

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

- (1) An oak tree report/permit is required. Please see attached Grading review sheet (Comment 1) for additional comments.
- (2) Please see attached Road review sheet (Comments 1 and 2) for additional requirements.
- (3) An approved sewer area study. Please see attached Sewer review sheet (Comment 1) for additional comments.
- (4) Obtain a will serve letter from the Los Angeles County Sanitation District. Please see attached Sewer review sheet for (Comment 2) for additional requirements.
- (5) Provide a "Will Serve Letter" from the water purveyor. Please see attached Water review sheet (Comment 1) for requirements.
- (6) A revised tentative map is required to show the following additional items:
  - a. Add the following description to the title:  
  
"LOCATED IN THE UNINCORPORATED TERRITORY OF  
THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA"
  - b. Label all easements as "to remain", "to be relocated", or "to be abandoned". If easement is to be abandoned, indicate the proposed timing of the abandonment.
  - c. Please see attached Grading review sheet (Comment 2) for requirements.
  - d. Please see attached Road review sheet (Comment 3) for requirements.
  - e. Please see attached Sewer review sheet (Comment 3) for requirements.
  - f. Please see attached Water review sheet (Comment 2) for requirements.

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

1. An oak tree report/permit is required for trees impacted by road construction.
2. A revised tentative map and/or exhibit map is required to show the following additional items:
  - a. Proposed pad locations and elevations.
  - b. Add a note indicating no proposed lot grading.
  - c. Label all easements as “to remain”, “to be relocated”, or “to be abandoned”.
  - d. Show contour lines, elevations, and topography details (boundary conditions) at southerly project vicinity, including the existing drainage pattern from neighboring properties.
  - e. Show the proposed dedication area for Vallecito Drive.
  - f. Show and call out all existing oak trees on the site and update the Oak Tree Table – there may be additional oak trees on site not disclosed in the Oak Tree Table and tentative map. Also, label all existing trees that interfere with the project site as “to remain”, “to be relocated”, “to be trimmed”, or “to be removed”.
  - g. All oak trees impacted by road construction must be identified on the map.

*DGR*

Name Diego Rivera Date 05/16/2013 Phone (626) 458-3839  
P:\ldpub\SUBPCHECK\Grading\Tentative Map Reviews\72111.doc

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

- (1) Provide line of sight exhibit to demonstrate access points will have appropriate sight distance based on 55 mph design speed. Line of sight shall be within right of way or dedicate airspace easements to the satisfaction of Public Works. Additional grading may be required. With respect to the position of the vehicle at the minor road, the driver of the vehicle is presumed to be located 4 feet right of centerline and 10 feet back the top of curb (TC) or flow line (FL) prolongation. When looking left, we consider the target to be located at the center of the lane nearest to the parkway curb. We use 6 feet from TC as a conservative rule. When looking right, the target is the center of the lane nearest to the centerline or from the median TC (when present).
- (2) An oak tree report/permit is required for trees impacted by road construction.
- (3) A revised tentative map is required to show the following additional items:
  - a. Delineate and call out a proposed 40-foot wide dedication on Vallecito Drive along the property frontage.
  - b. Show and call out existing road and drainage improvements including, but not limited to, curb, gutter, sidewalk, driveway aprons, catch basins, drainage structures, street lights and street trees on all existing streets and highways.
  - c. Identify and call out all private improvements "to be removed" from the dedicated road right of way on Vallecito Drive.
  - d. Provide cross sections for all streets and highways showing the existing and proposed right of way, existing and proposed improvements, including pavement, curb, gutter, and sidewalk.
  - e. Show and expand on off-site conditions 50 feet from the property line in the vicinity of the southerly project boundary, including contour lines, elevations, topography details, and existing improvements (boundary conditions).
  - f. Call out the existing edge of pavement.

- (3) A revised tentative map is required to show the following additional items (cont.):
- g. Show and call out the proposed driveway locations.
  - h. All oak trees impacted by road construction must be identified on the map.

*DR*

Prepared by Diego Rivera  
pm72111r.doc

Phone (626) 458-3839

Date 05-20-2013

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

- (1) Prior to tentative map approval the subdivider shall submit an area study to Public Works to determine if capacity is available in the proposed and existing sewerage system servicing this land division. If the system is found to have insufficient capacity, upgrade of the proposed and existing sewerage system is required to the satisfaction of Public Works.
- (2) Obtain a will serve letter from the Los Angeles County Sanitation District for the discharge of sewer into the sewers trunk line.
- (3) A revised tentative map is required to show the following additional items:
  - a. Show location of existing sewer main lines to serve the proposed development.
  - b. Show how the on-site proposed development is to be served by existing public sewer and call out the proposed points of connection to the existing public sewer system.
  - c. If applicable, show and call out all existing on-site public and private easements with names of the holders, document numbers and recorded dates. Label all easements as "to remain", "to be relocated", or "to be abandoned". If easement is to be abandoned, indicate the proposed timing of the abandonment.

It is recommended that this tentative map not be approved at this time. This recommendation is based upon information or lack of information that is available concerning the subject property. The removal of this recommendation is contingent upon the submission and satisfactory review of the following:

1. Provide "Will Serve Letter" from the water purveyor indicating that the water system will be operated by the purveyor, and that under normal conditions, the system will meet the requirements for the land division, and that water service will be provided to each parcel.
2. A revised tentative map is required to show the following items:
  - a. Show how proposed parcels are to be served by existing public water and call out the proposed points of connection.
  - b. Label all easements as "to remain", "to be relocated", or "to be abandoned". If easement is to be abandoned, indicate the proposed timing of the abandonment.

Prepared by  Tony Khalkhali  
pm72111w-new.doc

Phone (626) 458-4921

Date 05-20-2013

DEPARTMENT OF PUBLIC WORKS  
LAND DEVELOPMENT DIVISION – SUBDIVISION

PARCEL MAP NO. 72111(Rev.)

TENTATIVE MAP DATED 04-24-2013

- If this recommendation of disapproval is changed to a recommendation of approval based on additional information, the following reports would be recommended for inclusion in the conditions of tentative approval:

  
Prepared by John Chin

Phone (626) 458-4918

Date 05-20-2013

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<http://planning.lacounty.gov/case/view/r2013-01123/>

The following reports consisting of \_\_\_ pages are the recommendations of Public Works.

The subdivision shall conform to the design standards and policies of Public Works, in particular, but not limited to the following items:

1. Details and notes shown on the tentative map are not necessarily approved. Any details or notes which may be inconsistent with requirements of ordinances, general conditions of approval, or Department policies must be specifically approved in other conditions, or ordinance requirements are modified to those shown on the tentative map upon approval by the Advisory agency.
2. Easements are tentatively required, subject to review by the Director of Public Works to determine the final locations and requirements.
3. Easements shall not be granted or recorded within areas proposed to be granted, dedicated, or offered for dedication for public streets, highways, access rights, building restriction rights, or other easements until after the final map is filed with the Registrar-Recorder/County Clerk's Office. If easements are granted after the date of tentative approval, a subordination must be executed by the easement holder prior to the filing of the final map.
4. In lieu of establishing the final specific locations of structures on each lot/parcel at this time, the owner, at the time of issuance of a grading or building permit, agrees to develop the property in conformance with the County Code and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Ordinance, Highway Permit Ordinance, Mechanical Code, Zoning Ordinance, Undergrounding of Utilities Ordinance, Water Ordinance, Sanitary Sewer and Industrial Waste Ordinance, Electrical Code, and Fire Code. Improvements and other requirements may be imposed pursuant to such codes and ordinances.
5. All easements existing at the time of final map approval must be accounted for on the approved tentative map. This includes the location, owner, purpose, and recording reference for all existing easements. If an easement is blanket or indeterminate in nature, a statement to that effect must be shown on the tentative map in lieu of its location. If all easements have not been accounted for, submit a corrected tentative map to the Department of Regional Planning for approval.
6. Quitclaim or relocate easements running through proposed structures.

7. Adjust, relocate, and/or eliminate lot lines, lots, streets, easements, grading, geotechnical protective devices, and/or physical improvements to comply with ordinances, policies, and standards in effect at the date the County determined the application to be complete all to the satisfaction of Public Works.
8. Prior to final approval of the parcel map submit a notarized affidavit to the Director of Public Works, signed by all owners of record at the time of filing of the map with the Registrar-Recorder/County Clerk's Office, stating that any proposed condominium building has not been constructed or that all buildings have not been occupied or rented and that said building will not be occupied or rented until after the filing of the map with the Registrar-Recorder/County Clerk's Office.
9. A final parcel map must be processed through the Director of Public Works prior to being filed with the Registrar-Recorder/County Clerk's Office.
10. Prior to submitting the parcel map to the Director of Public Works for examination pursuant to Section 66450 of the Government Code, obtain clearances from all affected Departments and Divisions, including a clearance from the Subdivision Mapping Section of the Land Development Division of Public Works for the following mapping items; mathematical accuracy; survey analysis; and correctness of certificates, signatures, etc.
11. If signatures of record title interests appear on the final map, a preliminary guarantee is needed. A final guarantee will be required. If said signatures do not appear on the final map, a title report/guarantee is needed showing all fee owners and interest holders and this account must remain open until the final parcel map is filed with the Registrar-Recorder/County Clerk's Office.

12. Within 30 days of the approval date of this land use entitlement or at the time of first plan check submittal, the applicant shall deposit the sum of \$2,000 (Minor Land Divisions) or \$5,000 (Major Land Divisions) with Public Works to defray the cost of verifying conditions of approval for the purpose of issuing final map clearances. This deposit will cover the actual cost of reviewing conditions of approval for Conditional Use Permits, Tentative Tract and Parcel Maps, Vesting Tentative Tract and Parcel Maps, Oak Tree Permits, Specific Plans, General Plan Amendments, Zone Changes, CEQA Mitigation Monitoring Programs and Regulatory Permits from State and Federal Agencies (Fish and Game, USF&W, Army Corps, RWQCB, etc.) as they relate to the various plan check activities and improvement plan designs. In addition, this deposit will be used to conduct site field reviews and attend meetings requested by the applicant and/or his agents for the purpose of resolving technical issues on condition compliance as they relate to improvement plan design, engineering studies, highway alignment studies and tract/parcel map boundary, title and easement issues. When 80% of the deposit is expended, the applicant will be required to provide additional funds to restore the initial deposit. Remaining balances in the deposit account will be refunded upon final map recordation.



Prepared by John Chin

pm72111L-new.doc

<http://planning.lacounty.gov/case/view/r2013-01123/>

Phone (626) 458-4918

Date 05-20-2013



**COUNTY OF LOS ANGELES  
DEPARTMENT OF PUBLIC WORKS**

900 SOUTH FREMONT AVENUE  
ALHAMBRA, CALIFORNIA 91803-1331  
WWW.DPW.LACOUNTY.GOV

PARCEL NO.: 72111

TENTATIVE MAP DATE: 4/24/2013

**HYDROLOGY UNIT CONDITIONS OF APPROVAL, PHONE: (626) 458-4921**

Approval of this map pertaining to drainage is recommended (No grading is proposed on the tentative map, and application indicates this is a lot split only).

**Prior to Building Permit:**

1. Per County Code Section 12.84.440 comply with LID standards in accordance with the Low Impact Development Standards Manual which can be found at [http://dpw.lacounty.gov/wmd/LA\\_County\\_LID\\_Manual.pdf](http://dpw.lacounty.gov/wmd/LA_County_LID_Manual.pdf)
2. Prior to issuance of building permits, plans must be approved to: provide for the proper distribution of drainage and for contributory drainage from adjoining properties and eliminate the sheet overflow, ponding, and protect the lots from high velocity scouring action; comply with the MS4 Permit requirements.

Name EDEN BERHAN Date 5/21/13 Phone (626) 458-4921

County of Los Angeles Department of Public Works  
GEOTECHNICAL AND MATERIALS ENGINEERING DIVISION  
GEOLOGIC REVIEW SHEET  
900 So. Fremont Ave., Alhambra, CA 91803  
TEL. (626) 458-7989

DISTRIBUTION  
\_ Geologist  
\_ Soils Engineer  
1 GMED File  
1 Subdivision

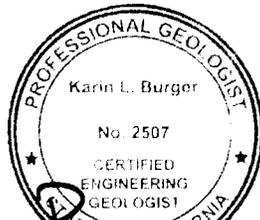
TENTATIVE PARCEL MAP 72111  
SUBDIVIDER Lin  
ENGINEER EGL Associates, Inc.  
GEOLOGIST ---  
SOILS ENGINEER ---

TENTATIVE MAP DATED 4/24/13  
LOCATION Hacienda Heights  
GRADING BY SUBDIVIDER [ N ] (Y or N)  
REPORT DATE ---  
REPORT DATE ---

TENTATIVE MAP FEASIBILITY IS RECOMMENDED FOR APPROVAL FROM A GEOLOGIC STANDPOINT

THE FOLLOWING INFORMATION IS APPLICABLE TO THIS DIVISION OF LAND:

- The Final Map does *not* need to be reviewed by GMED.
- The subdivider is advised that approval of this division of land is contingent upon the installation and use of a sewer system.
- Geology and/or soils engineering reports may be required prior to approval of building or grading plans.
- The Soils Engineering review dated 5-17-13 is attached.



*Karin Burger*

Reviewed by Karin Burger Date May 16, 2013

Please complete a Customer Service Survey at <http://dpw.lacounty.gov/go/gmedsurvey>

COUNTY OF LOS ANGELES  
DEPARTMENT OF PUBLIC WORKS  
GEOTECHNICAL AND MATERIALS ENGINEERING DIVISION

SOILS ENGINEERING REVIEW SHEET

Address: 900 S. Fremont Ave., Alhambra, CA 91803  
Telephone: (626) 458-4925  
Fax: (626) 458-4913

District Office ---  
PCA LX001129  
Sheet 1 of 1

**Ungraded Site Lots**

Tentative Parcel Map 72111  
Location Hacienda Heights  
Developer/Owner Lin  
Engineer/Architect EGL Associates, Inc.  
Soils Engineer ---  
Geologist ---

**DISTRIBUTION:**

Drainage  
 Grading  
 Geo/Soils Central File  
 District Engineer  
 Geologist  
 Soils Engineer  
 Engineer/Architect

Review of:

Tentative Parcel Map Dated by Regional Planning 4/24/13

**ACTION:**

Tentative Map feasibility is recommended for approval.



Prepared by \_\_\_\_\_ Date 5/17/13

### PRELIMINARY CONDITIONS

The subdivision shall conform to the design standards and policies of Public Works, in particular, but not limited to the following items:

1. Dedicate right of way 40 feet from centerline along the property frontage on Vallecito Drive. Twenty feet of additional right of way is required beyond the existing right of way line.
2. Dedicate the right to restrict vehicular access on Vallecito Drive.
3. Close any unused driveway with standard curb, gutter, and full width sidewalk along the property frontage on Vallecito Drive to the satisfaction of Public Works.
4. Construct curb, gutter, base, pavement, and full-width sidewalk along the property frontage on Vallecito Drive. The curb and gutter shall be located 32 feet from centerline.
5. Construct new driveways to meet current ADA (Americans with Disabilities Act) requirements to the satisfaction of Public Works.
6. Construct drainage improvements and offer easements needed for street drainage or slopes to the satisfaction of Public Works.
7. Repair any damaged improvement during construction along the property frontage on Vallecito Drive to the satisfaction of Public Works.
8. Remove all existing private improvements from the right of way on Vallecito Drive to the satisfaction of Public Works.
9. Plant street trees along the property frontage on Vallecito Drive to the satisfaction of Public Works. Existing trees in the dedicated or to be dedicated right of way shall be removed and replaced if not acceptable as street trees.
10. Comply with the following street lighting requirements:
  - a. Provide street lights on concrete poles with underground wiring along the property frontage on Vallecito Drive to the satisfaction of Public Works. Submit street lighting plans as soon as possible for review and approval to the Street Lighting Section of the Traffic and Lighting Division. For additional information, please contact the Street Lighting Section at (626) 300-4726.

- b. The proposed development or portions thereof, are not within an existing Lighting District. Annexation and assessment balloting are required. Upon tentative map approval, the applicant shall comply with conditions listed below in order for the Lighting District to pay for the future operation and maintenance of the street lights. The Board of Supervisors must approve the annexation and levy of assessment (should assessment balloting favor levy of assessment) prior to filing of the final subdivision maps for each area with the Registrar-Recorder/County Clerk.
- (1) Request the Street Lighting Section to commence annexation and levy of assessment proceedings.
  - (2) Provide business/property owner's name(s), mailing address(es), site address, Assessor Parcel Number(s), and Parcel Boundaries in either Microstation or Auto CADD format of territory to be developed to the Street Lighting Section.
  - (3) Submit a map of the proposed development including any roadways conditioned for street lights that are outside the proposed project area to Street Lighting Section. Contact the Street Lighting Section for map requirements and with any questions at (626) 300-4726.
- c. The annexation and assessment balloting process takes approximately twelve months or more to complete once the above information is received and approved. Therefore, untimely compliance with the above will result in a delay in receiving approval of the street lighting plans or in filing the final subdivision map for recordation. Information on the annexation and the assessment balloting process can be obtained by contacting Street Lighting Section at (626) 300-4726.
- d. For acceptance of street light transfer of billing, the area must be annexed into the Lighting District and all street lights in the development, or the current phase of the development, must be constructed according to Public Works approved plans. The contractor shall submit one complete set of "as-built" plans. Provided the above conditions are met, all street lights in the development, or the current phase of the development, have been energized, and the developer has requested a transfer of billing at least by January 1 of the previous year, the Lighting District can assume responsibility for the operation and maintenance of the street lights by July 1 of any given year. The transfer of billing could be delayed one or more years if the above conditions are not met.

11. Prior to final map approval, enter into an agreement with the County franchised cable TV operator (if an area is served) to permit the installation of cable in a common utility trench to the satisfaction of Public Works; or provide documentation that steps to provide cable TV to the proposed subdivision have been initiated to the satisfaction of Public Works.
12. Underground all new utility lines to the satisfaction of Public Works and Southern California Edison. Relocate power poles and underground the affected service lines and distribution lines that are located along the property frontage. Please contact Construction Division at (626) 458-3129 for new location of any above ground utility structure in the parkway.
13. Install postal delivery receptacles in groups to serve two or more residential parcels/lots.
14. If applicable, prepare detailed signing and striping plans (scale 1" = 40') for Vallecito Drive along the property frontage to the satisfaction of Public Works.

*DGR*

Prepared by Diego Rivera  
pm72111r.doc

Phone (626) 458-3839

Date 05-20-2013