

# Hearing Officer Transmittal Checklist

Hearing Date  
4/15/2014  
Agenda Item No.  
5

Project Number: R2013-01451-(5)  
Case(s): Conditional Use Permit Case No. 201300074  
Environmental Assessment Case No. 201300130  
Planner: Richard Claghorn

- Project Summary
- Property Location Map
- Staff Analysis
- Draft Resolution / Draft Ordinance / 8.5x11 Map (ZC or PA)
- Draft Findings
- Draft Conditions
- Burden of Proof Statement(s)
- Environmental Documentation (ND / MND / EIR)
- Correspondence
- Photographs
- Aerial Image(s)
- Land Use/Zoning Map
- Tentative Tract / Parcel Map
- Site Plan / Floor Plans / Elevations
- Exhibit Map
- Landscaping Plans

Reviewed By: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

*Paul V. DeCarthy*



Department of Regional Planning  
 320 West Temple Street  
 Los Angeles, California 90012

**PROJECT NUMBER**  
 R2013-01451-(5)

**HEARING DATE**  
 April 15, 2014

**REQUESTED ENTITLEMENTS**

Conditional Use Permit No. 201300074  
 Environmental Assessment No. 201300130

# PROJECT SUMMARY

**OWNER / APPLICANT**

Ivan I Cohen Trust / AT&T

**MAP/EXHIBIT DATE**

November 18, 2013

**PROJECT OVERVIEW**

The applicant, AT&T, is requesting a Conditional Use Permit (“CUP”) to authorize a wireless telecommunications facility (“WTF”) within the M-1 (Light Manufacturing) Zone. A CUP is required in the M-1 zone for radio towers, including WTFs, pursuant to Sections 22.32.070 and 22.28.260 of the Los Angeles County Code. The existing site consists of a self-service storage facility, a permitted use in the M-1 Zone approved in 1999 by Plot Plan 46236. The WTF will consist of the placement of 12 eight-foot panel antennas, two GPS antennas and ancillary radio equipment on a new 65 foot tall stealth tower, with additional radio cabinets placed within a new equipment shelter within a lease area of approximately 30 feet by 40'-6” in area. The tower is a mono-eucalyptus designed to resemble a eucalyptus tree. The purpose of the WTF is to close a significant gap in coverage for the applicant’s service and to provide 4G/LTE coverage, which is currently non-existent within the coverage area.

**LOCATION**

32015 The Old Road, Castaic

**ACCESS**

Existing driveway from The Old Road

**ASSESSORS PARCEL NUMBER(S)**

2865-001-008

**SITE AREA**

3.84 Acres

**GENERAL PLAN / LOCAL PLAN**

Santa Clarita Valley Area Plan

**ZONED DISTRICT**

Castaic Canyon

**LAND USE DESIGNATION**

IL (Light Industrial)

**ZONE**

M-1(Light Manufacturing)

**PROPOSED UNITS**

N/A

**MAX DENSITY/UNITS**

N/A

**COMMUNITY STANDARDS DISTRICT (CSD)**

Castaic CSD

**ENVIRONMENTAL DETERMINATION (CEQA)**

Class 3 Categorical Exemption – New Construction or Conversion of Small Structures

**KEY ISSUES**

- Consistency with the Los Angeles County General Plan and the prior adopted Santa Clarita Valley Area Plan
- Satisfaction of the following Section(s) of Title 22 of the Los Angeles County Code:
  - 22.56.040 (Conditional Use Permit Burden of Proof Requirements)
  - 22.32.070 (M-1 Zone Uses Subject to Permit)
  - 22.32.080 (M-1 Zone Development Standards)
  - 22.28.260 (C-M Zone Uses Subject to Permit)
  - 22.44.137 (Castaic Community Standards District)

**CASE PLANNER:**

Richard Claghorn

**PHONE NUMBER:**

(213) 974 - 6443

**E-MAIL ADDRESS:**

rclaghorn@planning.lacounty.gov



## Project R2013-01451 Vicinity Map

Printed: Mar 10, 2014

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### **ENTITLEMENTS REQUESTED**

- Conditional Use Permit ("CUP") for a new unmanned wireless telecommunications facility ("WTF") in the M-1 (Light Manufacturing) Zone pursuant to Los Angeles County ("County") Code Sections 22.32.070 and 22.28.260.

### **PROJECT DESCRIPTION**

The applicant, AT&T, is requesting a CUP to authorize a wireless telecommunications facility within the M-1 (Light Manufacturing) Zone. A CUP is required in the M-1 zone for radio towers, including WTFs, pursuant to Sections 22.32.070 and 22.28.260 of the Los Angeles County Code (Title 22). The existing site consists of a self-service storage facility, a permitted use in the M-1 Zone approved in 1999 by Plot Plan 46236. The WTF will consist of the placement of 12 eight-foot panel antennas, two GPS antennas and ancillary radio equipment on a new 65 foot tall stealth tower, with additional radio cabinets placed within a new 20' x 11'-5" equipment shelter. The equipment will be located within a lease area of approximately 30 feet by 40'-6" in area. The tower is a mono-eucalyptus designed to resemble a eucalyptus tree. The purpose of the WTF is to close a significant gap in coverage for the applicant's service and to provide 4G/LTE coverage, which is currently non-existent within the coverage area.

### **EXISTING ZONING**

The subject property, located at 32015 The Old Road, Castaic, is zoned M-1.

Surrounding properties are zoned as follows:

North: M-1

South: R-1-5000 (Single-family residence-5000 square feet minimum lot size)

East: M-1, C-3 (Unlimited Commercial), SP (Specific Plan-Northlake)

West: R-1-5000

### **EXISTING LAND USES**

The subject property is developed with a self-service storage facility with manager's residence

Surrounding properties are developed as follows:

North: RV and boat storage, marine repair, marine storage

South: single-family residences

East: freeway, vacant land, landscape storage, equipment rental and storage, office, senior apartments

West: single-family residences

### **PREVIOUS CASES/ZONING HISTORY**

- Plot Plan 46236
  - This plot plan approval authorized the construction of a self-service storage facility and manager's residence
  - Plot Plan 46236 was approved on May 20, 1999.
  - Revised Plot Plan 46236 was approved on September 21, 1999.

### ENVIRONMENTAL DETERMINATION

Los Angeles County ("County") Staff recommends that this project qualifies for a Categorical Exemption (Class 3 Exemption, New construction or conversion of small structures) under the California Environmental Quality Act (CEQA) and the County environmental guidelines. The property is not in an environmentally sensitive area and the site is already developed. The addition of the proposed WTF will not substantially alter the existing environment of the site and the proposed structures are small in area. Therefore, staff recommends that the Hearing Officer determine that the project is categorically exempt under CEQA.

### STAFF EVALUATION

#### General Plan/Community Plan Consistency

The project site is located within the IL (Light Industrial) land use category of the Santa Clarita Valley Area Plan ("SCVA Plan"). This designation is intended for light industrial uses, such as the primary use of the property, which is a self-service storage facility. The proposed WTF is also consistent with the land use category.

The following policy of the General Plan is applicable to the proposed project:

- *General Plan Public Services Policy 58: "Maintain high quality emergency response services."*

Cellular service is often used to make emergency calls. The proposed facility will ensure that such service is readily available in the area, and useable in the case of an emergency.

The following policy of the Community Plan is applicable to the proposed project:

- *SCVA Plan, Guiding Principles, Infrastructure, Principle 29: "Public infrastructure shall be improved, maintained, and expanded as needed to meet the needs of projected population and employment growth and contribute to the Valley's quality of life."*

AT&T is a licensee authorized by the Federal Communications Commission ("FCC") to provide wireless services in the region and to establish a network of WTFs in the metropolitan area and beyond. Although this facility is not considered public infrastructure, it will provide a benefit to the general public by significantly improving cell phone service in the vicinity and closing a significant gap in coverage. This will facilitate communications in the area and will increase public safety by allowing the public to contact emergency service providers much more quickly and easily than is currently possible in the area. It will help to improve the telecommunications infrastructure of the area and will benefit the large and growing number of users of cell phone technology. The improvement in service is consistent with guiding principles of the SCVA Plan.

Zoning Ordinance and Development Standards Compliance

Title 22 of the County Code does not explicitly specify 'WTF' as a use. The use most consistent with a WTF specified in the County Code is 'radio or television stations and towers'. Pursuant to Sections 22.32.070 and 22.28.260 of the County Code, development of radio and television stations and towers is a permitted use of property in Zone M-1, provided that a CUP is first obtained.

In addition, the project complies with applicable development standards of Subdivision and Zoning Ordinance Policy No. 01-2010 (Wireless Telecommunications Facilities). The cell phone tower will be 65 feet in height, below the maximum 75 foot limit, and will be designed and camouflaged to appear as a Eucalyptus tree, and at a distance will be similar in appearance to other existing trees in the vicinity. The WTF equipment shed will be hidden from public view as seen from The Old Road because of the existing self-storage buildings along the street frontage. Much of the tower will be visible from surrounding areas, although its visual impact will not be significant because it will be camouflaged as a eucalyptus tree, blending in with other nearby trees.

The existing self-service storage facility is subject to the development standards of Section 22.52.1320 of the County Code. The site plan approved under Plot Plan 46236 in 1999 was found to be in compliance with these standards and the property continues to comply with the development standards based on a site visit conducted on September 26, 2013. The self-service storage facility will continue to remain in compliance with the standards after development of the WTF based on the proposed site plan. A minimum of 14 parking spaces are required for the property, based on one parking space per 7,000 square feet of gross storage building area, plus two spaces for the manager's unit. The gross storage building area is 85,904 square feet, requiring 12 parking spaces. Two parking spaces are required for the manager's unit. No additional spaces are required for the new WTF. The number of parking spaces provided is 17, including two spaces in the garage attached to the manager's unit. One space is a van accessible handicapped space compliant with Americans with Disabilities Act requirements.

Pursuant to Section 22.44.137.D.12 of the County Code, establishments in the Castaic Area Community Standards District (CSD) are subject to the following development standards: WTFs shall be required to co-locate. Ground-mounted WTFs shall be designed to resemble trees and building-mounted WTFs shall match, as near as possible, the color of the building and its architecture. The proposed WTF is ground-mounted and designed to resemble a tree. There are no other existing WTFs in the vicinity, so co-location at an existing facility is not possible.

Site Visit

A site visit was conducted on September 26, 2013 by DRP staff. The site was found to be consistent with the site plan. Staff took photographs of the future WTF location and other areas of the property.

Burden of Proof

The applicant is required to substantiate all facts identified by Section 22.56.040 of the County Code. The Burden of Proof with applicant's responses is attached. Staff is of the opinion that the applicant has met the burden of proof.

*That the requested use at the location will not:*

- 1. Adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area, or*
- 2. Be materially detrimental to the use, enjoyment or valuation of property of other persons located in the vicinity of the site, or*
- 3. Jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare.*

- The proposed facility is in compliance with all of the provisions of the County Code and Federal guidelines regarding Wireless Facilities. There are no activities that will produce airborne emissions, odor, vibration, heat, glare, or noxious and airborne emissions. The cellular site does not require water or sanitary facilities and generates no wastewater. Further, the facility is well set back from the property line and is within a restricted access storage facility, thus posing no public health, safety or general welfare hazard. Adequate Fire Department access is maintained in the driveways adjoining the WTF.

*That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this Title 22, or as is otherwise required in order to integrate said use with the uses in the surrounding area.*

- The proposed site is part of a large self storage facility and the WTF takes up only a small portion of the parcel, allowing sufficient space for parking, loading, access, and the primary self-storage use of the site. The parcel is adequate in size for the current use on the parcel and the new WTF.

*That the proposed site is adequately served:*

- 1. By highways or streets of sufficient width, and improved as necessary to carry the kind and quantity of pedestrian, bicycle, and vehicle traffic such use would generate; and*
- 2. By other public or private service facilities as are required.*

- The proposed facility is located adjacent to the I-5 Freeway and has adequate access. The property takes access from The Old Road. The existing service facilities in the area are adequate to accommodate this use, and the new WTF

use will not burden the existing infrastructure. The WTF will be unmanned and will not increase traffic.

Neighborhood Impact/Land Use Compatibility

The proposed WTF design is appropriate for the site and area. The WTF equipment is located within a self-storage facility. The equipment shed and lower part of the tower will be obscured by the surrounding buildings, although much of the tower will be visible from surrounding areas. The facility will be visible from surrounding off-site locations, but since it will be camouflaged and designed to appear as a eucalyptus tree, it will largely blend into the surroundings and will not have a significant visual impact.

The WTF will not be detrimental to the surrounding community. The WTF provides valuable telecommunications infrastructure to the community and is consistent with the established use and zoning requirements for the subject property. This WTF will enable emergency phone calls, which is important since it is adjacent to an interstate highway exit where stranded motorists and others facing emergencies will be able to call for emergency assistance with the improved cell phone coverage. It is also in a Very High Fire Hazard Severity Zone, so the improved coverage will assist in responding to fires in an area with heightened fire danger. The additional coverage will be beneficial for residents and emergency personnel, such as the County Fire and Sheriff's Departments.

**COUNTY DEPARTMENT COMMENTS AND RECOMMENDATIONS**

The County of Los Angeles Fire Department Fire Prevention Division-Land Development Unit cleared this project for public hearing after reviewing the site plan and finding the driveway access to be adequate. No other comments were received.

**LEGAL NOTIFICATION AND PUBLIC OUTREACH**

Pursuant to the provisions of Sections 22.60.174 and 22.60.175 of the County Code, the community was appropriately notified of the public hearing by mail, newspaper, property posting, library posting and DRP website posting.

**PUBLIC COMMENTS**

Staff has not received any comments at this time.

**FEES/DEPOSITS**

If approved, fees identified in the attached project conditions will apply unless modified by the Hearing Officer.

**STAFF RECOMMENDATION**

The following recommendation is made prior to the public hearing and is subject to change based upon testimony and/or documentary evidence presented at the public hearing:

Staff recommends **APPROVAL** of Project Number R2013-01451 – (5), Conditional Use Permit Number RCUP 201300074, subject to the attached conditions.

**SUGGESTED APPROVAL MOTION**

**I, THE HEARING OFFICER, CLOSE THE PUBLIC HEARING, FIND THAT THE PROJECT IS CATEGORICALLY EXEMPT PURSUANT TO STATE AND LOCAL CEQA GUIDELINES, AND APPROVE CONDITIONAL USE PERMIT NUMBER 201300074 SUBJECT TO THE ATTACHED FINDINGS AND CONDITIONS.**

Prepared by Richard Claghorn, Planner, Zoning Permits North Section

Attachments:

Draft Findings, Draft Conditions of Approval  
Applicant's Burden of Proof statement  
Correspondence  
Site Photographs, Photo Simulations, Aerial Image  
Site Plan, Land Use Map

PM:RWC  
4/1/14

**DRAFT FINDINGS AND ORDER OF THE HEARING OFFICER  
COUNTY OF LOS ANGELES  
PROJECT NO. R2013-01451-(5)  
CONDITIONAL USE PERMIT NO. 201300074**

1. **ENTITLEMENT(S) REQUESTED.** The applicant, AT&T, is requesting a Conditional Use Permit (CUP) to authorize a wireless telecommunications facility (WTF) within an existing self-service storage facility pursuant to the Los Angeles County ("County") Code Section 22.32.070 in the M-1 (Light Manufacturing) Zone.
2. **HEARING DATE.** April 15, 2014
3. **PROCEEDINGS BEFORE THE HEARING OFFICER.** *To be inserted after the public hearing to reflect hearing proceedings.*
4. **PROJECT DESCRIPTION.** The applicant, AT&T, is requesting a CUP to authorize a wireless telecommunications facility within the M-1 (Light Manufacturing) Zone. A CUP is required in the M-1 zone for radio towers, including WTFs, pursuant to Sections 22.32.070 and 22.28.260 of the County Code (Title 22). The existing site consists of a self-service storage facility, a permitted use in the M-1 Zone, approved in 1999 by Plot Plan No. 46236. The WTF will consist of the placement of 12 eight-foot panel antennas, two GPS antennas and ancillary radio equipment on a new 65-foot-tall stealth tower, with additional radio cabinets placed within a new 20-foot by 11-foot-5-inch equipment shelter. The equipment will be located within a lease area of approximately 30 feet by 40 feet-6 inches (1,215 square feet). The tower is a mono-eucalyptus designed to resemble a eucalyptus tree. The purpose of the WTF is to close a significant gap in coverage for the applicant's service and to provide 4G/LTE coverage, which is currently non-existent within the coverage area.
5. **LOCATION.** 32015 The Old Road, Castaic, CA 91384 in the Fifth Supervisorial District and within the Castaic Canyon Zoned District and Castaic Area Community Standards District (CSD). The Assessor's Parcel Number is 2865-001-008.
6. **EXISTING ZONING.** M-1 (Light Manufacturing).

Surrounding properties are zoned as follows:

North: M-1  
South: R-1-5000 (Single-family residence-5000 square feet minimum lot size)  
East: M-1, C-3 (Unlimited Commercial), SP (Specific Plan-Northlake)  
West: R-1-5000

7. **EXISTING LAND USES.** The subject property is a self-service storage facility with an on-site manager's residence.

Surrounding properties are developed as follows:

North: RV and boat storage, marine repair, marine storage

South: Single-family residences

East: Freeway, landscape storage, equipment rental and storage, office,  
vacant land, senior apartments

West: Single-family residences

8. **PREVIOUS CASES/ZONING HISTORY.** The subject property has been zoned M-1 since August 30, 1968. A site plan review (Plot Plan No. 46236) was approved by the County Department of Regional Planning on May 20, 1999 for a self-service storage facility. The self-service storage use is permitted in the M-1 zone pursuant to Section 22.032.040 B of Title 22.

9. **GENERAL PLAN / COMMUNITY PLAN CONSISTENCY.** The project site is located within the IL (Light Industrial) land use category of the Santa Clarita Valley Area Plan ("SCVA Plan"). This designation is intended for light industrial uses, such as the primary use of the property, which is a self-service storage facility. The proposed WTF is also consistent with the land use category.

The following policy of the County General Plan is applicable to the proposed project:

*General Plan Public Services Policy 58: "Maintain high quality emergency response services."*

Cellular service is often used to make emergency calls. The proposed facility will ensure that such service is readily available in the area, and useable in the case of an emergency.

The following policy of the Community Plan is applicable to the proposed project:

*SCVA Plan, Guiding Principles, Infrastructure, Principle 29: "Public infrastructure shall be improved, maintained, and expanded as needed to meet the needs of projected population and employment growth and contribute to the Valley's quality of life."*

AT&T is a licensee authorized by the Federal Communications Commission (FCC) to provide wireless services in the region and to establish a network of WTFs in the metropolitan area and beyond. Although this facility is not considered to be public infrastructure, it will provide a benefit to the general public by significantly improving cell phone service in the vicinity and closing a significant gap in coverage. This will facilitate communications in the area and will increase public safety by allowing the public to contact emergency service

providers much more quickly and easily than is currently possible in the area. It will help to improve the telecommunications infrastructure of the area and will benefit the large and growing number of users of cell phone technology. The improvement in service is consistent with guiding principles of the SCVA Plan.

#### **10. ZONING ORDINANCE AND DEVELOPMENT STANDARDS COMPLIANCE.**

Title 22 of the County Code does not explicitly specify "WTF" as a use. The use most consistent with a WTF specified in the County Code is "radio or television stations and towers". Pursuant to Sections 22.32.070 and 22.28.260 of the County Code, development of radio and television stations and towers is a permitted use of property in Zone M-1, provided that a CUP is first obtained.

In addition, the project complies with applicable development standards of Subdivision and Zoning Ordinance Policy No. 01-2010 (Wireless Telecommunications Facilities). The cell phone tower will be 65 feet in height, below the maximum 75-foot limit, and will be designed and camouflaged to appear as a Eucalyptus tree, and at a distance will be similar in appearance to other existing trees in the vicinity. The WTF equipment shed will be hidden from public view as seen from The Old Road because of the existing self-storage buildings along the street frontage. Much of the tower will be visible from surrounding areas, although its visual impact will not be significant because it will be camouflaged as a eucalyptus tree, blending in with other nearby trees.

The existing self-service storage facility is subject to the development standards of Section 22.52.1320 of the County Code. The site plan approved under Plot Plan No. 46236 in 1999 was found to be in compliance with these standards and the property continues to comply with the development standards based on a site visit conducted on September 26, 2013. The self-service storage facility will continue to remain in compliance with the standards after development of the WTF based on the proposed site plan. A minimum of 14 parking spaces are required for the property, based on one parking space per 7,000 square feet of gross storage building area, plus two spaces for the manager's unit. The gross storage building area is 85,904 square feet, requiring 12 parking spaces. Two parking spaces are required for the manager's unit. No additional spaces are required for the new WTF. The number of parking spaces provided is 17, including two spaces in the garage attached to the manager's unit. One space is a van-accessible handicapped space compliant with Americans with Disabilities Act requirements.

Pursuant to Section 22.44.137.D.12 of the County Code, establishments in the Castaic Area Community Standards District (CSD) are subject to the following development standards: WTFs shall be required to co-locate. Ground-mounted WTFs shall be designed to resemble trees and building-mounted WTFs shall match, as near as possible, the color of the building and its architecture. The proposed WTF is ground-mounted and designed to resemble a tree. There are no other existing WTFs in the vicinity, so co-location at an existing facility is not possible.

**11. NEIGHBORHOOD IMPACT/LAND USE COMPATIBILITY.** The subject property is located west of the Golden State Freeway (Interstate 5) and east of the Old Road. Existing uses within 500 feet of the subject property include a neighborhood of single-family residences to the west on the other side of The Old Road. Light industrial uses, including boat and RV storage, a tow yard, self-storage, waste container storage, equipment rental and storage, and landscape storage are located on the parcels to the north and east on the other side of the freeway. There is also an existing office use and senior apartments to the east of the freeway within 500 feet of the subject property.

The proposed WTF design is appropriate for the site and area. The WTF equipment is located within a self-storage facility. The equipment shed and lower part of the tower will be obscured by the self-service storage facility buildings, although much of the tower will be visible from surrounding areas. The facility will be visible from off-site from surrounding locations, but since it will be camouflaged and designed to appear as a eucalyptus tree, it will largely blend into the surroundings and will not have a significant visual impact. The WTF will not be detrimental to the surrounding community. The WTF provides valuable telecommunications infrastructure to the community and is consistent with the established use and zoning requirements for the subject property. This WTF will enable emergency phone calls, which is important since it is adjacent to an interstate highway exit where stranded motorists and others facing emergencies will be able to call for emergency assistance with the improved cell phone coverage. It is also in a Very High Fire Hazard Severity Zone, so the improved coverage will assist in responding to fires in an area with heightened fire danger. The additional coverage will be beneficial for residents and emergency personnel, such as the County Fire and Sheriff's Departments.

**12. COUNTY DEPARTMENT COMMENTS AND RECOMMENDATIONS.** The County Fire Department Fire Prevention Division-Land Development Unit cleared this project for public hearing after reviewing the site plan and finding the driveway access to be adequate. No other comments were received.

**13. LEGAL NOTIFICATION AND PUBLIC OUTREACH.** Pursuant to the provisions of Sections 22.60.174 and 22.60.175 of the County Code, the community was appropriately notified of the public hearing by mail, newspaper and property posting.

**14. PUBLIC COMMENTS.** Staff has not received any comments at this time.

#### **CONDITIONAL USE PERMIT SPECIFIC FINDINGS**

**15.** The project site is located within the Light Industrial land use category in the SCVA Plan. This designation is intended for light industrial uses, such as the self-service storage facility on the subject property, as well as supportive

commercial uses. Specific allowable uses and development standards in this category are determined by the underlying zoning designation. The proposed WTF is consistent with the Light Industrial land use designation as the facility conforms to the applicable plan policies and is a conditionally permitted use in the underlying zoning designation. Therefore, the proposed use is consistent with the adopted general plan for the area.

16. The proposed WTF will be installed within an existing self-service storage facility. The proposed WTF is in compliance with all of the provisions of the County Code and Federal guidelines regarding Wireless Facilities. There are no activities that will produce airborne emissions, odor, vibration, heat, glare, or noxious and airborne emissions. The cellular site does not require water or sanitary facilities and generates no wastewater. Further, the facility is well set back from the property line and is within a restricted access storage facility, thus posing no public health, safety or general welfare hazard. Adequate Fire Department access is maintained in the driveways adjoining the WTF. The WTF provides important communications infrastructure needed for public safety, especially for emergency communications. It improves the general welfare of the area by facilitating cellular telephone communications. It shall operate in compliance with all applicable regulations, including Federal Communications Standards and will not had any detrimental health effects or other detrimental effects on the community.

Therefore, the requested use at the location proposed will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area, will not be materially detrimental to the use, enjoyment or valuation of property of other persons located in the vicinity of the site, and will not jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare.

17. The proposed site is part of a large self-storage facility and the WTF takes up only a small portion of the parcel, allowing sufficient space for parking, loading, access, and the primary self-storage use of the site. The parcel is adequate in size for the current use on the parcel and the new WTF.

Therefore, the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this Title 22, or as is otherwise required in order to integrate said use with the uses in the surrounding area.

18. The facility will be unmanned and will have no impact on traffic. The proposed facility is located adjacent to the I-5 Freeway and has adequate access. The property takes access from The Old Road. The existing service facilities in the

area are adequate to accommodate this use, and the new WTF use will not burden the existing infrastructure.

Therefore, the proposed site is adequately served by highways or streets of sufficient width and improved as necessary to carry the kind and quantity of pedestrian, bicycle, and vehicle traffic such use would generate, and by other public or private service facilities as are required.

19. **ENVIRONMENTAL DETERMINATION.** The property is not in an environmentally sensitive area and the site is already developed. The addition of the proposed WTF will not substantially alter the existing environment of the site and the proposed structures are small in area. The WTF will be required to comply with all federal, state, and county requirements for such facilities. Staff has determined that the project is categorically exempt under CEQA.

Therefore, the project qualifies as a Categorical Exemption (Class 3, New Construction or Conversion of Small Structures) and is consistent with the finding by the State Secretary for Resources or by local guidelines that this class of projects does not have a significant effect on the environment.

20. **TERM LIMIT.** To assure continued compatibility between the use of the subject property allowed by this grant and surrounding land uses, the Hearing Officer determines that it is necessary to limit the term of the grant to fifteen (15) years.
21. **RECORD OF PROCEEDINGS.** The location of the documents and other materials constituting the record of proceedings upon which the Hearing Officer's decision is based in this matter is at the Los Angeles County Department of Regional Planning, 13<sup>th</sup> Floor, Hall of Records, 320 West Temple Street, Los Angeles, CA 90012. The custodian of such documents and materials shall be the Section Head of the Zoning Permits North Section, Los Angeles County Department of Regional Planning.

BASED ON THE FOREGOING, THE HEARING OFFICER CONCLUDES:

- A. That the proposed use will be consistent with the adopted general plan for the area; and
- B. That the requested use at the location proposed will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area, will not be materially detrimental to the use, enjoyment or valuation of property of other persons located in the vicinity of the site, and will not jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare; and
- C. That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development

features prescribed in this Title 22, or as is otherwise required in order to integrate said use with the uses in the surrounding area; and

- D. That the proposed site is adequately served by highways or streets of sufficient width and improved as necessary to carry the kind and quantity of pedestrian, bicycle, and vehicle traffic such use would generate, and by other public or private service facilities as are required.

THEREFORE, the information submitted by the applicant and presented at the public hearing substantiates the required findings for a Conditional Use Permit as set forth in Section 22.56.090 of the County Code (Zoning Ordinance).

**HEARING OFFICER/DIRECTOR ACTION:**

1. The Hearing Officer determines that the project is exempt from the California Environmental Quality Act pursuant to the Class 3 – New Construction or Conversion of Small Structures categorical exemption.
2. In view of the findings of fact and conclusions presented above, Conditional Use Permit Number 201300074 is **APPROVED** subject to the attached conditions.

**ACTION DATE: April 15, 2014**

PM:RWC  
3/12/14

c: Hearing Officer, Zoning Enforcement, Building and Safety

**DRAFT CONDITIONS OF APPROVAL  
COUNTY OF LOS ANGELES  
PROJECT NO. R2013-01451-(5)  
CONDITIONAL USE PERMIT NO. 201300074**

**PROJECT DESCRIPTION**

The project is a Conditional Use Permit (CUP) to authorize a wireless telecommunications facility (WTF) within the M-1 (Light Manufacturing) Zone. The WTF will consist of the placement of 12 eight-foot panel antennas, two GPS antennas and ancillary radio equipment on a new 65-foot-tall stealth tower, with additional radio cabinets placed within a new 20-foot by 11-foot-5-inch equipment shelter. The equipment will be located within a lease area of approximately 30 feet by 40 feet-6 inches (1,215 square feet). The tower is a mono-eucalyptus designed to resemble a eucalyptus tree. This project is subject to the following conditions of approval:

**GENERAL CONDITIONS**

1. Unless otherwise apparent from the context, the term "permittee" shall include the applicant, owner of the property, and any other person, corporation, or other entity making use of this grant.
2. This grant shall not be effective for any purpose until the permittee, and the owner of the subject property if other than the permittee, have filed at the office of the Los Angeles County ("County") Department of Regional Planning ("Regional Planning") their affidavit stating that they are aware of and agree to accept all of the conditions of this grant, and that the conditions of the grant have been recorded as required by Condition No. 7, and until all required monies have been paid pursuant to Condition No. 10. Notwithstanding the foregoing, this Condition No. 2 and Condition Nos. 4, 5, and 9 shall be effective immediately upon the date of final approval of this grant by the County.
3. Unless otherwise apparent from the context, the term "date of final approval" shall mean the date the County's action becomes effective pursuant to Section 22.60.260 of the County Code.
4. The permittee shall defend, indemnify, and hold harmless the County, its agents, officers, and employees from any claim, action, or proceeding against the County or its agents, officers, or employees to attack, set aside, void, or annul this permit approval, which action is brought within the applicable time period of Government Code Section 65009 or any other applicable limitations period. The County shall promptly notify the permittee of any claim, action, or proceeding and the County shall reasonably cooperate in the defense. If the County fails to promptly notify the permittee of any claim action or proceeding, or if the County fails to cooperate reasonably in the defense, the permittee shall not thereafter be responsible to defend, indemnify, or hold harmless the County.
5. In the event that any claim, action, or proceeding as described above is filed against the County, the permittee shall within ten days of the filing make an initial

deposit with Regional Planning in the amount of up to \$5,000.00, from which actual costs and expenses shall be billed and deducted for the purpose of defraying the costs or expenses involved in Regional Planning's cooperation in the defense, including but not limited to, depositions, testimony, and other assistance provided to permittee or permittee's counsel.

If during the litigation process, actual costs or expenses incurred reach 80 percent of the amount on deposit, the permittee shall deposit additional funds sufficient to bring the balance up to the amount of \$5,000.00. There is no limit to the number of supplemental deposits that may be required prior to completion of the litigation.

At the sole discretion of the permittee, the amount of an initial or any supplemental deposit may exceed the minimum amounts defined herein. Additionally, the cost for collection and duplication of records and other related documents shall be paid by the permittee according to County Code Section 2.170.010.

6. If any material provision of this grant is held or declared to be invalid by a court of competent jurisdiction, the permit shall be void and the privileges granted hereunder shall lapse.
7. Prior to the use of this grant, the permittee, or the owner of the subject property if other than the permittee, shall **record the terms and conditions** of the grant in the office of the County Registrar-Recorder/County Clerk ("Recorder"). In addition, upon any transfer or lease of the property during the term of this grant, the permittee, or the owner of the subject property if other than the permittee, shall promptly provide a copy of the grant and its conditions to the transferee or lessee of the subject property.
8. **This grant shall terminate on April 15, 2029.** Entitlement to use of the property thereafter shall be subject to the regulations then in effect. If the permittee intends to continue operations after such date, whether or not the permittee proposes any modifications to the use at that time, the permittee shall file a new Conditional Use Permit application with Regional Planning, or shall otherwise comply with the applicable requirements at that time. Such application shall be filed at least six (6) months prior to the expiration date of this grant and shall be accompanied by the required fee. In the event that the permittee seeks to discontinue or otherwise change the use, notice is hereby given that the use of such property may require additional or different permits and would be subject to the then-applicable regulations.
9. This grant shall expire unless used within two (2) years from the date of final approval of the grant. A single one-year time extension may be requested in writing and with the payment of the applicable fee prior to such expiration date.
10. The subject property shall be maintained and operated in full compliance with the conditions of this grant and any law, statute, ordinance, or other regulation applicable to any development or activity on the subject property. Failure of the

permittee to cease any development or activity not in full compliance shall be a violation of these conditions. Inspections shall be made to ensure compliance with the conditions of this grant as well as to ensure that any development undertaken on the subject property is in accordance with the approved site plan on file. The permittee shall deposit with the County the sum of \$1,600.00. The deposit shall be placed in a performance fund, which shall be used exclusively to compensate Regional Planning for all expenses incurred while inspecting the premises to determine the permittee's compliance with the conditions of approval. The fund provides for eight (8) biennial (one every other year) inspections. Inspections shall be unannounced.

If additional inspections are required to ensure compliance with the conditions of this grant, or if any inspection discloses that the subject property is being used in violation of any one of the conditions of this grant, the permittee shall be financially responsible and shall reimburse Regional Planning for all additional enforcement efforts necessary to bring the subject property into compliance. The amount charged for additional inspections shall be \$200.00 per inspection, or the current recovery cost at the time any additional inspections are required, whichever is greater.

11. Notice is hereby given that any person violating a provision of this grant is guilty of a misdemeanor. Notice is further given that the Regional Planning Commission ("Commission") or a Hearing Officer may, after conducting a public hearing, revoke or modify this grant, if the Commission or Hearing Officer finds that these conditions have been violated or that this grant has been exercised so as to be detrimental to the public's health or safety or so as to be a nuisance, or as otherwise authorized pursuant to Chapter 22.56, Part 13 of the County Code.
12. All development pursuant to this grant must be kept in full compliance with the County Fire Code to the satisfaction of said department.
13. All development pursuant to this grant shall conform with the requirements of the County Department of Public Works ("Public Works") to the satisfaction of said department.
14. All development pursuant to this grant shall comply with the requirements of Title 22 of the County Code ("Zoning Ordinance") and of the specific zoning of the subject property, unless specifically modified by this grant, as set forth in these conditions, including the approved Exhibit "A," or a revised Exhibit "A" approved by the Director of Regional Planning ("Director").
15. The permittee shall maintain the subject property in a neat and orderly fashion. The permittee shall maintain free of litter all areas of the premises over which the permittee has control.
16. All structures, walls and fences open to public view shall remain free of graffiti or other extraneous markings, drawings, or signage that was not approved by

Regional Planning. These shall include any of the above that do not directly relate to the use being operated on the premises or that do not provide pertinent information about said premises. The only exceptions shall be seasonal decorations or signage provided under the auspices of a civic or non-profit organization.

In the event of graffiti or other extraneous markings occurring, the permittee shall remove or cover said markings, drawings, or signage within 24 hours of notification of such occurrence, weather permitting. Paint utilized in covering such markings shall be of a color that matches, as closely as possible, the color of the adjacent surfaces.

17. The subject property shall be developed and maintained in substantial compliance with the plans marked Exhibit "A." If changes to the site plan are required as a result of instruction given at the public hearing, **three (3) copies** of a modified Exhibit "A" shall be submitted to Regional Planning by June 15, 2014.
18. In the event that subsequent revisions to the approved Exhibit "A" are submitted, the permittee shall submit **three (3) copies** of the proposed plans to the Director for review and approval. All revised plans must be accompanied by the written authorization of the property owner(s) and applicable fee for such revision.

#### **PROJECT SITE SPECIFIC CONDITIONS**

19. This grant shall authorize the installation, operation, and maintenance of a proposed unmanned WTF and appurtenant equipment within a self-service storage facility as shown on the plans marked Exhibit "A".

#### **PERMIT SPECIFIC CONDITIONS**

20. The facility shall be operated in accordance with regulations of the State Public Utilities Commission.
21. Upon request, the permittee shall provide to the Zoning Enforcement Section of Regional Planning written certification that the radio frequency electromagnetic emissions levels comply with adopted Federal Communications Commission (FCC) limitations for general population/uncontrolled exposure to such emissions when operating at full strength and capacity. If other WTFs are located on the subject property or on adjacent parcels, the aforementioned report shall include the radio frequency electromagnetic emissions of said WTFs.
22. Insofar as is feasible, the permittee shall cooperate with any subsequent applicants for WTFs in the vicinity with regard to possible co-location. Such subsequent applicants will be subject to the regulations in effect at that time.
23. Any proposed WTF that will be co-locating on the proposed facility will be required to provide upon request the same written verification of emissions and include the

cumulative radiation and emissions of all such facilities to the Zoning Enforcement Section of Regional Planning upon request.

24. All structures shall conform to the requirements of the Division of Building and Safety of the Department of Public Works and other appropriate agencies.
25. External lighting, including security lighting, shall be on motion sensors, be of low intensity, fully shielded and directed away from any adjacent residences. Pole mounted lighting is prohibited on the leasehold unless the facility is disguised as a light pole. Antenna lighting is prohibited. Beacon lights are prohibited unless required by the Federal Aviation Administration.
26. Placement and height of all pole-mounted equipment shall be in substantial conformance with that shown on said Exhibit "A". The facility shall be maintained as depicted in the photographs presented at the public hearing.
27. The maximum height of the facility shall not exceed 65 feet above grade.
28. The permittee shall maintain current contact information, including contact name, address, and telephone number, with the Zoning Enforcement Section of Regional Planning.
29. The finished surface of the facility shall not be glossy or reflective in nature unless such finish is necessary to blend into existing design features. The finish shall be graffiti-resistant and shall have a color that blends in with the building and the immediately surrounding environment.
30. The facility shall be maintained in good condition and repair, and shall remain free of: general dirt and grease; chipped, faded, peeling or cracked paint; trash, debris, litter, graffiti and other forms of vandalism; cracks, dents, blemishes and discolorations; visible rust or corrosion on any unpainted metal areas. Any damage from any cause shall be repaired by the permittee within 30 days of notice. Weathered, faded or missing parts/materials used to disguise/camouflage the facility shall be maintained and/or replaced by the permittee within 30 days of notice. Provided landscaping shall be maintained at all times and shall be promptly replaced if needed.
31. Upon request, the permittee shall submit annual reports to the Zoning Enforcement Section of Regional Planning to show compliance with the maintenance and removal conditions.
32. The project number, conditional use permit number and lease holder contact information shall be prominently displayed on the facility where it can be easily viewed at or near eye level.
33. Upon termination of this grant or if the facility has ceased to operate, the permittee shall remove such facility and clear the site of all equipment within six months of the

cease-of-operation date. The permittee shall restore the site as nearly as practicable to the condition prior to the installation of the subject facility.



## CONDITIONAL USE PERMIT BURDEN OF PROOF

Pursuant to Zoning Code Section 22.56.040, the applicant shall substantiate the following:

*(Do not repeat the statement or provide Yes/No responses. If necessary, attach additional pages.)*

<p><b>A. That the requested use at the location will not:</b></p> <ol style="list-style-type: none"> <li>1. Adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area, or</li> <li>2. Be materially detrimental to the use, enjoyment or valuation of property of other persons located in the vicinity of the site, or</li> <li>3. Jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare.</li> </ol>
<p>The proposed facility is in compliance with all of the provisions of the County Code and Federal guidelines regarding Wireless Facilities. There are no activities that will produce airborne emissions, odor, vibration, heat, glare, or noxious and airborne emissions.</p>
<p>The cellular site does not require water or sanitary facilities and generates no wastewater.</p>
<p>Further, the facility is well set back from the property line and is within a restricted access storage facility, thus posing no public health, safety, or general welfare hazard.</p>
<p><b>B. That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this Title 22, or as is otherwise required in order to integrate said use with the uses in the surrounding area.</b></p>
<p>The proposed site is part of a large self storage facility and is adequate in size for the current use on the parcel.</p>
<p><b>C. That the proposed site is adequately served:</b></p> <ol style="list-style-type: none"> <li>1. By highways or streets of sufficient width, and improved as necessary to carry the kind and quantity of traffic such use would generate, and</li> <li>2. By other public or private service facilities as are required.</li> </ol>
<p>The proposed facility is located adjacent to the I-5 Fwy and has adequate access</p>



County of Los Angeles Planning Department  
Wireless Telecommunication Facility

Project Description & Findings

Applicant: AT&T  
12900 Park Plaza Drive  
Cerritos, CA 90703

Owner: I.I. Cohen Living Trust  
27815 Smyth Drive  
Valencia, CA 91355

Rep.: McCormick Consulting Company, LLC  
3618 W. Estates Lane, Suite B  
Rolling Hills, CA 90274

Robert McCormick  
(310) 547-7413

Site No.: NL0457

Location: 32015 The Old Road, Castaic, CA 91384

Project Description

AT&T Mobility Corporation is requesting the review and approval of a new wireless telecommunications facility at 32015 The Old Road, Castaic, CA 91384. The facility will consist of the placement of twelve (12), eight-foot panel antennas, two (2) GPS antenna(s), and ancillary radio equipment on a new 65' tall stealth tower, with additional radio cabinets placed within a new equipment shelter. The twelve (12) panel antennas will be separated into three (3) sectors of four (4) antennas each.

The Property

The subject property is a public storage facility. The subject property is surrounded by ROW to the north, east, and south, and residential to the west.

Objective

The purpose of modifying the facility at this location is to improve network capacity and fill a significant gap in LTE coverage along I-5, The Old Road and the surrounding Castaic community.

## About AT&T Mobility Corporation

As a licensee authorized by the Federal Communications Commission to provide wireless services in this region, AT&T must establish a network of wireless telecommunications facilities in the metropolitan area and beyond. Each wireless telecommunications facility, or base station, will consist of transmitting and receiving antennas mounted on a communication tower or other suitable structure and electronic equipment cabinets. It will also consist of radios for receiving and transmitting wireless communications and complex electronic equipment to operate the radios, interface with other cellular sites, provide connections to the landline telephone network, and link the facility with the main switching center.

AT&T will operate this facility in full compliance with the regulations and licensing requirements of the FCC, FAA, and CPUC as governed by the Telecommunications Act of 1996 and other applicable laws.

In order to meet the basic level of operational radio signal coverage, radio frequency (RF) engineers have designed a network of wireless telecommunications facilities for the Southern California area. The applicant's engineers choose specific sites after lengthy analysis. Selection criteria include: limitations imposed by surrounding topography, the intended service area of the site, and the ability of the new site to "see" other sites in the network from its proposed location. Other selection factors include suitable access, availability of electrical and telephone service, and a willing property lessor. Where the necessary design criteria can be met, co-location with existing telecommunication facilities is a preferred option. The antennas and equipment are screened or integrated with the building whenever possible. Only after careful analysis of many candidates and successful lease negotiations has been completed is a land use application such as this one submitted.

The cellular site is a passive use and will have no impact on other properties in the surrounding area. The facility is unstaffed. After an initial construction period of 30 to 45 days, the only traffic generated will be for routine maintenance visits, typically once or twice a month. There are no activities that will produce airborne emissions, odor, vibration, heat, glare, or noxious and toxic materials. All equipment and materials needed to operate the site are located in the equipment cabinets. The cellular site does not require water or sanitary facilities and therefore will generate no wastewater.

## Findings - Telecommunications Installation

### *1. Why does applicant believe the location of the project will be desirable to the public convenience and welfare?*

The proposed project will be desirable to the public convenience and welfare by providing essential communication service in the area. The facility is located within the self storage facility and the proposed use is compatible with the existing uses of the subject property as well as the surrounding properties. Additionally, the subject property possesses unique

characteristics that make it an ideal location for the proposed facility, which allows the facility to meet its objectives. Site access for maintenance to the equipment will require approximately one visit to the site per month by AT&T engineers. Therefore, the proposed use will not interfere with any existing activities or conveniences of the general public and will provide a desirable service to the public.

*2. Describe briefly how the proposed project will be proper in relation to adjacent uses or the development of the community.*

The proposed project is part of the County's continuing effort to provide emergency services and personal communications services as mandated in the General Plan and are consistent with the existing uses in the community.

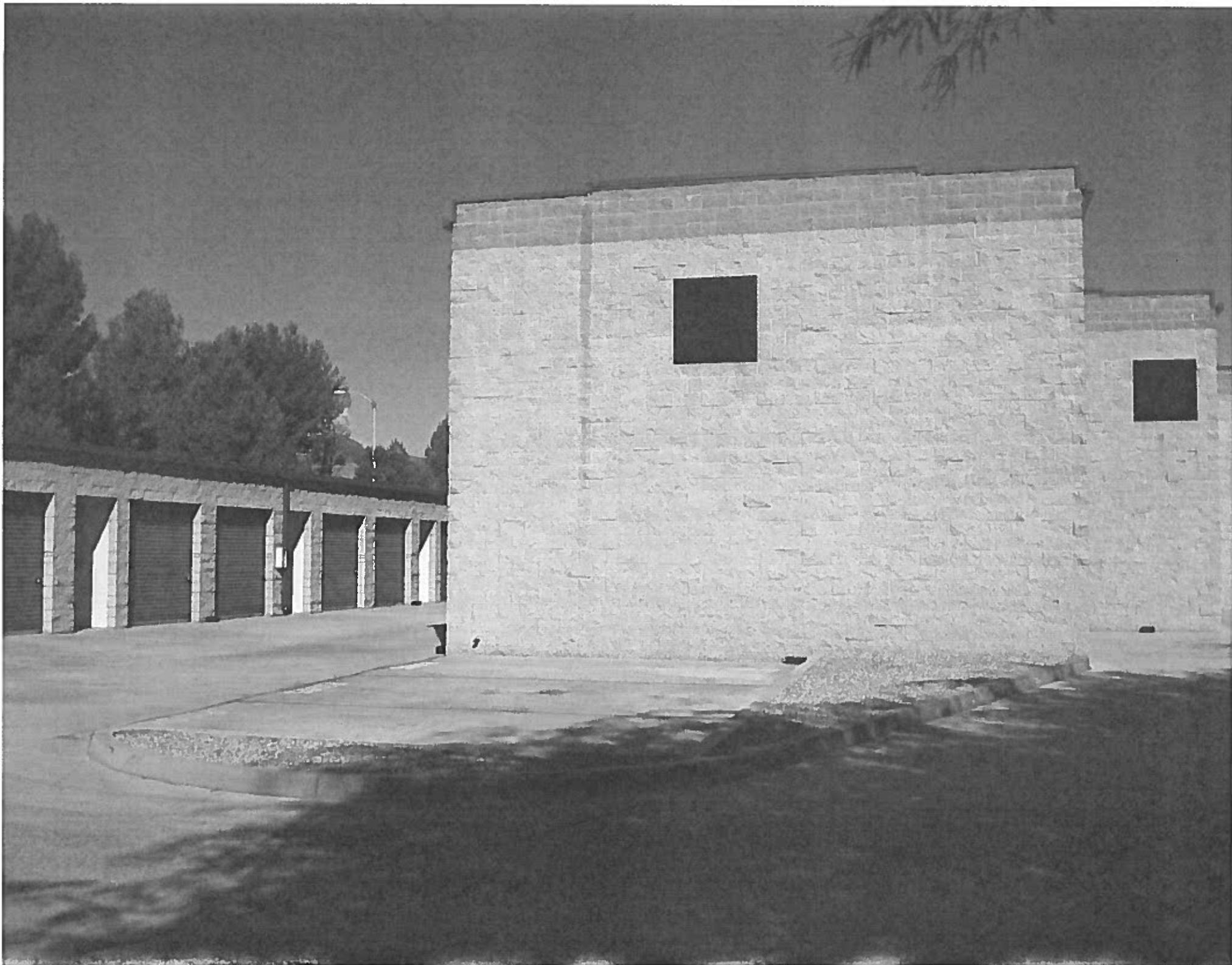
*3. Describe how the proposed project will not be detrimental to the character of development in the immediate neighborhood and will be in harmony with the various elements and objectives of the General Plan.*

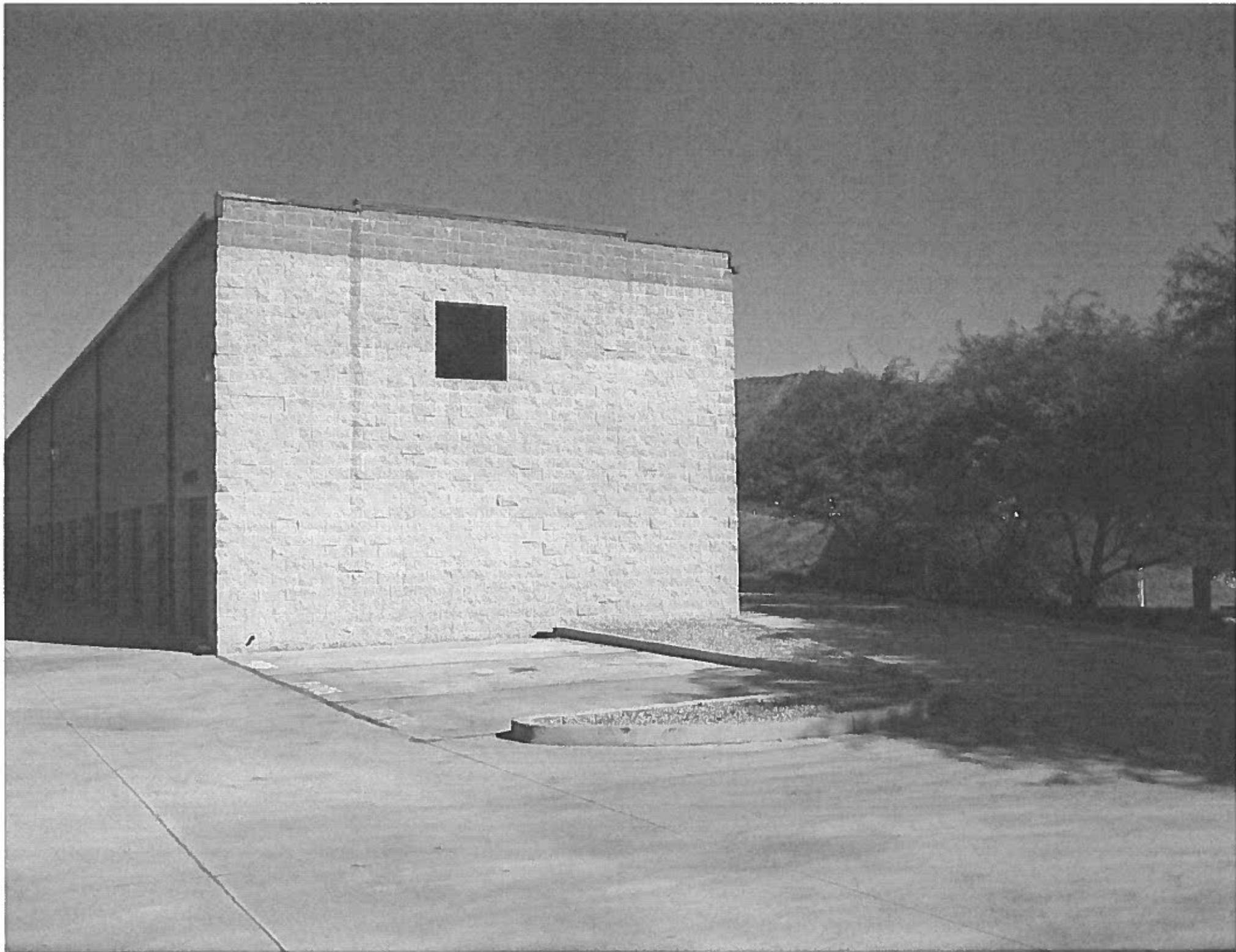
The proposed project will consist of a stealth mono-eucalyptus to mitigate any visual impact and therefore will not encourage marginal development within the area. It will not affect the natural character of the area. It is a passive use and therefore will not adversely affect the policy and goals of the General Plan.

**Additional Wireless Telecommunications Facility Plan Approval Findings**

- A. That the proposed wireless facility is necessary to close a significant gap in coverage in the applicant's service – The proposed installation is necessary to provide 4G / LTE coverage, which is currently non-existent within the coverage area.*
- B. Except where the wireless facility is proposed to be co-located with one or more existing authorized wireless facilities that the applicant has undertaken and completed a good-faith effort to inventory all wireless facilities within one-quarter mile of the proposed site and to co-locate the proposed facility on the site of another such facility – At this time, there are no existing wireless facilities that are in close enough proximity to meet the desired coverage objective.*
- C. That the proposed site is the least intrusive site that is available in the coverage area that is capable of closing the significant coverage gap in terms of visual and aesthetic impacts – At this time, there are no existing wireless facilities or existing rooftops that are tall enough to meet the necessary coverage objective. At this time, there is no service for AT&T's next generation LTE / 4G enhanced network.*
- D. Documentation that the wireless facility as proposed is expected to comply with FCC limits and guidelines on RF emissions. – See attached*

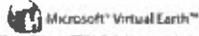








LOCATION

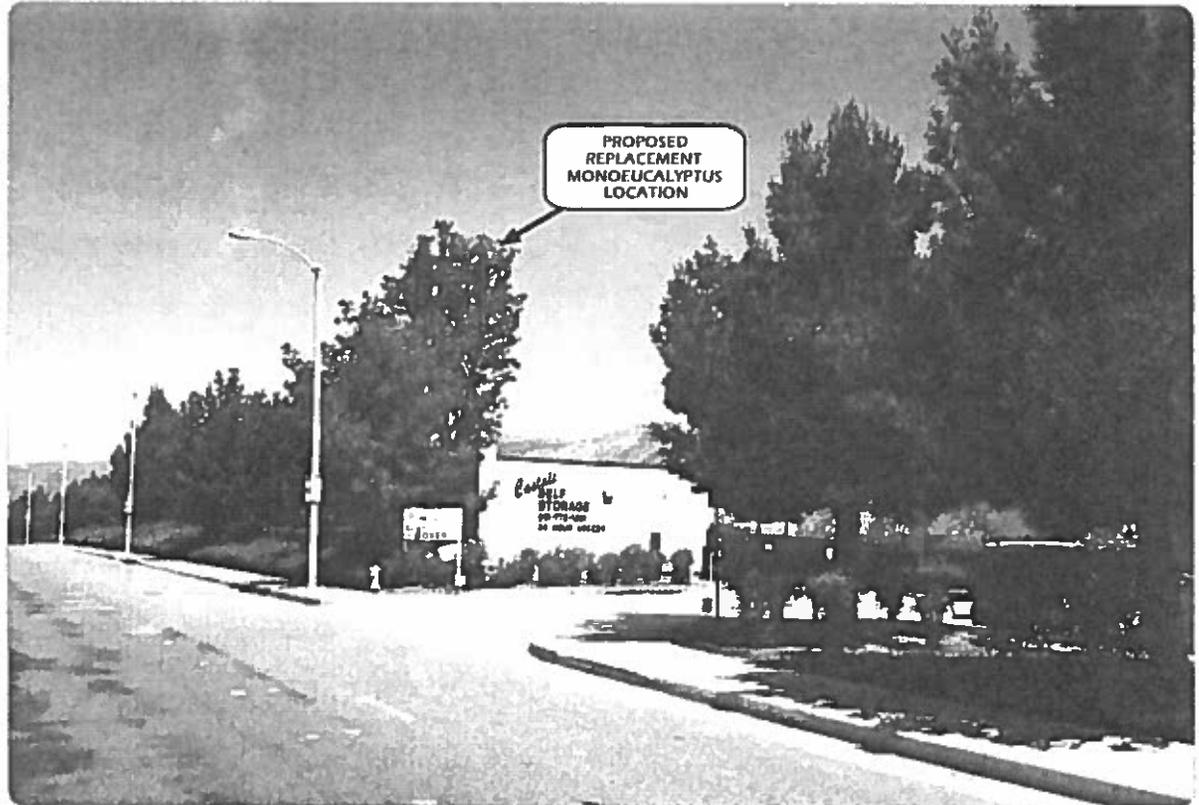


View from the Southeast looking Northwest

EXISTING



PROPOSED



# NL0457 Castaic Storage

32015 The Old Road  
Castaic, CA 91384

## VIEW 1

APPLICANT

at&t Mobility  
12900 Park Plaza Drive  
Cerritos, CA 90703

CONTACT

McCormick Consulting Co., LLC  
Robert McCormick  
3818 W. Estates Lane, Suite B  
Rolling Hills, CA 90274  
p 310 547 7413

Completed May 06, 2013

BLUE WATER DESIGN

bluewater-design.net  
michelle@bluewater-design.net

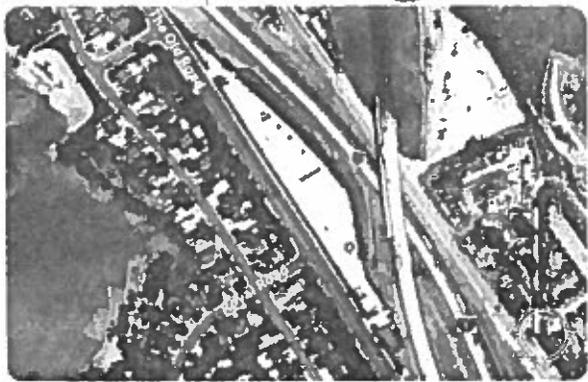
p 714 473 2942  
f 949.271.2316



Photo simulation accuracy is based on information provided to Blue Water Design by the applicant.

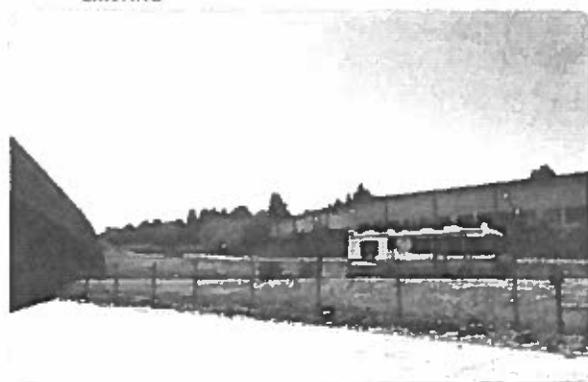


LOCATION

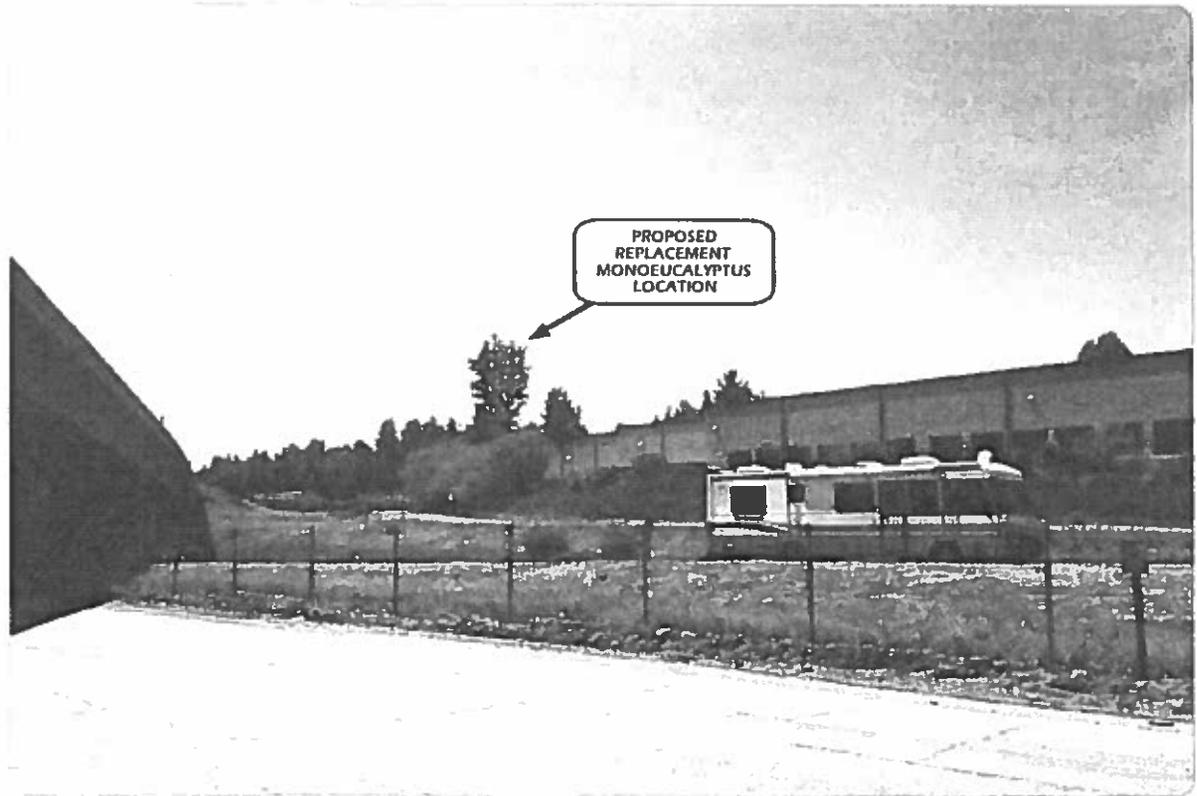


View from the North to the South

EXISTING



PROPOSED



**NL0457**  
**Castaic Storage**  
 32015 The Old Road  
 Castaic, CA 91384  
**VIEW 2**

**APPLICANT**  
 at&t Mobility  
 12900 Park Plaza Drive  
 Cerritos, CA 90703

**CONTACT**  
 McCormick Consulting Co., LLC  
 Robert McCormick  
 3818 W. Estales Lane, Suite B  
 Rolling Hills, CA 90274  
 p 310 547 7413



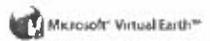
Completed May 06, 2013

**BLUE WATER DESIGN**  
 bluewater-design.net  
 michelle@bluewater-design.net  
 p 714.473.2942  
 f 949.271.2316

Photo simulation accuracy is based on information provided to Blue Water Design by the applicant



LOCATION

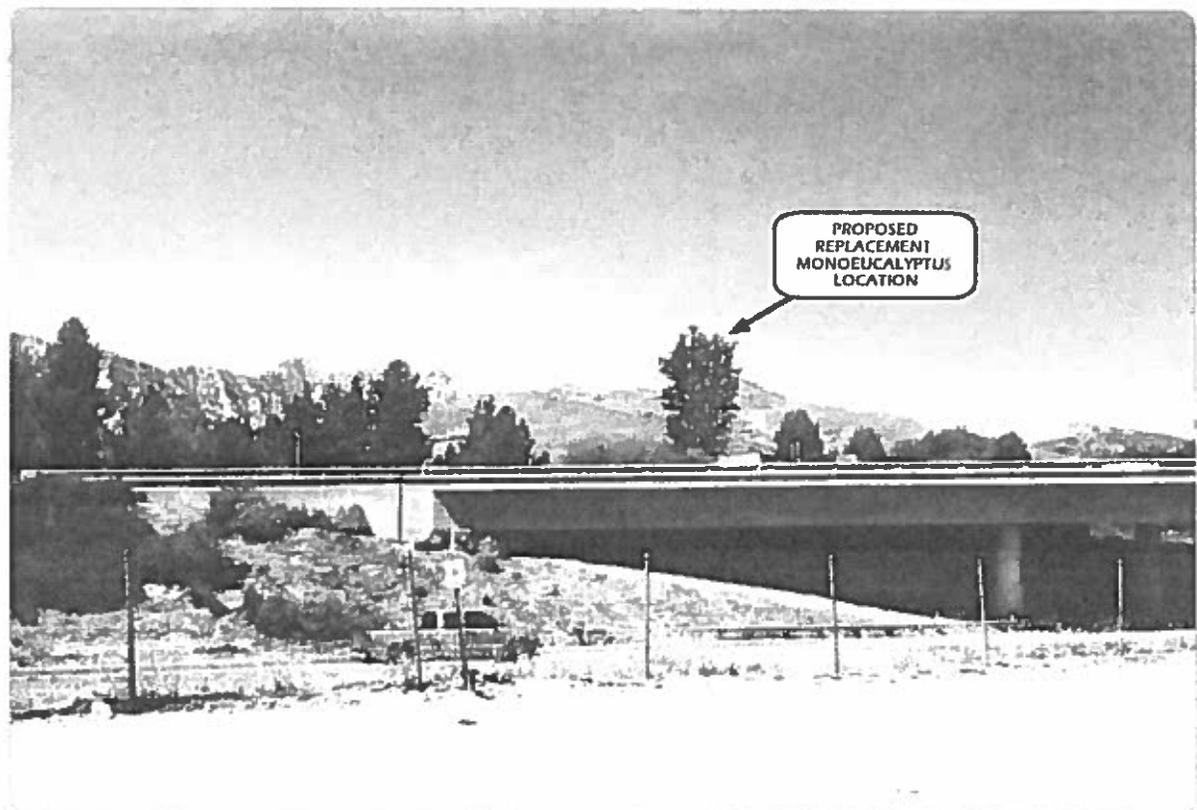


View from the East to the West

EXISTING



PROPOSED



**NL0457**  
**Castaic Storage**  
32015 The Old Road  
Castaic, CA 91384  
**VIEW 3**

APPLICANT  
at&t Mobility  
12900 Park Plaza Drive  
Cerritos, CA 90703

CONTACT  
McCormick Consulting Co., LLC  
Robert McCormick  
3818 W. Estates Lane, Suite B  
Rolling Hills, CA 90274  
p 310 547 7413



Completed May 08, 2013  
**BLUE WATER DESIGN**  
bluewater-design.net  
michelle@bluewater-design.net  
p 714 473 2942  
f 949.271.2316

Photo simulation accuracy is based on information provided to Blue Water Design by the applicant.

LOCATION



View from the Northwest to the Southeast

EXISTING



PROPOSED



Completed May 06, 2013

# NL0457 Castaic Storage

32015 The Old Road  
Castaic, CA 91384

## VIEW 4

APPLICANT

at&t Mobility  
12900 Park Plaza Drive  
Cerritos, CA 90703

CONTACT

McCormick Consulting Co., LLC  
Robert McCormick  
3618 W. Estates Lane, Suite B  
Rolling Hills, CA 90274  
p 310.547.7413



BLUE WATER DESIGN

bluewater-design.net  
mchelle@bluewater-design.net

p 714.473.2942  
f 949.271.2316

Photo simulation accuracy is based on information provided to Blue Water Design by the applicant.

**ENGINEERING**

2010 CALIFORNIA BUILDING CODE  
 2010 CALIFORNIA TILE 24  
 2010 CALIFORNIA FIRE CODE  
 2010 CALIFORNIA RESIDENTIAL CODE  
 2010 CALIFORNIA ENERGY CODE  
 2010 CALIFORNIA PLUMBING CODE  
 2010 CALIFORNIA MECHANICAL CODE  
 2008 INTERNATIONAL BUILDING CODE  
 2008 NATIONAL ELECTRIC CODE  
 2008 UNIFORM MECHANICAL CODE  
 2009 UNIFORM PLUMBING CODE  
 405/704-222-4 OR LATEST EDITION

**GENERAL NOTES**

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRINKAGE, NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL STORAGE IS PROPOSED.

**DIGIART**



**SITE INFORMATION**

**PROPERTY OWNER:** CASTAC SELF-STORAGE  
**ADDRESS:** 27815 SMITH DRIVE  
 WAUCONIA, CA 91353  
**CONTACT:** MICHELE MASTRO  
 (661)257-0700

**APPLICANT:** AT&T  
**ADDRESS:** 12900 PARK PLAZA DRIVE  
 CERRITOS, CA 90703

**APPLICANT REPRESENTATIVE:** BLACK & VEATCH  
**ADDRESS:** 12750 CENTER COURT DRIVE  
 SUITE 800  
 CERRITOS, CA 90703

**LATITUDE (NAD 83):** 37° 30' 05.8" N  
**LONGITUDE (NAD 83):** 118° 37' 42.6" W  
**LONGITUDE/LATITUDE TYPE:** NAD 83  
**GROUND ELEVATION:** 1258.8'

**APN #:** 2863-001-008  
**ZONING JURISDICTION:** COUNTY OF LOS ANGELES  
**CURRENT ZONING:** M-1 MANUFACTURING  
**STORAGE:**

**POWER COMPANY:** SCE  
**CONTACT:** JERRY CHAMBERLAIN  
 (714) 870-3105

**FILED COMPANY:** AT&T  
**CONTACT:** F.B.D.  
 (800) 232-0900

**OCCUPANCY:** S-1  
**LEASE AREA (SF):** 1011 (SF) INCLUDES AREA  
 AROUND DRAINAGE

**PROJECT TEAM**

**PROJECT MANAGER:**  
 BLACK & VEATCH  
 12750 CENTER COURT DRIVE,  
 SUITE 800  
 CERRITOS, CA 90703  
**CONTACT:** SCOTT HORSLEY  
**OFFICE:** (562) 343-8548  
**EMAIL:** horsley@bv.com

**ENGINEERING/PERMITTING:**  
 NATIONAL ENGINEERING &  
 CONSULTING, INC.  
 27 ORCHARD SUITE 200  
 LAKE FOREST, CA 92530  
**PHONE:** (949) 716-9990  
**FAX:** (949) 716-9997

**SURVEY:**  
 CALTOP TELECOM  
 13043 TELECOM PARKWAY  
 TAMPA, FL 33637  
**PHONE:** (813) 514-9887  
**CONTACT:** MATTHEW FORD  
**PHONE:** (802) 483-0472

**ZONING:**  
 MCCORMACK CONSULTING  
 COMPANY, LLC  
 3618 W ESTATES LANE, SUITE B  
 ROLLING HILLS, CA 90276  
**CONTACT:** ROBERT MCCORMACK  
 (310) 547-7413 MOBILE  
 (310) 547-6485 FAX

**CONSTRUCTION MANAGER:**  
 OVERLAND CONTRACTING  
 12750 CENTER COURT DR,  
 SUITE 800  
 CERRITOS, CA 90703  
**CONTACT:** JANE SOMERS  
**PHONE:** (878) 848-4663  
**EMAIL:** jane@overlandcontracting.com

**SITE NUMBER: NL0457**  
**SITE NAME: CASTAIC STORAGE**



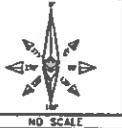
**PROJECT: NEW SITE BUILD (NSB)**  
**SITE TYPE: RAWLAND**  
**ADDRESS: 32015 THE OLD ROAD**  
**CASTAIC, CA 91384**

**LOCATION MAPS**

**VICINITY MAP**



**LOCAL MAP**



**DRIVING DIRECTIONS**

**DIRECTIONS FROM AT&T OFFICE:**  
 HEAD EAST ON PARK PLAZA DR TOWARD SHOEMAKER AVE. TURN LEFT ONT SHOEMAKER AVE. TURN LEFT ONT ARTEMA BLVD. TAKE THE RAMP ONT CA-81 N. TAKE EXT 178 TO MERGE ONT I-805 N. TAKE EXT 71 TO MERGE ONT I-5 N/AVANTA AVE FRY TOWARD LOS ANGELES. SLIGHT RIGHT ONT I-5 N. TRIPS FOR I-10 N/AVANTA MONICA/INTERSTATE 5 N/USCACHAMUNTES. SLIGHT LEFT TO SR41 ON I-5 N. TAKE EXT 178B FOR LAKE VOUCHER RD TOWARD CASTAIC LAKE PARK. TURN LEFT ONT LAKE VOUCHER RD. TAKE THE 1ST RIGHT ONT THE OLD RD. DESTINATION WILL BE ON THE RIGHT -- 32015 THE OLD RD CASTAIC, CA 91384.

**ZONING DRAWING**

IF USING 11"x17" PLOT, DRAWINGS WILL BE HALF SCALE

**APPROVALS**

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS & AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT & MAY IMPOSE CHANGES OR MODIFICATIONS.

AT&T RF ENGINEER: \_\_\_\_\_  
 AT&T OPERATIONS: \_\_\_\_\_  
 SITE ACQUISITION MANAGER: \_\_\_\_\_  
 PROJECT MANAGER: \_\_\_\_\_  
 ZONING VENDOR: \_\_\_\_\_  
 LEASING VENDOR: \_\_\_\_\_  
 CONSTRUCTION MANAGER: \_\_\_\_\_  
 A/E MANAGER: \_\_\_\_\_  
 PROPERTY OWNER: \_\_\_\_\_

**PROJECT DESCRIPTION**

AT&T WIRELESS SCOPE WILL CONSIST OF THE FOLLOWING:

- INSTALLATION OF AN 11'-5" x 20'-0" PRE FABRICATED EQUIPMENT SHELTER
- INSTALLATION OF A 85' HIGH STEALTH MIMO-DUCALYPTUS
- INSTALLATION OF (12) 8' PANEL ANTENNAS
- INSTALLATION OF (8) 19' EQUIPMENT RACKS
- INSTALLATION OF (2) GPS ANTENNAS
- INSTALLATION OF (1) MED. 1530W 48/24V DUAL VOLTAGE POWER SYSTEM
- INSTALLATION OF (1) DC SURGE SUPPRESSION SYSTEM
- INSTALLATION OF (24) 8W/4 (12 8W/4'S FOR LTE & 12 8W/4'S FOR LWT)
- INSTALLATION OF (1) 5000 CONDENSATOR

**DRAWING INDEX**

SHEET NO.	SHEET TITLE
T-1	TITLE SHEET
LS-1	TOPOGRAPHIC SURVEY
LS-2	TOPOGRAPHIC SURVEY
A-1	SITE PLAN
A-2	ENLARGED SITE PLAN AND DEMO PLAN
A-3	NEW EQUIPMENT AND ANTENNA LAYOUT PLANS
A-4	ARCHITECTURAL ELEVATIONS
A-5	ARCHITECTURAL ELEVATIONS

**DO NOT SCALE DRAWINGS**

SUBCONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.



12900 PARK PLAZA DRIVE  
 CERRITOS, CA 90703

**PLANS PREPARED BY:**



**CLIENT:**



**BLACK & VEATCH**

12750 CENTER COURT DRIVE  
 SUITE 800  
 CERRITOS, CA 90703

NO.	DATE	DESCRIPTION	BY
4	03/14/13	90% ZONING	JT
0	03/22/13	100% ZONING	CH
1	04/04/13	REDLINES	SH
2	07/11/13	REDLINES	EVT
3	08/07/13	ZONING COMMENT	EVT
4	11/07/13	ZONING COMMENT	EVT
5	11/18/13	CURB REVISION	EVT

**SITE INFORMATION:**

**NL0457**

**CASTAIC STORAGE**

32015 THE OLD ROAD  
 CASTAIC, CA 91384

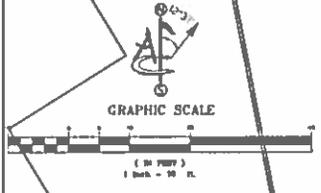
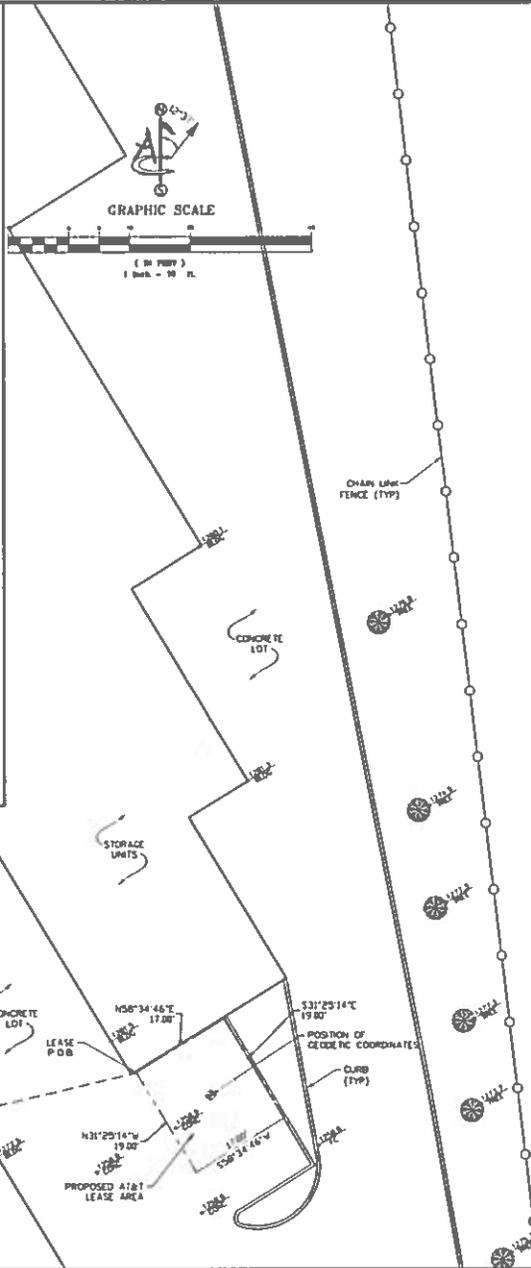
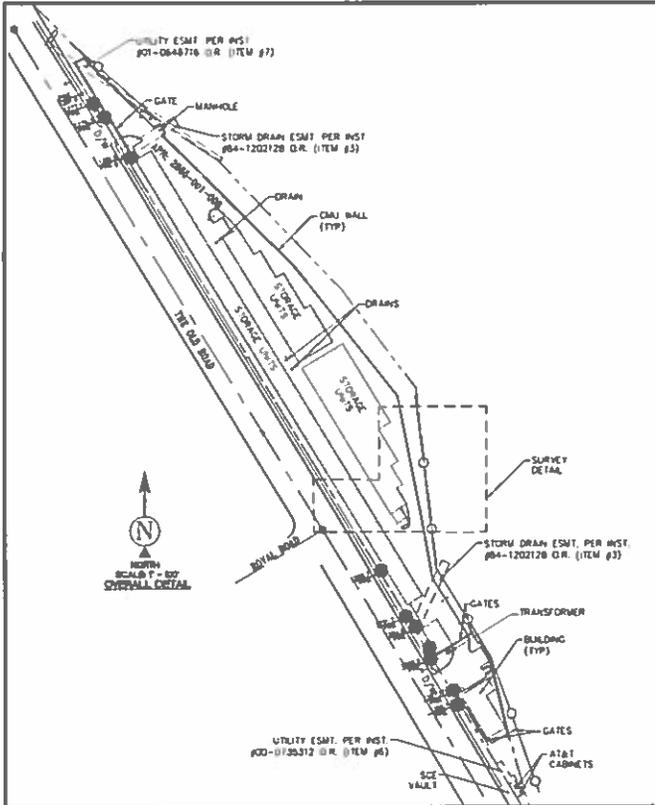
**SEAL:**

**SHEET TITLE:**

**TITLE SHEET**

**SHEET NUMBER:**

**T-1**



**LESSOR'S LEGAL DESCRIPTION**  
 ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS: THAT PORTION OF THE EAST HALF OF SECTION 23, TOWNSHIP 5 NORTH, RANGE 12 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND, FILED IN THE DISTRICT LAND OFFICE ON SEPTEMBER 6, 1880, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHERLY TERMINUS OF THAT COURSE DESCRIBED IN PARCEL 1 OF DEED ESTATE PARCEL NO. 1513 TO THE STATE OF CALIFORNIA, RECORDED IN BOOK 35681, PAGE 384, OFFICIAL RECORDS, AS HAVING A BEARING AND LENGTH OF NORTH 29°23'21" WEST, 300.48 FEET (FOR THE PURPOSE OF THIS DESCRIPTION SAID COURSE HAS A BEARING OF NORTH 29°23'21" WEST, THENCE SOUTH 56°22'42" EAST, 20.55 FEET; THENCE SOUTH 44°09'15" EAST 288.95 FEET; THENCE SOUTH 37°09'21" EAST 200.03 FEET; THENCE SOUTH 6°39'25" EAST 296.14 FEET; THENCE SOUTH 31°33'45" EAST 168.48 FEET TO A NONTANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 4391.00 FEET; THENCE SOUTHERLY ALONG SAID CURVE FROM A TANGENT BEARING SOUTH 12°31'43" EAST, THROUGH AN ANGLE OF 57°8'42" AN ARC DISTANCE OF 293.75 FEET; THENCE NORTH 31°36'28" WEST, 1562.71 FEET; THENCE SOUTH 44°36'01" EAST 225.73 FEET; THENCE SOUTH 56°22'42" EAST 168.20 FEET TO THE POINT OF BEGINNING. EXCEPT THEREFROM ALL OIL, MINERALS, NATURAL GAS, AND OTHER HYDROCARBONS BY WHATEVER NAME KNOWN THAT MAY BE WITHIN OR UNDER THE HEREIN CONVEYED PARCEL OF LAND, AND THE RIGHTS THEREIN, TOGETHER WITH CERTAIN OTHER CONDITIONS, AS EXCEPTED AND RESERVED IN DEED (1513) RECORDED IN BOOK 35681, PAGE 384, OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND BY FINAL ORDER OF CONDEMNATION (40401-1) FILED IN SUPERIOR COURT, CASE NO. 892905, IN AND FOR SAID COUNTY, A CERTIFIED COPY OF SAID FINAL ORDER BEING RECORDED IN BOOK 04028, PAGE 840, OFFICIAL RECORDS, IN SAID OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**SCHEDULE "B" NOTE**  
 REFERENCE IS MADE TO THE TITLE REPORT ORDER JOB#308452, ISSUED BY LAWYERS TITLE COMPANY, DATED JUNE 25, 2013. ALL EASEMENTS CONTAINED WITHIN SAID TITLE REPORT AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE HAVE BEEN PLOTTED. NOTE: ITEMS 3, 6, & 7 OF THE REFERENCED REPORT ARE AS SHOWN HEREON. ALL OTHER ITEMS ARE EITHER BLANKET IN NATURE OR DO NOT AFFECT THE SUBJECT SITE.

**SURVEYOR'S NOTES**  
 SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE ISSUED. THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.

**LEASE AREA LEGAL DESCRIPTION**  
 A PORTION OF THE EAST HALF OF SECTION 23, TOWNSHIP 5 NORTH, RANGE 12 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING FOR A TIE AT THE APPARENT CENTERLINE INTERSECTION OF ROYAL ROAD & THE OLD ROAD FROM WHICH THE INTERSECTION OF THE OLD ROAD & PHOTO PLACE BEARS NORTH 31°36'57" WEST, A DISTANCE OF 957.74 FEET; THENCE NORTH 76°47'18" EAST, A DISTANCE OF 116.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 58°34'48" EAST, A DISTANCE OF 17.00 FEET; THENCE SOUTH 31°25'14" EAST, A DISTANCE OF 19.00 FEET; THENCE SOUTH 58°34'48" WEST, A DISTANCE OF 17.00 FEET; THENCE NORTH 31°25'14" WEST, A DISTANCE OF 19.00 FEET TO THE POINT OF BEGINNING. RESERVING NON-EXCLUSIVE RIGHT OF USE ACROSS LESSOR'S PROPERTY FOR NECESSARY APPURTENANCES TO CONSTRUCT, OPERATE, AND MAINTAIN A COMMUNICATION FACILITY FOR ITEMS SUCH AS, BUT NOT LIMITED TO, WIRELESS, PARKING, VEHICULAR MANEUVERING EQUIPMENT, AND UTILITIES.

**LEGEND**

NC	NATURAL GRADE
BLOC	TOP OF BUILDING
FC	FACE OF CURB
CONC	CONCRETE
ASP	ASPHALT
D/W	ACCESS DRIVEWAY
WF	BROUGHT IRON FENCE
SB	SIDEWALK
CMU	CONCRETE MASONRY UNIT
EP	EDGE OF PAVEMENT
CLF	CHAIN LINK FENCE
P.O.C.	POINT OF COMMENCEMENT
P.O.B.	POINT OF BEGINNING
W	WATER CONTROL VALVE
XX	FIRE HYDRANT
⊙	AS NOTED
⊙	LIGHT POLE
⊙	GAS METER
⊙	POSITION OF GEODETIC COORDINATES
---	SPOT ELEVATION
---	LIMITS OF LESSOR'S PROPERTY
---	CHAIN LINK FENCE
---	WOOD OR IRON FENCE
---	EASEMENT

**POSITION OF GEODETIC COORDINATES**  
 LATITUDE 34° 30' 05.9" NORTH (NAVD83)  
 LONGITUDE 118° 37' 40.6" WEST (NAVD83)  
 ELEVATION 1258.9' (NAVD83)

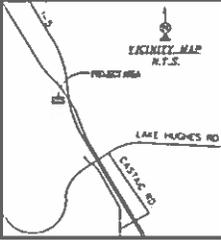
**UTILITY NOTES**  
 SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. RELOCATION, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

**BENCHMARK**  
 PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED OR PHOTO-METRIC HEIGHTS. BY APPLICATION OF NGS "LEOD" OFF-MODELED SEPARATIONS TO ELLIPSOID HEIGHTS DETERMINED BY RAB STATIC GPS DATA PROCESSED ON THE NGS DRYS WEB SITE. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD83.

**BASE OF BEARING**  
 BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM CALIFORNIA STATE PLANE COORDINATE ZONE FIVE, DETERMINED BY GPS OBSERVATIONS.

**SURVEY DATE**  
 05/01/12

**DIRECTIONS TO SITE**  
 FROM THE AT&T OFFICE IN CERRITOS CA, TAKE SURFACE STREETS TO MERCE ONTO CA-91. TAKE EXIT 178 TO MERCE ONTO I-580N. TAKE EXIT 11 TO MERCE ONTO I-581N. TAKE EXIT 178B FOR LAKE HUGHES RD. TURN LEFT ONTO LAKE HUGHES RD. TAKE THE 1ST RIGHT ONTO THE OLD RD. FOLLOW TO THE SITE ON THE RIGHT.



12900 PARK PLAZA DRIVE  
 SUITE #800  
 CERRITOS, CA 90703

12750 CENTER COURT DRIVE  
 SUITE #800  
 CERRITOS, CA 90703

1387 TELECOM PARKWAY  
 TAMPA, FL 33617  
 (813) 511-1888

REV	DATE	DESCRIPTION
1	07/22/2015	FINAL SURVEY
2	07/26/2015	COORDINATES
3	12/05/2015	BUILD FOR REVIEW

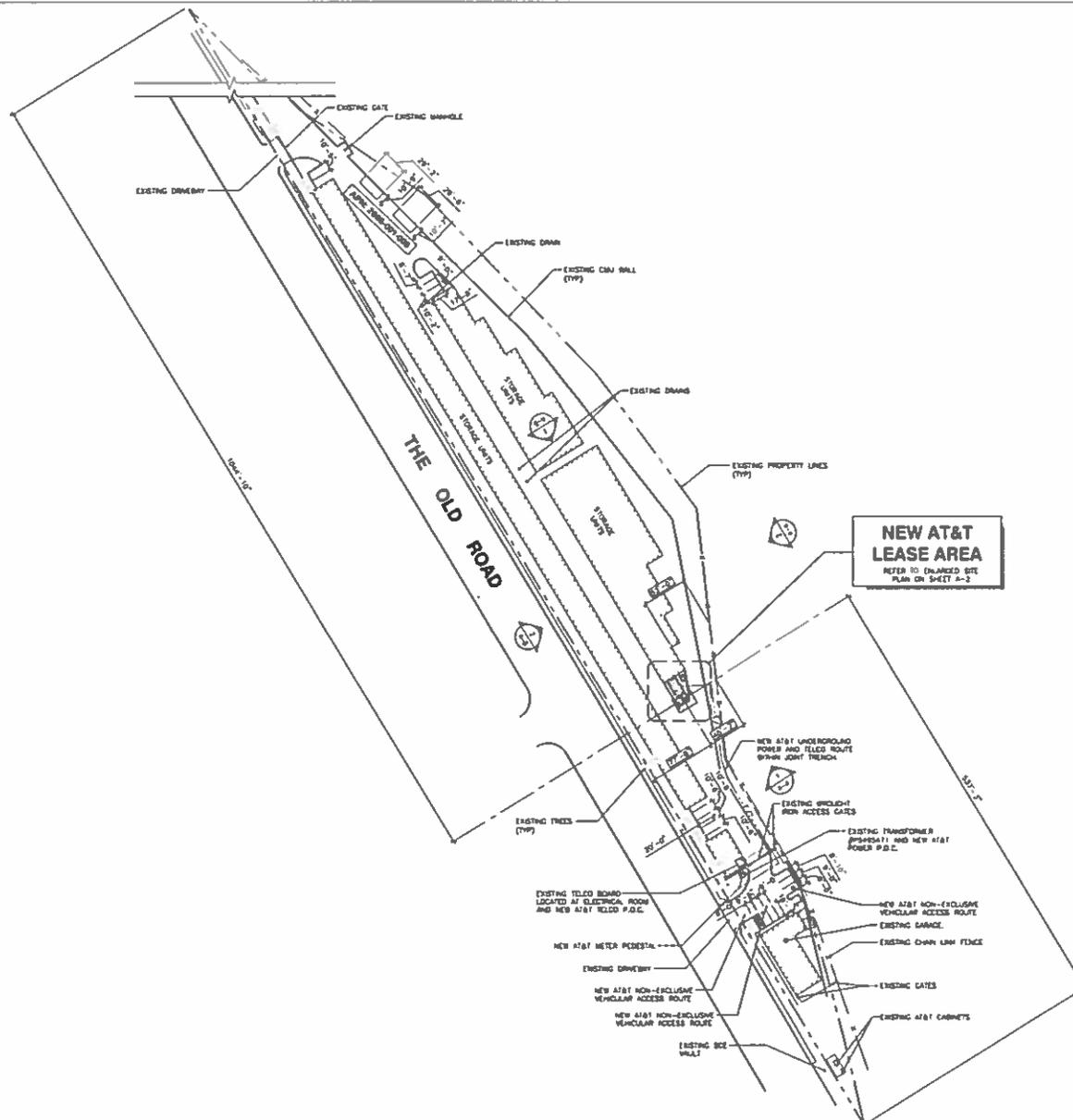
IF IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL SURVEYOR TO SIGN THIS DOCUMENT.

NL0457  
 CASTAIC STORAGE  
 32015 THE OLD ROAD  
 CASTAIC, CA 91384  
 NEW BUILD

SHEET TITLE  
 SITE SURVEY

SHEET NUMBER  
 LS-1





12900 PARK PLAZA DRIVE  
CERRITOS, CA 90703

PLANS PREPARED BY:



12750 CENTER COURT DRIVE  
SUITE 1600  
CERRITOS, CA 90703

NO.	DATE	DESCRIPTION	BY:
A	03/14/13	90% ZONING	JY
0	03/22/13	100% ZONING	CA
1	04/04/13	REDLINES	SN
2	07/11/13	REDLINES	EVI
3	08/07/13	ZONING COMMENT	EVI
4	11/07/13	ZONING COMMENT	EVI
5	11/18/13	CURB REVISION	EVI

SITE INFORMATION:

**NL0457**  
**CASTAIC STORAGE**  
32816 THE OLD ROAD  
CASTAIC, CA 91384

SCALE:

SHEET TITLE:

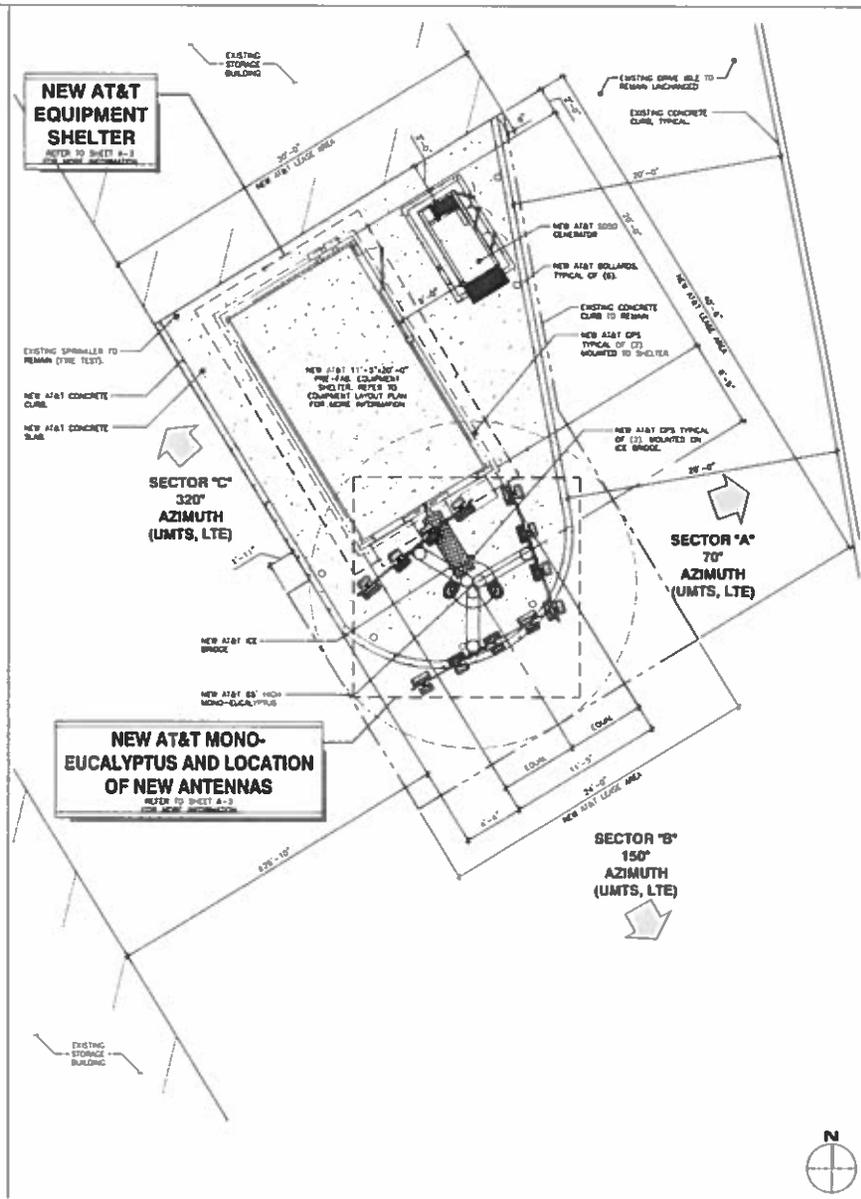
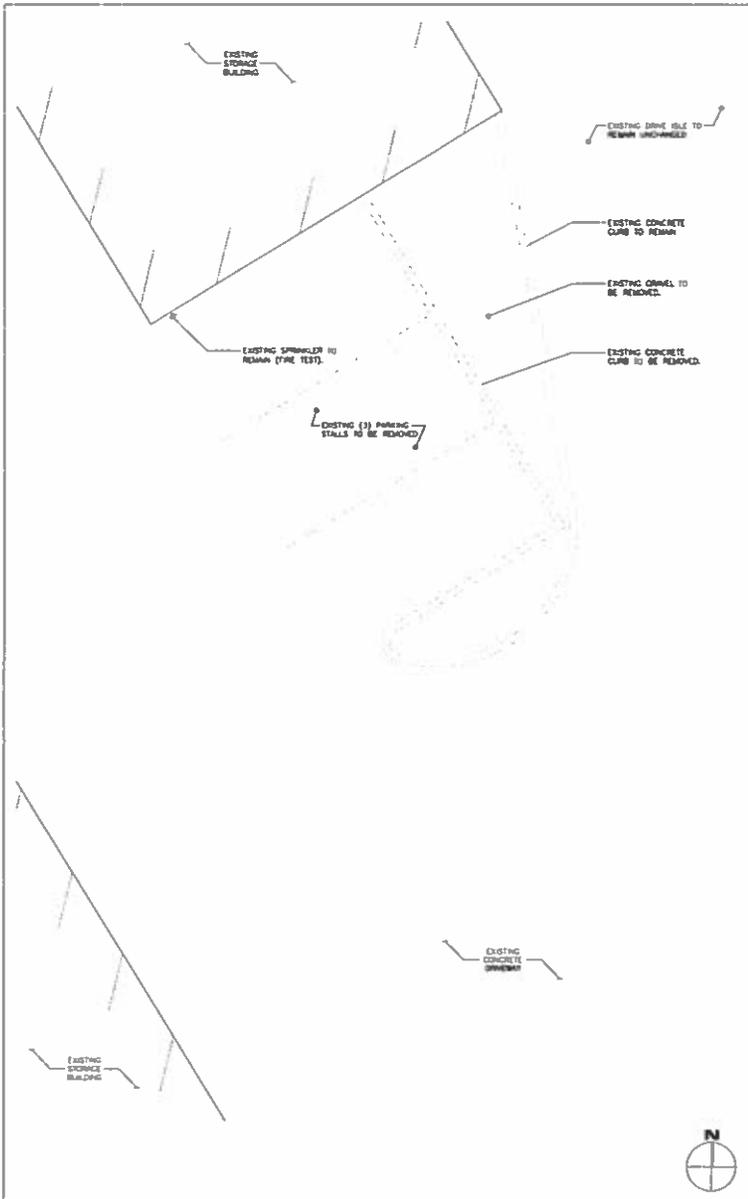
**SITE PLAN**

SHEET NUMBER:

**A-1**

**SITE PLAN**

SCALE: 1"=40'





12900 PARK PLAZA DRIVE  
CERRITOS, CA 90703

PLANS PREPARED BY:



CLIENT'S



**BLACK & VEATCH**

12750 CENTER COURT DRIVE  
SUITE #800  
CERRITOS, CA 90703

NO.	DATE	DESCRIPTION	BY
A	03/14/13	90% ZONING	JT
0	03/22/13	100% ZONING	CH
1	04/04/13	REDLINES	SH
2	07/11/13	REDLINES	EVT
3	08/07/13	ZONING COMMENT	EVT
4	11/07/13	ZONING COMMENT	EVT
5	11/18/13	CURB REVISION	EVT

SITE INFORMATION:

**NL0457**

**CASTAIC STORAGE**

38114 THE OLD ROAD  
CASTAIC, CA 91384

SCALE:

SHEET TITLE:

**ENLARGED SITE PLAN AND DEMO PLAN**

SHEET NUMBER:

**A-2**

DEMO PLAN

SCALE: 1/8"=1'-0"

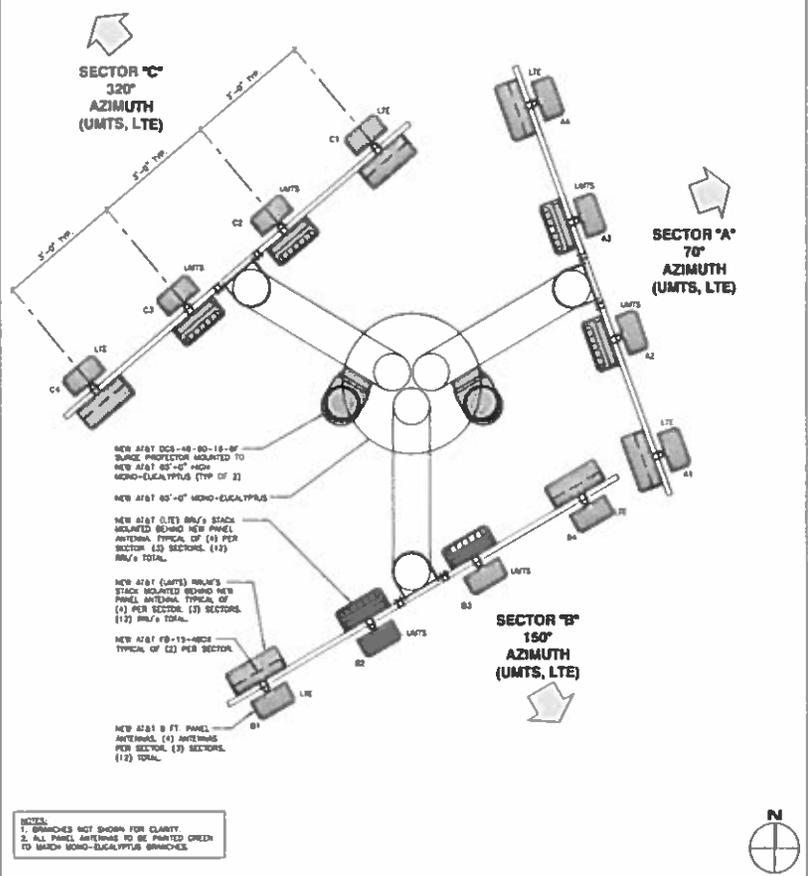
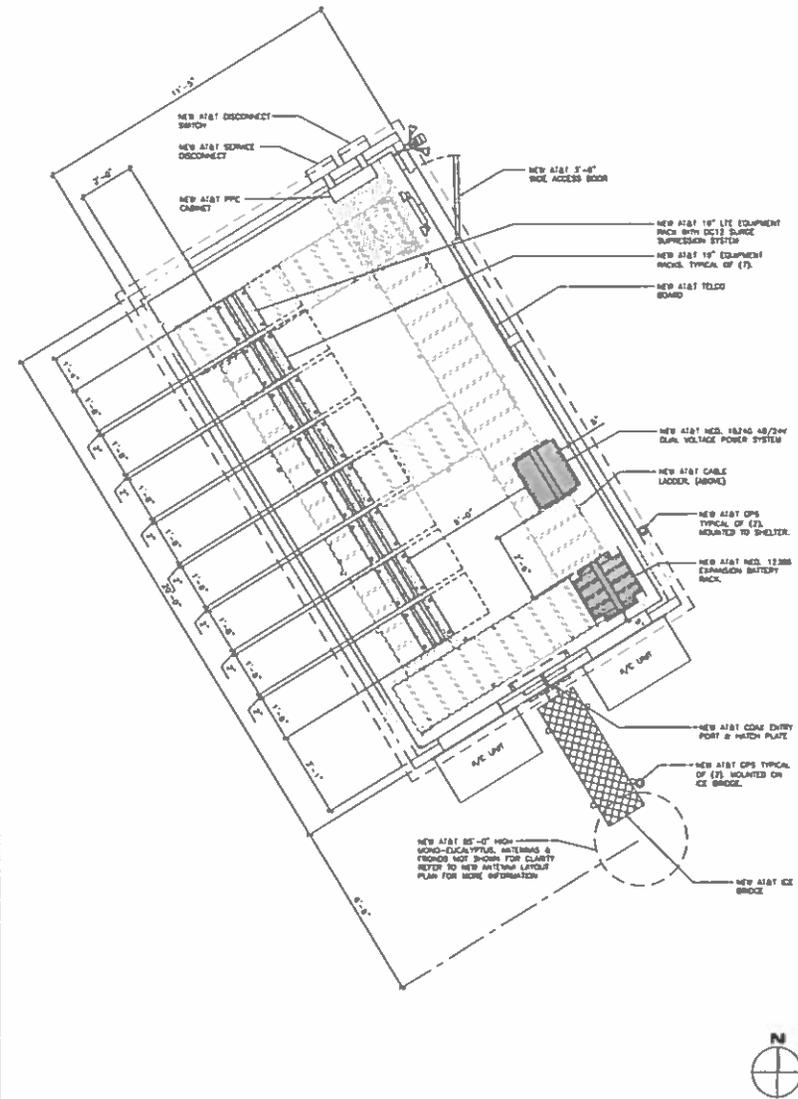
1 ENLARGED SITE PLAN

SCALE: 1/8"=1'-0"

2

**PROPOSED ANTENNA AND TRANSMISSION CABLES REQUIREMENT (VERIFY WITH CURRENT RF DS)**

SECTOR	PROPOSED TECHNOLOGY	ANTENNA MODEL	ANTENNA SIZE	ANTENNA AZIMUTH	RAD COVER	TRANSMISSION LINE LENGTH (FEET)	TYPE CABLE	PLUGS	SPACER	TYPE CABLE	PLUGS	FIBER
SECTOR "A"	A1	LTE	P88-17-BL-88	6"	70°	56'-0"	0'	2.00'	1.00'			
	A2	LMTS	P88-17-BL-88	6"	70°	56'-0"	0'	4.00'	1.00'			
	A3	LMTS	P88-17-BL-88	6"	70°	56'-0"	0'	6.00'	1.00'			
	A4	LTE	P88-17-BL-88	6"	70°	56'-0"	0'	4.00'	1.00'			
SECTOR "B"	B1	LTE	P88-17-BL-88	6"	150°	56'-0"	0'	4.00'	2.00'			
	B2	LMTS	P88-17-BL-88	6"	150°	56'-0"	0'	6.00'	2.00'			
	B3	LMTS	P88-17-BL-88	6"	150°	56'-0"	0'	8.00'	2.00'			
	B4	LTE	P88-17-BL-88	6"	150°	56'-0"	0'	6.00'	2.00'			
SECTOR "C"	C1	LTE	P88-17-BL-88	6"	320°	56'-0"	0'	4.00'	1.00'			
	C2	LMTS	P88-17-BL-88	6"	320°	56'-0"	0'	6.00'	1.00'			
	C3	LMTS	P88-17-BL-88	6"	320°	56'-0"	0'	8.00'	1.00'			
	C4	LTE	P88-17-BL-88	6"	320°	56'-0"	0'	6.00'	1.00'			



PLANS PREPARED BY:  
**NATIONAL**  
 CIVIL ENGINEERS & ARCHITECTS INC.  
 17250 CENTER COURT DRIVE SUITE #600

CLIENTS:  
**BLACK & V**  
 12750 CENTER COURT DRIVE SUITE #600

NO.	DATE	DESCRIPTION	BY
A	03/14/13	BOX ZONING	JY
0	03/22/13	100% ZONING	CM
1	04/04/13	REDLINES	SM
2	07/11/13	REDLINES	EVT
3	08/07/13	ZONING COMMENT	EVT
4	11/07/13	ZONING COMMENT	EVT
5	11/10/13	CURB REVISION	EVT

SITE INFORMATION:  
**NL0457**  
**CASTAIC STORAGE**  
 23815 THE OLD ROAD  
 CASTAIC, CA 91384

SEAL:

SHEET TITLE:  
**NEW EQUIPMENT & ANTENNA LAYOUT PLANS**

SHEET NUMBER:  
**A-3**

NEW EQUIPMENT LAYOUT PLAN

SCALE: 3/8"=1'-0" 1 NEW ANTENNA LAYOUT PLAN

SCALE: 3/8"=1'-0" 2



1200 PARK PLAZA DRIVE  
CERRITOS, CA 90710

PLANS PREPARED BY:



CLIENTS



**BLACK & VEATCH**

12750 CENTER COURT DRIVE  
SUITE #100  
CERRITOS, CA 90703

NO.	DATE	DESCRIPTION	BY:
1	03/14/13	90% ZONING	JT
2	03/22/13	100% ZONING	GN
3	04/04/13	REDLINES	SH
4	07/11/13	REDLINES	EVT
5	08/07/13	ZONING COMMENT	EVT
6	11/07/13	ZONING COMMENT	EVT
7	11/18/13	CURB REVISION	EVT

SITE INFORMATION:

**NL0457**

**CASTAIC STORAGE**

3816 THE OLD ROAD  
CASTAIC, CA 91384

SCALE:

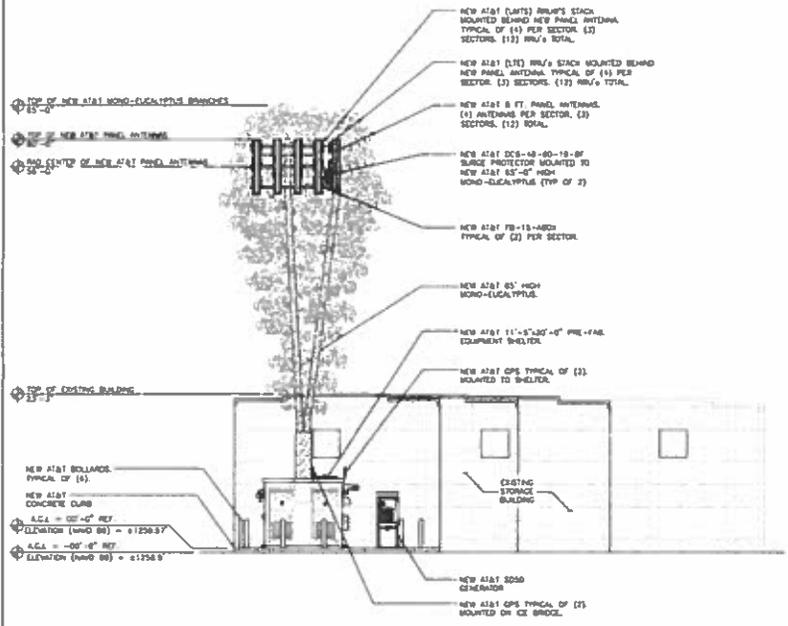
SHEET TITLE:

**ARCHITECTURAL  
ELEVATIONS**

SHEET NUMBER:

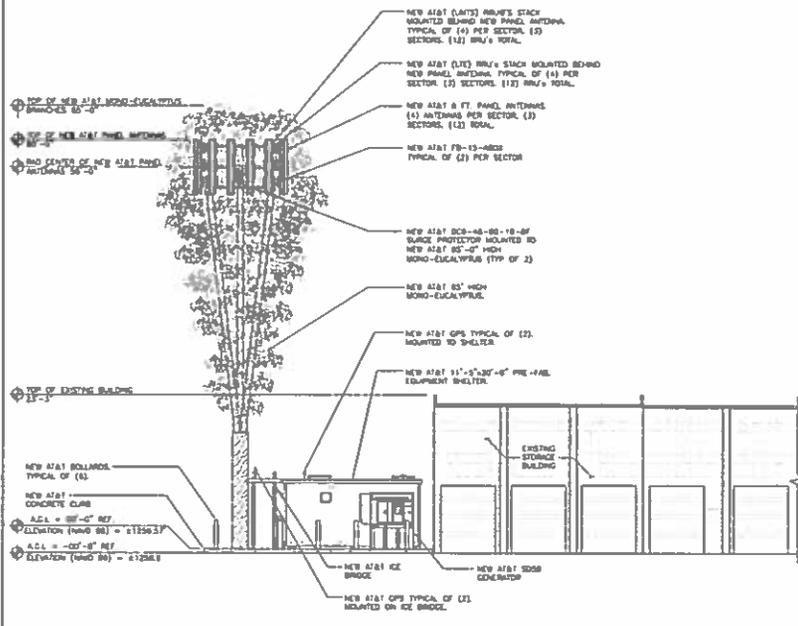
**A-4**

**NOTE:**  
THE PROPOSED INSTALLATION IS AN ARTIFICIAL REPRESENTATION OF A TREE, AND NOT INTENDED TO BE AN EXACT REPRODUCTION OF AN ACTUAL LIVING TREE. THE FINAL INSTALLATION WILL HAVE CABLES, CABLE PORTS, AND HARNESS ATTACHMENTS, SUCH AS ANTENNAS, WATS, AND BOLTS. EVERY EFFORT WILL BE MADE TO CONCEAL THESE COMPONENTS AND THEY WILL NOT BE READILY APPARENT TO THE CASUAL OBSERVER OR PASSERBY. HOWEVER, UPON CLOSE SCRUTINY, THE TREE NATURE OF THE INSTALLATION WILL BE APPARENT.



**SOUTHEAST ELEVATION**

SCALE: 1/8"=1'-0"



**NORTHEAST ELEVATION**

SCALE: 1/8"=1'-0"



12900 PARK PLAZA DRIVE  
CERRITOS, CA 90703

PLANS PREPARED BY:



CLIENTS:



**BLACK & VEATCH**

12750 CENTER COURT DRIVE  
SUITE 3800  
CERRITOS, CA 90703

NO.	DATE	DESCRIPTION	BY
0	03/14/13	SOIL ZONING	JY
0	03/22/13	100% ZONING	CH
1	04/04/13	REDLINES	SH
2	07/11/13	REDLINES	EVE
3	08/07/13	ZONING COMMENT	EVE
4	11/07/13	ZONING COMMENT	EVE
5	11/18/13	CURB REVISION	EVE

SITE INFORMATION:

**NL0457**

**CASTAIC STORAGE**

32815 THE OLD ROAD  
CASTAIC, CA 91384

SCALE:

SHEET TITLE:

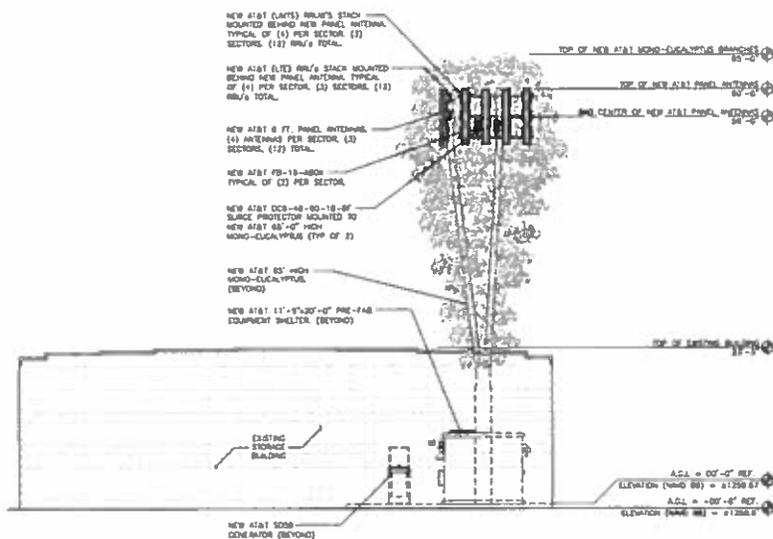
**ARCHITECTURAL  
ELEVATIONS**

SHEET NUMBER:

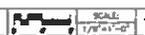
**A-5**

**NOTE**

"THE PROPOSED INSTALLATION IS AN ARTISTIC REPRESENTATION OF A TREE, AND NOT INTENDED TO BE AN EXACT REPRODUCTION OF AN ACTUAL LIMB TREE. THE FINAL INSTALLATION WILL HAVE CABLES, CABLE PORTS, AND VARIOUS ATTACHMENTS, SUCH AS ANTENNAS, RAIS, AND BOLTS. EVERY EFFORT WILL BE MADE TO DISGUISE THESE COMPONENTS AND THEY WILL NOT BE EASILY APPARENT TO THE CASUAL OBSERVER OR PASSERBY, WORKING UPON CLOSE SCRUTINY. THE TRUE NATURE OF THE INSTALLATION WILL BE APPARENT."



**NORTHWEST ELEVATION**



**SOUTHWEST ELEVATION**

