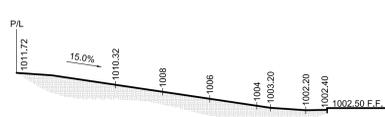


SITE PLAN

SCALE: 1:20



SITE SURFACE AREA CALCULATIONS			
	GRASS/TURF	D.T.L.	TOTAL
SQUARE FT.	3,467	14,199	17,666
PERCENTAGE	19.6%	80.4%	100%

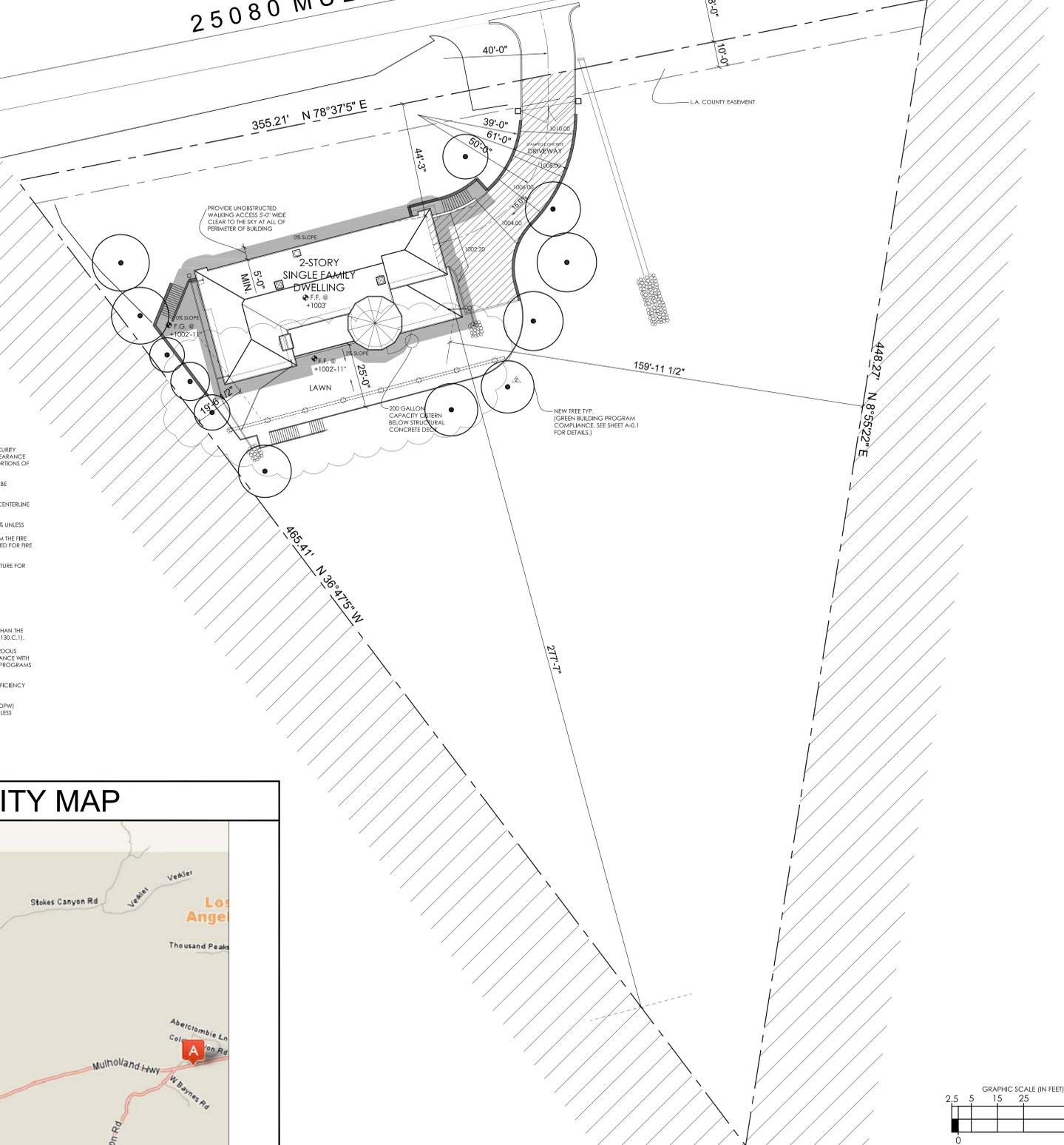
FRONT YARD = 100% DROUGHT TOLERANT LANDSCAPING

PROPOSED DRIVEWAY SECTION

1" = 20'-0"



25080 MULHOLLAND HWY



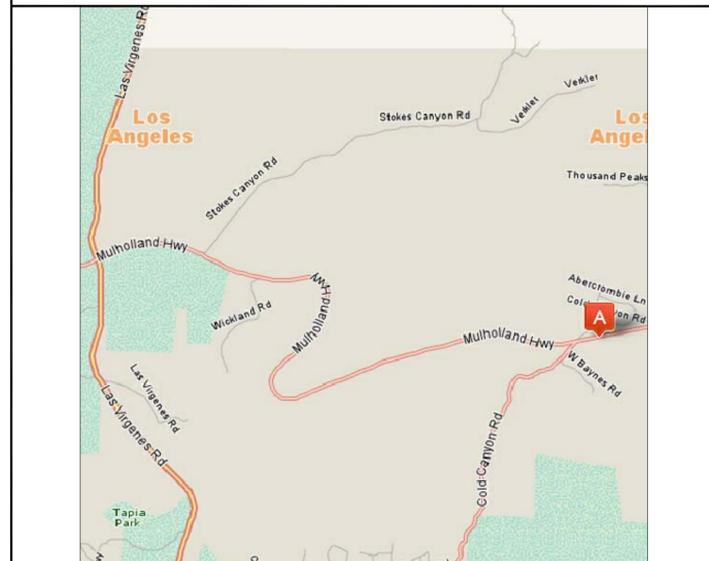
FIRE DEPARTMENT NOTES:

1. PROVIDE A MINIMUM UNOBSTRUCTED WIDTH OF 20 FEET, EXCEPT FOR APPROVED SECURITY GATES IN ACCORDANCE WITH SECTION 503.6 AND AN UNOBSTRUCTED VERTICAL CLEARANCE "CLEAR TO SKY" FIRE DEPARTMENT VEHICULAR ACCESS TO WITHIN 150 FEET OF ALL PORTIONS OF THE EXTERIOR BUILDING WALLS. FIRE CODE 503.2.1
2. DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED FIRE DEPARTMENT TURNAROUND. FIRE CODE 503.2.5
3. FIRE DEPARTMENT VEHICULAR ACCESS ROADS SHALL BE PROVIDED WITH A 32 FOOT CENTERLINE TURNING RADIUS. FIRE CODE 503.2.4
4. THE GRADIENT OF FIRE DEPARTMENT VEHICULAR ACCESS ROADS SHALL NOT EXCEED 15% UNLESS APPROVED BY THE FIRE CODE OFFICIAL. FIRE CODE 503.2.7
5. A MINIMUM 5 FOOT WIDE APPROVED FIREFIGHTER ACCESS WALKWAY LEADING FROM THE FIRE APPARATUS ACCESS ROAD TO THE BUILDINGS EXTERIOR OPENINGS SHALL BE PROVIDED FOR FIRE FIGHTING AND RESCUE PURPOSES. FIRE CODE 504.1
6. GRADE BREAKS SHALL NOT EXCEED THE MAXIMUM ANGLE OF APPROACH OR DEPARTURE FOR FIRE DEPARTMENT APPARATUS.

GREEN BUILDING PROGRAM:

1. SMART IRRIGATION CONTROLLER SHALL BE INSTALLED FOR ALL LANDSCAPING.
2. PROJECT SHALL BE DESIGNED TO ACHIEVE AT LEAST 15% MORE ENERGY EFFICIENCY THAN THE 2005 CALIFORNIA ENERGY EFFICIENCY STANDARDS, TITLE 24, PART 6 (SECTION 22.52.130(C.1)).
3. PROJECT SHALL RECYCLE AND/OR SALVAGE THE MINIMUM AMOUNT OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS (SECTION 22.52.2130(C.4)) AND IN COMPLIANCE WITH REQUIREMENTS SET FORTH BY THE DEPARTMENT OF PUBLIC WORKS, ENVIRONMENTAL PROGRAMS DIVISION.
4. PROJECT SHALL COMPLY WITH THE REQUIREMENT THAT TANK-TYPE TOILETS BE HIGH-EFFICIENCY TOILETS (MAXIMUM 1.28 GALLONS/FLUSH) (SECTION 22.52.2130(C.3)).
5. I/D BMP'S SHALL BE INSTALLED AS REQUIRED BY THE DEPARTMENT OF PUBLIC WORKS (DPW) PURSUANT TO THE COUNTY'S "LOW IMPACT DEVELOPMENT STANDARDS MANUAL" UNLESS MODIFIED OR WAIVED BY DPW.

VICINITY MAP



INDEX OF DRAWINGS

ARCHITECTURAL

- A-0.0 INDEX OF DRAWINGS, PROJECT DATA & SITE PLAN
- A-0.1 SITE PLAN FOR L.A. COUNTY LANDSCAPE REQUIREMENTS (DUPLICATION OF APPROVED L.A. COUNTY FUEL MOD PLAN)
- N.I.S. A-0.2 TITLE 24 & GENERAL NOTES
- N.I.S. A-0.3 SITE SURVEY/ GRADING PLAN
- A-1.0 FIRST FLOOR PLAN WITH SCHEDULES
- A-1.1 SECOND FLOOR PLAN WITH SCHEDULES
- A-1.2 ROOF PLAN
- N.I.S. A-2.0 FIRST FLOOR REFLECTED CEILING PLAN
- N.I.S. A-2.1 SECOND FLOOR REFLECTED CEILING PLAN
- A-3.0 CROSS SECTIONS
- A-4.0 EXTERIOR ELEVATIONS (EAST & NORTH)
- A-4.1 EXTERIOR ELEVATIONS (WEST & SOUTH)
- N.I.S. A-5.0 INTERIOR ELEVATIONS
- N.I.S. A-5.1 INTERIOR ELEVATIONS
- N.I.S. A-5.2 INTERIOR ELEVATIONS
- N.I.S. A-5.3 INTERIOR ELEVATIONS

ELECTRICAL

- N.I.S. E-1.0 FIRST FLOOR LIGHTING PLAN
- N.I.S. E-1.1 SECOND FLOOR LIGHTING PLAN
- N.I.S. E-2.0 FIRST FLOOR ELECTRICAL POWER PLAN
- N.I.S. E-2.1 SECOND FLOOR ELECTRICAL POWER PLAN

PROJECT DATA

NEW SINGLE FAMILY RESIDENCE ADDRESS: 25080 MULHOLLAND HIGHWAY CALABASAS, CALIFORNIA	SITE AREA: 74,667 SQUARE FEET TOTAL = 71,158 SQUARE FEET <small>(minus 10' road easement)</small>
ZONING: R1 OCCUPANCY: R1 CONSTRUCTION TYPE: V FIRE DISTRICT: FBZ	NUMBER OF STORES: 2
ALLOWABLE HEIGHT: 35'-0" ACTUAL HEIGHT ABOVE FIRST FLOOR SLAB: 28'-0"	AREA: OCCUPANCY: R3 = TOTAL AREA: 5,005 SQUARE FEET FIRST FLOOR HABITABLE AREA: 2,869 SQUARE FEET SECOND FLOOR HABITABLE AREA: 2,136 SQUARE FEET
PROPERTY SETBACKS: FRONT: 44'-2" REAR: 31'-0" SIDE (EAST): 19'-4" SIDE (WEST): 19'-7"	OCCUPANCY: U1 GARAGE AREA: 640 SQUARE FEET LOGGIA AREA: 3216 SQUARE FEET BALCONY AREA: 718 SQUARE FEET

PROJECT DIRECTORY

ARCHITECTURAL DESIGNER: John Anthony Lewis Architect # C17057 6621 Smoke Tree Avenue Oak Park, CA 91377 818 521 9876	CIVIL ENGINEER: EJK & Associates E.J. Kim P.E. #42388 6520 Platt Ave, Suite 538 West Hills, CA 91307 818 337 9055	GEO. TECH. (SEPTIC): GROVER/ HOLLINGSWORTH 3129 Via Colinas, Suite 707 Westlake Village, CA 91361 Larry Young 818 889 0944
STRUCTURAL ENGINEER: Oxford Engineering Ahmad Heydar, P.E. 3679 22543 Ventura Blvd., Suite 228 Woodland Hills, CA 91364 818 225 9670	TITLE24 ENERGY: Alternative Energy Systems 229 N. Central Ave, Suite 500 Glendale, CA 91203 Armen Abramian Associate Energy Analyst 818 246 2844	OWNER: EDB Development, LLC Attn: Gayle Pepper 2 Rancho Rd. Bell Canyon, CA 91307

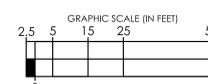
LEGAL DESCRIPTION

LEGAL DESCRIPTION OF PROPERTY

PARCEL 1:
That portion of the South half of the Northwest Quarter of Section 9, Township 1 South, Range 17 West, San Bernardino Base Meridian, according to the Official Plat thereof described as follows:
Beginning at the intersection of the Westerly line of said Section 9, with the center line of Cold Canyon Road, as described in the Deed to the County of Los Angeles recorded on April 17, 1925 as Instrument No. 1380 in Book 4844 Page 305. Official Records. In the office of the County Recorder of said county, said intersection being a point in the curve concave to the South and having a radius of 150.00 feet, a radial line to said last mentioned point bears North 42 degrees 54' 56" West; thence Northeastly along said center line and said curve a distance of 46.05 feet; thence continuing along said center line North 75 degrees 11' 25" East 138.84 feet to the intersection with that certain curve in the center line of Cold Canyon Road, described in the deed to the County of Los Angeles, recorded on July 11, 1933, as Instrument No. 570 in Book 12212.
Page 319 Official Records of said county, as being a curve concave to the Northwest and having a radius of 750.00 feet; thence Northeastly along said mentioned center line and said curve a distance of 456.33 feet; thence tangent to said last mentioned curve and continuing along said last mentioned center line of Cold Canyon Road North 40 degrees 17' 45" East 656.22 feet to the Northern line of the 80 foot strip of land condemned for public road purposes by final order of condemnation entered in case no. 650660, Superior Court, Los Angeles County, a certified copy of which was recorded on May 1, 1956 as Instrument No. 4459, in Book 51051 page 18. Official Records; thence along said Northern line North 78 degrees 37' 09" East 450.20 feet to the true point of beginning of this description; thence continuing along Northern line North 78 degrees 37' 09" East 422.80 feet; thence leaving said Northern line South 08 degrees 55' 22" West 533.57 feet; thence North 35 degrees 20' 27" West 568.12 feet to the true point of beginning of this description.

PARCEL 2:
A non-exclusive easement for road, utility, storm drain, and sanitary sewer purposes over that portion of the West half of Section 9, Township 1 South Range 17 West, San Bernardino Base Meridian, according to the Official Plat thereof included within a strip of land of uniform width of 64 feet, the center line of which is described in Parcel 2A in that certain deed recorded March 3, 1972 as Instrument No. 5923 in Book D5379 Page 316, Official Records.

PARCEL 3:
A non-exclusive easement for road, utility, storm drain, and sanitary sewer purposes over that portion of the West half of Section 9, Township 1 South, Range 17 West, San Bernardino Base Meridian, according to the Official Plat thereof included within a strip of land of uniform width of 64 feet, the center line of which is described in Parcel 2A and 2B in that certain deed recorded March 3, 1972 as Document No. 5923 in Book D5379 Page 316, Official Records.
APN: 4455-918-027



A-0.0

JOHN ANTHONY LEWIS ARCHITECT



ARCHITECTURE • A.L.A.
INTERIOR DESIGN
LANDSCAPE DESIGN

STUDIO
6621 SMOKE TREE AVENUE
OAK PARK, CA 91377
STUDIO
6621 SMOKE TREE AVENUE
OAK PARK, CA 91377
(818) 521-9876
FAX (818) 450-0810

INDEX OF DRAWINGS, PROJECT DATA & SITE PLAN
DATE: 1-18-2012
SCALE: 1/20
DRAWN BY: MDG - BRL

REVISIONS
- Δ, ΔΔ, RELOCATION OF BUILDING FOOTPRINT
- ΔΔ, NEW STRUCTURAL SUPPORT FOR TERRACE

NEW SINGLE FAMILY RESIDENCE FOR:
EDB DEVELOPMENT, LLC
ATTN: GAYLE PEPPER
2 RANCHO RD.
BELL CANYON, CA 91307

25080 MULHOLLAND HIGHWAY, CALABASAS, CALIFORNIA
Residence

SITE PLAN FOR L.A. COUNTY LANDSCAPE REQUIREMENTS (DUPLICATION OF APPROVED L.A. COUNTY FUEL MOD PLAN)

SCALE: 1:20

A-0.1

JOHN ANTHONY LEWIS ARCHITECT

ARCHITECTURE + AIA
INTERIOR DESIGN
LANDSCAPE DESIGN

STUDIO
6821 SMOKE TREE AVENUE
OAK PARK, CA 91377
(818) 527-9876
FAX (818) 450-0810

TITLE:
SITE PLAN FOR L.A. COUNTY LANDSCAPE
REQUIREMENTS (DUPLICATION OF APPROVED
L.A. COUNTY FUEL MOD PLAN)

DATE:
1-18-2012

SCALE:
1:20

DRAWN BY:
JAL - BRL

REVISIONS

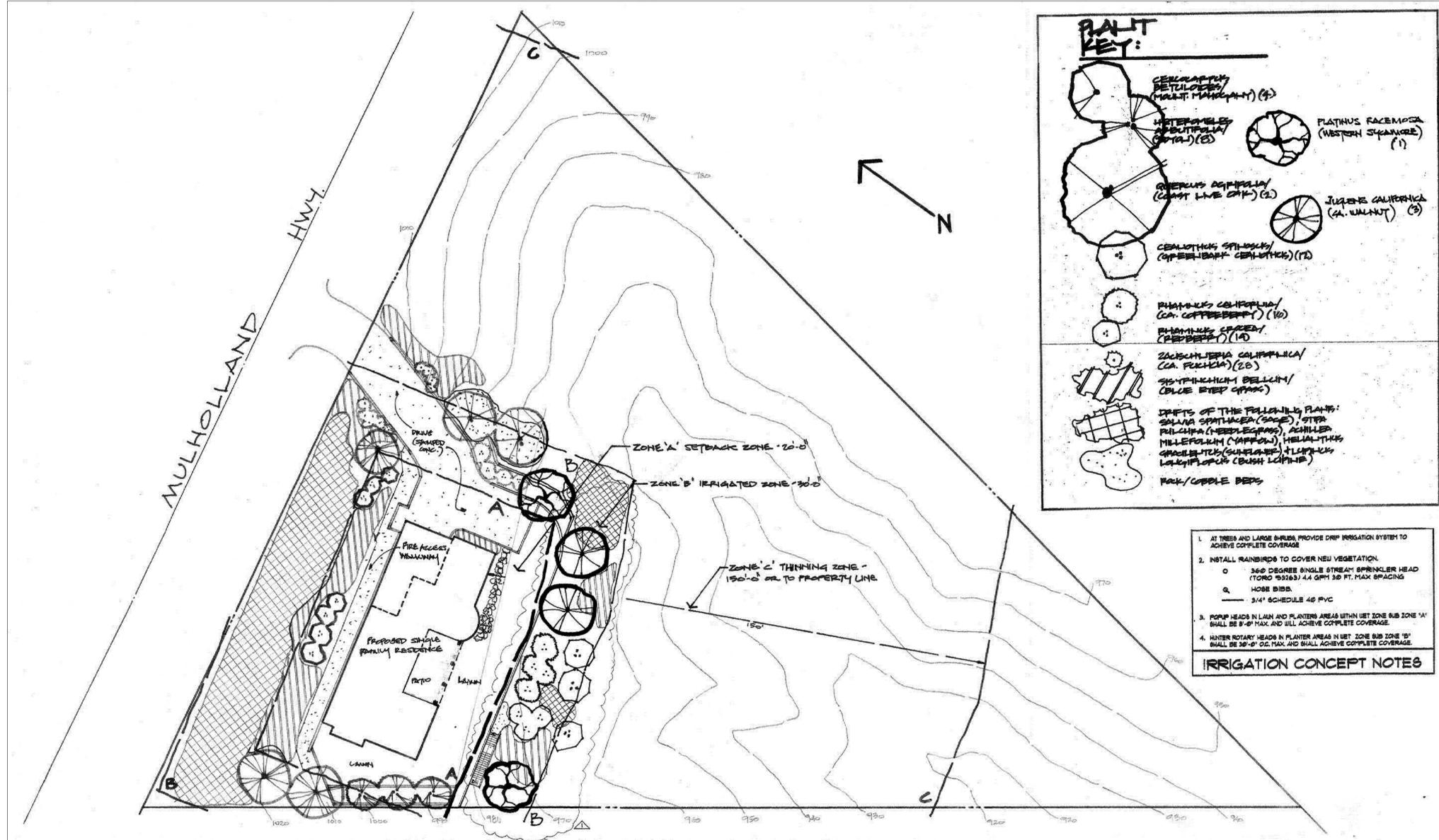
1. A, RELOCATION OF BUILDING FOOTPRINT

2. A, NEW STRUCTURAL SUPPORT FOR TERRACE

NEW SINGLE FAMILY RESIDENCE FOR:
EDB DEVELOPMENT, LLC
ATTN: GAYLE PEPPER
2 RANCHERO RD.
BELL CANYON, CA 91307

25080 MULHOLLAND HIGHWAY, CALABASAS, CALIFORNIA

Residence



GREEN BUILDING PROGRAM TABLE- To be completed by applicant

Green Building Requirements

❖ A project where a complete building permit application was filed with the County Department of Public Works (DPW) prior to January 1, 2009 shall be exempt from the requirements. For construction of a single family residence, this deadline is extended to April 1, 2009.

Number of trees required/provided: 12
Location of trees per green building requirements shall be approved as depicted on the plans unless waived or modified by DPW.
Unless exempt, or waived/modified by DPW, the project shall comply with the energy efficiency, resource and water conservation provisions of the Green Building ordinance per DPW review.

Drought-Tolerant Landscaping Requirements

❖ A project where a complete building permit application was filed with the County Department of Public Works (DPW) prior to January 1, 2009 shall be exempt from the requirements. For construction of a single family residence, this deadline is extended to April 1, 2009.

Is landscaping required? Yes No
Is landscaping proposed? Yes No
• If you check yes for either question, complete the landscaping information below.
• If you check no for both questions, skip to the next section- Green Building. Please be aware that if landscaping is proposed in the future, a new site plan review and applicable fees must be filed to ensure compliance with the Drought-Tolerant Landscaping Ordinance, Chapter 22.52, Part 21

Required landscaping (sq. ft.) (if applicable): N/A
Total landscaping (sq. ft.): 17,666 Sq. Ft.
Percent of total landscaping to be drought tolerant: 80.4%
Total grass/turf area (sq. ft.): 3,467 Sq. Ft.
Percent of total landscaping to be grass/turf: 19.6%
Grass/turf width must be minimum 5 feet and grass/turf must be water efficient.
Plants shall be grouped in hydrozones (with similar water and sun needs)

Low Impact Development (LID) Requirements

❖ Any development where a complete permit application was filed with the County Departments of Regional Planning, Public Works (DPW), or Beaches and Harbors prior to January 1, 2009 shall be exempt from the requirements.

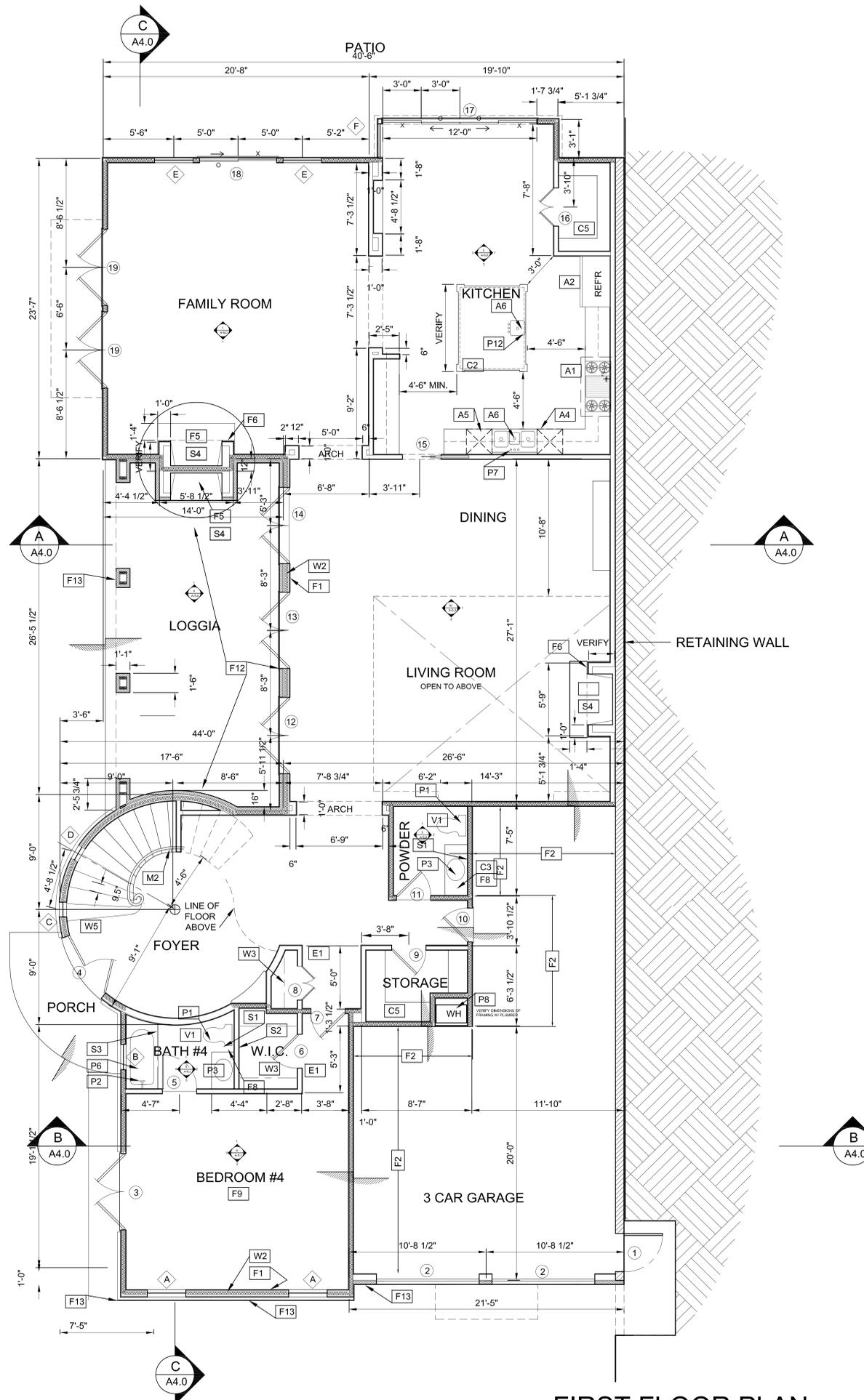
Percent alteration of EXISTING impervious surfaces: 0%
Total NEW impervious surfaces (sq. ft.): 6,209 Sq. Ft.
For residential projects ≤ 4 units, install at least two of the following (check at least two):
 Porous pavement (minimum 50% of all paving)
 Cistern/rain barrel (minimum 200 gallon capacity)
 Raingarden/plantier box (minimum 200 gallon capacity)
 Dry well (minimum 50% of total roof area)
 Green roof (minimum 50% of total roof area)
 Direct runoff to drain toward pervious surfaces
 Plant 2 trees to overhang impervious surfaces
Unless exempt, or waived/modified by DPW, the development shall comply with LID requirements per DPW review.

DOOR SCHEDULE										
MARK	SIZE			MATERIAL	GLAZING	DESCRIPTION	LOCATION	QUANTITY	NOTES	HARDWARE*
	WIDTH	HGT.	THK.							
1	3'-0"	6'-8"	1-3/4"	WOOD		EXTERIOR ENTRY	GARAGE	1	20 MIN F.R. - SELF CLOSER - PAINT	PROVIDE DEAD BOLT
2	8'-0"	7'-6"	1-3/4"	WOOD		GARAGE DOORS	GARAGE	2	DOORS TO BE SPECIFIED BY OWNER	PROVIDE MECH.
3	(2)3'-0"	6'-0"	1-3/4"	WOOD		FRENCH EXTERIOR	BEDROOM #4	1	ROUND TOP - PAINT	PROVIDE DEAD BOLT
4	(2)2'-8"	6'-0"	1-3/4"	WOOD		ENTRY PAIR	FOYER	1	WOOD DOOR SPECIFIED BY OWNER	
5	2'-4"	6'-0"	1-3/4"	WOOD		INTERIOR WOOD	BATHROOM #4	1	PAINT	
6	(2)2'-4"	6'-0"	1-3/4"	WOOD		SLIDING PAIR	BEDROOM #4	1	PAINT	
7	2'-4"	6'-0"	1-3/4"	WOOD		INTERIOR WOOD	BEDROOM #4	1	PAINT	PRIVACY LATCH
8	(2)1'-6"	6'-0"	1-3/4"	WOOD		INTERIOR WD PAIR	HALLWAY	1	PAINT	
9	2'-4"	6'-0"	1-3/4"	WOOD		INTERIOR WOOD	STORAGE	1	PAINT	
10	3'-4"	6'-0"	1-3/4"	WOOD		EXTERIOR	GARAGE	1	20 MIN F.R. - SELF CLOSER - PAINT	PROVIDE DEAD BOLT
11	2'-4"	6'-0"	1-3/4"	WOOD		INTERIOR	POWDER ROOM	1	PAINT	PRIVACY LATCH
12	(2)3'-0"	6'-0"	1-3/4"	WOOD		FRENCH EXTERIOR	LIVING ROOM	1	ROUND TOP - PAINT	PROVIDE FLOOR BOLT
13	(2)3'-0"	6'-0"	1-3/4"	WOOD		FRENCH EXTERIOR	LIVING ROOM	1	ROUND TOP - PAINT	PROVIDE FLOOR BOLT
14	(2)3'-0"	6'-0"	1-3/4"	WOOD		FRENCH EXTERIOR	DINING ROOM	1	ROUND TOP - PAINT	PROVIDE FLOOR BOLT
15	3'-0"	6'-0"	1-3/4"	WOOD		POCKET DOOR	DINING ROOM	1	ROUND TOP - PAINT	
16	(2)1'-6"	6'-0"	1-3/4"	WOOD		INTERIOR WD PAIR	KITCHEN	1	PAINT	
17	(4)3'-0"	6'-0"	1-3/4"	WOOD		DOUBLE SLIDING	KITCHEN	1	PAINT	PROVIDE DEAD BOLT
18	(2)3'-0"	6'-0"	1-3/4"	WOOD		SLIDING GLASS	FAMILY ROOM	1	PAINT	PROVIDE DEAD BOLT
19	(2)3'-0"	6'-0"	1-3/4"	WOOD		FRENCH EXTERIOR	FAMILY ROOM	2	ROUND TOP - PAINT	PROVIDE DEAD BOLT

NOTE: ALL GLASS IN DOORS SHALL BE TEMPERED.
NOTE: ALL HARDWARE SHALL BE POLISHED BRASS

WINDOW SCHEDULE									
MARK	SIZE			MATERIAL	GLAZING	DESCRIPTION	LOCATION	QUANTITY	NOTES
	WIDTH	HGT.	THK.						
A	3'-0"	5'-0"	1-3/4"	WOOD	SINGLE-PANE	PAIR CASEMENT	BEDROOM #4	2	4 LITE (2) - ROUND TOP - PAINT
B	2'-0"	2'-0"	1-3/4"	WOOD	SINGLE-PANE	CASMENT	BATHROOM #4	1	4 LITE - PAINT
C	1'-2"	5'-0"	1-3/4"	WOOD	SINGLE-PANE	CASMENT	FOYER	1	1 LITE - PAINT
D	1'-2"	3'-2"	1-3/4"	WOOD	SINGLE-PANE	CASMENT	FOYER	1	1 LITE - PAINT
E	3'-0"	6'-0"	1-3/4"	WOOD	SINGLE-PANE	FIXED	FAMILY ROOM	2	12 LITE - ROUND TOP - PAINT
F	2'-4"	6'-0"	1-3/4"	WOOD	SINGLE-PANE	FIXED	KITCHEN	1	12 LITE - ROUND TOP - PAINT

NOTE: ALL OPENABLE WINDOWS TO HAVE SCREENS
NOTE: ALL HARDWARE SHALL BE POLISHED BRASS



FIRST FLOOR PLAN

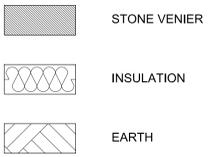
1/4" = 1'-0"

SHEET NOTES

- APPLIANCES**
A1 Gas rangetop/oven - provide exhaust hood, gas and electrical hook-ups
A3 Refrigerator space - provide electric outlet and a copper water line for ice maker.
A4 Trash compactor - provide electrical hook-up
A5 Dishwasher - provide electrical, drain, and hot and cold water hook-ups
A6 Garbage disposal - provide electrical hook-up and connection to sink and drain
- CABINETRY**
C1 Kitchen type base cabinets with wall cabinets above
C2 "Island" type countertop with base cabinets
C3 Pullman counter top with base cabinets
C5 Provide a minimum of 5 edge banded, adjustable, 5/8 plywood shelves with white plastic laminate.
- ELECTRICAL**
E1 Smoke detectors, hardwired with battery back-up. Locate as per code.
- FINISHES**
F1 5/8" gypsum board
F2 5/8" type "X" gypsum board walls & ceiling between garage and residence and all structural members for 1-hour construction.
F3 7/8" exterior plaster on wire lath over 2 layers of 15# building paper at exterior
F5 Fireplace hearth. Code approved material, as selected by owner.
F6 Fireplace front - code approved material, as selected by owner.
F7 Granite as selected by owners
F8 Marble as selected by owners
F9 Ceramic tile as selected by owners
F10 Carpet with pad as selected by owners
F13 Stacked stone veneer as selected by owners
- METAL**
M2 Metal handrail, 36" to 38" above tread nosing with openings not to allow a 4" diameter sphere to pass thru. Handgrip to be wood and must be a min of 1 1/4" to 2" in diameter, having a smooth surface with no sharp corners.
- PLUMBING**
P1 Approved low-consumption toilet, 1.6 gallons per flush maximum
P2 Showerhead +6'-6" off floor - as selected by owners
P3 Lavatory with faucet set as selected by owner
P6 Tub and faucet set as selected by owners
P7 Triple kitchen sink - provide hot & cold water and drain.
P8 Water heater - TAKAGI tankless system - MOBIUS T-M provide gas and water hook-ups. Heater must be securely strapped to wall at top & bottom and be mounted on a wood platform at minimum of 18" above floor and vented to the outside air.
P12 Prep sink - as specified by owner.
- SPECIALTIES**
S1 1/4" plate glass mirror, no frame, 48" x length of countertop.
S2 Recessed medicine cabinet as selected by owners
S3 Shatter resistant shower door/enclosure as selected by owners
S4 Prefabricated metal fireplace - Superior model 'Estate' (L.A.R.R. #2301) for approved equal
- VENTILATION & EXHAUST**
V1 Combination light/exhaust fan unit. Vent to outside air - minimum 5 air changes per hour.
- WOOD**
W1 2x4 studs @ 16" o.c.
W2 2x6 studs @ 16" o.c.
W3 1-3/8" diameter hang pole & 5/8" plywood shelf with 1x2 edging. Provide mid-support if length is over 6'-0".
W5 Wood framed stair - construct per Structural Drawings

GENERAL NOTES

- Install a city approved seismic gas shutoff valve on the downstream side of the gas meter. Valve to be rigidly connected to the building exterior.
- All exterior walls of habitable areas shall have minimum R-13 thermal insulation installed per manufacturer's recommendations.
- All wood in contact with concrete shall be redwood or pressure treated.
- Wood shall be held a minimum of 6" above grade.
- Wall between garage & habitable areas shall be faced with 5/8" type "X" gypsum board for 1 hour construction, & have R-13 insulation
- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines - whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- All selections of cabinetry, fixtures, finishes, appliances, railings, etc. shall be per owner's preferences.



A-1.0

JOHN ANTHONY ARCHITECT

ARCHITECTURE - A.L.A.
INTERIOR DESIGN
LANDSCAPE DESIGN

STUDIO 6822 SMOKE TREE AVENUE
OAK PARK, CA 91377
STUDIO (818) 521-9876
FAX (818) 450-0810

DATE 1-18-2012

SCALE 1/4" = 1'-0"

DRAWN BY MDG

TITLE: FIRST FLOOR PLAN

REVISIONS

NEW SINGLE FAMILY RESIDENCE FOR:
EDR DEVELOPMENT, LLC
ATTN: GAYLE PEPPER
2 RANCHERO RD.
BELL CANYON, CA 91307
25080 MULHOLLAND HIGHWAY, CALABASAS, CALIFORNIA

Residence

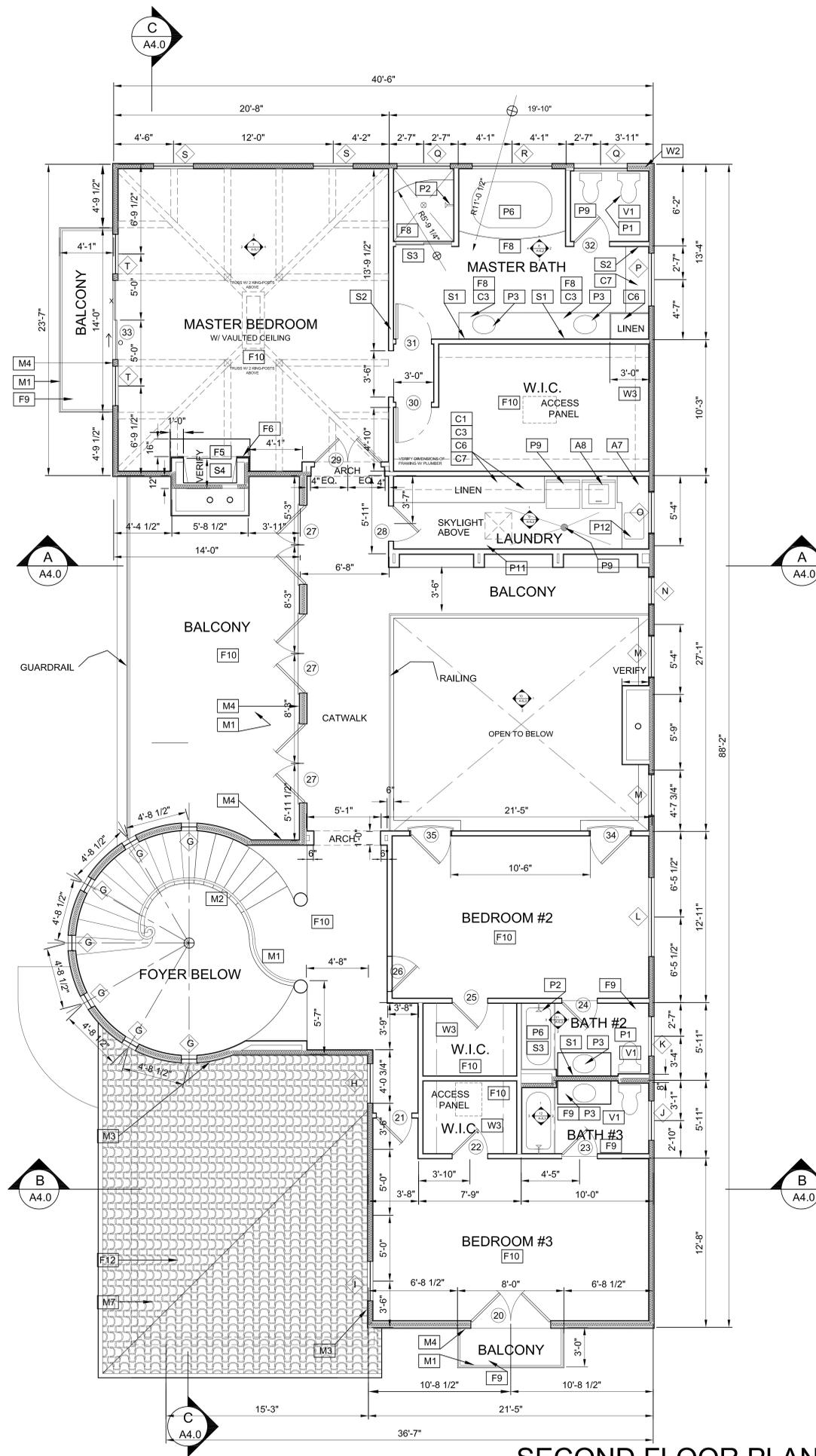
* REVISIONS & COMPLETION OF PREVIOUS ARCHITECT'S DESIGN

DOOR SCHEDULE										
MARK	SIZE			MATERIAL	GLAZING	DESCRIPTION	LOCATION	QUANTITY	NOTES	HARDWARE*
	WIDTH	HGT.	THK.							
20	6'-0"	8'-0"	1-3/4"	WOOD		FRENCH EXTERIOR	BEDROOM #3	x1	ROUND TOP - PAINT	PROVIDE FLOOR BOLT
21	2'-4"	8'-0"	1-3/4"	WOOD		INTERIOR WOOD	BEDROOM #3	x1	PAINT	PRIVACY LATCH
22	2'-4"	8'-0"	1-3/4"	WOOD		INTERIOR WOOD	BR #3 W.I.C.	x1	PAINT	
23	2'-4"	8'-0"	1-3/4"	WOOD		INTERIOR WOOD	BATHROOM #3	x1	PAINT	PRIVACY LATCH
24	2'-4"	8'-0"	1-3/4"	WOOD		INTERIOR WOOD	BATHROOM #2	x1	PAINT	PRIVACY LATCH
25	2'-4"	8'-0"	1-3/4"	WOOD		INTERIOR WOOD	BR #2 W.I.C.	x1	PAINT	
26	2'-4"	8'-0"	1-3/4"	WOOD		INTERIOR WOOD	BEDROOM #2	x1	PAINT	PRIVACY LATCH
27	6'-0"	8'-0"	1-3/4"	WOOD		FRENCH EXTERIOR	CATWALK/BALC.	x3 (1 PAIR)	PAINT - ROUND TOP	PROVIDE FLOOR BOLT
28	2'-4"	8'-0"	1-3/4"	WOOD		INTERIOR WOOD	LAUNDRY	x1	PAINT	
29	5'-0"	8'-0"	1-3/4"	WOOD		INTERIOR WOOD	MSTR BEDROOM	x1(1 PAIR)	PAINT - ROUND TOP	PRIVACY LATCH
30	2'-4"	8'-0"	1-3/4"	WOOD		INTERIOR WOOD	MBR W.I.C.	x1	PAINT	
31	2'-4"	8'-0"	1-3/4"	WOOD		INTERIOR WOOD	MASTER BATH	x1	PAINT	PRIVACY LATCH
32	2'-4"	8'-0"	1-3/4"	WOOD		INTERIOR WOOD	MASTER BATH	x1	PAINT	PRIVACY LATCH
33	6'-4"	8'-0"	1-3/4"	WOOD		FRENCH SLIDING	MSTR BEDROOM	x1(1 PAIR)	PAINT	PROVIDE FLOOR BOLT
34	3'-0"	8'-0"	1-3/4"	WOOD		FRENCH	BEDROOM #2	x1	PAINT	
35	3'-0"	8'-0"	1-3/4"	WOOD		FRENCH	BEDROOM #2	x1	PAINT	

NOTE: ALL GLASS IN DOORS SHALL BE TEMPERED.
NOTE: ALL HARDWARE SHALL BE POLISHED BRASS

WINDOW SCHEDULE									
MARK	SIZE			MATERIAL	GLAZING	DESCRIPTION	LOCATION	QUANTITY	NOTES
	WIDTH	HGT.	THK.						
G	1'-2"	3'-0"	1-3/4"	WOOD	SINGLE-PANE	FIXED	FOYER	7	1 LITE - PAINT
H	3'-4"	1'-2"	1-3/4"	WOOD	SINGLE-PANE	AWNING	HALLWAY	1	3 LITE - PAINT
I	3'-4"	4'-6"	1-3/4"	WOOD	SINGLE-PANE	PAIR CASEMENT	BEDROOM #3	4	4 LITE(2) - ROUND TOP - PAINT
J	3'-4"	3'-0"	1-3/4"	WOOD	SINGLE-PANE	CASMENT	BATHROOM #3	1	4 LITE - PAINT
K	3'-4"	3'-0"	1-3/4"	WOOD	SINGLE-PANE	CASMENT	BATHROOM #2	1	4 LITE - PAINT
L	6'-4"	5'-0"	1-3/4"	WOOD	SINGLE-PANE	PAIR CASEMENT	BEDROOM#2	1	15 LITE(2) - PAINT
M	3'-4"	5'-0"	1-3/4"	WOOD	SINGLE-PANE	FIXED	LIVING ROOM	2	15 LITE - PAINT
N	2'-4"	4'-0"	1-3/4"	WOOD	SINGLE-PANE	CASEMENT	BALCONY	1	8 LITE - PAINT
O	3'-4"	4'-0"	1-3/4"	WOOD	SINGLE-PANE	CASEMENT	LAUNDRY	7	12 LITE - PAINT
P	4'-4"	4'-0"	1-3/4"	WOOD	TEMPERED	PAIR CASEMENT	MASTER BATH	1	8 LITE(2) - PAINT
Q	4'-4"	2'-0"	1-3/4"	WOOD	SINGLE-PANE	AWNING	MASTER BATH	2	2 LITE - PAINT
R	6'-4"	4'-0"	1-3/4"	WOOD	SINGLE-PANE	PAIR CASEMENT	MASTER BATH	1	12 LITE(2) - PAINT
S	3'-4"	5'-0"	1-3/4"	WOOD	SINGLE-PANE	CASMENT	MSTR BEDROOM	2	12 LITE - PAINT
T	3'-4"	6'-0"	1-3/4"	WOOD	SINGLE-PANE	FIXED	MSTR BEDROOM	2	12 LITE - PAINT

NOTE: ALL OPENABLE WINDOWS TO HAVE SCREENS
NOTE: ALL HARDWARE SHALL BE POLISHED BRASS



SECOND FLOOR PLAN

1/4" = 1'-0"

SHEET NOTES

APPLIANCES

- A7 Clothes dryer space - provide gas and electrical hook-ups and vent to outside air.
- A8 Clothes washer space - provide water and electrical hook-ups and connection to drain.

CABINETRY

- C1 Kitchen type base cabinets with wall cabinets above
- C3 Pullman counter top with base cabinets
- C6 Linen & storage with minimum 5 adjustable shelves
- C7 Dressing table

ELECTRICAL

- E1 Smoke detectors, hardwired, see Fire Dept. Notes. Locate as per code.

FINISHES

- F1 5/8" gypsum board
- F3 7/8" exterior plaster on wire lath over 2 layers of 15# building paper
- F4 Waterproof pedestrian traffic membrane over sloped elasto crete over deck fire retardant membrane. "Mercoat Decking System" LARR# 23811.
- F5 Fireplace hearth. Code approved material, as selected by owner.
- F6 Fireplace front - code approved material, as selected by owner.
- F7 Granite as selected by owners
- F8 Marble as selected by owners
- F9 Carpet with pad as selected by owners
- F10 Ceramic tile as selected by owners
- F11 Tile as selected by owners
- F12 Clay Spanish 2 piece style roof tile EAGLE Conventional Weight I.C.B.O.E.S. report #4660 (over 2 layers 15# building paper).

METAL

- M1 Metal guardrail, 36" high with openings not to allow a 4" diameter sphere to pass thru, with hardwood top
- M2 Metal handrail, 36" to 38" above tread nosing with openings not to allow a 4" diameter sphere to pass thru, with hardwood top
- M3 26 gauge galvanized flashing and counterflashing at juncture of roof and vertical surfaces
- M4 26 gauge galvanized flashing and counterflashing at juncture of balcony and walls
- M7 Galvanized gutter - painted to match trim

PLUMBING

- P1 Approved low-consumption watercloset, 1.6 gallons per flush maximum as selected by owners
- P2 Showerhead +6'-6" off floor - as selected by owners
- P3 Lavatory with faucet set as selected by owner
- P4 Approved low-consumption bidet, as selected by owner
- P6 Tub and faucet set as selected by owners
- P8 Water heater - tankless system - provide gas and water hook-ups. Heater must be securely strapped to wall at top & bottom and be mounted on a wood platform at minimum of 18" above floor and vented to the outside air.
- P9 Floor drain
- P12 Bar sink as selected by owners

SPECIALTIES

- S1 1/4" plate glass mirror, no frame, 48" x length of countertop.
- S2 Recessed medicine cabinet as selected by owners
- S3 Shatter resistant shower door / enclosure as selected by owners
- S4 Prefabricated metal fireplace - Superior model 'Estate' (L.A.R.R. #2301)
- S5 Prefabricated metal flue manufactured to fit prefabricated fireplace

THERMAL INSULATION

- T1 R-13 batt insulation in exterior walls and bathroom walls

VENTILATION & EXHAUST

- V1 Combination light/exhaust fan unit. Vent to outside air - minimum 5 air changes per minute.
- V3 Fan coil unit in attic space - provide condensate drain to the nearest plumbing drain line.

WOOD

- W1 2x4 studs @ 16" o.c.
- W2 2X6 studs @ 16" o.c.
- W3 1-3/8" diameter hang pole & 1/2" plywood shelf with 1x2 edging. Provide mid-support if length is over 6'-0".
- W4 Provide a minimum 24" x 30" attic access panel in ceiling
- W5 Wood framed stair and landing - construct per Structural Drawings.
- W9 Tub platform of 3/4" marine plywood on cripple walls of 2x4s at maximum 12" o.c.

GENERAL NOTES

- See Electrical Plans for all conditions & notes with regards to electrical.
- All roof/ceiling assemblies over habitable areas shall have minimum R-30 thermal insulation installed per manufacturer's recommendations.
- All exterior walls of habitable areas shall have minimum R-13 thermal insulation installed per manufacturer's recommendations.
- All second floor habitable areas over garage shall have minimum R-19 thermal insulation installed in floor per manufacturer's recommendations. Bottom of floor shall have 5/8" type "X" gypsum board for a 1 hour fire rating.
- All selections of cabinetry, fixtures, finishes, appliances, railings, etc. shall be per owner's preferences.

- STONE VENIER
- INSULATION
- EARTH

A-1.1

JOHN ANTHONY LEWIS ARCHITECT



STUDIO 8622 SMOKE TREE AVENUE OAK PARK, CA 91377
STUDIO (818) 521-9876 (818) 450-0810 FAX

TITLE: SECOND FLOOR PLAN

DATE: 1-18-2012

SCALE: 1/4" = 1'-0"

DRAWN BY: MDG

REVISIONS

NEW SINGLE FAMILY RESIDENCE FOR: EDR DEVELOPMENT, LLC ATTN: GAYLE PEPPER 2 RANCHERO RD. BELL CANYON, CA 91307

25080 MULHOLLAND HIGHWAY, CALABASAS, CALIFORNIA

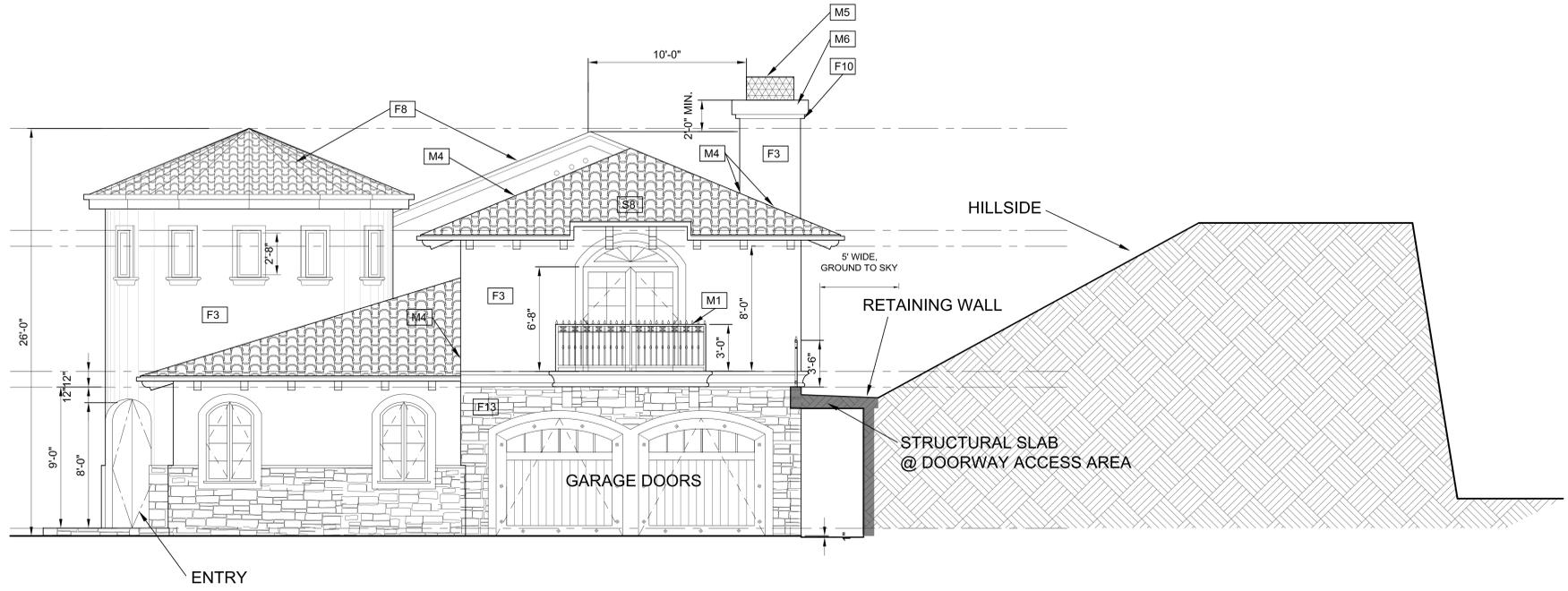
Residence

SHEET NOTES

FINISHES
 F3 7/8" exterior plaster on wire lath over 2 layers of 15# building paper at exterior
 F8 Clay Spanish 2 piece style roof tile EAGLE Conventional Weight I.C.B.O.E.S. report #4660 over 2 layers 15# building paper
 F10 Built-up trim as selected by owners
 F13 Stacked stone veneer as selected by owners

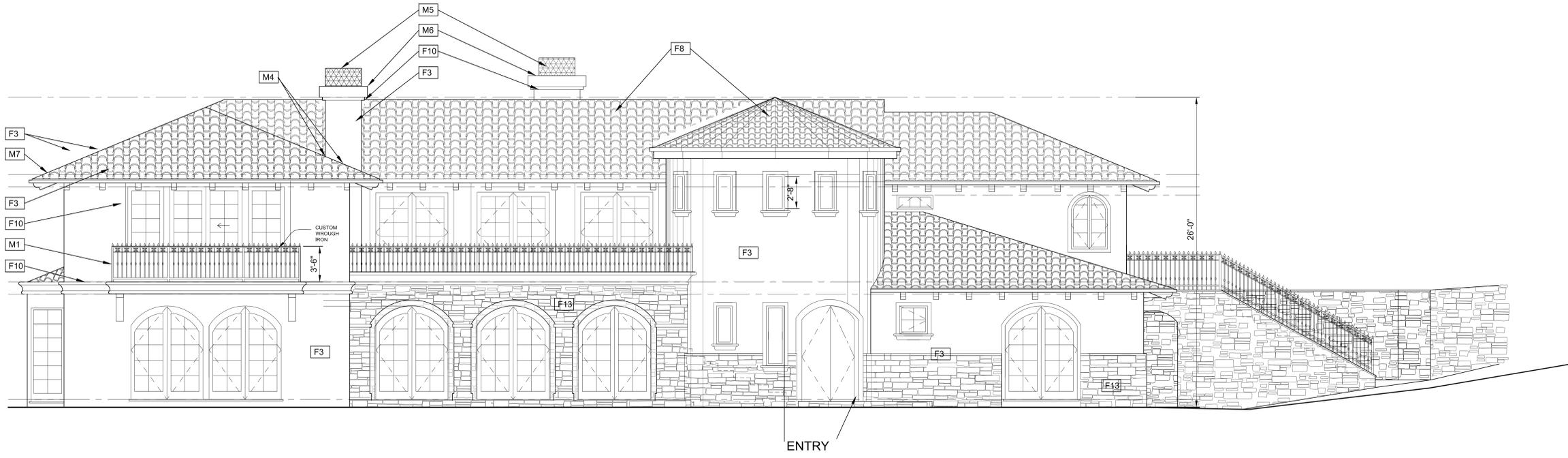
METAL
 M1 Metal guardrail, 36" high with openings not to allow a 4" diameter sphere to pass thru
 M4 26 gauge galvanized flashing and counterflashing at juncture of roof and vertical surfaces
 M5 City approved galvanized spark arrester at chimney - painted
 M6 26 gauge galvanized sheet metal chimney cap - painted
 M7 Galvanized gutter - painted to match trim

SPECIALTIES
 S8 Attic vents of 4" diameter clay tile with insect screen



EAST ELEVATION

1/4" = 1'-0"



SOUTH ELEVATION

1/4" = 1'-0"

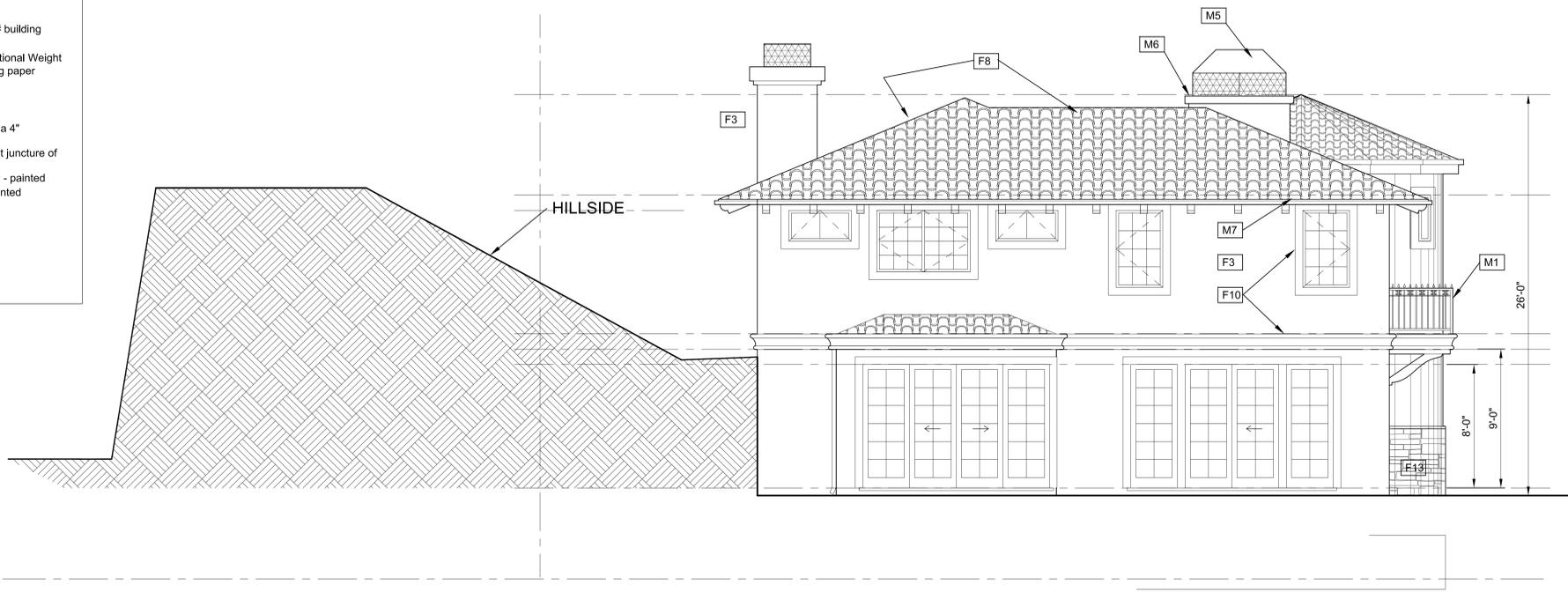
REVISIONS

SHEET NOTES

FINISHES
 F3 7/8" exterior plaster on wire lath over 2 layers of 15# building paper at exterior
 F8 Clay Spanish 2 piece style roof tile EAGLE Conventional Weight I.C.B.O.E.S. report #4660 over 2 layers 15# building paper
 F10 Built-up trim as selected by owners

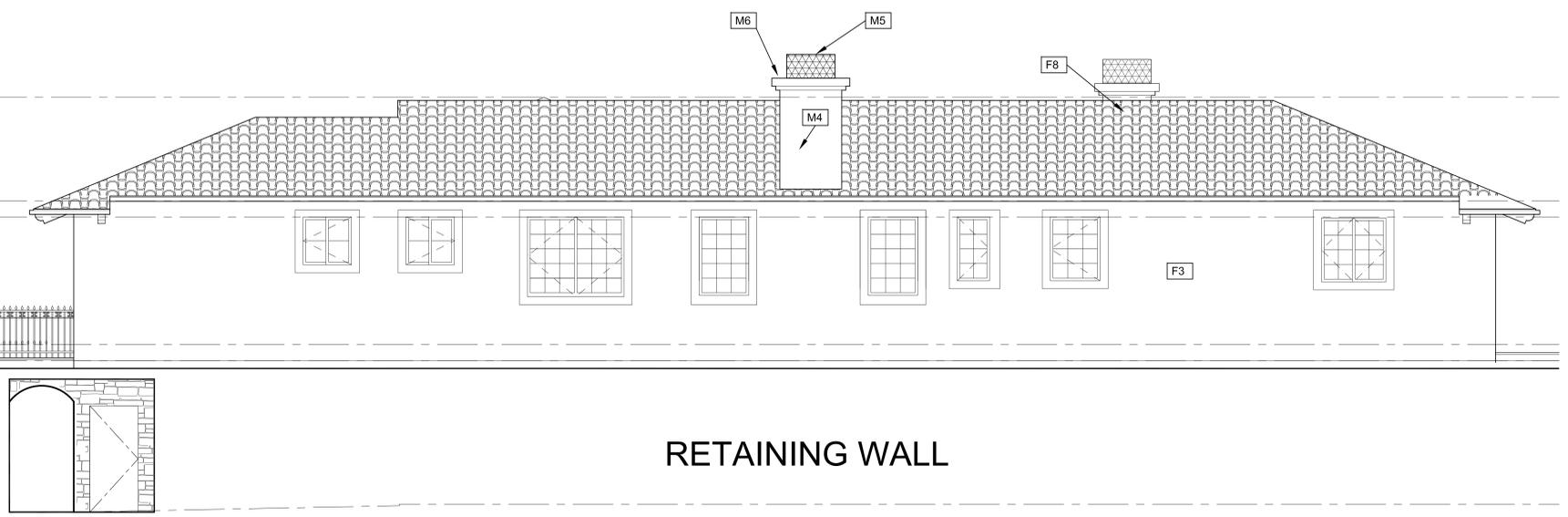
METAL
 M1 Metal guardrail, 36" high with openings not to allow a 4" diameter sphere to pass thru
 M4 26 gauge galvanized flashing and counterflashing at juncture of roof and vertical surfaces
 M5 City approved galvanized spark arrester at chimney - painted
 M6 26 gauge galvanized sheet metal chimney cap - painted
 M7 Galvanized gutter - painted to match trim

SPECIALTIES
 S8 Attic vents of 4" diameter clay tile with insect screen



WEST ELEVATION

1/4" = 1'-0"



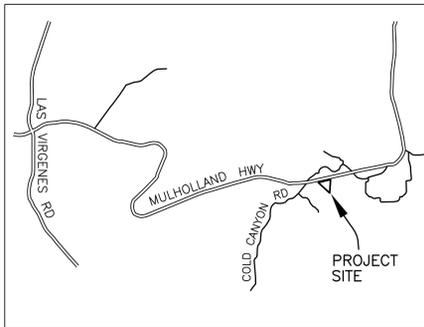
RETAINING WALL

NORTH ELEVATION

1/4" = 1'-0"

STORMWATER POLLUTION NOTES

- EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORMWATER FROM THE PROJECT SITE AT ALL TIMES.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED IN THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENUED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I HAVE READ AND UNDERSTAND THE REQUIREMENTS LISTED ABOVE, NECESSARY TO CONTROL STORM WATER POLLUTION FROM SEDIMENTS, EROSION AND CONSTRUCTION MATERIALS, AND I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS.



VICINITY MAP
NOT TO SCALE

BENCH MARK:

BM CY 5354 ELEV. 1026.661
RD TAG IN HDWL ROCK & CONC CULV 9M S MULHOLLAND HWY & 21M W/O ELY MOST COLD CYN RD INT OPP HSE 24875 @ MI MKR #25.50
MALIBU QUAD 1998

PROJECT INFORMATION

(General Information)

GRADING PERMIT APPLICATION NO. GR_0808210004
EARTHWORK VOLUMES CUT_1050_(cy) FILL_950_(cy)
OVER EXCAVATION/ALLUVIAL REMOVAL & COMPACTION_400_(cy)
IMPORT_0_(cy), EXPORT LOCATION TO BE DETERMINED
TOTAL DISTURBED AREA_0.36_(ACRES)
PRE-DEVELOPMENT IMPERVIOUS AREA_0_(ACRES)
POST-DEVELOPMENT IMPERVIOUS AREA_0.13_(ACRES)
WATER DISCHARGE IDENTIFICATION NUMBER (WID#)_N/A
CONSTRUCTION & DEMOLITION DEBRIS RECYCLING & REUSE PLAN (RRPID#)

(Property Information)

PROPERTY ADDRESS_25080 MULHOLLAND HIGHWAY, CALABASAS, CA
TRACT/PARCEL MAP NO_39812 LOT/PARCEL NO._41
PROPERTY OWNER_EDWARD BETZ
ASSESSORS ID NUMBER_4455-018-027

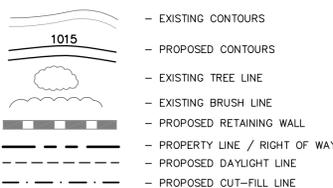
(Zoning and Regional Planning Information)

PROPERTY ZONING_R1
INTENDED LAND USE_SINGLE FAMILY RESIDENCE
CERTIFICATE OF COMPLIANCE: CC NO.
PLOT PLAN NUMBER: PP NO_2007_00380
CONDITIONAL USE PERMIT: CUP NO. EXPIRATION DATE:
OAK TREE PERMIT NUMBER: OTP NO. EXPIRATION DATE:
COMMUNITY STANDARDS DISTRICT:
CALIFORNIA COASTAL COMMISSION AREA X YES, NO
APPROVED VOLUME: (cy)
COSTAL DEVELOPMENT PERMIT CDP EXPIRATION DATE:

DESIGN ENGINEER: EJK & ASSOCIATES
6520 PLATT AVE. #538
WEST HILLS, CA. 91307
CONTACT: E.J. KIM, P.E.
PHONE: 818-337-9055

PLAN CHECKER: PHONE:

LINETYPE LEGEND



THE FOLLOWING BMPs AS OUTLINED IN, BUT NOT LIMITED TO, CALIFORNIA STORMWATER BEST MANAGEMENT PRACTICES HANDBOOK, JANUARY 2003, OR THE LATEST EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (additional measures may be required if deemed appropriate by the Project Engineer or the Building Official).

EROSION CONTROL

- EC1 - SCHEDULING
- EC2 - PRESERVATION OF EXIST. VEGETATION
- EC3 - HYDRAULIC MULCH
- EC4 - HYDROSEEDING
- EC5 - SOIL BINDERS
- EC6 - STRAW MULCH
- EC7 - GEOTEXTILES & MATS
- EC8 - WOOD MULCH
- EC9 - EARTH DIKES AND DRAINAGE SWALES
- EC10 - VELOCITY DISSIPATION DEVICES
- EC11 - SLOPE DRAINS
- EC12 - STREAMBANK STABILIZATION
- EC13 - POLYACRYLAMIDE

TEMPORARY SEDIMENT CONTROL

- SE1 - SILT FENCE
- SE2 - SEDIMENT BASIN
- SE3 - SEDIMENT TRAP
- SE4 - CHECK DAM
- SE5 - FIBER ROLLS
- SE6 - GRAVEL BAG BERM
- SE7 - STREET SWEEPING AND VACUUMING
- SE8 - SANDBAG BARRIER
- SE9 - STRAW BALE BARRIER
- SE10 - STORM DRAIN INLET PROTECTION

WIND EROSION CONTROL

- WE1 - WIND EROSION CONTROL

EQUIPMENT TRACKING CONTROL

- TC1 - STABILIZED CONST. ENTRANCE/EXIT
- TC2 - STABILIZED CONSTRUCTION ROADWAY
- TC3 - ENTRANCE/OUTLET TIRE WASH
- TC4 - CHECK DAM
- TC5 - FIBER ROLLS

FIRE DEPARTMENT NOTES

- PROVIDE A MINIMUM, UNOBSTRUCTED WIDTH OF 20 FEET CLEAR TO SKY, VEHICULAR ACCESS TO WITHIN 150 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS, FIRE CODE 902.2.1.
- THE INSPECTION, HYDROSTATIC TEST AND FLUSHING OF THE HYDRANTS AND/OR SPRINKLER SYSTEM SHALL BE WITNESSED BY THE PROPER FIRE DEPARTMENT REPRESENTATIVE AND NO UNDERGROUND PIPING SHALL BE COVERED WITH EARTH OR HIDDEN FROM VIEW UNTIL THE FIRE DEPARTMENT REPRESENTATIVE HAS BEEN NOTIFIED AND GIVEN NO LESS THAN 48 HOURS IN WHICH TO INSPECT SUCH INSTALLATION.
- VEHICULAR ACCESS MUST BE PROVIDED AND MAINTAINED AND SERVICEABLE THROUGHOUT CONSTRUCTION.
- PROVIDE AN APPROVED FIRE SPRINKLER SYSTEM. SUBMIT PLANS FOR APPROVAL PRIOR TO INSTALLATION. FIRE CODE 103.2.1.1. REASON: COUNTY ORDINANCE.
- THE FIRE SPRINKLER SYSTEM SHALL BE SUPERVISED AS REQUIRED IN THE BUILDING CODE, 904.3.1.1.
- PLANS SHOWING UNDERGROUND PIPING OF ON-SITE HYDRANTS, SPRINKLER SYSTEMS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION.
- THE REQUIRED FIRE FLOW FOR PUBLIC FIRE HYDRANTS AT THIS LOCATION IS 1250 GALLONS PER MINUTE AT 20 PSI FOR A DURATION OF 2 HOURS OVER AND ABOVE MAXIMUM DAILY DOMESTIC DEMAND.
- COMPLETE AND RETURN FIRE FLOW AVAILABILITY FORM 195/196.
- THE FIRE SPRINKLER SYSTEM SHALL BE CALCULATED PER PAPPHLET #13.
- THE FIRE SPRINKLER SYSTEM SHALL BE SUPERVISED AS REQUIRED IN THE BUILDING CODE, 904.3.1.1.
- ON-SITE PROTECTION FACILITIES (I.E., HYDRANTS, SPRINKLER SYSTEMS, ETC.) SHALL BE SUBMITTED FOR APPROVAL PRIOR TO OCCUPANCY.
- A FINAL FUEL MODIFICATION PLAN SHALL BE SUBMITTED AND APPROVED BY THE FORESTRY DIVISION PRIOR TO BUILDING PLAN APPROVAL. IMPLEMENTATION OF THE APPROVED FINAL FUEL MODIFICATION PLAN, AND FINAL INSPECTION WILL BE REQUIRED PRIOR TO APPROVAL OF FINAL OCCUPANCY. SUBMIT 3 COPIES OF A COMPLETED FUEL MODIFICATION PLAN TO THE FUEL MODIFICATION UNIT, FIRE STATION #32, 605 NORTH ANGELENO AVENUE, AZUSA, CA 91702-2904, TELEPHONE 629-969-5202. FIRE CODE 1117.2.1.

GENERAL NOTES

- ALL GRADING AND CONSTRUCTION SHALL CONFORM TO APPENDIX CHAPTER 33 AND CHAPTER 71 (Latest Edition) OF THE COUNTY OF LOS ANGELES BUILDING CODE UNLESS SPECIFICALLY NOTED ON THESE PLANS.
- ANY MODIFICATIONS OF OR CHANGES IN APPROVED GRADING PLANS MUST BE APPROVED BY THE BUILDING OFFICIAL.
- NO GRADING SHALL BE STARTED WITHOUT FIRST NOTIFYING THE BUILDING OFFICIAL A PRE-GRADING MEETING AT THE SITE IS REQUIRED BEFORE THE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, COUNTY GRADING INSPECTOR(S) OR THEIR REPRESENTATIVES, AND WHEN REQUIRED, THE ARCHEOLOGIST OR OTHER JURISDICTIONAL AGENCIES. PERMITTEE OR HIS AGENT ARE RESPONSIBLE FOR ARRANGING PRE-GRADE MEETING AND MUST NOTIFY THE BUILDING OFFICIAL AT LEAST TWO BUSINESS DAYS PRIOR TO PROPOSED PRE-GRADE MEETING.
- APPROVAL OF THESE PLANS REFLECT SOLELY THE REVIEW OF PLANS IN ACCORDANCE WITH THE LOS ANGELES COUNTY BUILDING CODE AND DOES NOT REFLECT ANY POSITION BY THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS REGARDING THE STATUS OF ANY TITLE ISSUES RELATING TO THE LAND ON WHICH THE IMPROVEMENTS MAY BE CONSTRUCTED. ANY DISPUTES RELATING TO TITLE ARE SOLELY A PRIVATE MATTER NOT INVOLVING THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS.
- ALL GRADING AND CONSTRUCTION ACTIVITIES SHALL COMPLY WITH COUNTY OF LOS ANGELES CODE, TITLE 12, SECTION 12.12.030 THAT CONTROLS AND RESTRICTS NOISE FROM THE USE OF CONSTRUCTION AND GRADING EQUIPMENT FROM THE HOURS OF 8:00 PM TO 6:30 AM, AND ON SUNDAYS AND HOLIDAYS. (MORE RESTRICTIVE CONSTRUCTION ACTIVITY TIMES MAY GOVERN, AS REQUIRED BY THE DEPARTMENT OF REGIONAL PLANNING AND SHOULD BE SHOWN ON THE GRADING PLANS WHEN APPLICABLE.)
- CALIFORNIA PUBLIC RESOURCES CODE (SECTION 5097.99) AND HEALTH AND SAFETY CODE (SECTION 7050.5) ADDRESS THE DISCOVERY AND DISPOSITION OF HUMAN REMAINS. IN THE EVENT OF DISCOVERY OR RECOGNITION OF ANY HUMAN REMAINS IN ANY LOCATION OTHER THAN A DEDICATED CEMETERY, THE LAW REQUIRES THAT GRADING IMMEDIATELY STOPS AND NO FURTHER EXCAVATION OR DISTURBANCE OF THE SITE, OR ANY NEARBY AREA WHERE HUMAN REMAINS MAY BE LOCATED, OCCUR UNTIL THE FOLLOWING HAS BEEN MEASURES HAVE BEEN TAKEN:
 - THE COUNTY CORONER HAS BEEN INFORMED AND HAS DETERMINED THAT NO INVESTIGATION OF THE CAUSE OF DEATH IS REQUIRED, AND
 - IF THE REMAINS ARE OF NATIVE AMERICAN ORIGIN, THE DESCENDANTS FROM THE DECEASED NATIVE AMERICANS HAVE MADE A RECOMMENDATION FOR THE MEANS OF TREATING OR DISPOSING, WITH APPROPRIATE DIGNITY, OF THE HUMAN REMAINS AND ANY ASSOCIATED GRAVE GOODS.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- ALL EXPORT OF MATERIAL FROM THE SITE MUST GO TO A PERMITTED SITE APPROVED BY THE BUILDING OFFICIAL OR A LEGAL DUMPSTIE. RECEIPTS FOR ACCEPTANCE OF EXCESS MATERIAL BY A DUMPSTIE ARE REQUIRED AND MUST BE PROVIDED TO THE BUILDING OFFICIAL UPON REQUEST.
- A COPY OF THE GRADING PERMIT AND APPROVED GRADING PLANS MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
- SITE BOUNDARIES, EASEMENTS DRAINAGE DEVICES, RESTRICTED USE AREAS SHALL BE LOCATED PER CONSTRUCTION STAKING BY FIELD ENGINEER OR LICENSED SURVEYOR. PRIOR TO GRADING, AS REQUESTED BY THE BUILDING OFFICIAL, ALL PROPERTY LINES, EASEMENTS, AND RESTRICTED USE AREAS SHALL BE STAKED.
- NO GRADING OR CONSTRUCTION SHALL OCCUR WITHIN THE PROTECTED ZONE OF ANY OAK TREE AS REQUIRED PER TITLE CHAPTER 22.56 OF THE COUNTY OF LOS ANGELES ZONING CODE. THE PROTECTED ZONE SHALL MEAN THAT AREA WITHIN THE DRIP LINE OF AN OAK TREE EXTENDING THERE FROM A POINT AT LEAST FIVE FEET OUTSIDE THE DRIP LINE, OR 15 FEET FROM THE TRUNK(S) OF A TREE, WHICHEVER IS GREATER.

IF AN OAK TREE PERMIT IS OBTAINED: (ADD THE FOLLOWING NOTE:)
ALL GRADING AND CONSTRUCTION WITHIN THE PROTECTED ZONE OF ALL OAK TREES SHALL BE PER OAK TREE PERMIT NO. _____. ALL RECOMMENDATIONS IN THE PERMIT AND ASSOCIATED OAK TREE REPORT MUST BE COMPLIED WITH AND ARE A PART OF THE GRADING PLAN. A COPY OF THE OAK TREE PERMIT AND ASSOCIATED REPORTS SHALL BE MAINTAINED IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
- THE STANDARD RETAINING WALL DETAILS SHOWN ON THE GRADING PLANS ARE FOR REFERENCE ONLY. STANDARD RETAINING WALLS ARE NOT CHECKED, PERMITTED, OR INSPECTED PER THE GRADING PERMIT. A SEPARATE RETAINING WALL PERMIT IS REQUIRED FOR ALL STANDARD RETAINING WALLS.

NOTE: THIS NOTE ONLY APPLIES TO STANDARD RETAINING WALLS. GEGRID FABRIC AND SECTORIAL RETAINING WALLS DO NOT REQUIRE A SEPARATE RETAINING WALL PERMIT. DETAILS AND CONSTRUCTION NOTES FOR ALL GEGRID WALLS MUST BE ON THE GRADING PLAN.
- A PREVENTIVE PROGRAM TO PROTECT THE SLOPES FROM POTENTIAL DAMAGE FROM BURROWING RODENTS IS REQUIRED PER SECTION 3307.6 OF THE COUNTY OF LOS ANGELES BUILDING CODE. OWNER IS TO INSPECT SLOPES PERIODICALLY FOR EVIDENCE OF BURROWING RODENTS AND AT FIRST EVIDENCE OF THEIR EXISTENCE SHALL EMPLOY AN EXTERMINATOR FOR THEIR REMOVAL.
- IF GRADING AUTHORIZED BY THIS PLAN IS TO EXTEND THROUGH THE RAINY SEASON, NOVEMBER 1 THROUGH APRIL 15 OF THE FOLLOWING YEAR, SEPARATE UPDATED PLANS FOR EROSION CONTROL MUST BE SUBMITTED PRIOR TO OCTOBER PER SECTION 3319.3 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
- TRANSFER OF RESPONSIBILITY: IF THE CIVIL ENGINEER, THE SOILS ENGINEER, OR THE ENGINEERING GEOLOGIST OF RECORD IS CHANGED DURING GRADING, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS AGREED IN WRITING TO ACCEPT THEIR RESPONSIBILITY WITHIN THE AREA OF TECHNICAL COMPETENCE FOR APPROVAL UPON COMPLETION OF THE WORK. IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE BUILDING OFFICIAL IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF SUCH GRADING.

INSPECTION NOTES

- THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING OFFICIAL AT LEAST ONE WORKING DAY IN ADVANCE OF REQUIRED INSPECTIONS AT FOLLOWING STAGES OF THE WORK: [SECTION 7020 OF THE BUILDING CODE]
 - INITIAL - WHEN THE SITE HAS BEEN CLEARED OF VEGETATION AND UNAPPROVED FILL HAS BEEN SCARIFIED, BENCHED OR OTHERWISE PREPARED FOR FILL. FILL SHALL NOT BE PLACED PRIOR TO THIS INSPECTION. NOTE: PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING GRADING, ALL STORMWATER POLLUTION PREVENTION MEASURES INCLUDING EROSION CONTROL DEVICES WHICH CONTAIN SEDIMENTS MUST BE INSTALLED.
 - ROUGH - WHEN APPROXIMATE FINAL ELEVATIONS HAVE BEEN ESTABLISHED; DRAINAGE TERRACES SWALES AND BERMS INSTALLED AT THE TOP OF THE SLOPE; AND THE STATEMENTS REQUIRED IN THIS SECTION HAVE BEEN RECEIVED.
 - FINAL - WHEN GRADING HAS BEEN COMPLETED; ALL DRAINAGE DEVICES INSTALLED; SLOPE PLANTING ESTABLISHED, IRRIGATION SYSTEMS INSTALLED AND THE AS-BUILT PLANS, REQUIRED STATEMENTS, AND REPORTS HAVE BEEN SUBMITTED AND APPROVED.

INSPECTION NOTES continued

- IN ADDITION TO THE INSPECTION REQUIRED OF THE BUILDING OFFICIAL FOR REGULAR GRADING, REPORTS AND STATEMENTS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL IN ACCORDANCE WITH SECTION 3317 AND 3318 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
- ALL GRADED SITES MUST HAVE DRAINAGE SWALES, BERMS, AND OTHER DRAINAGE DEVICES INSTALLED PRIOR TO ROUGH GRADING APPROVAL PER SECTION 3317.6 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
- THE GRADING CONTRACTOR SHALL SUBMIT THE STATEMENT TO THE GRADING INSPECTOR AS REQUIRED BY SECTION 3318.1 OF THE COUNTY OF LOS ANGELES BUILDING CODE AT THE TIME OF COMPLETION OF ROUGH GRADING.
- FINAL GRADING MUST BE APPROVED BEFORE OCCUPANCY OF BUILDINGS WILL BE ALLOWED PER SECTION 3318 OF THE COUNTY OF LOS ANGELES BUILDING CODE.

DRAINAGE NOTES

- ROOF DRAINAGE MUST BE DIVERTED FROM GRADED SLOPES.
- PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.
- ALL CONSTRUCTION AND GRADING WITHIN A STORM DRAIN EASEMENT AREA TO BE DONE PER PRIVATE DRAIN PD NO. _____ OR MISCELLANEOUS TRANSFER DRAIN MTD NO. _____
- ALL STORM DRAIN WORK IS TO BE DONE UNDER CONTINUOUS INSPECTION BY THE FIELD ENGINEER. WEEKLY STATUS REPORTS SHALL BE SUBMITTED BY THE FIELD ENGINEER TO THE LOCAL BUILDING AND SAFETY DISTRICT OFFICE.

AGENCY NOTES

- AN ENCROACHMENT PERMIT FROM (COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS IS REQUIRED FOR ALL WORK WITHIN OR AFFECTING ROAD RIGHT OF WAY. ALL WORK WITHIN ROAD RIGHT OF WAY SHALL CONFORM TO COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS ENCROACHMENT PERMIT.
- AN ENCROACHMENT PERMIT / CONNECTION PERMIT IS REQUIRED FROM THE COUNTY OF LOS ANGELES FLOOD CONTROL DISTRICT FOR ALL WORK WITHIN THE COUNTY OF LOS ANGELES FLOOD CONTROL DISTRICT RIGHT OF WAY. ALL WORK SHALL CONFORM WITH CONDITIONS SET BY THE PERMIT.
- PERMISSION TO OPERATE IN FIRE ZONE 4 MUST BE OBTAINED FROM THE FIRE PREVENTION BUREAU OR THE LOCAL FIRE STATION PRIOR TO COMMENCING WORK.
- ALL WORK WITHIN THE STREAMBED AND AREAS OUTLINED ON GRADING PLANS SHALL CONFORM TO: ARMY CORP 404 PERMIT NUMBER: _____ CALIFORNIA FISH AND GAME PERMIT NO. _____

GENERAL GEOTECHNICAL NOTES

- ALL WORK MUST BE IN COMPLIANCE WITH THE RECOMMENDATIONS INCLUDED IN THE GEOTECHNICAL CONSULTANT'S REPORTS AND THE APPROVED GRADING PLANS AND SPECIFICATIONS.
- GRADING OPERATIONS MUST BE CONDUCTED UNDER PERIODIC INSPECTIONS BY THE GEOTECHNICAL CONSULTANTS WITH MONTHLY INSPECTION REPORTS TO BE SUBMITTED TO THE GEOLOGY AND SOILS SECTION.
- THE SOILS ENGINEER SHALL PROVIDE SUFFICIENT INSPECTIONS DURING THE PREPARATION OF THE NATURAL GROUND AND THE PLACEMENT AND COMPACTION OF THE FILL TO BE SATISFIED THAT THE WORK IS BEING PERFORMED IN ACCORDANCE WITH THE PLAN AND APPLICABLE CODE REQUIREMENTS.
- ROUGH GRADING MUST BE APPROVED BY A FINAL ENGINEERING AND SOILS ENGINEERING REPORT. AN AS-BUILT GEOLOGIC MAP MUST BE INCLUDED IN THE FINAL GEOLOGY REPORT. PROVIDE A FINAL REPORT STATEMENT THAT VERIFIES WORK WAS DONE IN ACCORDANCE WITH REPORT RECOMMENDATIONS CODE PROVISIONS (SECTION 3318.1 OF THE COUNTY OF LOS ANGELES BUILDING CODE). THE FINAL REPORTS MUST BE SUBMITTED TO THE GEOTECHNICAL AND MATERIALS ENGINEERING DIVISION FOR REVIEW AND APPROVAL.

- FOUNDATION, WALL AND POOL EXCAVATIONS MUST BE INSPECTED AND APPROVED BY THE CONSULTING GEOLOGIST AND SOILS ENGINEER PRIOR TO THE PLACING OF STEEL OR CONCRETE.

FILL NOTES

- ALL FILL SHALL BE COMPACTED TO THE FOLLOWING MINIMUM RELATIVE COMPACTION CRITERIA:
 - 90% OF MAXIMUM DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE.
 - 93% OF MAXIMUM DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90% OF MAXIMUM DRY DENSITY) IS JUSTIFIED BY THE GEOTECHNICAL ENGINEER.

THE RELATIVE COMPACTION SHALL BE DETERMINED BY A S.T.M. SOIL COMPACTION TEST D1557-91 WHERE APPLICABLE. WHERE NOT APPLICABLE, A TEST ACCEPTABLE TO THE BUILDING OFFICIAL SHALL BE USED. (SECTION 3313.4 OF THE COUNTY OF LOS ANGELES BUILDING CODE.)
- FIELD DENSITY SHALL BE DETERMINED BY A METHOD ACCEPTABLE TO THE BUILDING OFFICIAL (SECTION 3313.4 OF THE COUNTY OF LOS ANGELES BUILDING CODE.) HOWEVER, NOT LESS THAN 10% OF THE REQUIRED DENSITY TEST UNIFORMLY DISTRIBUTED, AND SHALL BE OBTAINED BY THE SAND CONE METHOD.
- SUFFICIENT TESTS OF THE FILL SOILS SHALL BE MADE TO DETERMINE THE RELATIVE COMPACTION OF THE FILL IN ACCORDANCE WITH THE FOLLOWING MINIMUM GUIDELINES:
 - ONE TEST FOR EACH TWO FOOT VERTICAL LIFT.
 - ONE TEST FOR EACH 1000 CUBIC YARDS OF MATERIAL PLACED.
 - ONE TEST AT THE LOCATION OF THE FINAL FILL SLOPE FOR EACH BUILDING SITE (LOT) IN EACH FOUR FOOT VERTICAL LIFT OR PORTION THEREOF.
 - ONE TEST IN THE VICINITY OF EACH BUILDING PAD FOR EACH FOUR FOOT VERTICAL LIFT OR PORTION THEREOF.
- SUFFICIENT TESTS OF FILL SOILS SHALL BE MADE TO VERIFY THAT THE SOIL PROPERTIES COMPLY WITH THE DESIGN REQUIREMENTS AS DETERMINED BY THE SOILS ENGINEER SOIL TYPES, SHEAR STRENGTH PARAMETERS AND CORRESPONDING UNIT WEIGHTS IN ACCORDANCE WITH THE FOLLOWING GUIDELINES:
 - PRIOR AND SUBSEQUENT TO PLACEMENT OF THE FILL, SHEAR TESTS SHALL BE TAKEN ON EACH TYPE OF SOIL MIXTURE TO BE USED FOR ALL FILL SLOPES STEEPER THAN THREE (3) HORIZONTAL TO ONE VERTICAL.
 - SHEAR TEST RESULTS FOR THE PROPOSED FILL MATERIAL MUST MEET OR EXCEED THE DESIGN VALUES USED IN THE GEOTECHNICAL REPORT TO DETERMINE SLOPE STABILITY REQUIREMENTS. OTHERWISE, THE SLOPE MUST BE RE-EVALUATED USING THE ACTUAL SHEAR TEST VALUE OF THE FILL MATERIAL THAT IS IN PLACE.
 - FILL SOILS SHALL BE FREE OF DELETERIOUS MATERIALS.

FILL NOTES continued

- FILL SHALL NOT BE PLACED UNTIL STRIPPING OF VEGETATION, REMOVAL OF UNSUITABLE SOILS, AND INSTALLATION OF SUBDRAINS (IF ANY) HAVE BEEN INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER. THE BUILDING OFFICIAL MAY REQUIRE A "STANDARD TEST METHOD FOR MOISTURE, ASH, ORGANIC MATTER, PEAT OR OTHER ORGANIC SOILS" ASTM D-2974-87 ON ANY SUSPECT MATERIAL. DETRIMENTAL AMOUNT OF ORGANIC MATERIAL SHALL NOT BE PERMITTED IN FILLS. SOIL CONTAINING SMALL AMOUNTS OF ROOTS MAY BE ALLOWED PROVIDED THAT THE ROOTS ARE IN A QUANTITY AND DISTRIBUTION IN A MANNER THAT WILL NOT BE DETRIMENTAL TO THE FUTURE USE OF THE SITE AND THE SOILS ENGINEER APPROVES THE USE OF SUCH MATERIAL.
- ROCK OR SIMILAR MATERIAL, GREATER THAN 12 INCHES IN DIAMETER SHALL NOT BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT ARE SUBMITTED BY THE SOILS ENGINEER AND APPROVED IN ADVANCE BY THE BUILDING OFFICIAL. LOCATION, EXTENT, AND ELEVATION OF ROCK DISPOSAL AREAS MUST BE SHOWN ON AN "AS BUILT" GRADING PLAN.
- CONTINUOUS INSPECTION BY THE SOILS ENGINEER, OR A RESPONSIBLE REPRESENTATIVE, SHALL BE PROVIDED DURING ALL FILL PLACEMENT AND COMPACTION OPERATIONS WHERE FILLS HAVE A DEPTH GREATER THAN 30 FEET OR SLOPE SURFACE STEEPER THAN 2:1. (SECTION 3313.7 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
- CONTINUOUS INSPECTION BY THE SOILS ENGINEER, OR A RESPONSIBLE REPRESENTATIVE, SHALL BE PROVIDED DURING ALL SUBDRAIN INSTALLATION. (SECTION 3313.2 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
- ALL SUBDRAIN OUTLETS ARE TO BE SURVEYED FOR LINE AND ELEVATION. SUBDRAIN INFORMATION MUST BE SHOWN ON AN "AS BUILT" GRADING PLAN.
- FILL SLOPES IN EXCESS OF 2:1 STEEPNESS RATIO ARE TO BE CONSTRUCTED BY THE PLACEMENT OF SOIL AT SUFFICIENT DISTANCE BEYOND THE PROPOSED FINISH SLOPE TO ALLOW COMPACTION EQUIPMENT TO BE OPERATED AT THE OUTER LIMITS OF THE FINAL SLOPE SURFACE. THE EXCESS FILL IS TO BE REMOVED PRIOR TO COMPLETION OF ROUGH GRADING. OTHER CONSTRUCTION PROCEDURES MAY BE USED WHEN IT IS DEMONSTRATED TO THE SATISFACTION OF THE BUILDING OFFICIAL THAT THE ANGLE OF SLOPE, CONSTRUCTION METHOD AND OTHER FACTORS WILL HAVE EQUIVALENT EFFECT. (SECTION 3313.4 OF THE COUNTY OF LOS ANGELES BUILDING CODE.)

PLANTING AND IRRIGATION NOTES

- PLANTING AND IRRIGATION ON GRADED SLOPES MUST COMPLY WITH THE FOLLOWING MINIMUM GUIDELINES:
 - THE SURFACE OF ALL CUT SLOPES MORE THAN 5 FEET IN HEIGHT AND FILL SLOPES MORE THAN 3 FEET IN HEIGHT SHALL BE PROTECTED AGAINST DAMAGE BY EROSION BY PLANTING WITH GRASS OR GROUND COVER PLANTS. SLOPES EXCEEDING 15 FEET IN VERTICAL HEIGHT SHALL ALSO BE PLANTED WITH SHRUBS, SPACED AT NOT TO EXCEED 10 ON CENTERS; OR TREES, SPACED AT NOT TO EXCEED 20 FEET ON CENTERS, OR A COMBINATION OF SHRUBS AND TREES AT EQUIVALENT SPACING. IN ADDITION TO THE GRASS OR GROUND COVER PLANTS, THE PLANTS SELECTED AND PLANTING METHODS USED SHALL BE SUITABLE FOR THE SOIL AND CLIMATIC CONDITIONS OF THE SITE. PLANT MATERIAL SHALL BE SELECTED WHICH WILL PRODUCE A COVERAGE OF PERMANENT PLANTING EFFECTIVELY CONTROLLING EROSION. CONSIDERATION SHALL BE GIVEN TO DEEP-ROOTED PLANTING MATERIAL NEEDING LIMITED WATERING, MAINTENANCE, HIGH ROOT TO SHOOT RATION, WIND SUSCEPTIBILITY AND FIRE-RETARDANT CHARACTERISTICS. ALL PLANT MATERIALS MUST BE APPROVED BY THE BUILDING OFFICIAL. (SECTION 3316.3 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
 - PLANTING NEED NOT BE PROVIDED FOR CUT SLOPES ROCKY IN CHARACTER AND NOT SUBJECT TO DAMAGE BY EROSION AND ANY SLOPES PROTECTED AGAINST EROSION DAMAGE BY OTHER METHODS WHEN SUCH METHODS HAVE BEEN SPECIFICALLY RECOMMENDED BY A SOIL ENGINEER, ENGINEERING GEOLOGIST, OR EQUIVALENT AUTHORITY AND FOUND TO OFFER EROSION PROTECTION EQUAL TO THAT PROVIDED BY THE PLANTING SPECIFIED ABOVE.
- SLOPES REQUIRED TO BE PLANTED BY SECTION 3316.3 SHALL BE PROVIDED WITH AN APPROVED SYSTEM OF IRRIGATION THAT IS DESIGNED TO COVER ALL PORTIONS OF THE SLOPE. IRRIGATION SYSTEM PLANS SHALL BE SUBMITTED AND APPROVED PRIOR TO INSTALLATION. A FUNCTIONAL TEST OF THE SYSTEM MAY BE REQUIRED. FOR SLOPES LESS THAN 20 FEET IN VERTICAL HEIGHT, HOSE BIBS TO PERMIT HAND WATERING WILL BE ACCEPTABLE IF SUCH HOSE BIBS ARE INSTALLED AT CONVENIENTLY ACCESSIBLE LOCATIONS WHERE A HOSE NO LONGER THAN 50 FEET IS NECESSARY FOR IRRIGATION. THE REQUIREMENTS FOR PERMANENT IRRIGATION SYSTEMS MAY BE MODIFIED UPON SPECIFIC RECOMMENDATION OF A LANDSCAPE ARCHITECT OR EQUIVALENT AUTHORITY THAT, BECAUSE OF THE TYPE OF PLANTS SELECTED, THE PLANTING METHODS USED AND THE SOIL AND CLIMATIC CONDITIONS AT THE SITE, IRRIGATION WILL NOT BE NECESSARY FOR THE MAINTENANCE OF THE SLOPE PLANTING. (SECTION 3316.4 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
- OTHER GOVERNMENTAL AGENCIES MAY HAVE ADDITIONAL REQUIREMENTS FOR LANDSCAPING AND IRRIGATION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE WITH OTHER AGENCIES TO MEET THEIR REQUIREMENTS WHILE MAINTAINING COMPLIANCE WITH THE COUNTY OF LOS ANGELES BUILDING CODE.

- THE PLANTING AND IRRIGATION SYSTEMS SHALL BE INSTALLED AS PRACTICAL AFTER ROUGH GRADING. PRIOR TO FINAL GRADING APPROVAL ALL REQUIRED SLOPE PLANTING MUST BE WELL ESTABLISHED. (SECTION 3316.7 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
- THIS PROJECT REQUIRES A LANDSCAPE PLAN PER CHAPTER 71 OF THE COUNTY OF LOS ANGELES BUILDING CODE. PRIOR TO ROUGH GRADE APPROVAL LANDSCAPE PLANS MUST BE SUBMITTED AND APPROVED BY THE DEPARTMENT OF PUBLIC WORKS, LAND DEVELOPMENT DIVISION. (900 S. FREEMONT AVE, ALHAMBRA - 3RD FLOOR, CA 91803 (626) 458-4921)

NOTICE TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF THE ENGINEER'S KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS.

THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

PROPOSED STARTING DATE _____ ESTIMATED COMPLETION DATE _____

GP NO. 080210004

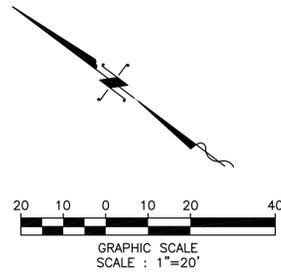
COUNTY OF LOS ANGELES

GRADING PLAN
SINGLE FAMILY RESIDENCE
25080 MULHOLLAND HWY, CALABASAS

DATE _____	PREPARED BY: EJK & Associates CIVIL ENGINEERING & LAND PLANNING 6520 Platt Ave., #538, West Hills, CA. 91307 Phone: 818-337-9055	"These plans have been reviewed and found to be in general conformity with our recommendations." GEOLOGIST/SOILS ENGINEER GROVER HOLLINGSWORTH 31128 VIA COLINAS, WESTLARK VILLAGE CA. 91362 Phone: 818-889-0844
DESIGNED DATE _____	REGISTERED ENGINEER NO. 42388 E. J. Kim, P.E. Exp. 3/31/22	DATE _____
DELINEATED DATE _____	R.C.E.	DATE _____
CHECKED DATE _____		
REV. SYMBOL	R.C.E.	DATE

CONSTRUCTION NOTES:

- ① CONST. 6" CONC. CURB
- ② CONST. RET. WALL PER SEPARATE PERMIT
- ③ CONST. 24"-14GA. CMP DRAIN PIPE, 2.5' MIN COVER
- ④ CONST. 4" CONC. DRIVEWAY OVER 4" MIN. AGGREGATE BASE SEE TYP. DRIVEWAY DETAIL HEREON
- ⑤ CONST. 6"x6" GRATE TYPE CATCH BASIN PER NDS PRODUCT.
- ⑥ CONST. 4" PVC DRAIN @ 2% MIN. GRADE
- ⑦ CONST. GROUTED ROCK RIP-RAP PER DETAIL HEREON
- ⑧ CONST. 6" PVC DRAIN @ 2% MIN. GRADE, 2.5' MIN COVER
- ⑨ CONST. CLEANOUT
- ⑩ CONST. 24" MIN. CONC. SWALE PER DETAIL HEREON
- ⑪ CONST. 4" ROUND AREA DRAIN, NDS TYPE 13S OR APPROVED EQUAL, TG PER PLAN
- ⑫ CONST. SEWAGE SEEPAGE PITS PER SOILS ENGINEERS RECOMENDATION
- ⑬ CONST. 1500 GALLON MINIMUM SEWAGE SEPTIC TANK PER COUNTY OF LOS ANGELES HEALTH DEPT SPECIFICATIONS, MINIMUM 5' CLEARANCE TO ANY DOMESTIC WATER SERVICES LINES
- ⑭ CONST. 12"x12" GRATE CATCH BASIN PER DETAIL HEREON W/ 8 OZ. DRAIN PAC FILTER. STENCIL "NO DUMPING - DRAINS TO OCEAN" ADJACENT TO CATCH BASIN.



REVISIONS
 REV. DRIVEWAY GRADE TO 15% MAX.
 AND WALL AND PAD ELEV. 11-11-11

REVISED 1-16-12
 GP NO. 0808210004

REV.: 12-12-08

REV.	SYMBOL	R.C.E.	DATE	P.D.E.	DATE

DATE _____
 EJK & ASSOC. DESIGNED
 DATE _____
 EJK & ASSOC. DELINEATED
 DATE _____
 CHECKED _____

PREPARED BY:
EJK & Associates
 CIVIL ENGINEERING & LAND PLANNING
 6520 Platt Ave. #538, West Hills, CA. 91307
 Phone: 818-988-9055

REGISTERED ENGINEER NO. 42358
 E. J. KIM P.E. EXP. 3/27/10

"These plans have been reviewed and found to be in general conformity with our recommendations."

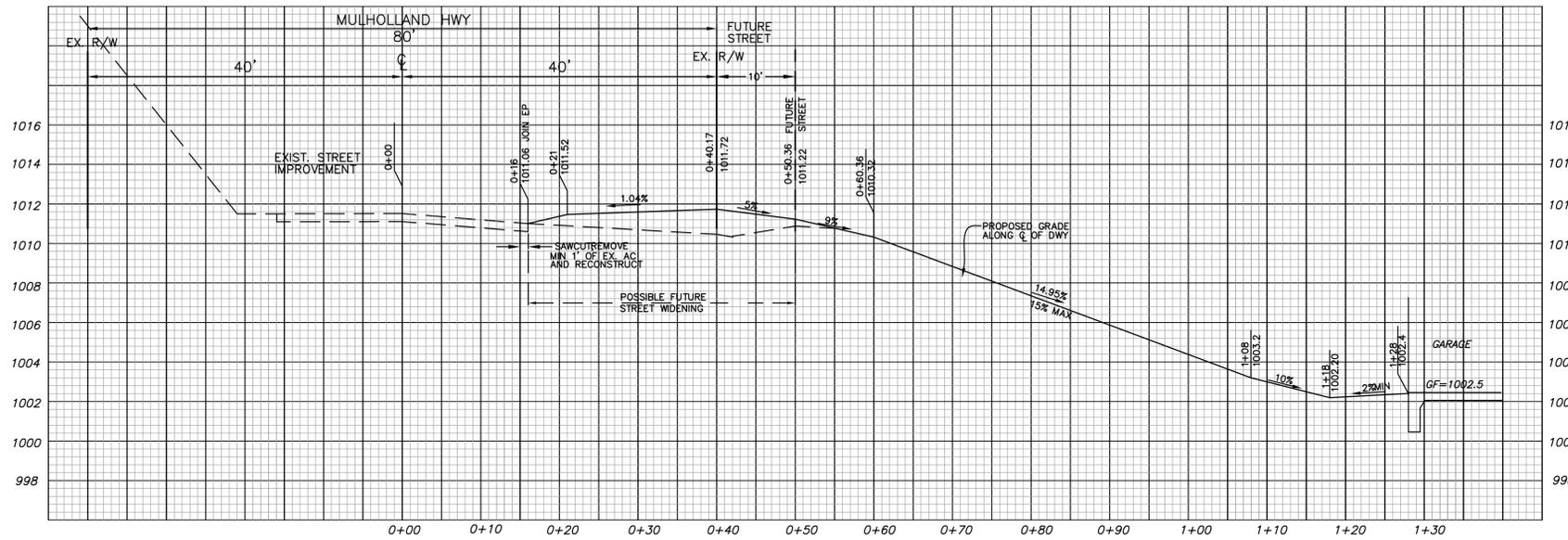
GEOLOGIST/SOILS ENGINEER
 GROVER HOLLINGSWORTH
 31129 VIA COLINAS, WESTLAKE VILLAGE CA. 91362
 Phone: 818-888-0844

R.C.E. _____ DATE _____

COUNTY OF LOS ANGELES

GRADING PLAN
 SINGLE FAMILY RESIDENCE
 25080 MULHOLLAND HWY, CALABASAS

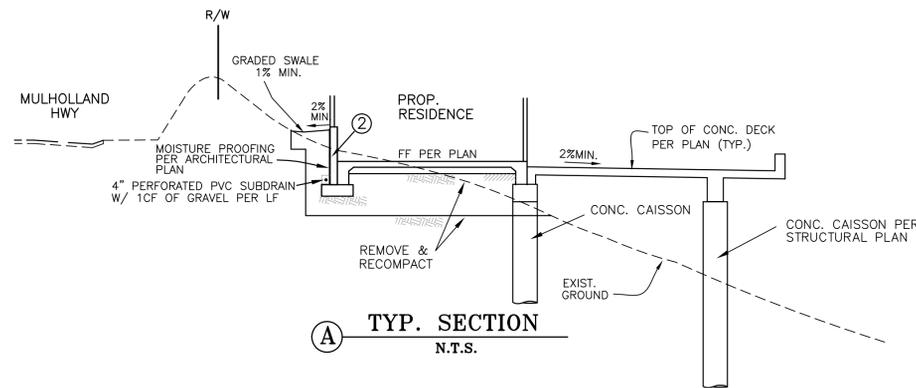
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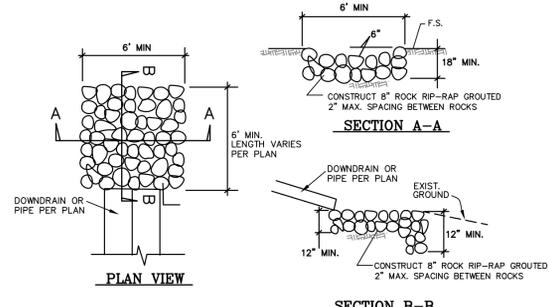
DRIVEWAY PROFILE
 VER. SCALE 1"=4'
 HOR. SCALE 1"=10'

CONSTRUCTION NOTES:

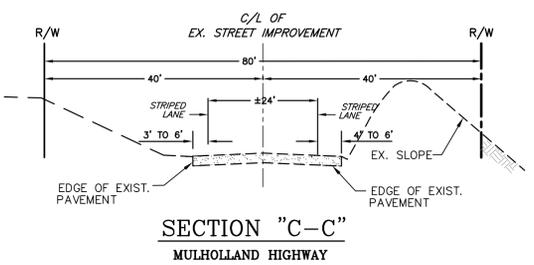
- ② CONST. RET. WALL PER SEPARATE PERMIT
- ④ CONST. 4" CONC. DRIVEWAY OVER 4" MIN. AGGREGATE BASE SEE TYP. DRIVEWAY DETAIL HEREON
- ⑤ CONST. 12"x12" GRATE TYPE CATCH BASIN PER DETAIL HEREON
- ⑦ CONST. GROUTED ROCK RIP-RAP PER DETAIL HEREON
- ⑩ CONST. 24" MIN. CONC. SWALE PER DETAIL HEREON



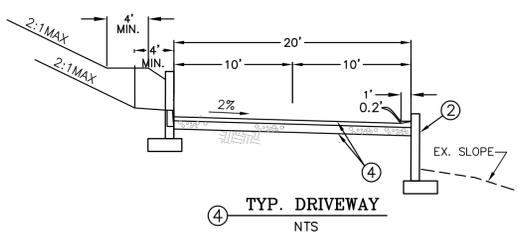
TYP. SECTION A
 N.T.S.



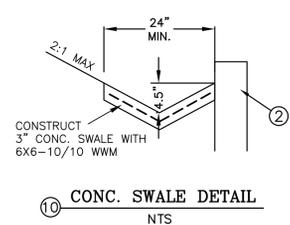
⑦ ROCK RIP-RAP
 N.T.S.



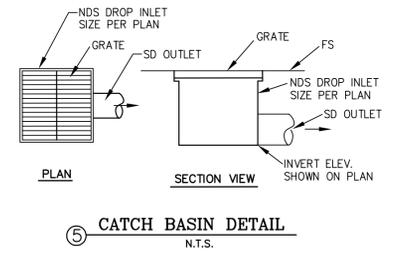
SECTION "C-C"
 MULHOLLAND HIGHWAY



④ TYP. DRIVEWAY
 N.T.S.



⑩ CONC. SWALE DETAIL
 N.T.S.



⑤ CATCH BASIN DETAIL
 N.T.S.

REVISIONS
 REV. DRIVEWAY GRADE TO 15% MAX.
 AND WALL AND PAD ELEV. 11-11-11
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