drawn to scale (for example 1/8"=1') on paper approximately 2' x 4' in size. Each set must be stapled together and folded to fit into an 8 1/2" X 14" folder. Fold each set separately. Depict all onsite and offsite oak trees on the plans (see oak tree diagram attachment for instructions). Depict all property lines, and location, height and size of all existing and proposed buildings, structures, fences, walls, and driveways.

Tres (3) juegos de planos (cinco para proyectos en la zona costal de Malibu): cada juego debe incluir un plano del sitio, del piso y elevaciones a escala indicado (por ejemplo 1/8" = 1') en papel de aproximadamente 2' por 4' de tamaño. Cada juego debe ser grapado y doblado a un tamaño de 8" x 14". Dobla cada juego separado. Describe en los planos todos los arboles de roble localizados en la propiedad y fuera del sitio (vea el diagrama de arboles robles adjunto para las instrucciones). Describe todas las líneas de propiedad y la ubicación, altura y el tamaño de todos los edificios existentes y propuestas, estructuras, cercas, paredes y caminos de entrada.

**KBF Drawing Size (Tamaño del Dibujo)**

Drawings will be rejected if the paper size is too small to show all required information. The common size is about 2 feet by 4 feet. If subject property is very large, provide a detailed site plan of only the development area, and include a dimensioned inset map of the entire property.

*Los dibujos van hacer rechazados si el tamaño del papel esta muy pequeño en mostrar todo la información requerido. El tamaño común es de 2 pies por 4 pies. Si el sujeto propiedad esta muy grande, proporcione un plano del sitio detallado de la parte del desarrollo, y inserta una mapa dimensionada de toda la propiedad.*

**KB Scale (Escala)**

Plans must be drawn to a scale of at least one inch equals twenty feet or 1/8 inch equals one foot. The scale must be included on the plans. Unusual, non-standard, immeasurable or distorted scales will not be accepted.

*Los Planos deben de ser dibujados a una escala de por lo menos de una pulgada equivalente a veinte pies o 1/8 pulgada equivalente a un pie. La escala debe de ser incluida en los planos. Insólito, no estándar, incommensurable o escalas retrocedidas no van hacer aceptadas.*

**KBF Dimensions (Dimensiones)**

Plan must be fully dimensioned and oriented with a North arrow clearly indicated on the plans. Do not use the edge of the paper as a property line. All plans should have a borderline and title block.

*Los planos deben de ser dimensionados completamente y orientados con una flecha punta hacia el Norte claramente indicado en los planos. No use el borde del papel como la línea de la propiedad. Todos los planos deben de tener una línea divisoria y un titulo.*

**KBF Structures (Estructuras)**

Identify and provide floor plans and elevations of all existing and proposed structures on the property.

*En la propiedad, identifique todas las estructuras existentes y el propuesto. Proporcione planos de piso y elevaciones de todas las estructuras.*

**KBF Height (Altura)**

Clearly depict the height and number of stories of all structures. For properties with sloping terrain, include building cross-sections and depict the natural, finished grade and finished floor. For projects with structure height at or near the maximum height allowed, an architect/engineer certification may be required to verify compliance with the maximum height.

*Claramente represente la altura y el número de pisos de todas las estructuras. En las elevaciones, represente el nivel natural y el nuevo nivel y el nuevo piso. A las propiedades con el terreno inclinado incluye una sección transversa del edificio. Proyectos con estructuras legando casi a la altura máxima permitido, una certificación de un arquitecto/ingeniero va hacer requerido para verificar conformidad a la altura máxima.*

**KBF Yards and Setbacks (Yardas y Atrasos)**

The project must meet all required setbacks unless a yard modification is approved. A survey prepared by a licensed surveyor may be required to verify the accuracy of any dimensions depicted on the plans.

*El proyecto debe de cumplir con todos los requeridos atrasos a menos que se aprueba una modificación de jardín. Un agrimensión preparado por un agrimensor licenciado va hacer requerido para verificar la exactitud de cualquier dimensión representada en los planos.*

**KBF Fences and Walls (Cercas y Muros)**

Show the location, height, and materials of all existing and proposed fences and walls on the subject property. Wall cross-sections are required for all retaining walls.

*Demuestre la ubicación, altura y materiales de todo lo existente y las propuestas cercas y muros en la propiedad. Se requiere una sección transversa a todos los muros de contención.*

**KBF Features (Características)**

Indicate landscaping, topography and other development features applicable to the request.

*Indica paisajes, topografías y otros desarrollos características aplicable a la solicitud.*

**KBF Community Standards District (Reglas del Distrito de la Comunidad)**

Verify if the property is located in a Community Standards District prior to submittal. Plans must include any additional information required to verify compliance with all applicable CSD regulations.

*Verifique si la propiedad esta localizada en una Reglas del Distrito del la Comunidad antes de someter. Los planos deben de incluir información adicional requerida para verificar conformidad con las regulaciones.*

**KBF Access (Acceso)**

Driveway access, vehicular back-up, and parking must be depicted and fully dimensioned. Depict street names, centerlines and widths of all highways, streets and alleys adjacent to the subject property.

*Acceso al camino de entrada, área de reversa vehicular, y estacionamiento deben de ser representados y completamente dimensionados. Represente los nombres de las calles, las líneas del centro y lo ancho de todas las carreteras, calles y callejones contiguo a la propiedad sujeta.*

**KBF Topography (Topografía)**

Topographic lines must be depicted on plans where grading is proposed or there are slopes of 25% or more.

*Líneas topográficas deben de ser representados en los planes donde se propone escarbamiento o donde hay un inclinado de 25% o más.*

**KBF Grading (Escarbamiento)**

Plans must note the total cubic yards of cut and/or fill grading proposed. Also include the grading quantities to be imported or exported. Depict natural and finished grade on the elevations. Please be aware that grading of  $\geq 100,000$  cubic yards, or import of  $\geq 1,000$  cubic requires a Conditional Use Permit.

*Planos deben de notar las yardas cúbicas totales de escarbamiento si se propone un corte y/o relleno. También incluye las cantidades de escarbamiento que se van hacer importados o exportados. Representa los niveles naturales y el nuevo nivel en las elevaciones. Por favor sea consciente que el escarbamiento de  $\geq 100,000$  yardas cúbicas, o la importación de  $\geq 100,000$  yardas cúbicas requiere un Permiso de Uso Condicional.*

**Haul Route (Ruta de Transporte)**

The off-site transport of 10,000 cubic yards of dirt requires a haul route. Include a map depicting the proposed haul route, the property owner and address of the receiving site and letter of authorization.

*La transportación de 10,000 yardas cúbicas de tierra fuera del sitio requiere una ruta de transporte. Incluye una mapa representando el propuesto ruta de transporte, el dueño de propiedad y dirección del sitio quien lo recibe y una carta de autorización.*

**Yard Modifications (if applicable) / Modificación de Yarda (si es aplicable)****Burden of Proof (No. 13) (Carga de la Prueba)**

Respond to the questions in section 13 of this application. Submit photographs, with the address noted, of any properties that have similar setbacks to those requested (question B. in Section 13). There is no guarantee of approval for yard modifications.

*Conteste las preguntas en la sección 13 de esta aplicación. Somete fotografías, con la dirección anotada, de todas las propiedades notadas quienes tienen atrasos similares a los que se solicitan.*

**KBF Vicinity Map (Mapa de la Vecindad)**

Show the location and dimension of all structures on adjacent lots that have similar setbacks to those being requested on a separate 500-foot radius map (linked to question B in section 13).

*Demuestre la ubicación y la dimensiones de todas las estructuras en los lotes contiguos quienes tienen atrasos similares a los quienes se solicitan en una mapa separada de hasta 500 pies (en conexión a la pregunta B en la sección 13)*

**KBF Ownership Map, List and Gum Labels (Mapa de la Propiedad, Lista y Etiqueta de Goma)**

I hereby grant the Department of Regional Planning authorization to provide the certified mailing list, mailing labels, ownership and vicinity maps as required by Title 22 (Zoning Ordinance) of the Los Angeles County Code.

Por este medio concedo al Departamento de Planificación Regional la autorización de proporcionar la lista de direcciones certificada, etiquetas para enviar, y mapas de propiedad y cercanías como se requiere por el Título 22 (Ordenanza de Zonamiento) del Código de condado de Los Ángeles.

**KBF Reduced Copy of Site Plan (Una Copia del Plano del Sitio Reducido)**

Provide a copy of the site plan on an 8 1/2" x 11" size paper for mailing.

*Proporcione una copia del plano del sitio en un papel del tamaño 8 1/2"x11" para enviar por correo.*

**I hereby certify that:**

- 1. I have carefully reviewed and initialed all items above and prepared the application and plans in accordance with the instructions, and**
- 2. I understand that the submittal of inaccurate or incomplete information or plans, or failure to comply with the instructions may result in processing delays and/or denial of my application.**

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

3/13/14

**If you suspect fraud or wrongdoing by a County employee, please report it to the County Fraud Hotline at 1-800-544-6861 or [www.lacountyfraud.org](http://www.lacountyfraud.org).**

**You may remain anonymous.**



Los Angeles County  
Department of Regional Planning

Planning for the Challenges Ahead



**ENVIRONMENTAL ASSESSMENT INFORMATION FORM**

**PLEASE READ CAREFULLY**

- Consult with planning staff to determine if your project is subject to CEQA.
- This questionnaire will assist the county in conducting an Initial Study, for projects subject to the California Environmental Quality Act (CEQA).
- Call 213-974-6438 to schedule a submittal appointment.
- Must be submitted in person.

STAFF USE ONLY

PROJECT NO: R2014-00680

PERMIT NO: ~~201400061~~ 201400258

ENV: 201400061 CE? Y N CLASS#: \_\_\_\_\_

ZONE: A-1-1 PLAN: Mtn Look/Rural/Land III

ESHA/SEA? Y (N) N ESHA/SEA: Water Sheel

CSD/TOD? Y (N) N CSD/TOD: \_\_\_\_\_

SUPV DIST: 1 2 (3) 4 5 ZONED DIST: The Malibu

COASTAL? Y (N) N HSG PERMIT? Y (N) N

RFS? Y (N) N RFS NO: \_\_\_\_\_

**1. Subject Property (Sujeto Propiedad)**

ASSESSOR'S PARCEL NUMBER(S):

info on black oak tree

SUBJECT PROPERTY ADDRESS OR SITE LOCATION:

1620 Cold Canyon Drive, Calabasas, Ca.

**2. Project Description (Descripción del Proyecto) Attach additional sheets if necessary.**

Proposed a two story single family dwelling with 4 bed rooms & 4 baths with 3551 sq.ft. total area & two

garage. 8700 sq.ft. disturbed area for 2324 cubic yard cut/ 526 cubic fill. 20' wide fire truck

access per FD STD. & 15' wide access road @ private section of access ramp. Sipage pit+ Septic tank for sewer

**3. Owner(s) (Dueño/a Registrado)**

NAME: Mohsen Marzban		PHONE: 818-486-8432
ADDRESS: 21808 Lopez Street		FAX:
CITY / STATE: Woodland Hills, Ca	ZIP: 91364	E-MAIL: setoninc@sbcglobal.net

**4. Applicant (Solicitante) If different from owner**

NAME: Karim Bagheri Fard		PHONE: 310-279-8799
ADDRESS: 4516 san Taela Court		FAX:
CITY / STATE: Woodland Hills Ca.	ZIP: 91364	E-MAIL: kbford@gmail.com

**5. Agent (Agente) If different from owner / applicant**

NAME:		PHONE:
ADDRESS:		FAX:
CITY / STATE:	ZIP:	E-MAIL:

Primary contact regarding this questionnaire? Check one:  Owner  Applicant  Agent

ENVIRONMENTAL ASSESSMENT INFORMATION FORM

Project No.: \_\_\_\_\_

1. Describe each item as it relates to the PROJECT SITE:

a. Existing land uses / structures: none

b. Topography / slope: Site is fairly steep slope,with upper part approching 20 degrees

c. Vegetation: Wild grassland: Wild Oats,Black Mustard.No special-status plants or plants communities.

d. Wildlife: Coyote,california towhee,western fence lizard.No-special-status wild life habitats

e. Surface waters: No waterbodies,drainage, watershed or riarian habitats or potential wetlands on the site.

f. Cultural / historical resources: Not known

g. Other:

2. Describe each item as it relates to the SURROUNDING AREA:

a. Existing land uses / structures: Very Low Residential development & public open space are the primary land use of surronding the project site.

b. Topography / slope: Mixed of steep & gentle slope as charachtristic of Santa Monica. Mountains & Malibu beach quad.

c. Vegetation: Per biologist report 5 miles away from the site some special Status plant were observed-see the report

d. Wildlife: wthin 5 miles from the project site some Special status wild life observed by biologist -see Bio-report.

e. Surface waters: Nearest watershed is Cold Creek 0.2 miles to south up slope on the on the far side of the hill.

f. Cultural / historical resources: not known

g. Other:

ENVIRONMENTAL ASSESSMENT INFORMATION FORM

Project No.: \_\_\_\_\_

3. Will the proposed project change the pattern, scale or character of the surrounding general area?

Yes  No If yes, describe:

\_\_\_\_\_  
\_\_\_\_\_

4. What steps can be taken to mitigate any adverse effects that may result from this project? List the adverse effect first, then the mitigation measure(s) to reduce that effect.

Construction Noise: work within permitted hours

Trrafic: Post- occupancy, no adverse effect.During construction there are room for trucks with pro

-per access inside the property. During constuction not to use too many trucks at one time..

5. Have the water, sewer, fire and flood control agencies serving the project been contacted to determine their ability to provide adequate service to the proposed project?

Yes  No If yes, attach response.

GEOLOGY

6. Are there identifiable landslide risk, fault lines or zones, liquefaction hazards, expansive soils, or subsidence risks which that would impact the project? Is the project site located on uncompacted fill?

Yes  No  Unknown If yes, describe:

The soil type is Talepop-rock,composed of gravelly loam atop weaterd bedrock derived from volcanic

soils- See soil report for more information.

7. Does the project propose grading or alteration of topography, or contain slopes over 25 percent?

Yes  No If yes, describe:

To create the flat area , a 6' hi retaining wall used to grade about 2000 sq.ft. to 2:1

slope above rear yard & another 6' hi retaing @ rear yard. 2324 C.Y. cut & 526 Fill.

FLOOD

8. Does the project site contain a drainage course or waterway?

Yes  No  Unknown If yes, describe:

\_\_\_\_\_  
\_\_\_\_\_

9. Is the project located within or contain a floodway, flood plain or designated 100-year flood hazard zone?

Yes  No  Unknown If yes, describe:

\_\_\_\_\_  
\_\_\_\_\_

ENVIRONMENTAL ASSESSMENT INFORMATION FORM

Project No.: \_\_\_\_\_

10. Will the project alter the existing drainage pattern of the site or area? Do offsite drainage facilities have capacity to accommodate site runoff?

Yes  No  Unknown If yes, describe:

\_\_\_\_\_  
\_\_\_\_\_

FIRE

11. Is the property located within a Very High Fire Hazard Severity Zone (VHFHSZ) or hillsides area with moderately-to-very dense vegetation?

Yes  No  Unknown

12. Distance from project site to nearest fire station: \_\_\_\_\_ miles

NOISE

13. Describe existing noise sources and noise levels that now affect the site (aircraft, roadway noise, railroads, industry, etc.) and how they will affect proposed uses:

None

\_\_\_\_\_  
\_\_\_\_\_

14. Describe the type of short-term and long-term noise to be generated, including the source and amount:

Short term: Construction Noise from equipments & machinery.

Long term: Project will not create a long term noise. Noise will be same as very low residential use

\_\_\_\_\_  
\_\_\_\_\_

15. Are sensitive receptors, e.g., schools hospitals, residences, located near the project site? How will project noise levels affect adjacent properties and on-site uses?

No sensitive receptor elements is near the project site.

\_\_\_\_\_  
\_\_\_\_\_

16. What methods of soundproofing are proposed?

Type VA construction, insulated walls & roof w/ sound boards. windows &

exterior doors are insulated with double panes.

\_\_\_\_\_  
\_\_\_\_\_

WATER QUALITY

17. Does the project propose the use of a private water well?

Yes  No  Unknown

18. Does the project propose private wastewater disposal or on-site septic systems?

Yes  No

19. How much wastewater will the project generate?  Unknown

**ENVIRONMENTAL ASSESSMENT INFORMATION FORM**

Project No.: \_\_\_\_\_

20. Are there any bodies of water (including domestic water supplies) into which the site drains?

Yes  No  Unknown If yes, describe:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**AIR QUALITY**

21. Will the project result in increased air emissions or create objectionable odors during or after construction?

Yes  No  Unknown If yes, describe:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**GREENHOUSE GASES**

22. Will the project generate greenhouse gas (GhGs) emissions, either directly or indirectly, that may have a significant impact on the environment (i.e., on global climate change)? The significance of the impacts of a project's GhG emissions should be evaluated as a cumulative impact rather than a project-specific impact.

Yes  No  Unknown If yes, describe:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

23. Will the project conflict with any applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases including regulations implementing California AB 32 of 2006, the General Plan policies for implementing actions to reduce greenhouse gas emissions?

Yes  No  Unknown If yes, describe:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**BIOTA**

24. Is the project located within a Significant Ecological Area (SEA), SEA Buffer, Coastal Zone, coastal Environmentally Sensitive Habitat Resource Area (ESHA), Wildflower Reserve Area, or within a relatively undisturbed natural area?

Yes  No If yes, describe:

Project is located within Coastal zone, & Sensitive Habitat Resource area (ESHA)

\_\_\_\_\_  
\_\_\_\_\_

ENVIRONMENTAL ASSESSMENT INFORMATION FORM

Project No.: \_\_\_\_\_

25. Will grading, fire clearance or other improvements remove natural habitat or relatively undisturbed area?

Yes  No If yes, describe:

Per biologist report tere are none special-status plant or wildlife observed. Some exist 5 miles away

26. Does the project contain coastal sage scrub, oak woodland, sycamore riparian, oak woodlands, wetlands, or other sensitive natural communities?

Yes  No  Unknown If yes, describe:

There is one small oak shrub(Quercus Kelloggii) .It's trunk width 4' above grade is 5".

See arborist report

27. Does the project area contain any known suitable habitat for listed endangered or threatened species, other sensitive species, or a wildlife corridor?

Yes  No  Unknown If yes, describe:

OAK TREES

28. Are protected oak trees present? (Oak Tree Permit may be required.)

Yes  No. If yes, indicate :

Total number of protected oak trees to be encroached: 0

Total number of protected oak trees to be removed : - under 5" trunk.

29. Would the project, including project buildout, require removal of protected oak trees?

Yes  No

CULTURAL RESOURCES

30. Does the project site contain rock formations indicating potential paleontological resources?

Yes  No  Unknown If yes, describe:

**ENVIRONMENTAL ASSESSMENT INFORMATION FORM**

Project No.: \_\_\_\_\_

31. Does the project site contain known archeological resources, or historic structures or sites?

Yes  No  Unknown If yes, describe:

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**AGRICULTURE AND FORESTRY**

32. Does the project conflict with existing agricultural zoning or convert existing farmland to a non-agricultural use?

Yes  No  Unknown If yes, describe:

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**AESTHETICS**

33. Is the project visible from a scenic highway or is it located within a scenic corridor?

Yes  No  Unknown If yes, describe:

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34. Will the project impact a riding or hiking trail, ridgeline, shoreline view, significant natural feature or previously undisturbed area?

Yes  No  Unknown If yes, describe

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35. Is the proposed use out-of-character in comparison to adjacent uses due to height, bulk or other features?

Yes  No  Unknown If yes, describe:

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36. Will the project create sun shadow, light or glare problems?

Yes  No  Unknown If yes, describe:

All glazing will be anti glare & tinted.

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ENVIRONMENTAL ASSESSMENT INFORMATION FORM

Project No.: \_\_\_\_\_

TRAFFIC / ACCESS

37. Estimate the post-construction vehicular traffic generated by the proposed project:

- 0 – 50 trips per day
- 51 – 250 trips per day
- 251 – 500 trips per day
- 500 + trips per day

38. Explain what effects the project may have on parking, vehicular traffic circulation, and potential traffic safety hazards in the area:

Impact is minimal. Occupant will be married sinour citizen with no child.

39. Explain what effect, if any, the project may have on pedestrian or other non-motorized circulation in the area:

None

40. Will the project conflict with public transit facilities (bus and rail) or bicycle facilities and bicycle lanes?

- Yes  No  Unknown
- If yes, describe:

SCHOOLS (Residential Projects Only)

41. Indicate school district(s) serving the project:

Calabasas school distict

42. Estimate the number of school children who will reside in the proposed project: None

43. Do existing school facilities adequately accommodate the proposed project?

- Yes  No  Unknown

Verified by school administration?  Yes  No If yes, attach verification. If no, describe provisions for additional classroom capacity:

No child will reside in this proposed residence.

ENERGY CONSERVATION

44. Describe energy sources for the proposed project, and proposed designs, materials or features of the project that promote

ENVIRONMENTAL ASSESSMENT INFORMATION FORM

Project No.: \_\_\_\_\_

energy conservation or use of non-fossil-fuel energy sources.

Use of solar panels to at least conserve 30% on electricity \_\_\_\_\_

Use of plumbing fixtures with high efficiency per LA Green code- re use water for landscaping. \_\_\_\_\_

Use of Private sewer system \_\_\_\_\_

HAZARDOUS MATERIALS

45. In the known history of the property, has there been any use, storage, or discharge of hazardous or toxic materials? Examples of hazardous or toxic materials include, but are not limited to, PCB's; radioactive substances; and herbicides, pesticides; paints; fuels, oils, solvents, or other flammable liquids or gases.

Yes  No  Unknown

If yes, please list the materials and describe their use, storage, or discharge on the property, including the dates of use, if known. Also note underground storage of the above:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

46. Will the proposed project involve the temporary or long-term use, storage, discharge, or disposal of hazardous and/or toxic materials, including but not limited to those examples listed above?

Yes  No If yes, provide an inventory of all such materials to be used and method of disposal:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

NON-RESIDENTIAL PROJECTS

47. Workforce:

- a) Number of daily work shifts: \_\_\_\_\_
- b) Operating days and hours: \_\_\_\_\_
- c) Maximum number of employees: \_\_\_\_\_
- d) Maximum number of employees per shift: \_\_\_\_\_

48. Describe end products:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

49. Describe waste products, including nonhazardous and hazardous waste:

\_\_\_\_\_  
\_\_\_\_\_

50. Method of nonhazardous and hazardous waste disposal:

\_\_\_\_\_

ENVIRONMENTAL ASSESSMENT INFORMATION FORM

Project No.: \_\_\_\_\_

51. Do operations require any pressurized tanks?

Yes  No If yes, describe

52. Will delivery or shipment trucks travel through residential areas to reach the nearest highway?

Yes  No. If yes, describe.

53. Other project or site condition information:

**Owner / Applicant / Agent Application Certification (Certificación del Solicitante, Agente o Dueño/a)**

By my signature below, I hereby understand and certify the following:

1. I understand that the environmental review associated with the submittal of this form is preliminary, and that after further evaluation, additional information, reports, studies, applications or fees may be required.
2. I understand that, whether or not my application is approved or denied, there may be a partial or no refund of fees paid, and;
3. I understand that submitting inaccurate or incomplete information may result in delays or the denial of my application, and;
4. I certify that the information provided in this form, including attachments, is accurate and correct to the best of my knowledge.

SIGNATURE:  DATE: 03/13/14  
 PRINT NAME: \_\_\_\_\_ CHECK ONE:  Owner  Applicant  Agent

**Archaeological Statement (Declaración Arqueológico)**

Under the discretion of the Dept. of Regional Planning, proposed projects may be forwarded to the Archeological Information Center for consultation regarding potential impacts to historical and cultural resources, in order to assure the protection and preservation of Los Angeles County's historic and archeological resources. This review requires a nominal processing fee which will be billed directly to the applicant by Cal-State University. By my signature below, I understand this process and possible additional fees.

SIGNATURE (BLUE INK):  DATE: 03/13/14  
 PRINT NAME: \_\_\_\_\_ CHECK ONE:  Owner  Applicant  Agent



Lost Canyon Trail

Lost Canyon Trail

Cold Canyon Rd

Baynes Rd

Calabasas - Cold Creek Trail

Calabasas - Cold Creek Trail

100 m  
500 ft

**GENERAL NOTES:**

1. All grading and construction shall conform to Appendix Chapter J and Chapter 71 (Latest Edition) of the County of Los Angeles Building Code unless specifically noted on these plans.
2. Any modifications of or changes to approved grading plans must be approved by the Building Official.
3. No grading shall be started without first notifying the Building Official. A Pre-grading meeting at the site is required before the start of the grading with the following people present: Owner, grading contractor, design civil engineer, soils engineer, geologist, County grading inspector(s) or their representatives, and when required the archeologist or other Jurisdictional agencies. Permittee or his agent or representative responsible for arranging Pre-grade meeting and must notify the Building Official at least two business days prior to proposed pre-grade meeting.
4. Approval of these plans reflect solely the review of plans in accordance with the County of Los Angeles Building Code and does not reflect any position by the County of Los Angeles or the Department of Public Works regarding the status of any title issues relating to the land on which the improvements may be constructed. Any disputes relating to title are solely a private matter not involving the County of Los Angeles or the Department of Public Works.
5. All grading and construction activities shall comply with County of Los Angeles Code, Title 12, Section 1212.030 that controls and restricts noise from the use of construction and grading equipment from the hours of 8:00 PM to 6:00 AM, and on Sundays and Holidays. (More restrictive construction activity times may apply, as required by the Department of Regional Planning and should be shown on the grading plans when applicable.)
6. California Public Resources Code (Section 5097.98) and Health and Safety Code (Section 7050.5) address the discovery and disposition of human remains. In the event of discovery or recognition of any human remains in any location other than a dedicated cemetery, the law requires that grading immediately stops and no further excavation or disturbance of the site, or any nearby area where human remains may be located, occur until the following has been measures have been taken:
  - a. The County Coroner has been informed and has determined that no investigation of the cause of death is required, and
  - b. If the remains are of Native American origin, the descendants from the deceased Native Americans have made a recommendation for the means of treating or disposing, with appropriate dignity, of the human remains and an associated grave goods.
7. The location and protection of all utilities is the responsibility of the Permittee.
8. All export of material from the site must go to a permitted site approved by the Building Official or a legal dumpsite. Receipts for acceptance of excess material by a dumpsite are required and must be provided to the Building Official upon request.
9. A copy of the grading permit and approved grading plans must be in the possession of a responsible person and available at the site at all times.
10. Site boundaries, easements, drainage devices, restricted use areas shall be located per construction staking by Field Engineer or licensed surveyor. Prior to grading, as requested by the Building Official, all property lines, easements, and restricted use areas shall be staked.
11. No grading or construction shall occur within the protected zone of any oak tree as required per Title Chapter 22.56 of the County of Los Angeles Zoning Code. The protected zone shall mean that area within the drip line of an oak tree extending there from a point at least five feet outside the drip line, or 15 feet from the trunk(s) of a tree, whichever is greater.
 

If an oak tree permit is obtained (Add the following Note )

All grading and construction within the protected zone of all oak trees shall be per oak tree permit no. \_\_\_\_\_ All recommendations in the permit and associated oak tree report must be complied with and are a part of the grading plan. A copy of the oak tree permit and associated reports shall be maintained in the possession of a responsible person and available at the site at all times.

The standard retaining wall details shown on the grading plans are for reference only. Standard retaining walls are not checked, permitted, or inspected per the Grading Permit. A separate retaining wall permit is required for all standard retaining walls.

Note: This note only applies to standard retaining walls. Geogrid fabric and segmental retaining walls do not require a separate retaining wall permit. Details and construction notes for all Geogrid walls must be on the grading plan.
13. A preventive program to protect the slopes from potential damage from burrowing rodents is required per Section J101.8 of the County of Los Angeles Building Code. Owner is to inspect slopes periodically for evidence of burrowing rodents and a first evidence of their existence shall employ an exterminator for their removal.
14. If grading authorized by this plan is to extend through the rainy season, November 1 Through April 15 of the following year, separate updated plans and grading control must be submitted prior to October per Section J111.3 of the County of Los Angeles Building Code.
15. Transfer of Responsibility: If the Field Engineer, the Soils Engineer, or the Engineering Geologist of record is changed during grading, the work shall be stopped until the replacement has agreed in writing to accept their responsibility within the area of technical competence for approval upon completion of the work. It shall be the duty of the permittee to notify the Building Official in writing of such change prior to the recommencement of such grading.

**INSPECTION NOTES**

16. The permittee or his agent shall notify the Building Official at least one working day in advance of required inspections at following stages of the work. (Section J 1 05.7 of the Building Code.)
  - (a) Pre-grade - Before the start of any earth disturbing activity or construction.
  - (b) Initial - When the site has been cleared of vegetation and unapproved fill has been scarified, benched or otherwise prepared for fill. Fill shall not be placed prior to this inspection. Note: Prior to any construction activities, including grading, all storm water pollution prevention measures including erosion control devices which contain sediments must be installed.
  - (c) Rough - When approximate final elevations have been established, drainage terraces, swales and berms installed at the top of the slope) and the statements required in this Section have been received.
  - (d) Final - When grading has been completed; all drainage devices installed; slope planting established, irrigation systems installed and the As-Built plans, required statements, and reports have been submitted and approved.
17. In addition to the inspection required by the Building Official for grading, reports and statements shall be submitted to the Building Official in accordance with Section J105 of the County of Los Angeles Building Code.
18. Unless otherwise directed by the Building Official, the Field Engineer for all engineered grading projects shall prepare routine inspection reports as required under Section J 1 05.11 of the County of Los Angeles Building Code. These reports, known as "Reports of Grading Activities", shall be submitted to the Building Official as follows:
  1. Bi-weekly during all times when grading of 400 cubic yards or more per week is occurring on the site;
  2. Monthly, at all other times; and
  3. at any time when requested in writing by the Building Official.

Such "Report of Grading Activities" shall certify to the Building Official that the Field Engineer has inspected the grading site and related activities and has found them in compliance with the approved grading plans and specifications, the building code, all grading permit conditions, and all other applicable ordinances and requirements. This form is available

at the following website <http://dplacountyaov/bss/ds/default.aspx>. "Report of Grading Activities" may be scanned and uploaded at the website or faxed to (310) 530-5482. Failure to provide required inspection reports will result in a "Stop Work Order."
19. All graded sites must have drainage swales, berms, and other drainage devices installed prior to rough grading approval per Section J105.7 of the County of Los Angeles Building Code.
20. The grading contractor shall submit the statement to the grading inspector as required by Section J 1 05.12 of the County of Los Angeles Building Code at the completion of rough grading.
21. Final grading must be approved before occupancy of buildings will be allowed per Section J 105 of the County of Los Angeles Building Code.

**DRAINAGE NOTES**

22. Roof drainage must be diverted from graded slopes.
23. Provisions shall be made for contributory drainage at all times.
24. All construction and grading within a storm drain easement are to be done per Private Drain PD No. \_\_\_\_\_ or miscellaneous Transfer Drain MTD No. \_\_\_\_\_
25. All storm drain work is to be done under continuous inspection by the Field Engineer. Status reports required under note 18 and Section J105.11 of the County of Los Angeles Building Code shall include inspection information and reports on the storm drain installation.
26. **AGENCY NOTES**
  26. An encroachment permit from (County of Los Angeles Department of Public Works) (CAL TRANS) (City of \_\_\_\_\_) is required for all work within or affecting road right of way. All work within Road right of way shall conform to (County of Los Angeles Department of Public Works)(CAL TRANS) (City of \_\_\_\_\_) encroachment permit.
  27. An encroachment permit (connection permit is required from the County of Los Angeles Flood Control District for all work within the County of Los Angeles Flood Control District Right of Way. All work shall conform to conditions set by the Permit.
  28. Permission to operate in Very High Fire Hazard Severity Zone must be obtained from the Fire Prevention Bureau or the local Fire Station prior to commencing work.
  29. All work within the streambed and areas outlined on grading plans shall conform to Army Corp 404 Permit Number: N/A
  - California Fish & Game Permit No: 1600-2010-0297-R5
30. All construction/demolition, grading, and storage of bulk materials must comply with the local ADMD rule 403 for Fugitive Dust. Information on rule 403 is available at ADMD's website <http://www.aavand.com>.

**GENERAL GEOTECHNICAL NOTES**

30. All work must be in compliance with the recommendations included in the geotechnical consultant's reports(s) and the approved grading plans and specifications.
31. Grading operations must be conducted under periodic inspections by the geotechnical consultants with monthly inspection reports to be submitted to the Geology and Soils Section, 9300 S. Fireport, Alhambra CA 91803 - 3rd Floor)
32. The Soil Engineer shall provide sufficient inspections during the preparation of the natural ground and the placement and compaction of the fill to be satisfied that the work is being performed in accordance with the plan and applicable Code requirements.
33. Rough grading must be approved by a final engineering geology and soils engineering report. An As-Built Geologic Map must be included in the final geology report. Provide a final report statement that verifies all work was done in accordance with report recommendations and code provisions (Section J105.12 of the County of Los Angeles Building Code). The final report(s) must be submitted to the Geotechnical and Materials Engineering Division for review and approval.
34. Foundation, wall and pool excavations must be inspected and approved by the consulting geologist and soil engineer, prior to the placing of steel or concrete.
35. Building pads located in cut/fill transition areas shall be over-excavated a minimum of three (3) feet below the proposed bottom of footing.
36. All fill shall be compacted to the following minimum relative compaction criteria:
  - a. 90 percent of maximum dry density within 40 feet below finish grade.
  - b. 93 percent of maximum dry density deeper than 40 feet below finish grade, unless a lower relative compaction (not less than 90 percent of maximum dry density) is justified by the geotechnical engineer.

The relative compaction shall be determined by A.S.T.M. soil compaction test D1557-91 where applicable. Where not applicable, a test acceptable to the Building Official shall be used. (Section J07.5 of the County of Los Angeles Building Code.)
37. Field density shall be determined by a method acceptable to the Building Official. (Section J107.5 of the County of Los Angeles Building Code.) However, not less than 10% of the required density test, uniformly distributed, and shall be obtained by the Sand Cone Method.
38. Sufficient tests of the fill soils shall be made to determine the relative compaction of the fill in accordance with the following minimum guidelines:
  - a. One test for each two-foot vertical lift.
  - b. One test for each 1,000 cubic yards of material placed.
  - c. One test at the location of the final fill slope for each building site (lot) in each four-foot vertical lift or portion thereof.
  - d. One test in the vicinity of each building pad for each four-foot vertical lift or portion thereof.
39. Sufficient tests of fill soils shall be made to verify that the soil properties comply with the design requirements, as determined by the Soil Engineer including soil types, shear strengths parameters and corresponding unit weights in accordance with the following guidelines:
  - a. Prior and subsequent to placement of the fill, shear tests shall be taken on each type of soil mixture to be used for all fill slopes steeper than three (3) horizontal to one vertical.
  - b. Shear test results for the proposed fill material must meet or exceed the design values used in the geotechnical report to determine slope stability requirements. Otherwise, the slope must be reevaluated using the actual shear test value of the fill material that is in place.
  - c. Fill soils shall be free of deleterious materials.
40. Fill shall not be placed until stripping of vegetation, removal of unsuitable soils, and installation of subdrain (if any) have been inspected and approved by the Soil Engineer. The Building Official may require a (Standard Test Method for moisture, ash, organic matter, peat or other organic soils' ASTM D-2974-87 on any suspect material. Detrimental amounts of organic material shall not be permitted in fills. Soil containing small amounts of roots may be allowed provided that the roots are in a quantity and distributed in a manner that will not be detrimental to the future use of the site and the soils engineer approves the use of such material.
41. Rock or similar material greater than 12 inches in diameter shall not be placed in the fill unless recommendations for such placement have been submitted by the Soil Engineer and approved in advance by the Building Official. Location, extent, and elevation of rock disposal areas must be shown on an "As Built" grading plan.
42. Continuous inspection by the Soil Engineer, or a responsible representative, shall be provided during all fill placement and compaction operations where fills have a depth greater than 30 feet or slope surface steeper than 2:1. (Section J107.8 of the County of Los Angeles Building Code)
43. Continuous inspection by the Soil Engineer, or a responsible representative, shall be provided during all subdrain installation. (Section J107.2 of the County of Los Angeles Building Code)
44. All subdrain outlets are to be surveyed for line and elevation. Subdrain information must be shown on an "As Built" grading plan.
45. Fill slopes in excess of 2:1 steepness ratio are to be constructed by the placement of soil at sufficient distance beyond the proposed finish slope to allow compaction equipment to be operated at the outer limits of the final slope surface. The excess fill is to be removed prior to completion of rough grading. Other construction procedures may be used when it is demonstrated to the satisfaction of the Building Official that the angle of slope, construction method and other factors will have equivalent effect. (Section J1 07.5 of the County of Los Angeles Building Code.)

**BEST MANAGEMENT PRACTICE NOTES:**

1. Every effort should be made to eliminate the discharge of non-stormwater from the project site at all times.
2. Eroded sediments and other pollutants must be retained on-site and may not be transported from the site via sheet flow swales, area drains, natural drainage courses or wind.
3. Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
4. Fuels, oils, solvents, and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
5. Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on-site until they can be disposed of as solid waste.
6. Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
7. Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental deposits must be swept up immediately and may not be washed down by rain or other means.
8. Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.
9. As the project owner or authorized agent of the owner, I have read and understand the requirements listed above, necessary to control storm water pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements.

Print Name \_\_\_\_\_

(Owner or authorized agent of the owner)

Signature \_\_\_\_\_ Date \_\_\_\_\_

(Owner or authorized agent of the owner)

The following BMPs as outlined in, but not limited to, the California Stormwater Best Management Practices Handbook, January 2003, or the latest revised edition, may apply during the construction of this project. Additional measures must be required if deemed appropriate by the Project Engineer or the Building Official.

**EROSION CONTROL**

- |                                           |                                          |
|-------------------------------------------|------------------------------------------|
| EC1 - SCHEDULING                          | NON-STORMWATER MANAGEMENT                |
| EC2 - PRESERVATION OF EXISTING VEGETATION | NS1 - WATER CONSERVATION PRACTICES       |
| EC3 - HYDRAULIC MULCH                     | NS2 - DEWATERING OPERATIONS              |
| EC4 - HYDROSEEDING                        | NS3 - PAVING AND GRINDING OPERATIONS     |
| EC5 - SOIL BINDERS                        | NS4 - TEMPORARY STREAM CROSSING          |
| EC6 - STRAW MULCH                         | NS5 - CLEAR WATER DIVERSION              |
| EC7 - GEOTEXTILES & MATS                  | NS6 - ILLICIT CONNECTION/DISCHARGE       |
| EC8 - WOOD MULCHING                       | NS7 - POTABLE WATER/IRRIGATION           |
| EC9 - EARTH DIKES AND DRAINAGE SWALES     | NS8 - VEHICLE AND EQUIPMENT CLEANING     |
| EC10 - VELOCITY DISSIPATION DEVICES       | NS9 - VEHICLE AND EQUIPMENT FUELING      |
| EC11 - SLOPE DRAINS                       | NS10 - VEHICLE AND EQUIPMENT MAINTENANCE |
| EC12 - STREAMBANK STABILIZATION           | NS11 - FILL DRIVING OPERATIONS           |
| EC13 - POLYACRYLAMIDE                     | NS12 - CONCRETE CURING                   |
|                                           | NS13 - CONCRETE FINISHING                |
|                                           | NS14 - MATERIAL AND EQUIPMENT USE        |
|                                           | NS15 - DEMOLITION ADJACENT TO WATER      |
|                                           | NS16-TEMPORARYBATCHPLANTS                |
- TEMPORARY SEDIMENT CONTROL
- |                                     |                                               |
|-------------------------------------|-----------------------------------------------|
| SE1 - SILT FENCE                    |                                               |
| SE2 - SEDIMENT BASIN                |                                               |
| SE3 - SEDIMENT TRAP                 |                                               |
| SE4 - CHECK DAM                     |                                               |
| SE5 - FIBER ROLLS                   | WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL |
| SE6 - GRAVEL BAG BERM               |                                               |
| SE7 - STREET SWEEPING AND VACUUMING |                                               |
| SE8 - SANDBAG BARRIER               |                                               |
| SE9 - STRAW BALE BARRIER            |                                               |
| SE10 - STORM DRAIN INLET PROTECTION |                                               |
- WIND EROSION CONTROL
- |                            |  |
|----------------------------|--|
| WE1 - WIND EROSION CONTROL |  |
|----------------------------|--|
- EQUIPMENT TRACKING CONTROL
- |                                             |  |
|---------------------------------------------|--|
| TC1 - STABILIZED CONSTRUCTION ENTRANCE EXIT |  |
| TC2 - STABILIZED CONSTRUCTION ROADWAY       |  |
| TC3 - ENTRANCE/OUTLET TIRE WASH             |  |

**PROJECT INFORMATION**

(General Information)

Grading Permit Application No. GR \_\_\_\_\_  
Earthwork Volumes Cut: 2324(cy), Fill 526 (cy) Shrinkage 105 (cy)

Export 1693(cy), Import 0.00 (cy)  
Total Disturbed Area 8,700 Sq. Ft. For Building and 11,800 Sq. Ft. For roadway onsite and off site  
Total Proposed Landscape Area 2800 Square Feet  
Pre-Development Impervious area 0.00 (Acres)  
Post-Development Impervious area 10495 Square Feet= 0.241 (Acres)  
Waste Discharge Identification Number (WDID #) N/A  
Construction & Demolition Debris Recycling and Reuse Plan (RPP ID) \_\_\_\_\_

(Property Information)  
Property Address: 1620 Cold Canyon Road, Calabasas CA 91302  
Tract/ Parcel Map No. TR \_\_\_\_\_ Lot Parcel No. Lot \_\_\_\_\_  
Property Owner: Mohsen Marzban  
Assessors ID Number 4455-018-043

(Zoning and Regional Planning Information)  
Property Zoning: LCR113000  
Intended Land Use: Single Family Residence  
(For proposed graded areas - i.e., Single Family Residence )  
Certificate of Compliance CC No. \_\_\_\_\_  
Plot Plan Number: PP No. \_\_\_\_\_  
Conditional Use Permit (CUP) No. \_\_\_\_\_ Expiration Date: \_\_\_\_\_  
Oak Tree Permit Number: OTP No. \_\_\_\_\_ Expiration Date: \_\_\_\_\_  
Community Standards District \_\_\_\_\_  
California Coastal Commission Area: \_\_\_\_\_yes, \_\_\_x\_\_\_No Approved volume: \_\_\_\_\_(cy)  
Coastal Development Permit (CDP) \_\_\_\_\_ Expiration Date: \_\_\_\_\_

**LEGAL DESCRIPTION:**

All that certain real property situated in the County of Los Angeles, State of California, described as follows:

**PARCEL 1:**

THAT PORTION OF THE WEST HALF OF SECTION 9, TOWNSHIP 1 SOUTH, RANGE 17 WEST, SAN BERNARDINO MERIDIAN, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE WESTERLY LINE OF SAID SECTION 9, WITH THE CENTERLINE OF COLD CANYON ROAD, AS DESCRIBED IN THE DEED TO THE COUNTY OF LOS ANGELES RECORDED APRIL 17, 1925 AS INSTRUMENT NO. 1380, IN BOOK 4844 PAGE 305, OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, SAID INTERSECTION BEING A POINT IN A CURVE CONCAVE TO THE SOUTH AND HAVING A RADIUS OF 10000 FEET, A RADIAL LINE TO SAID LAST MENTIONED POINT BEARS NORTH 42° 54' 56" WEST; THENCE NORTHEASTERLY ALONG SAID CENTERLINE AND SAID CURVE A DISTANCE OF 4905 FEET; THENCE CONTINUING ALONG SAID CENTERLINE, NORTH 75° 11' 25" EAST 138.84 FEET TO THE SOUTHWESTERLY LINE OF THE LAND DESCRIBED IN DEED TO W. SCOTT HUSTED, JR., RECORDED MARCH 9, 1972 AS DOCUMENT NO. 5919, IN BOOK D-5379 PAGE 295, OFFICIAL RECORDS OF SAID COUNTY; THENCE LEAVING SAID CENTERLINE OF "COLD CANYON ROAD" AND ALONG SAID SOUTHWESTERLY LINE, SOUTH 13° 43' 27" EAST 594.89 FEET TO THE SOUTHERLY LINE OF THE LAND DESCRIBED IN THE DEED TO ROBERT L. DETTERMAN, RECORDED FEBRUARY 16, 1972 AS DOCUMENT NO. 3611, IN BOOK D-5505 PAGE 145, OFFICIAL RECORDS OF SAID COUNTY; THENCE ALONG SAID SOUTHERLY LINE SOUTH 84° 59' 36" EAST 319.00 FEET TO THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 9; THENCE ALONG SAID WEST LINE, NORTH 00° 00' 12" WEST 514.95 FEET TO THE WEST ONE-FOURTH CORNER OF SAID SECTION 9; THENCE ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 9 NORTH 00° 08' 40" WEST 32.46 FEET TO THE BEGINNING OF THIS DESCRIPTION. TAX ASSESSOR'S NUMBER: 4455-018-043

**PARCEL 1A:**

A NON-EXCLUSIVE EASEMENT FOR ROAD, UTILITY, STORM DRAIN AND SANITARY SEWERS PURPOSES OVER THAT PORTION OF THE WEST HALF OF SECTION 9, TOWNSHIP 1 SOUTH, RANGE 17 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF INCLUDED WITH A STRIP OF LAND UNIFORM WIDTH OF 64 FEET, THE CENTERLINE OF WHICH IS DESCRIBED IN PARCEL 2A AND 2B IN THAT CERTAIN DEED RECORDED MARCH 3, 1972 AS DOCUMENT NO. 5923, IN BOOK D-5379 PAGE 316, OFFICIAL RECORDS.

**PARCEL 1B:**

A NON-EXCLUSIVE EASEMENT FOR ROAD, UTILITY, STORM DRAIN AND SANITARY SEWERS PURPOSES OVER THAT PORTION OF THE WEST HALF OF SECTION 9, TOWNSHIP 1 SOUTH, RANGE 17 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF INCLUDED WITH A STRIP OF LAND UNIFORM WIDTH OF 64 FEET, THE CENTERLINE OF WHICH IS DESCRIBED IN PARCEL 2A IN THAT CERTAIN DEED RECORDED MARCH 3, 1972 AS DOCUMENT NO. 5923, IN BOOK D-5379 PAGE 316, OFFICIAL RECORDS.

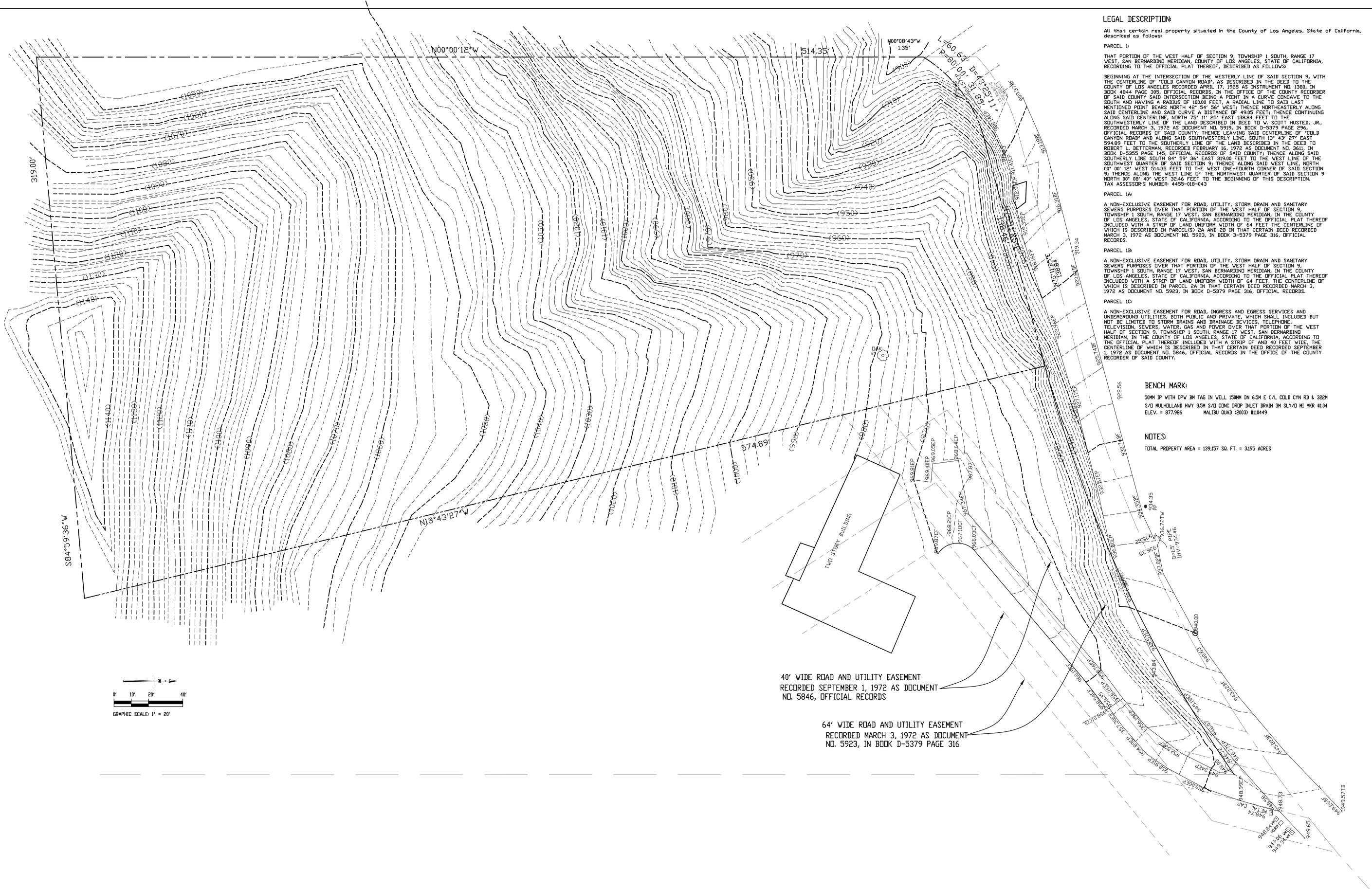
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**BENCH MARK:**

50MM IP WITH DPV BM TAG IN WELL 150MM DN 6.5M E C/L COLD CYN RD & 3204 S/O MULHOLLAND HWY 3.5M S/O CONC DROP INLET DRAIN 3M SL/Y/O MI MKR #104 ELEV. = 877.986 MALIBU OJAO 02003 #101449

PREPARED BY:  <b>NICK KAZEM, INC.</b> 4966 TOPANGA CYN. BLVD., WOODLAND HILLS, CA 91364 (818) 999-9890	PREPARED FOR:  <b>MOHSEN MARZBAN</b>	SOIL ENGINEER	GR						GRADING PLAN NOTES AND DETAIL  FOR 1620 COLD CANYON RD COLABASAS , CA APN 4455-018-043	C-1  SHEET 1 OF 2 SHEETS
			REV. NO	DATE	REVISION	BY:	APP.			
			SCALE	CHK'D BY	APPROVED BY:	R.C.E. NO.	DATE	DWG. NO.		



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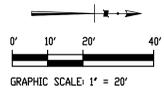
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**BENCH MARK:**  
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**NOTES:**  
 TOTAL PROPERTY AREA = 139,157 SQ. FT. = 3.195 ACRES



40' WIDE ROAD AND UTILITY EASEMENT  
 RECORDED SEPTEMBER 1, 1972 AS DOCUMENT  
 NO. 5846, OFFICIAL RECORDS

64' WIDE ROAD AND UTILITY EASEMENT  
 RECORDED MARCH 3, 1972 AS DOCUMENT  
 NO. 5923, IN BOOK D-5379 PAGE 316

PREPARED BY:  
**NICK KAZEM, INC.**  
 4966 TOPANGA CYN. BLVD.,  
 WOODLAND HILLS, CA 91364  
 (818) 999-9890

PREPARED FOR:  
**MOHSEN MARZBAN**

REV. NO	DATE	REVISION	BY	APP.
SCALE	CHK'D BY	APPROVED BY:	R.C.E. NO.	DATE
1" = 20'				07-22-2013
			DWG. NO.	3081-TOPD

**TOPOGRAPHY SURVEY**  
 FOR  
 1620 COLD CANYON RD COLABASAS, CA  
 APN 4455-018-043

**C-1-S**  
 SHEET 1 OF 1 SHEET

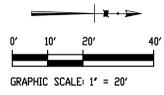


- CONSTRUCTION NOTES:**
- 1 CONSTRUCT RETAINING WALL UNDER SEPARATE PERMIT
  - 2 CONSTRUCT 6" CONC. CURB PER APWA STANDARD
  - 3 CONSTRUCT 6" AREA DRAIN
  - 4 CONSTRUCT 12"x12" CATCH WITH ATRIUM GRATE BASIN
  - 5 CONSTRUCT 4" PVC PIPE SCHEDULE 40 OR BETTER
  - 6 CONSTRUCT 6" PVC PIPE SCHEDULE 40 OR BETTER
  - 7 CONSTRUCT 20' x 4' x 5' DEEP GRAVEL BASIN
  - 8 CONSTRUCT 10' x 6' RIP RAP 6" TO 12" ROCK SIZE, 18" DEEP
  - 9 CONSTRUCT SPLASH WALL
  - 10 CONSTRUCT 24" GUTTER BEHIND WALL
  - 11 CONSTRUCT 12" GUTTER BEHIND WALL
  - 12 SWIMMING POOL, IN CASE OF DRAINING USE WATER TRUCKS TO PUMP THE WATER OUT.
  - 13 CONSTRUCT STRUCTURAL SLAB PER STRUCTURAL DETAIL UNDER SEPARATE PERMIT

- LEGEND:**
- BDRY
  - - - - - EXIST. CONTOUR LINE
  - PROPOSED CONTOUR LINE
  - LIMITS OF GRADING
  - CUT/FILL LINE
  - PROPOSED RETAINING WALL

40' WIDE ROAD AND UTILITY EASEMENT  
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**TOPOGRAPHY SURVEY**  
FOR  
1620 COLD CANYON RD COLLABASAS, CA  
APN 4455-018-043

**C-2**  
SHEET 2 OF 2 SHEET

























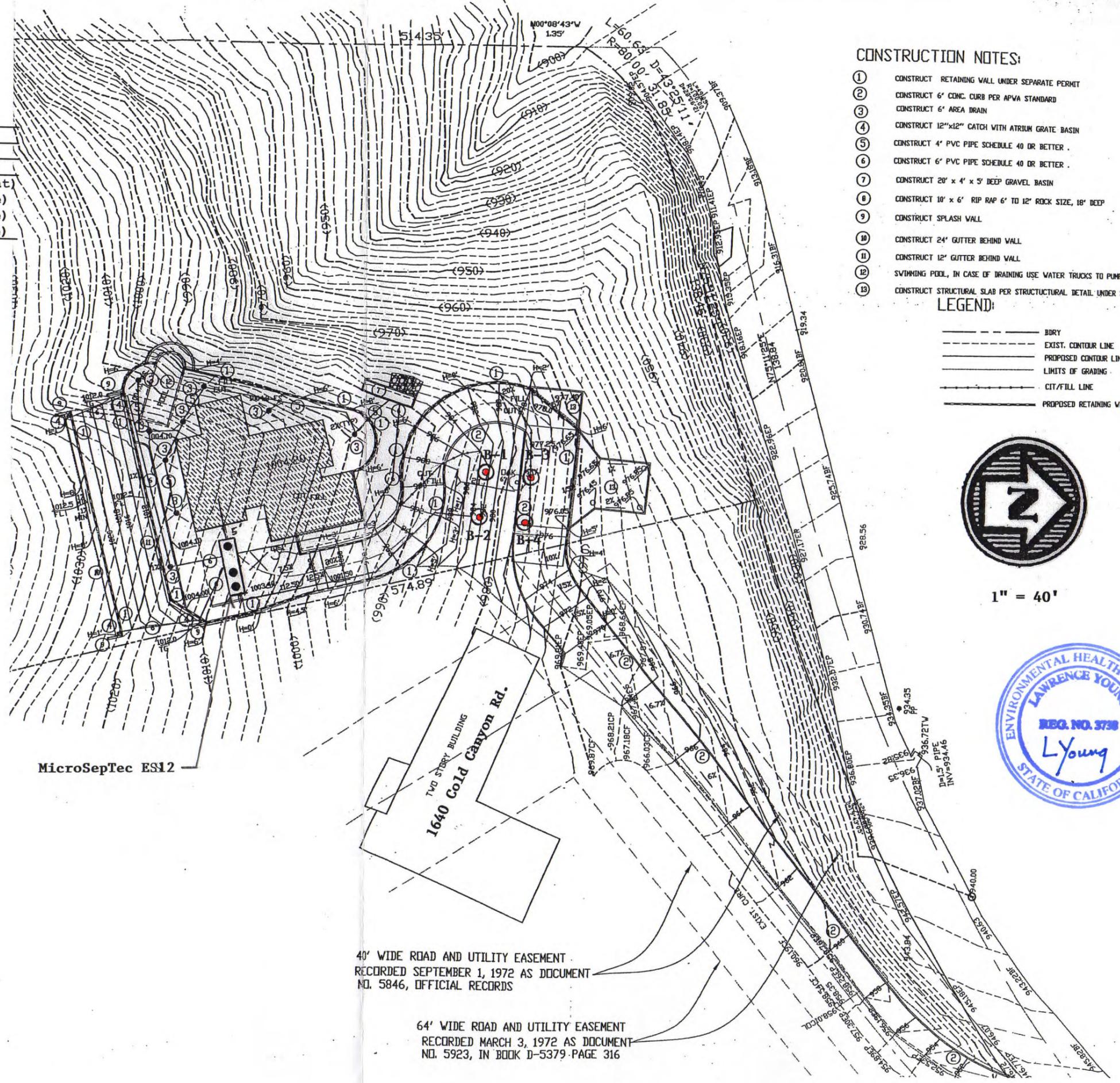


1620 COLD CANYON RD.  
CALABASAS, CA 91302

S.F.D.:	4 Bedroom (N)
TREATMENT TANK:	3634 Gallon MicroSepTec ES12 (N)
PRESENT:	1 - 6' X 30' BI w/7' Cap (B-2) (N)
FUTURE:	3 - 6' X 29' BI w/7' Cap
PERC RATE:	11,700 gpd/20.70 gpft <sup>2</sup> (B-1) (Present)
	12,780 gpd/22.61 gpft <sup>2</sup> (B-2) (Future)
	12,195 gpd/21.58 gpft <sup>2</sup> (B-3) (Future)
	11,730 gpd/20.75 gpft <sup>2</sup> (B-4) (Future)

NOTES:

1. This approval is for a new 4 bedroom single family dwelling. A new enhanced treatment onsite wastewater treatment system shall be installed, as shown.
2. The new MicroSepTec ES12 treatment tank with pump shall have 24" manholes installed to grade, as shown.
3. The present seepage pit shall have an 8" white Schedule 40 inspection riser installed from cap to grade.
4. Any deviation from this sewage disposal system site plan and/or floor plan on the reverse without prior Health Dept. approval shall nullify/void the approval.



CONSTRUCTION NOTES:

1. CONSTRUCT RETAINING WALL UNDER SEPARATE PERMIT
2. CONSTRUCT 6" CONC. CURB PER APWA STANDARD
3. CONSTRUCT 6" AREA DRAIN
4. CONSTRUCT 12"x12" CATCH WITH ATRIUM GRATE BASIN
5. CONSTRUCT 4" PVC PIPE SCHEDULE 40 OR BETTER
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LEGEND:

- BDRY
- - - - EXIST. CONTOUR LINE
- PROPOSED CONTOUR LINE
- LIMITS OF GRADING
- CUT/FILL LINE
- PROPOSED RETAINING WALL



1" = 40'



40' WIDE ROAD AND UTILITY EASEMENT  
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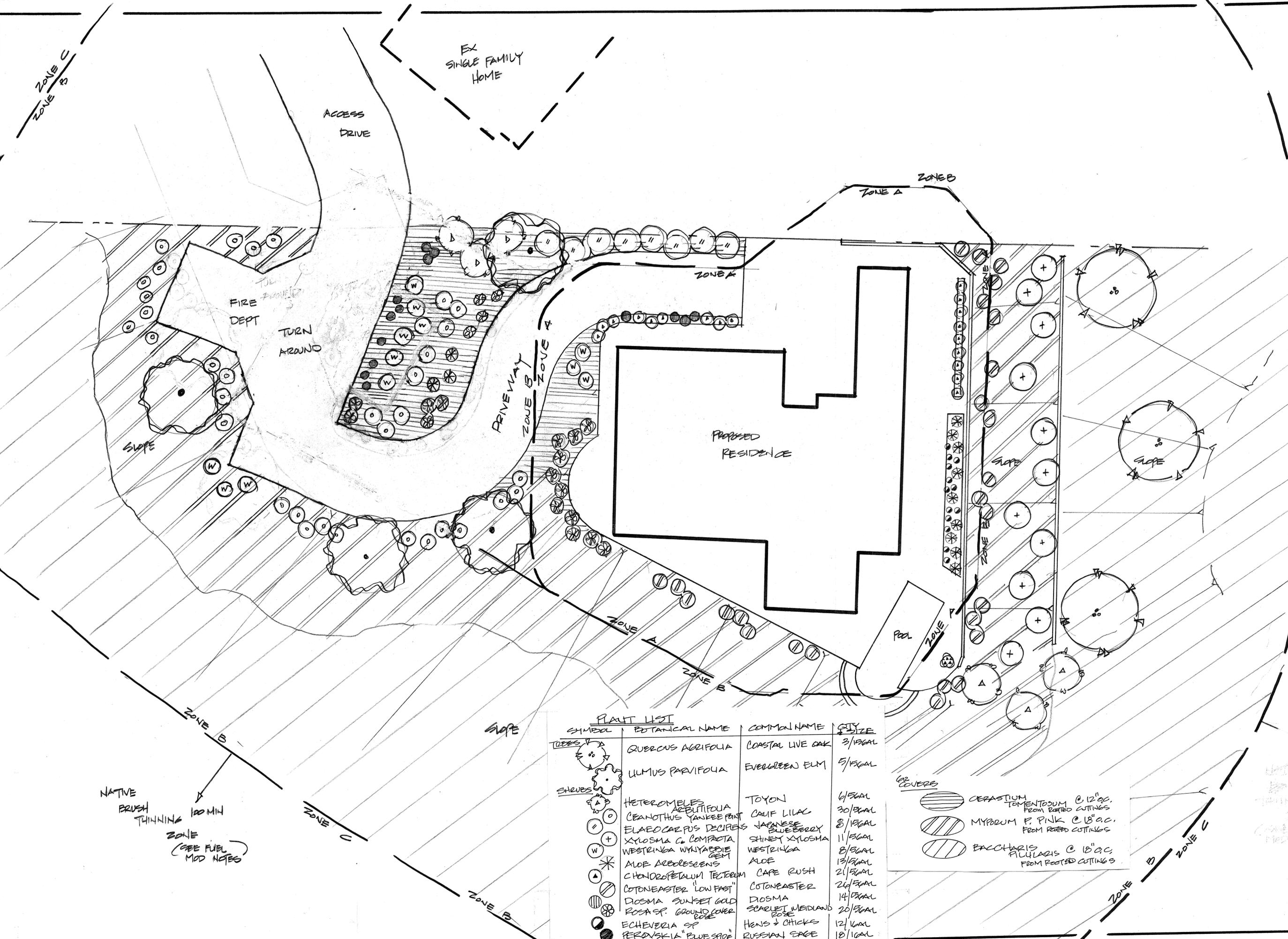


SIGNED: [Signature]  
 REGISTERED LANDSCAPE ARCHITECT  
 MASH LICENSE NO. 21114  
 DATE: 10/20/13

REVISIONS:  
 Δ 2/14 driveway layout  
 DATE: 10/20/13  
 SCALE: 1"=10'-0"  
 SHEET: 1 of 3

DESIGN COLLECTS  
 LANDSCAPE ARCHITECTURE  
 590 OTERO ST  
 SAN MARINO CALIF 91010  
 (805) 522-1266

LANDSCAPE PLAN FOR: 1020 GOLD CYN RD  
 CALABASAS, CALIFORNIA  
 PRINTING PLAN



**PLANT LIST**

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY SIZE
[Tree symbol]	QUERCUS AGRIFOLIA	COASTAL LIVE OAK	3/15GAL
[Tree symbol]	ULMUS PARVIFOLIA	EVERGREEN ELM	5/15GAL
[Shrub symbol]	HETEROMELES AZULIFOLIA	TOYON	6/5GAL
[Shrub symbol]	CEANOTHUS YANKEE PANT	CAJIF LILAC	30/5GAL
[Shrub symbol]	ELAEOCARPUS DECIPENS	JAPANESE BLUEBERRY	8/15GAL
[Shrub symbol]	XYLOSMA C. COMPACTA	SHINY XYLOSMA	11/5GAL
[Shrub symbol]	WESTRINGIA WYNYARDIE GEM	WESTRINGIA	8/5GAL
[Shrub symbol]	ALOE ABOLESCENS	ALOE	13/5GAL
[Shrub symbol]	CHONDROPETALUM TECTORUM	CAPE RUSH	21/5GAL
[Shrub symbol]	COTONEASTER "LOW FAST"	COTONEASTER	24/5GAL
[Shrub symbol]	DIOSMA SUNSET GOLD	DIOSMA	14/15GAL
[Shrub symbol]	ROSA SP. GROUND COVER ROSE	SCARLET MEADOWS ROSE	20/5GAL
[Shrub symbol]	ECHEVERIA SP.	HENS & CHICKS	12/1GAL
[Shrub symbol]	PEROVSKIA "BLUE SPIRE"	RUSSIAN SAGE	18/1GAL

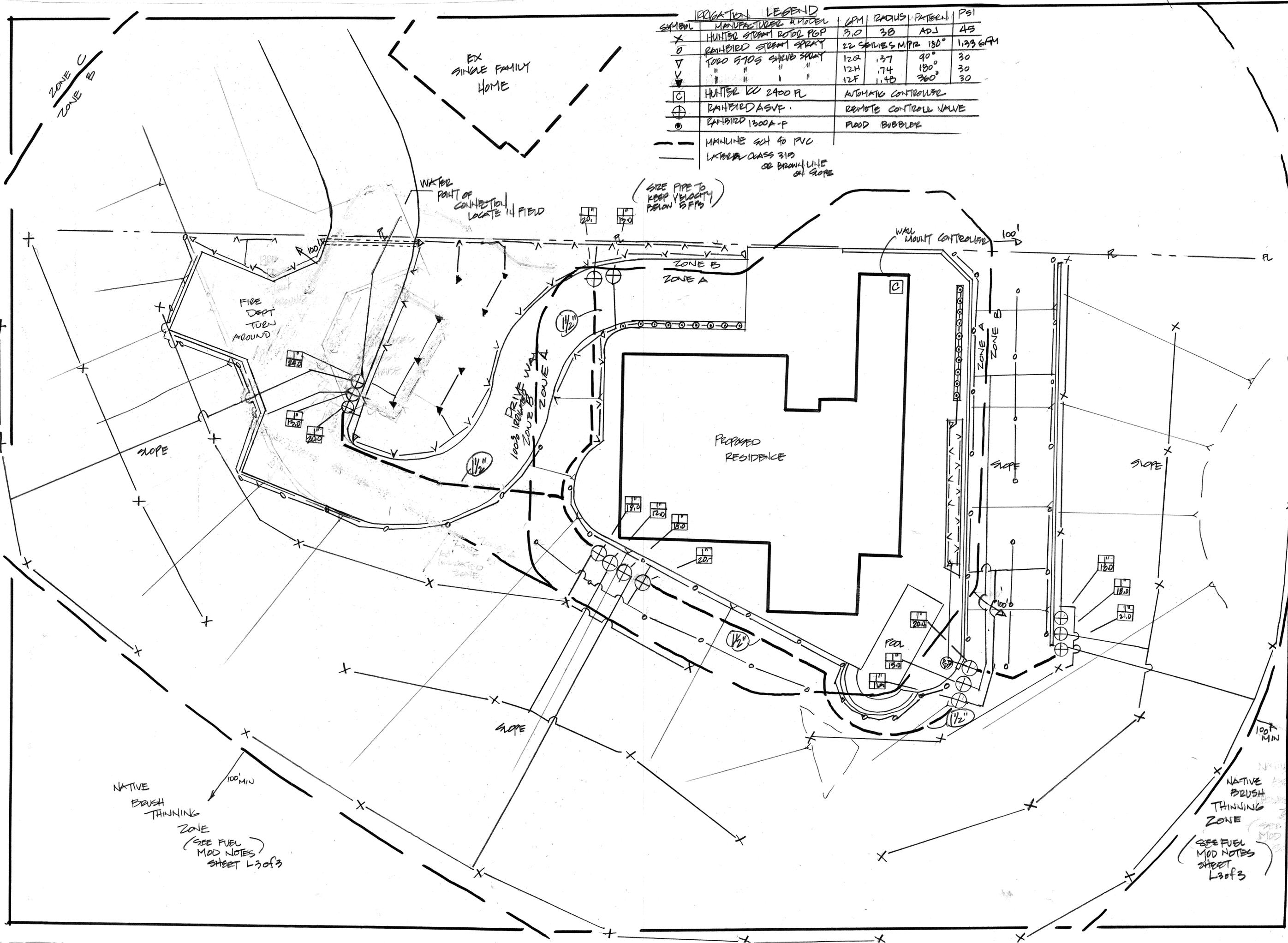
- COVERS**
- [Hatched circle symbol] CERASTIUM TOMENTOSUM @ 12" O.C. FROM ROOTED CUTTINGS
  - [Diagonal hatched circle symbol] MYRTUM P. PINK @ 18" O.C. FROM ROOTED CUTTINGS
  - [Diagonal hatched circle symbol] BACCHARIS FULVILARIS @ 18" O.C. FROM ROOTED CUTTINGS

NATIVE BRUSH THINNING 100 MIN  
 ZONE C  
 (SEE FUEL MOD NOTES)



**IRRIGATION LEGEND**

SYMBOL	MANUFACTURER & MODEL	GPM	RADIUS	PATTERN	PSI
X	HUNTER STREAM ROTOL POP	3.0	38	ADJ	45
o	RAINBIRD STREAM SPRAY	22 SPINES MPR	180"		1,333 GPM
∇	TORO 570S SHROB SPRAY	12R	1.37	90°	30
∇	" " " "	12H	.74	180°	30
∇	" " " "	12F	1.48	360°	30
□	HUNTER VC 2400 PL	AUTOMATIC CONTROLLER			
⊕	RAINBIRD ASVF	REMOTE CONTROL VALVE			
⊙	RAINBIRD 1800A-F	FLOOD BUBBLER			
---	MAINLINE SCH 40 PVC				
---	LATERAL CLASS 315 OR BRONZE LINE ON SLOPE				



REVISIONS:  
 Δ 2/1/14 PERMANENT LAYOUT

DATE: 10/28/13  
 SCALE: 1"=10'-0"  
 SHEET: L2 of 3

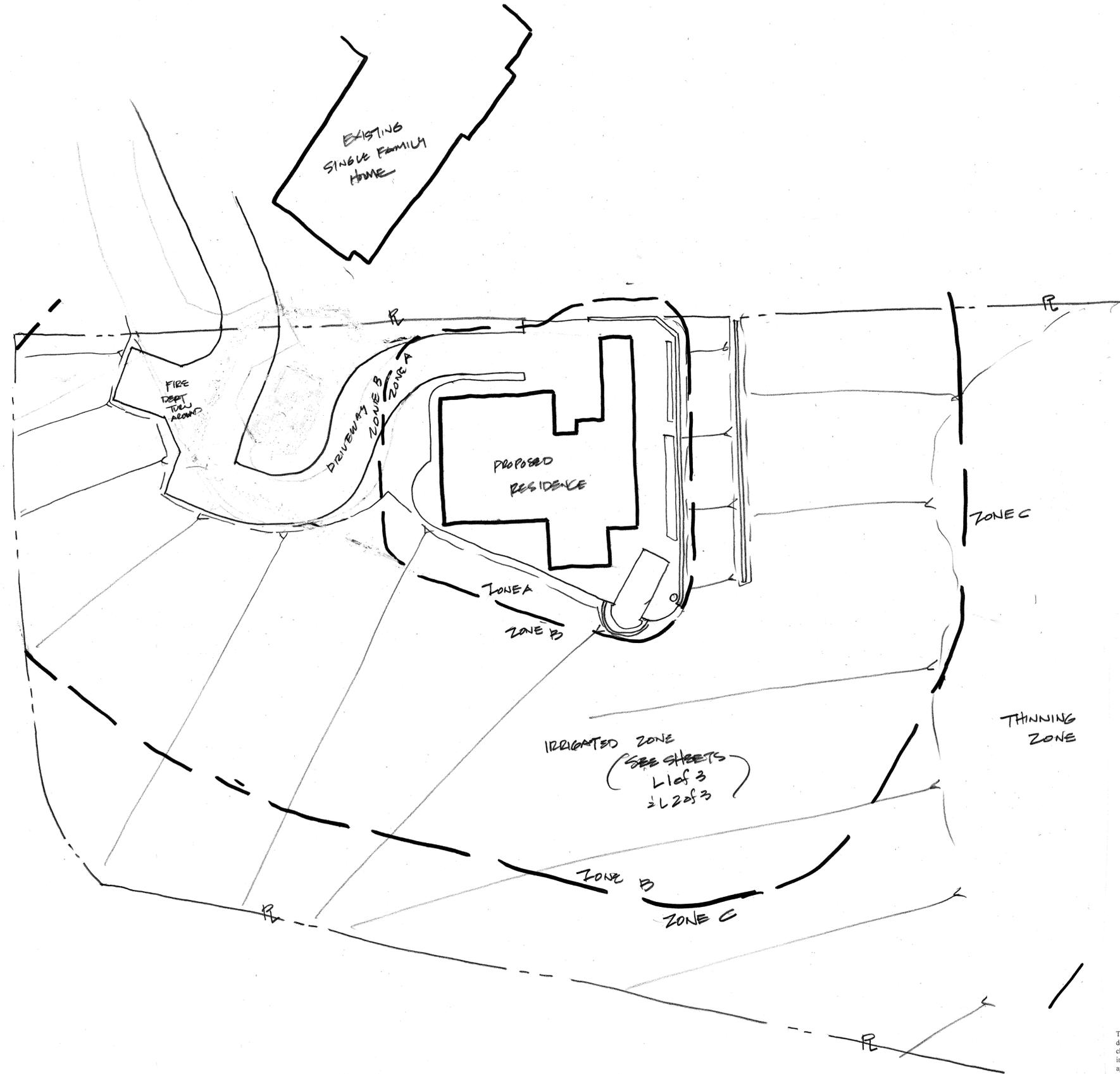
BY: DESIGN CONCEPTS  
 LANDSCAPE ARCHITECTURE  
 580 OTTAWA ST  
 SAN RAFAEL, CALIF 94903  
 (505) 522-1266

LANDSCAPE PLAN FOR: 1620 CAD OYN RD  
 CARBONAS, CALIFORNIA

IRRIGATION PLAN

NATIVE BRUSH THINNING ZONE  
 SEE FUEL MOD NOTES SHEET L3 of 3

COLD CYN RD



ASSESSMENT FOR FUEL MODIFICATION PLAN #

Zone A - Setback Zone

- Extends 20 feet beyond the edge of any combustible structure, accessory structure, appendage or projection.
- Irrigation by automatic or manual systems shall be provided to landscaping to maintain healthy vegetation with high live fuel moisture and greater fire resistance.
- Landscaping and vegetation in this zone shall consist primarily of green lawns, ground covers, and adequately spaced shrubs and trees. The overall characteristics of the landscape shall provide adequate defensible space in a fire environment.
- Plants in Zone A shall be inherently highly fire resistant and spaced appropriately. Species selection should be made referencing the *Fuel Modification Plant Reference*. Other species may be utilized subject to approval.
- Except for dwarf varieties or mature trees small in stature, trees are generally **not recommended** within Zone A.
- Target species will typically not be allowed within 30 or more feet of combustible structures and may require removal if existing on site.
- Vines and climbing plants shall not be allowed on any combustible structure.

Zone B - Irrigated Zone

- Extends from the outermost edge of Zone A to 100 feet from structure.
- Irrigation by automatic or manual systems shall be provided to landscaping to maintain healthy vegetation with high live fuel moisture and greater fire resistance.
- Landscaping and vegetation in this zone shall typically consist primarily of green lawns, ground covers, and adequately spaced shrubs and trees. The overall characteristics of the landscape shall provide adequate defensible space in a fire environment.
- Plants in Zone B shall be fire resistant and spaced appropriately. Species selection should be made referencing the *Fuel Modification Plant Reference*. Other species may be utilized subject to approval.

Zone C - Native Brush Thinning Zone

- Extends from the outermost edge of Zone B to 200 feet from structure.
- Irrigation systems are not required for this zone. (Native plants are generally not compatible with regular, un-seasonal supplemental water.)
- Landscaping and vegetation in this zone may consist of modified existing native plants, adequately spaced ornamental shrubs and trees, or both. There may also be replacement landscape planting with ornamental or less flammable native species to meet minimum slope coverage requirements of City or County Public Works or Parks & Recreation Landscape or Hillside ordinances. In all cases the overall characteristics of the landscape shall provide adequate defensible space in a fire environment.
- Existing native vegetation shall be modified by thinning and removal of species constituting a high fire risk; including but not limited to laurel sumac, chamise, ceanothus, sage, sage brush, buckwheat, and California juniper. Please reference the *Fuel Modification Plant Reference*.
- Fuel loads shall be reduced by pruning up the lower 1/3 of remaining trees or shrubs and removing dead wood. Native plants may be thinned by reduced amounts as the distance from development increases.
- Plants in Zone C shall be spaced appropriately. Species selection should be made referencing the *Fuel Modification Plant Reference*. Other species may be utilized subject to approval.
- General spacing for existing native shrubs or groups of shrubs is 15 feet between canopies.
- General spacing for existing native trees or groups of trees is 20 feet between canopies.

ZONE C

Fire Access Road Zone

- Extends 10 feet from the edge of any public or private roadway that may be used as access for fire-fighting apparatus or resources.
- Clear and remove flammable growth for a minimum of 10 feet on each side of Fire Access Roads. (Fire Code 317.10)
- Fire access roads, driveways and turnarounds shall be maintained in accordance with fire code. Fire Access Roads shall have unobstructed vertical clearance. (Fire Code 503.2.1)
- Landscaping and native plants within the 10-foot Fire Access Road Zone shall be appropriately spaced and maintained to provide safe egress in wildland fire environments.

Maintenance

- Routine maintenance shall be regularly performed in all zones which requires:
- Removal or thinning of undesirable combustible vegetation and replacement of dead or dying landscaping.
- Pruning and thinning to reduce the overall fuel load and continuity with other fuels.
- Pruning lower branches of trees and tree-form shrubs to 1/3 of their height (or 6 feet from lowest hanging branches) to help prevent fire from spreading upward into the crown.
- Unless otherwise approved, Ground covers shall be maintained at a height not to exceed 6 inches in Zone A, 12 inches within 50 feet of a structure in Zone B, and 18 inches in Zone B beyond 50 feet. Annual grasses and weeds shall be maintained at a height not to exceed 3 inches.
- Accumulated plant litter and dead wood shall be removed. Debris and trimmings produced by thinning and pruning should be removed from the site or chipped and evenly dispersed in the same area to a maximum depth of 5 inches.
- Manual and automatic irrigation systems shall be maintained for operational integrity and programming. Effectiveness should be regularly evaluated to avoid over or under-watering.
- Compliance with the Fire Code is a year-round responsibility. Enforcement will occur following inspection by the Fire Department annually and as needed. Annual inspections are conducted following the natural drying of grasses and fine fuels, between the months of April and June depending on geographic region.
- Brush Clearance enforcement issues on adjacent properties should be directed to the County of Los Angeles Fire Department's Brush Clearance Unit at (626) 969-2375.
- All future plantings shall be in accordance with the County of Los Angeles Fire Department Fuel Modification Guidelines and approved prior to installation. Changes to the approved plan which require an additional plan review will incur a plan review fee.
- Questions regarding landscape planting and maintenance with regard to fire safety should be directed to the Fire Department's Fuel Modification Unit at (626) 969-5205.

Long Term Maintenance Agreement

The property owner(s) agree to be responsible for the long-term maintenance of this fuel modification plan, as described herein. Notification of Fuel Modification requirements is to be made upon sale to new owners. Proposed changes to the Final Fuel Modification plan must be submitted to the Fuel Modification Unit for approval, prior to implementation. Regular inspections will be performed by the Fire Department to ensure compliance with the approved plan. Failure to comply with the Fuel Modification Plan requirements may result in an Administrative Fire not to exceed \$1000 and possible legal action.

Name (Print) \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

Name (Print) \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

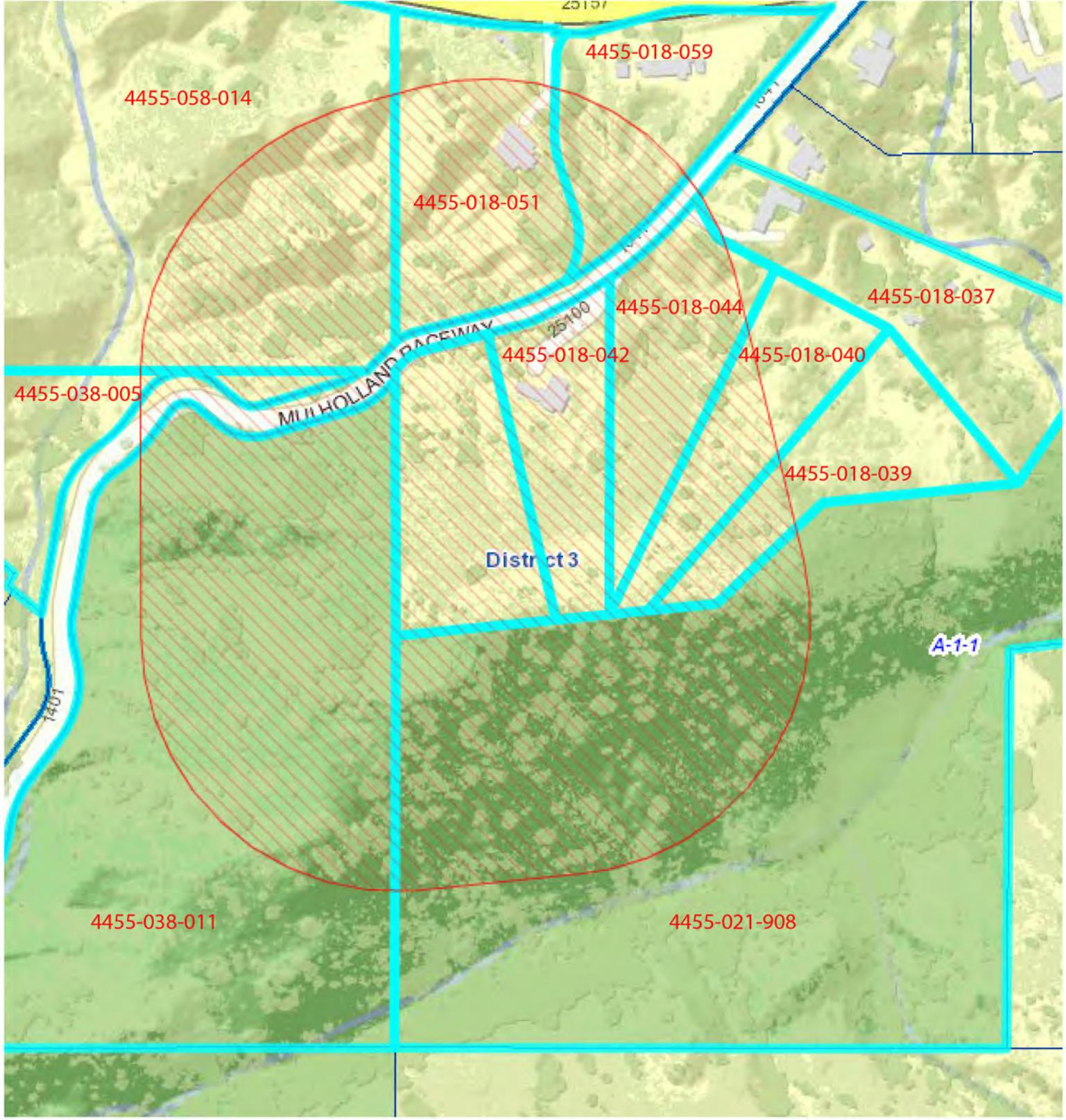


REVISIONS:  
 1/21/14  
 2/11/14  
 3/11/14  
 4/11/14  
 5/11/14  
 6/11/14  
 7/11/14  
 8/11/14  
 9/11/14  
 10/11/14  
 11/11/14  
 12/11/14

DATE: 10/28/13  
 SCALE: 1" = 20'-0"  
 SHEET: 1 of 3

BY: DESIGN CONCEPTS  
 LANDSCAPE ARCHITECTIVE  
 586 OTTAWO ST  
 GARDEN GROVE, CALIF 92610  
 (949) 922-1266

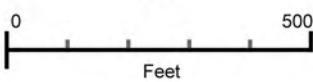
LANDSCAPE PLAN FOR:  
 FUEL MOD NOTES & SITE PLAN  
 1620 GOLD CYN RD  
 CALABASAS, CALIFORNIA



# 1620 Coid Canyon Rd. 4455-018-043, 500m buffer

Printed: Jul 21, 2014

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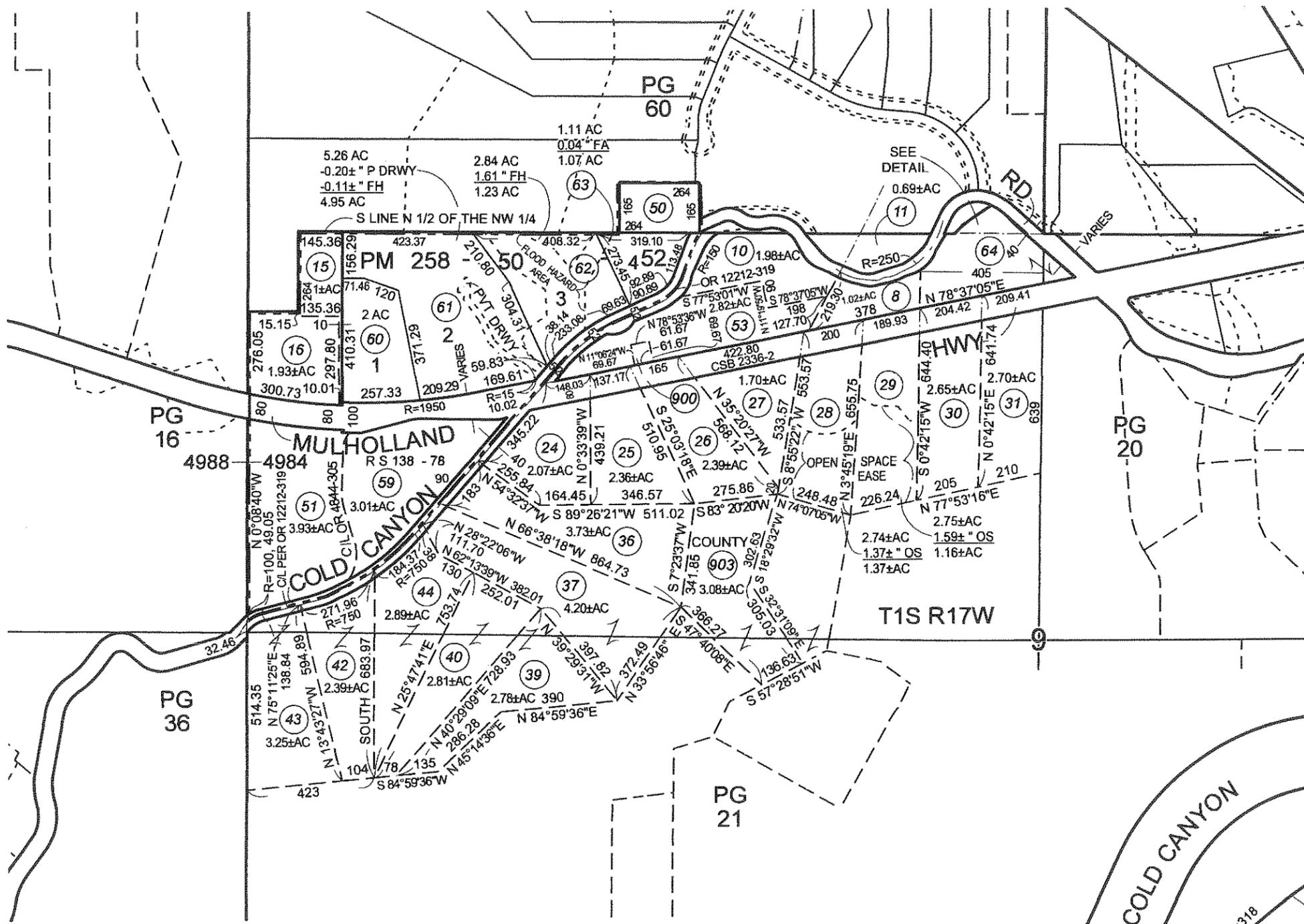


Parcels	AIN	Owner	Special Name	Situs Address	Situs City	Situs ZIP	Year Built Bldg 1	Acres	Use Type	Use Descri	Use Code
	4455018051	CUNNINGHAM -SUSAN E TR SUSAN CUNNINGHAM TRUST		25174 MULHOLLAND HWY	CALABASAS CA	91302-198	1988	4.3	Residential		100
	4455018042	KOLODZIEJSKI -CHRIS AND KIMBERLY		1640 COLD CANYON RD	CALABASAS CA	91302-226	1987	2.5	Residential		100
	4455021908	L A COUNTY	MOUNTAINS RESTORATION TRUST	0				29.6	Residential	Natural	010V
	4455038005	LASSITER -JAMES CO TR TREY TRUST		0				2.4	Residential		010V
	4455058014	LASSITER -JAMES CO TR HER LAKE TRUST	TODD GELFAND	0				47	Residential		010V
	4455018044	MALIBU MOUNTAIN VIEW ESTATES	C/O MARIA GIULIANO	0				2.9	Residential		010V
	4455018043	MARZBAN -MOHSEN AND MARYAM		0				3.2	Residential		010V
	4455038011	MOUNTAINS RESTORATION TRUST		0				20.3	Residential	Natural	010V
	4455018059	PIATT -JULIE M		25154 MULHOLLAND HWY	CALABASAS CA	91302-198	2002	3.4	Residential		101
	4455018040	SATTERLEE -WILLIAM A CO TR W AND K SATTERLEE FAMILY TRUST		0				2.6	Residential		010V
	4455018037	WALLACE -DONALD AND JEANINE TRS D AND J WALLACE TRUST		1710 COLD CANYON RD	CALABASAS CA	91302-230	1976	4.2	Residential		100
	4455018039	YAZEJIAN -BRUCE E AND BANNER -LISA R		0				2.7	Residential		010V

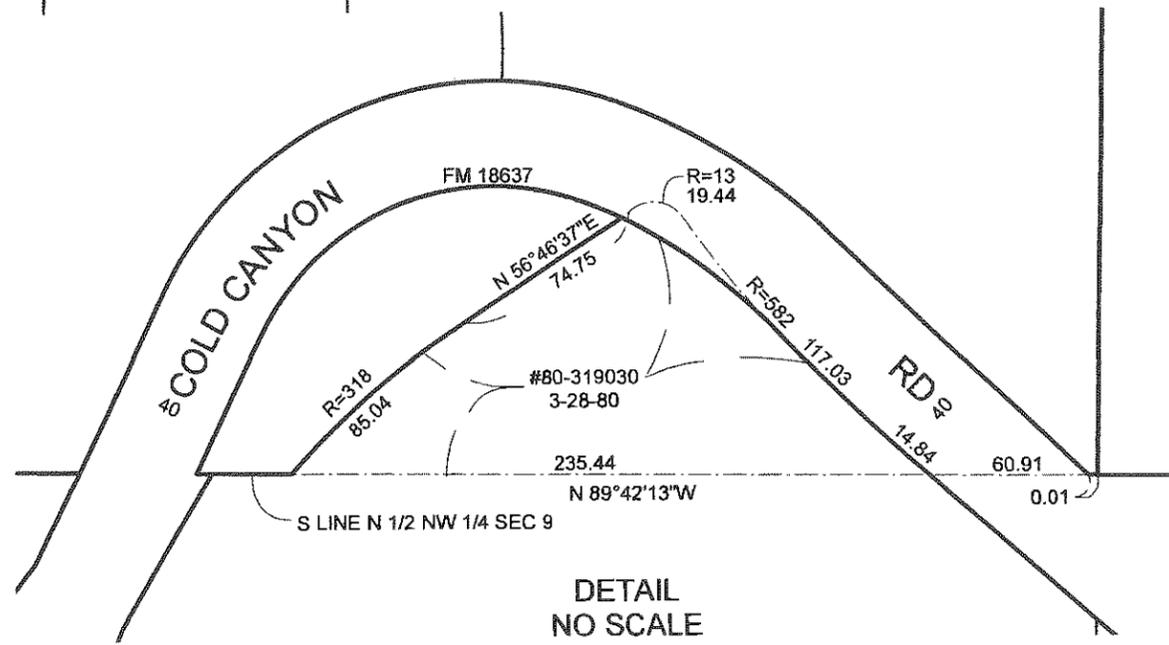
2014



MAPPING AND GIS SERVICES SCALE 1" = 400'

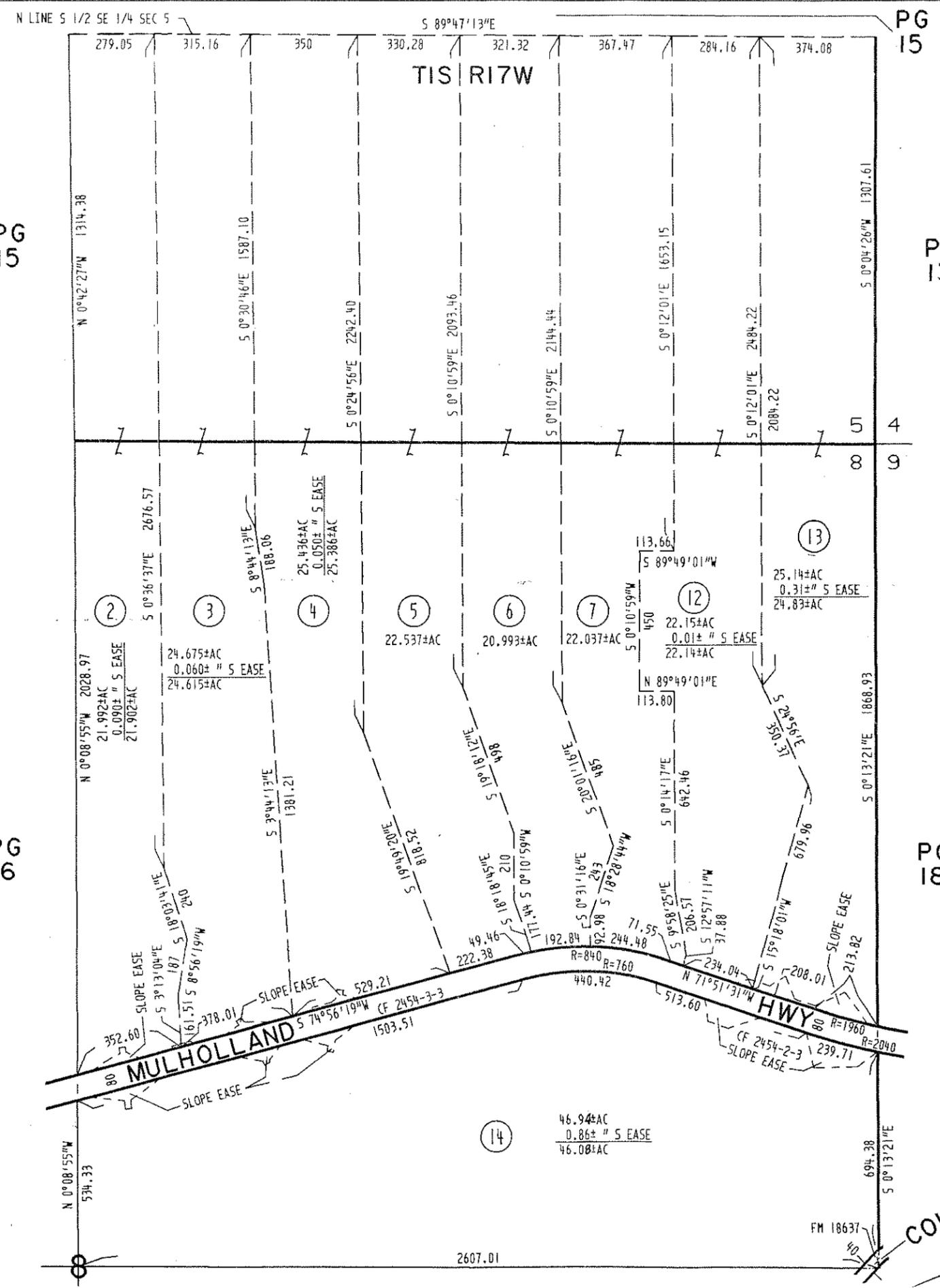


ALL 900 SERIES PARCELS ON THIS PAGE ARE ASSESSED TO LAS VIRGENES MUNICIPAL WATER DISTRICT UNLESS OTHERWISE NOTED.



DETAIL NO SCALE

1997



PG 15

PG 15

PG 13

PG 16

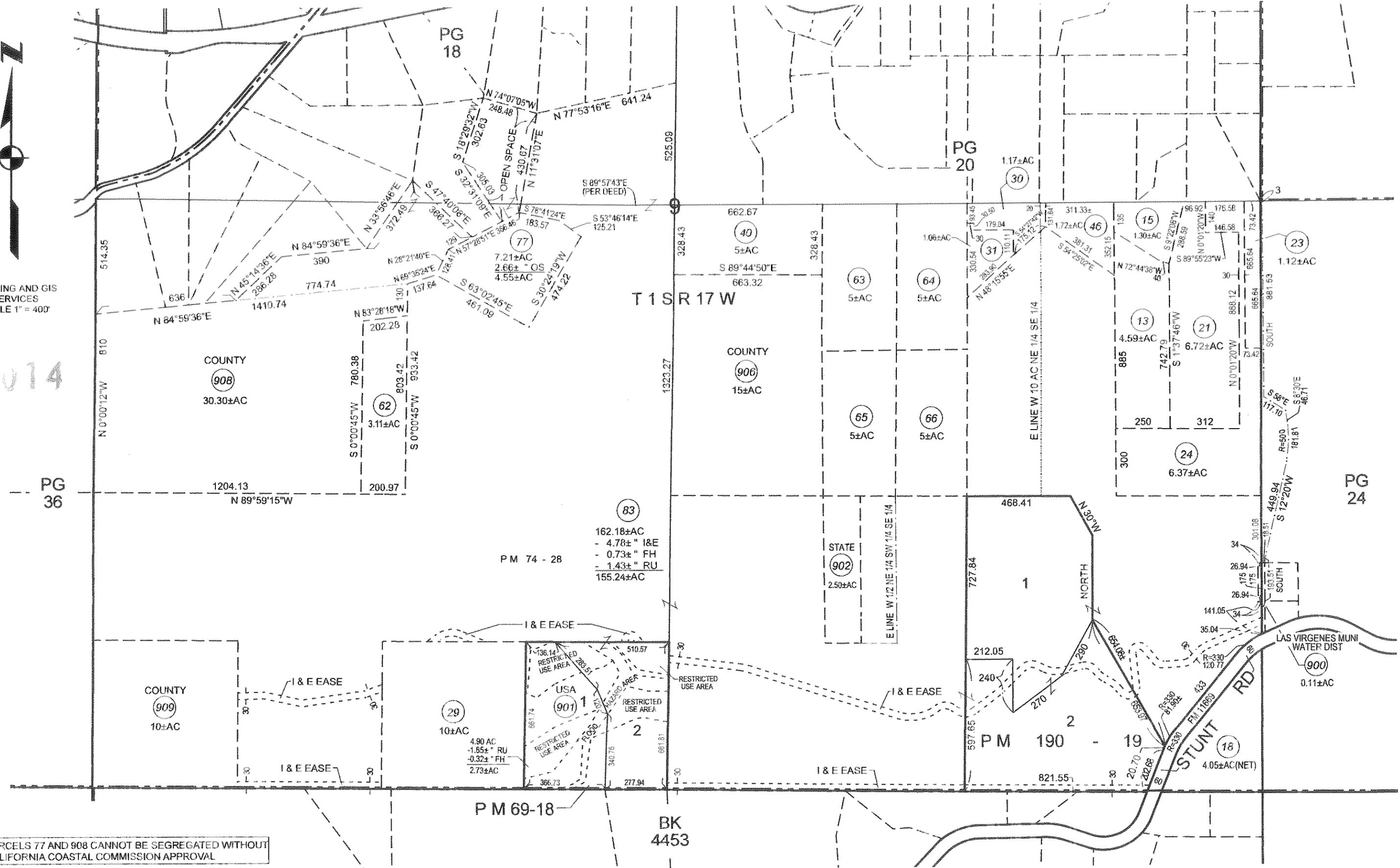
PG 18

PG 32



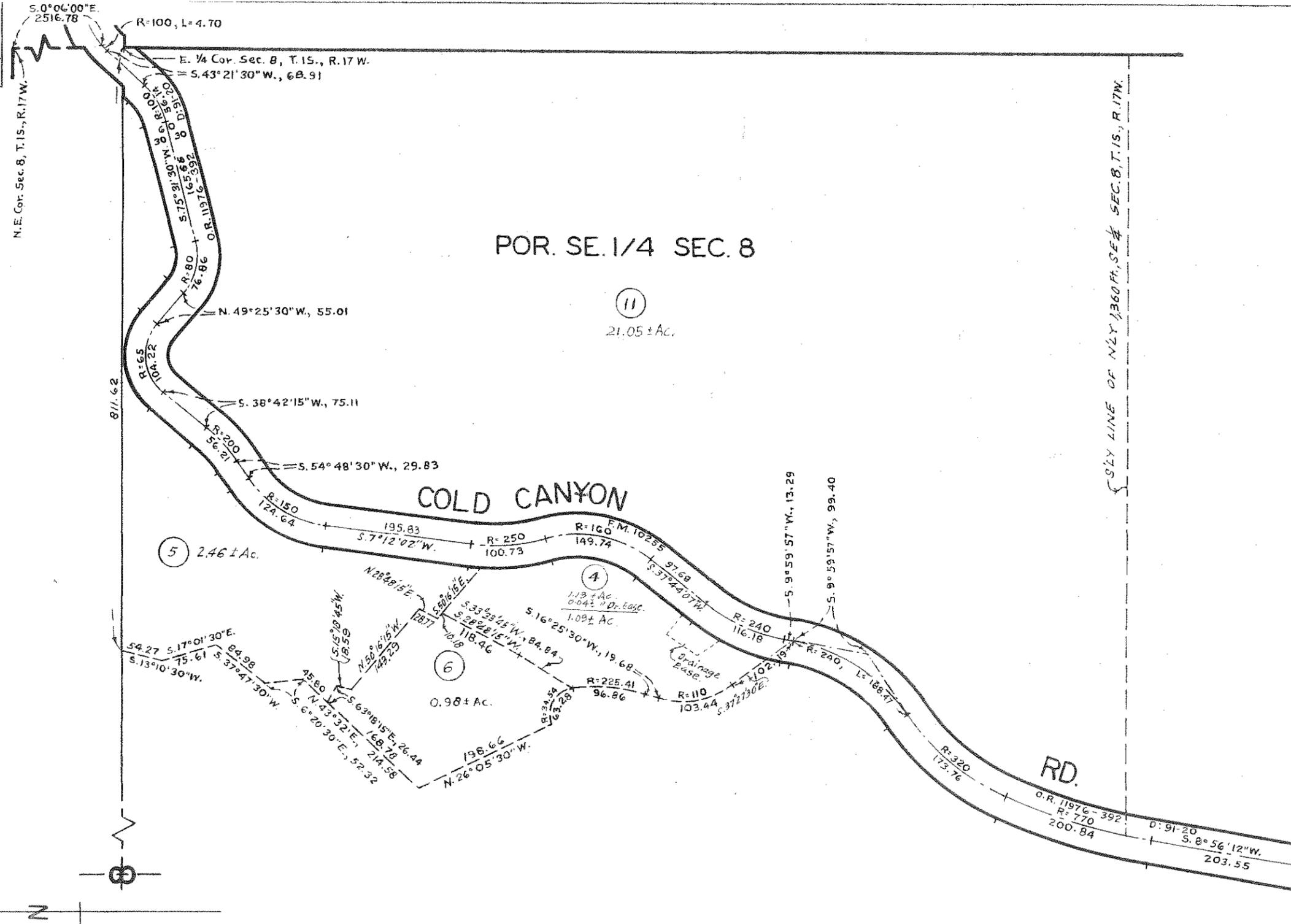
MAPPING AND GIS SERVICES SCALE 1" = 400'

2014



PARCELS 77 AND 908 CANNOT BE SEGREGATED WITHOUT CALIFORNIA COASTAL COMMISSION APPROVAL

2011



POR. SE. 1/4 SEC. 8

COLD CANYON

RD.

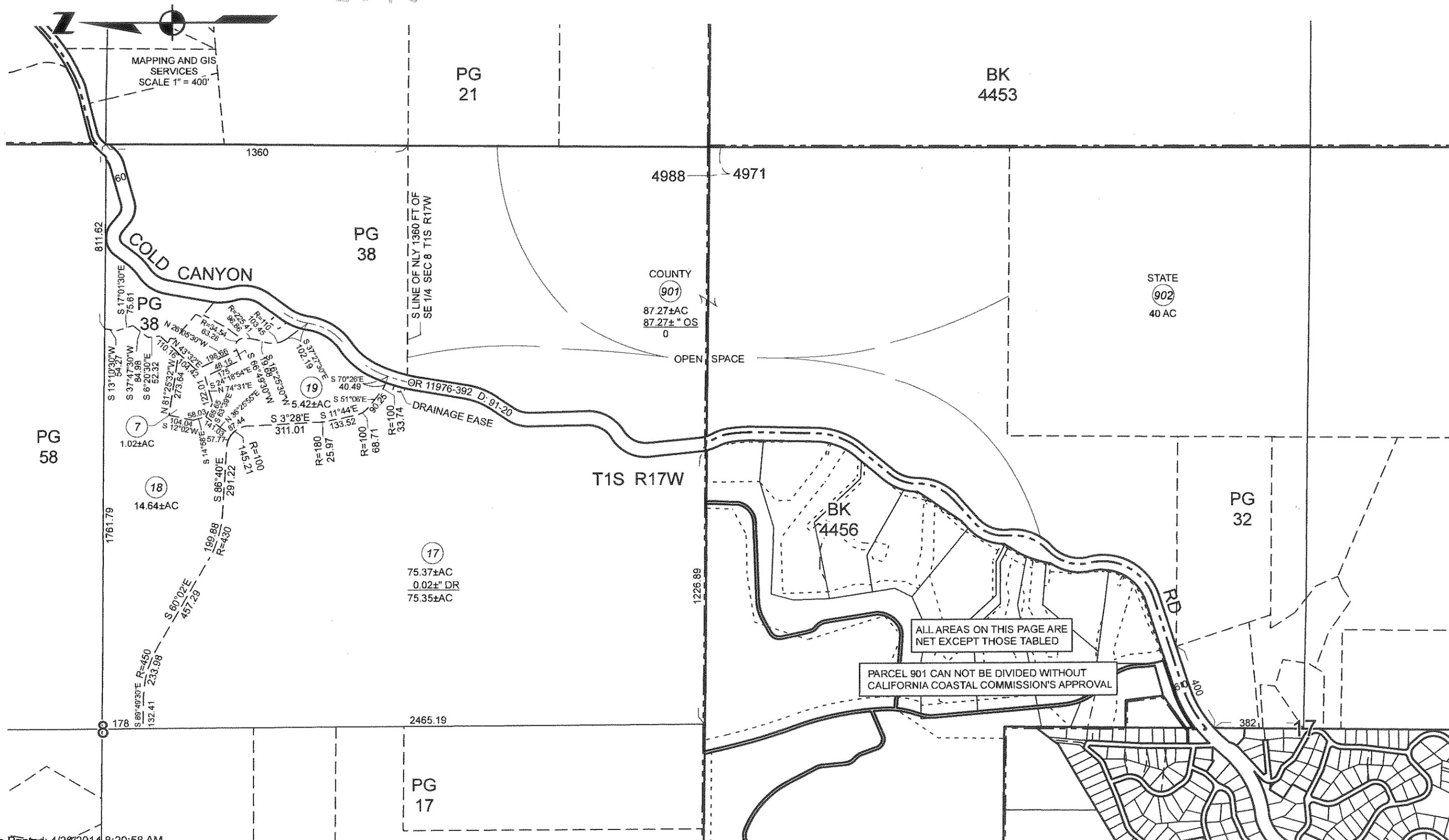
WEST LINE OF NLY 1/2 SEC. 8, T. 15S., R. 17W.



CODE  
4988

T. 15S., R. 17W.

2015



MAPPING AND GIS SERVICES SCALE 1" = 400'

PG 21

BK 4453

1360

4988 4971

PG 38

S LINE OF NLY 1360 FT OF SE 1/4 SEC 8 T1S R17W

COUNTY 901 87.27±AC 87.27±" OS 0

STATE 902 40 AC

OPEN SPACE

COLD CANYON

PG 38

OR 11976-392 D: 91-20 DRAINAGE EASE

T1S R17W

PG 58

BK 4456

PG 32

7 1.02±AC

18 14.64±AC

17 75.37±AC 0.02±" DR 75.35±AC

ALL AREAS ON THIS PAGE ARE NET EXCEPT THOSE TABLED

PARCEL 901 CAN NOT BE DIVIDED WITHOUT CALIFORNIA COASTAL COMMISSION'S APPROVAL

8 178

2465.19

1226.89

PG 17

382