

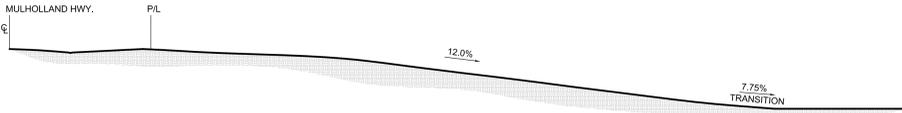
# SITE PLAN

SCALE: 1:20

A-0.0

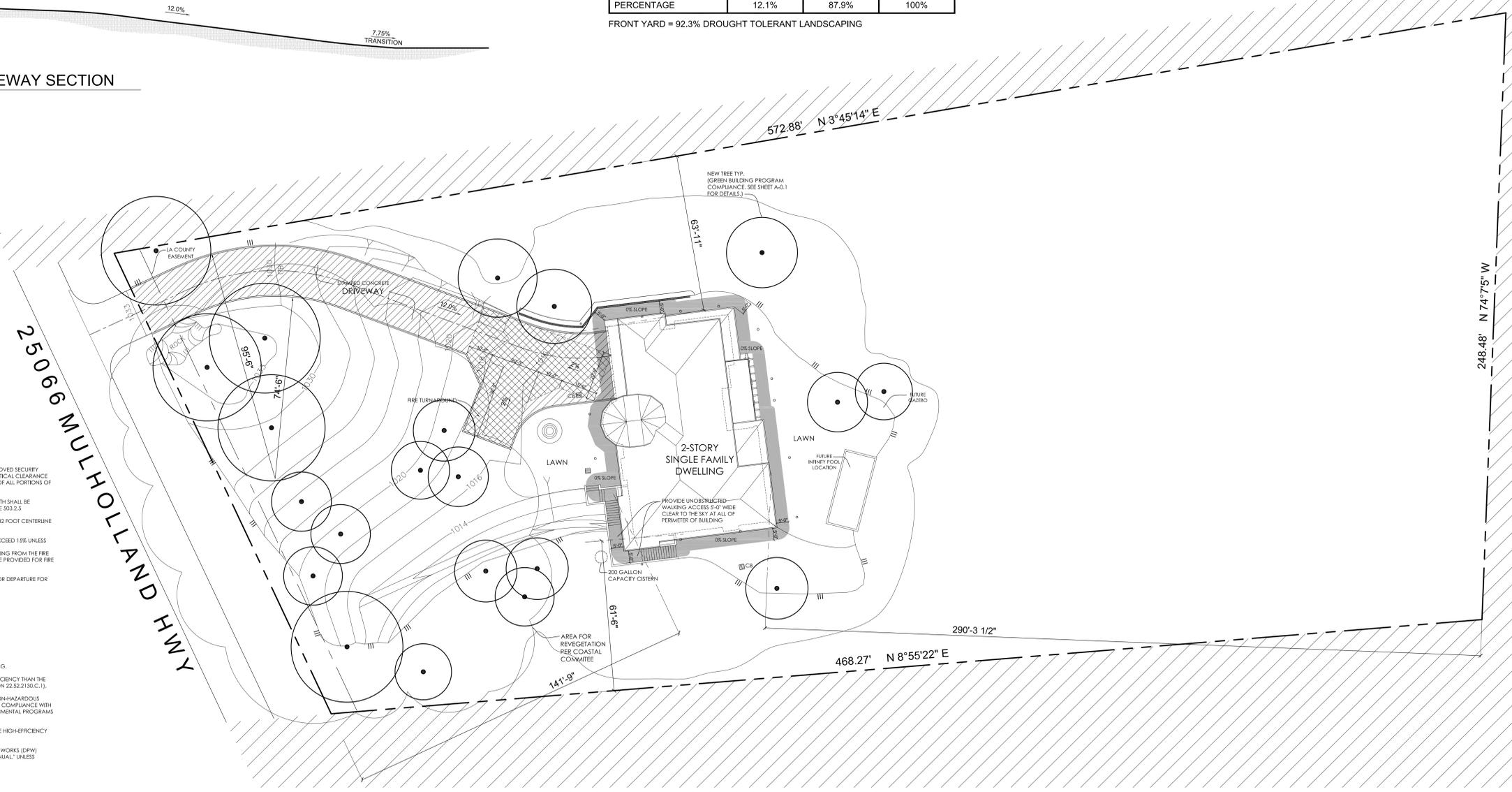
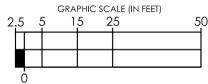
| SITE SURFACE AREA CALCULATIONS |            |        |        |
|--------------------------------|------------|--------|--------|
|                                | GRASS/TURF | D.T.L. | TOTAL  |
| SQUARE FT.                     | 4,838      | 35,103 | 39,941 |
| PERCENTAGE                     | 12.1%      | 87.9%  | 100%   |

FRONT YARD = 92.3% DROUGHT TOLERANT LANDSCAPING



## PROPOSED DRIVEWAY SECTION

1" = 20'-0"



- FIRE DEPARTMENT NOTES:**
1. PROVIDE A MINIMUM UNOBSTRUCTED WIDTH OF 20 FEET, EXCEPT FOR APPROVED SECURITY GATES IN ACCORDANCE WITH SECTION 503.3 AND AN UNOBSTRUCTED VERTICAL CLEARANCE "CLEAR TO SKY" FIRE DEPARTMENT VEHICULAR ACCESS TO WITHIN 150 FEET OF ALL PORTIONS OF THE EXTERIOR BUILDING WALLS. FIRE CODE 503.2.1
  2. DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED FIRE DEPARTMENT TURNAROUND. FIRE CODE 503.2.3
  3. FIRE DEPARTMENT VEHICULAR ACCESS ROADS SHALL BE PROVIDED WITH A 32 FOOT CENTERLINE TURNING RADIUS. FIRE CODE 503.2.4
  4. THE GRADIENT OF FIRE DEPARTMENT VEHICLE ACCESS ROADS SHALL NOT EXCEED 15% UNLESS APPROVED BY THE FIRE CODE OFFICIAL. FIRE CODE 503.2.7
  5. A MINIMUM 5 FOOT WIDE APPROVED FIREIGHTER ACCESS WALKWAY LEADING FROM THE FIRE APPARATUS ACCESS ROAD TO THE BUILDINGS EXTERIOR OPENINGS SHALL BE PROVIDED FOR FIRE FIGHTING AND RESCUE PURPOSES. FIRE CODE 504.1
  6. GRADE BREAKS SHALL NOT EXCEED THE MAXIMUM ANGLE OF APPROACH OR DEPARTURE FOR FIRE DEPARTMENT APPARATUS.

- GREEN BUILDING PROGRAM:**
1. SMART IRRIGATION CONTROLLER SHALL BE INSTALLED FOR ALL LANDSCAPING.
  2. PROJECT SHALL BE DESIGNED TO ACHIEVE AT LEAST 15% MORE ENERGY EFFICIENCY THAN THE 2005 CALIFORNIA ENERGY EFFICIENCY STANDARDS, TITLE 24, PART 4 (SECTION 22.22.21(B)(1)).
  3. PROJECT SHALL RECYCLE AND/OR SALVAGE THE MAXIMUM AMOUNT OF NONHAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS (SECTION 22.22.2130.C.4) AND IN COMPLIANCE WITH REQUIREMENTS SET FORTH BY THE DEPARTMENT OF PUBLIC WORKS, ENVIRONMENTAL PROGRAMS DIVISION.
  4. PROJECT SHALL COMPLY WITH THE REQUIREMENT THAT TANK-TYPE TOILETS BE HIGH-EFFICIENCY TOILETS (MAXIMUM 1.28 GALLONS/FLUSH) (SECTION 22.22.2130.C.3).
  5. LID BMP'S SHALL BE INSTALLED AS REQUIRED BY THE DEPARTMENT OF PUBLIC WORKS (DPW) PURSUANT TO THE COUNTY'S "LOW IMPACT DEVELOPMENT STANDARDS MANUAL," UNLESS INCORPORATED OR WAIVED BY DPW.

## LEGAL DESCRIPTION

**PARCEL 1:**  
That portion of the South half of the Northwest Quarter of Section 9, Township 1 South, Range 17 West, San Bernardino Base Meridian, according to the Official Plat there of described as follows:  
Beginning at the intersection of the Westerly line of said Section 9, with the center line of Cold Canyon Road, as described in the Deed to the County of Los Angeles recorded on April 17, 1925 as Instrument No. 1380 in book 4844 Page 305, Official Records, in the office of the County Recorder of said county, said intersection being a point in the curve concave to the South and having a radius of 100.00 feet, a radial line to said last mentioned point bears North 42 degrees 54' 56" West; thence Northeastly along said center line and said curb a distance of 46.05 feet; thence continuing along said center line North 75 degrees 11' 25" East 138.84 feet to the intersection with that certain curve in the center line of Cold Canyon Road, described in the deed to the County of Los Angeles, recorded on July 11, 1933, as Instrument No. 670 in Book 12212 Page 319 Official Records of said county, as being a curve concave to the Northwest and having a radius of 750.00 feet; thence Northeastly along said mentioned center line and said curve a distance of 456.33 feet; thence tangent to said last mentioned curve and continuing along said last mentioned center line of Cold Canyon Road North 40 degrees 19' 45" East 656.22 feet to the Northerly line of the 80 foot strip of land condemned for public road purposes by final order of condemnation entered in case no. 850680 Superior Court, Los Angeles County, a certified copy of which was recorded on May 1, 1956 as Instrument No. 4459, in Book 51051 page 18, Official Records; thence along said Northerly line North 78 degrees 37' 05" East 200.00 feet to the Westerly line of the land described in deed to Robert L. Dettmerman recorded March 3, 1972 as Document No. 5836 in Book D-5379 page 369 Official Records of said county; thence along said Westerly line South 03 degrees 45' 14" West 655.75 feet; to the Northerly line of the land described in deed to Virginia Dettmerman, recorded on February 16, 1972 as Document No. 3609 in Book D-5356 page 140 Official Records of said county; hence along said last mentioned Northerly line, North 74 degrees 07' 05" West 248.48 feet to a line that bears South 08 degrees 55' 22" West and which passes through the true point of beginning; thence North 08 degrees 55' 22" East 553.57 feet to the true point of beginning of this description.

**PARCEL 1A:**  
A non-exclusive easement for road, utility, storm drain, and sanitary sewer purposes over that portion of the West half of Section 9, Township 1 South Range 17 West, San Bernardino Base Meridian, in the County of Los Angeles State of California, according to the official Plat thereof included within a strip of land of uniform width 64 feet, the center line of which is described March 3, 1972 as Instrument No. 5923 in Book D5379 Page 316, Official Records.

**PARCEL 1B:**  
A non-exclusive easement for road, utility, storm drain, and sanitary sewer purposes over that portion of the West half of Section 9, Township 1 South, Range 17 West, San Bernardino Base Meridian, in the County of Los Angeles.

## ZONING INFO

NEW SINGLE FAMILY RESIDENCE  
ADDRESS: 25066 MULHOLLAND HIGHWAY  
CALABASAS, CALIFORNIA  
ZONING: R1  
OCCUPANCY: R1  
CONSTRUCTION TYPE: V  
FIRE DISTRICT: RBZ  
SITE AREA: 115,200 SQUARE FEET  
TOTAL = 113,116 SQUARE FEET  
ALLOWABLE HEIGHT: 35'-0"  
ACTUAL HEIGHT ABOVE FIRST FLOOR SLAB: 26'-10"  
PROPERTY SETBACKS:  
FRONT: 14'-0"  
REAR: 290'-3 1/2"  
SIDE (EAST): 63'-11"  
SIDE (WEST): 61'-6"  
NUMBER OF STORES: 2  
OCCUPANCY: R3 = TOTAL AREA: 6,918 SQUARE FEET  
FIRST FLOOR HABITABLE AREA: 3,828 SQUARE FEET  
SECOND FLOOR HABITABLE AREA: 3,090 SQUARE FEET  
OCCUPANCY: U1 = TOTAL AREA: 1,019 SQUARE FEET  
GARAGE AREA: 529 SQUARE FEET  
BASEMENT AREA: 390 SQUARE FEET  
LOGGIA AREA: 300 SQUARE FEET  
BALCONY AREA: 150 SQUARE FEET

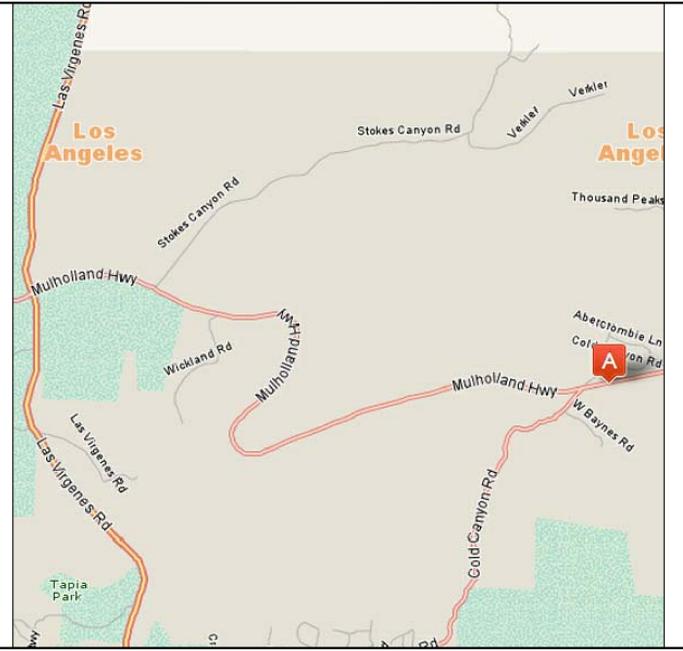
## PROJECT DIRECTORY

| ARCHITECTURAL DESIGNER:   | CIVIL ENGINEER:   | GEO. TECH. (SEPTIC):  |
|---|---|---|
| John Anthony Lewis Architect<br># C17057<br>6821 Smoke Tree Avenue<br>Oak Park, CA 91377<br>818 521 9876                    | EJK & Associates<br>E.J. Kim, P.E. #42398<br>6520 Platt Ave, Suite 538<br>West Hills, CA 91307<br>818 337 9055                                  | GOLD COAST GEOSERVICES INC.<br>5217 Verdugo Way, Suite B<br>Camarillo, CA 93012<br>Scott Hogren<br>818 484 5070 |
| STRUCTURAL ENGINEER:  | TITLE24 ENERGY:   | OWNER:  |
| Oxford Engineering<br>Ahmad Heydar, P.E. 3679<br>22543 Ventura Blvd., Suite 228<br>Woodland Hills, CA 91364<br>818 225 9670 | Alternative Energy Systems<br>229 N. Central Ave, Suite 500<br>Glendale, CA 91203<br>Armen Abramian<br>Associate Energy Analyst<br>818 246 2844 | Dr. Edward Betz<br>4555 Sherman Oaks Blvd.<br>Sherman Oaks, CA 91403  |

## INDEX OF SHEETS

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- A-0.0 INDEX OF DRAWINGS, PROJECT DATA & SITE PLAN
  - A-0.1 SITE PLAN FOR L.A. COUNTY LANDSCAPE REQUIREMENTS (DUPLICATION OF APPROVED L.A. COUNTY FUEL MOD PLAN)
  - N.I.S. A-0.2 TITLE 24 & GENERAL NOTES
  - N.I.S. A-0.3 SITE SURVEY/ GRADING PLAN
  - A-1.0 FIRST FLOOR PLAN WITH SCHEDULES
  - A-1.1 SECOND FLOOR PLAN WITH SCHEDULES
  - A-1.2 ROOF PLAN
  - N.I.S. A-2.0 FIRST FLOOR REFLECTED CEILING PLAN
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- N.I.S. E-1.0 FIRST FLOOR LIGHTING PLAN
  - N.I.S. E-1.1 SECOND FLOOR LIGHTING PLAN
  - N.I.S. E-2.0 FIRST FLOOR ELECTRICAL POWER PLAN
  - N.I.S. A-2.1 SECOND FLOOR ELECTRICAL POWER PLAN

## VICINITY MAP



**JOHN ANTHONY LEWIS ARCHITECT**  
ARCHITECTURE  
INTERIOR DESIGN  
LANDSCAPE DESIGN

STUDIO  
6821 SMOKE TREE AVENUE  
OAK PARK, CA 91377  
STUDIO  
FAX (818) 521-9876  
(818) 450-0810

TITLE: INDEX OF DRAWINGS, PROJECT DATA & SITE PLAN  
DRAWN BY: MDG - BRL  
SCALE: 1:20  
DATE: 1-18-2012

REVISIONS

NEW SINGLE FAMILY RESIDENCE FOR:  
EDWARD BETZ  
4555 SHERMAN OAKS AVE.  
SHERMAN OAKS, CA 91403

**Betz Residence**  
25066 MULHOLLAND HIGHWAY, CALABASAS, CALIFORNIA

# SITE PLAN FOR L.A. COUNTY LANDSCAPE REQUIREMENTS (DUPLICATION OF APPROVED L.A. COUNTY FUEL MOD PLAN)

SCALE: 1:20

A-0.1

JOHN ANTHONY LEWIS ARCHITECT



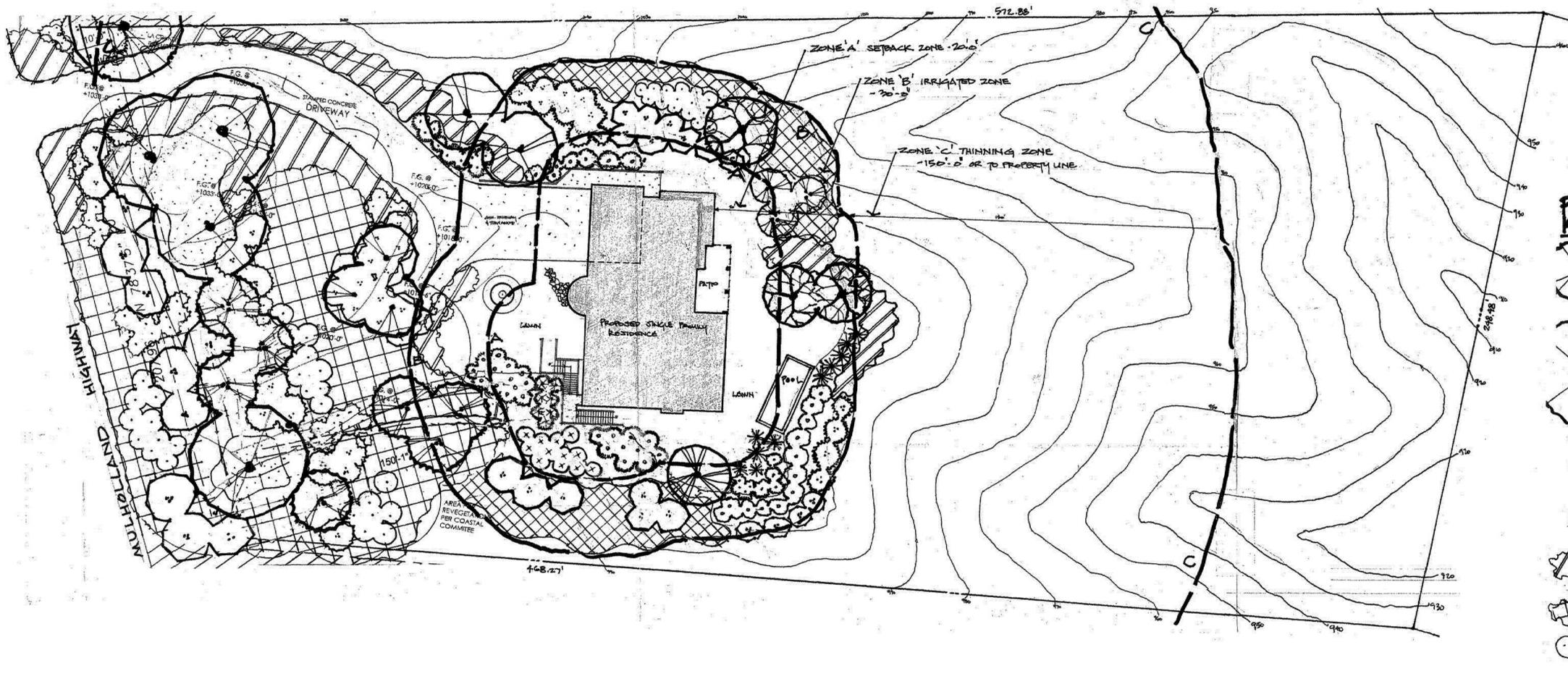
STUDIO  
6821 SMOKE TREE AVENUE  
OAK PARK, CA 91377  
STUDIO  
FAX (818) 521-9876  
(818) 450-0810

TITLE:  
SITE PLAN FOR L.A. COUNTY LANDSCAPE REQUIREMENTS (DUPLICATION OF APPROVED L.A. COUNTY FUEL MOD PLAN)

DATE: 1-18-2012

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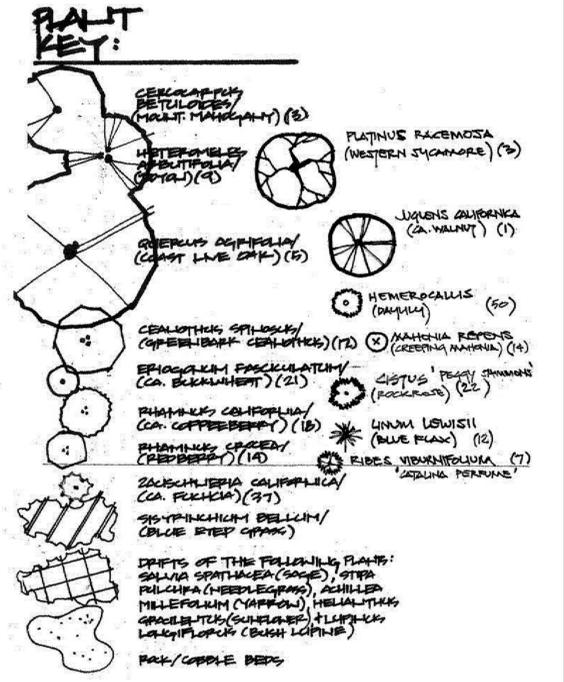
DRAWN BY: JAL - BRL



**\*NOTE: ALL PLANTED AREAS WILL BE IRRIGATED WITH AN AUTOMATED SPRINKLER SYSTEM**

1. AT TREES AND LARGE SHRUBS PROVIDE DRIP IRRIGATION SYSTEM TO ACHIEVE COMPLETE COVERAGE
2. INSTALL RAIRNIRDS TO COVER NEW VEGETATION.  
O 360 DEGREE SINGLE STREAM SPRINKLER HEAD (TORQ #5243) 4.4 GPM @ 30 FT. MAX SPACING  
Q HOSE BIBBS  
R 3/4" SCHEDULE 40 PVC
3. POPUP HEADS IN LAWN AND PLANTERS AREAS WITHIN IRRIGATED ZONE SUB ZONE 'A' SHALL BE 8"-9" MAX AND ILLI ACHIEVE COMPLETE COVERAGE
4. WINTER ROTARY HEADS IN PLANTER AREAS IN IRRIGATED ZONE SUB ZONE 'B' SHALL BE 30"-36" MAX AND SHALL ACHIEVE COMPLETE COVERAGE

**IRRIGATION CONCEPT NOTES**



**GREEN BUILDING PROGRAM TABLE- To be completed by applicant**

|  |  |
|--|--|
| <b>Green Building Requirements</b>   |  |
| ♦ A project where a complete building permit application was filed with the County Department of Public Works (DPW) prior to January 1, 2009 shall be exempt from the requirements. For construction of a single family residence, this deadline is extended to April 1, 2009.                       |  |
| Number of trees required/provided: 21  |  |
| Location of trees per green building requirements shall be approved as depicted on the plans unless waived or modified by DPW.   |  |
| Unless exempt, or waived/modified by DPW, the project shall comply with the energy efficiency, resource and water conservation provisions of the Green Building ordinance per DPW review.  |  |
| <b>Drought-Tolerant Landscaping Requirements</b>   |  |
| ♦ A project where a complete building permit application was filed with the County Department of Public Works (DPW) prior to January 1, 2009 shall be exempt from the requirements. For construction of a single family residence, this deadline is extended to April 1, 2009.                       |  |
| Is landscaping required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No   |  |
| Is landscaping proposed? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No   |  |
| • If you check yes for either question, complete the landscaping information below.  |  |
| • If you check no for both questions, skip to the next section- Green Building. Please be aware that if landscaping is proposed in the future, a new site plan review and applicable fees must be filed to ensure compliance with the Drought-Tolerant Landscaping Ordinance, Chapter 22.52, Part 21 |  |
| Required landscaping (sq. ft.) (if applicable): N/A  |  |
| Total landscaping (sq. ft.): 39,941 Sq. Ft.  |  |
| Percent of total landscaping to be drought tolerant: 87.9%   |  |
| Total grass/turf area (sq. ft.): 4,838 Sq. Ft.   |  |
| Percent of total landscaping to be grass/turf: 12.1%   |  |
| Grass/turf width must be minimum 5 feet and grass/turf must be water efficient.  |  |
| Plants shall be grouped in hydrozones (with similar water and sun needs)   |  |
| <b>Low Impact Development (LID) Requirements</b>   |  |
| ♦ Any development where a complete permit application was filed with the County Departments of Regional Planning, Public Works (DPW), or Beaches and Harbors prior to January 1, 2009 shall be exempt from the requirements.   |  |
| Percent alteration of EXISTING impervious surfaces: 0%   |  |
| Total NEW impervious surfaces (sq. ft.): 10,925 Sq. Ft.  |  |
| For residential projects ≤ 4 units, install at least two of the following (check at least two):  |  |
| <input type="checkbox"/> Porous pavement (minimum 50% of all paving)   |  |
| <input checked="" type="checkbox"/> Cistern/rain barrel (minimum 200 gallon capacity)  |  |
| <input type="checkbox"/> Rain garden/planter box (minimum 200 gallon capacity)   |  |
| <input type="checkbox"/> Dry well (minimum 200 gallon capacity)  |  |
| <input type="checkbox"/> Green roof (minimum 50% of total roof area)   |  |
| <input checked="" type="checkbox"/> Direct runoff to drain toward pervious surfaces  |  |
| <input checked="" type="checkbox"/> Plant 2 trees to overhang impervious surfaces  |  |
| Unless exempt, or waived/modified by DPW, the development shall comply with LID requirements per DPW review.   |  |

REVISIONS

NEW SINGLE FAMILY RESIDENCE FOR:  
EDWARD BETZ  
4555 SHERMAN OAKS AVE.  
SHERMAN OAKS, CA 91403

**Betz Residence**

25066 MULHOLLAND HIGHWAY, CALABASAS, CALIFORNIA

| DOOR SCHEDULE |          |       |        |       |             |                 |                   |          |                                     |                   |
|---------------|----------|-------|--------|-------|-------------|-----------------|-------------------|----------|-------------------------------------|-------------------|
| MARK          | SIZE     |       |        | MTRL. | GLAZING     | DESCRIPTION     | LOCATION          | QUANTITY | NOTES                               | HARDWARE*         |
|               | WIDTH    | HGT.  | THK.   |       |             |                 |                   |          |                                     |                   |
| 1             | 8'-0"    | 8'-0" | 1-3/4" | WOOD  |             | GARAGE          | GARAGE            | 3        | WOOD DOORS SPECIFIED BY OWNER       |                   |
| 2             | (2)3'-0" | 8'-0" | 1-3/4" | WOOD  |             | EXT. ENTRY PAIR | ENTRY             | 1 PAIR   | ARCHED WOOD DRS. SPECIFIED BY OWNER | PROVIDE DEAD BOLT |
| 3             | (2)4'-0" | 8'-0" | 1-3/4" | WOOD  | 10 LITE (2) | SLIDING GLASS   | KITCHEN           | 1 PAIR   | ARCHED POCKET DOORS                 |                   |
| 4             | 4'-0"    | 8'-0" | 1-3/4" | WOOD  | 6 LITE (2)  | SLIDING GLASS   | KITCHEN           | 1        | ARCHED POCKET DOORS                 |                   |
| 5             | 8'-0"    | 8'-0" | 1-3/4" | WOOD  | 12 LITE (2) | SLIDING GLASS   | FAMILY ROOM       | 1        |                                     | PROVIDE DEAD BOLT |
| 6             | 8'-0"    | 8'-0" | 1-3/4" | WOOD  | 12 LITE (2) | SLIDING GLASS   | BREAKFAST         | 1        |                                     | PROVIDE DEAD BOLT |
| 7             | 8'-0"    | 8'-0" | 1-3/4" | WOOD  | 12 LITE (2) | SLIDING GLASS   | LIVING ROOM       | 1        |                                     | PROVIDE DEAD BOLT |
| 8             | 8'-0"    | 8'-0" | 1-3/4" | WOOD  | 12 LITE (2) | SLIDING GLASS   | BEDROOM #5        | 1        |                                     | PROVIDE DEAD BOLT |
| 9             | 2'-8"    | 8'-0" | 1-3/4" | WOOD  |             | INTERIOR        | BEDROOM #5 W.I.C. | 2        |                                     | PASSAGE           |
| 10            | 3'-0"    | 8'-0" | 1-3/4" | WOOD  |             | EXTERIOR        | LAUNDRY           | 1        | W/ 4 LITE WINDOW - PAINT            | PROVIDE DEAD BOLT |
| 11            | 3'-0"    | 8'-0" | 1-3/4" | WOOD  |             | EXTERIOR        | GARAGE            | 1        |                                     | PROVIDE DEAD BOLT |
| 12            | 2'-8"    | 8'-0" | 1-3/4" | WOOD  |             | INTERIOR        | ENTRY             | 1        |                                     | PASSAGE           |
| 13            | 3'-0"    | 8'-0" | 1-3/4" | WOOD  |             | EXTERIOR        | GARAGE            | 1        | 20 MIN RATED W/ SELF CLOSER - PAINT | PROVIDE DEAD BOLT |
| 14            | 2'-8"    | 8'-0" | 1-3/4" | WOOD  |             | INTERIOR        | LAUNDRY           | 1        |                                     | PASSAGE           |
| 15            | 2'-8"    | 8'-0" | 1-3/4" | WOOD  |             | INTERIOR        | POWDER ROOM       | 1        |                                     | PRIVACY LATCH     |
| 16            | 2'-8"    | 8'-0" | 1-3/4" | WOOD  |             | INTERIOR        | BEDROOM #5        | 1        |                                     | PRIVACY LATCH     |
| 17            | 2'-8"    | 8'-0" | 1-3/4" | WOOD  |             | INTERIOR        | BATHROOM #1       | 1        |                                     | PRIVACY LATCH     |
| 18            | 2'-4"    | 8'-0" | 1-3/4" | WOOD  |             | INTERIOR        | DINING ROOM       | 2        |                                     | PASSAGE           |
| 19            | (2)2'-0" | 8'-0" | 1-3/4" | WOOD  |             | INTERIOR        | BONUS ROOM        | 1 PAIR   |                                     | PASSAGE           |
| 20            | (2)3'-0" | 8'-0" | 1-3/4" | WOOD  |             | INTERIOR        | BONUS ROOM        | 1 PAIR   |                                     | PASSAGE           |

NOTE: ALL GLASS IN DOORS SHALL BE TEMPERED.  
NOTE: ALL HARDWARE SHALL BE POLISHED BRASS

| WINDOW SCHEDULE |       |       |        |       |             |                |             |          |                                |  |
|-----------------|-------|-------|--------|-------|-------------|----------------|-------------|----------|--------------------------------|--|
| MARK            | SIZE  |       |        | MTRL. | GLAZING     | DESCRIPTION    | LOCATION    | QUANTITY | NOTES                          |  |
|                 | WIDTH | HGT.  | THK.   |       |             |                |             |          |                                |  |
| A               | 3'-0" | 8'-0" | 1-3/4" | WOOD  | SINGLE-PANE | FIXED MULTILT. | FAMILY ROOM | 2        | 12 LITE - PAINT                |  |
| B               | 6'-0" | 8'-0" | 1-3/4" | WOOD  | SINGLE-PANE | PAIR CASEMENT  | BREAKFAST   | 1        | 10 LITE(2) - PAINT             |  |
| C               | 2'-0" | 8'-0" | 1-3/4" | WOOD  | SINGLE-PANE | FIXED          | LIVING ROOM | 2        | 12 LITE - PAINT                |  |
| D               | 6'-0" | 5'-0" | 1-3/4" | WOOD  | SINGLE-PANE | CASMENT        | BATHROOM#1  | 1        | 6 LITE - PAINT                 |  |
| E               | 2'-0" | 4'-0" | 1-3/4" | WOOD  | SINGLE-PANE | CASMENT PAIR   | BEDROOM #5  | 2        | 6 LITE - PAINT                 |  |
| F               | 2'-0" | 4'-0" | 1-3/4" | WOOD  | SINGLE-PANE | CASMENT PAIR   | GARAGE      | 2        | 6 LITE - PAINT                 |  |
| G               | 6'-0" | 6'-6" | 1-3/4" | WOOD  | SINGLE-PANE | CASMENT PAIR   | DINING ROOM | 1        | 10 LITE(2) - PAINT             |  |
| H               | 2'-0" | 4'-0" | 1-3/4" | WOOD  | SINGLE-PANE | CASMENT PAIR   | BONUS ROOM  | 2        | 8 LITE(2) - ROUND TOP - PAINT  |  |
| I               | 2'-4" | 4'-0" | 1-3/4" | WOOD  | SINGLE-PANE | CASMENT PAIR   | BONUS ROOM  | 2        | 3 LITE(2) - ROUND TOP - PAINT  |  |
| J               | 4'-0" | 6'-0" | 1-3/4" | WOOD  | SINGLE-PANE | CASMENT PAIR   | FAMILY ROOM | 2        | 10 LITE(2) - ROUND TOP - PAINT |  |
| Z               | 2'-0" | 4'-0" | 1-3/4" | WOOD  | SINGLE-PANE | FIXED          | ENTRY       | 2        | 1 LITE - PAINT                 |  |

### SHEET NOTES

#### APPLIANCES

- A1 Gas range/oven - provide exhaust hood, gas and electrical hook-ups
- A3 Refrigerator space - provide electric outlet and a copper water line for ice maker.
- A4 Trash compactor - provide electrical hook-up
- A5 Dishwasher - provide electrical, drain, and hot and cold water hook-ups
- A6 Garbage disposal - provide electrical hook-up and connection to sink and drain
- A7 Clothes dryer space - provide gas and electrical hook-ups and vent to outside air.
- A8 Clothes washer space - provide water and electrical hook-ups, and connection to drain.
- A9 Undercounter refrigerator as selected by owners

#### CABINETRY

- C1 Kitchen type base cabinets with wall cabinets above
- C2 "Island" type countertop with base cabinets
- C3 Pullman counter top with base cabinets
- C4 Entertainment center cabinetry
- C5 Provide a minimum of 5 edge banded, adjustable, 5/8 plywood shelves with white melamine finish. Match kitchen cabinet doors.

#### ELECTRICAL

- E1 Smoke detectors, hardwired with battery back-up.

#### FINISHES

- F1 5/8" gypsum board
- F2 5/8" type "X" gypsum board walls & ceiling between garage and residence and all structural members for 1-hour construction.
- F3 7/8" exterior plaster on wire lath over 2 layers of 15# building paper at exterior
- F5 Fireplace hearth. Code approved material, as selected by owner.
- F6 Fireplace front - code approved material, as selected by owner.
- F7 Granite countertop with bullnose edges
- F8 Marble countertop with bullnose edges
- F12 Stacked stone veneer as selected by owners

#### METAL

- M1 Metal guardrail, 36" high with openings not to allow a 4" diameter sphere to pass thru
- M2 Metal handrail, 36" to 38" above tread nosing with openings not to allow a 4" diameter sphere to pass thru. Handgrip portion must be a min of 1 1/4" to 2" in diameter, having a smooth surface with no sharp corners.

#### PLUMBING

- P1 Approved low-consumption toilet, 1.6 gallons per flush maximum
- P2 Showerhead +6'-6" off floor - as selected by owners
- P3 Lavatory with faucet set as selected by owner
- P6 Tub and faucet set as selected by owners
- P7 Triple kitchen sink - provide hot & cold water and drain.
- P8 Water heater - TAKAGI tankless system - MOBIUS T-M provide gas and water hook-ups. Heater must be securely strapped to wall at top & bottom and be mounted on a wood platform at minimum of 18" above floor and vented to the outside air.
- P9 Bar sink as selected by owners
- P10 Prep sink as selected by owners

#### SPECIALTIES

- S1 1/4" plate glass mirror, no frame, 48" x length of countertop.
- S2 Recessed medicine cabinet as selected by owners
- S3 Shatter resistant shower door/enclosure as selected by owners
- S4 Prefabricated metal fireplace - Superior model 'Estate' (L.A.R.R. #2301) for approved equal

#### THERMAL INSULATION

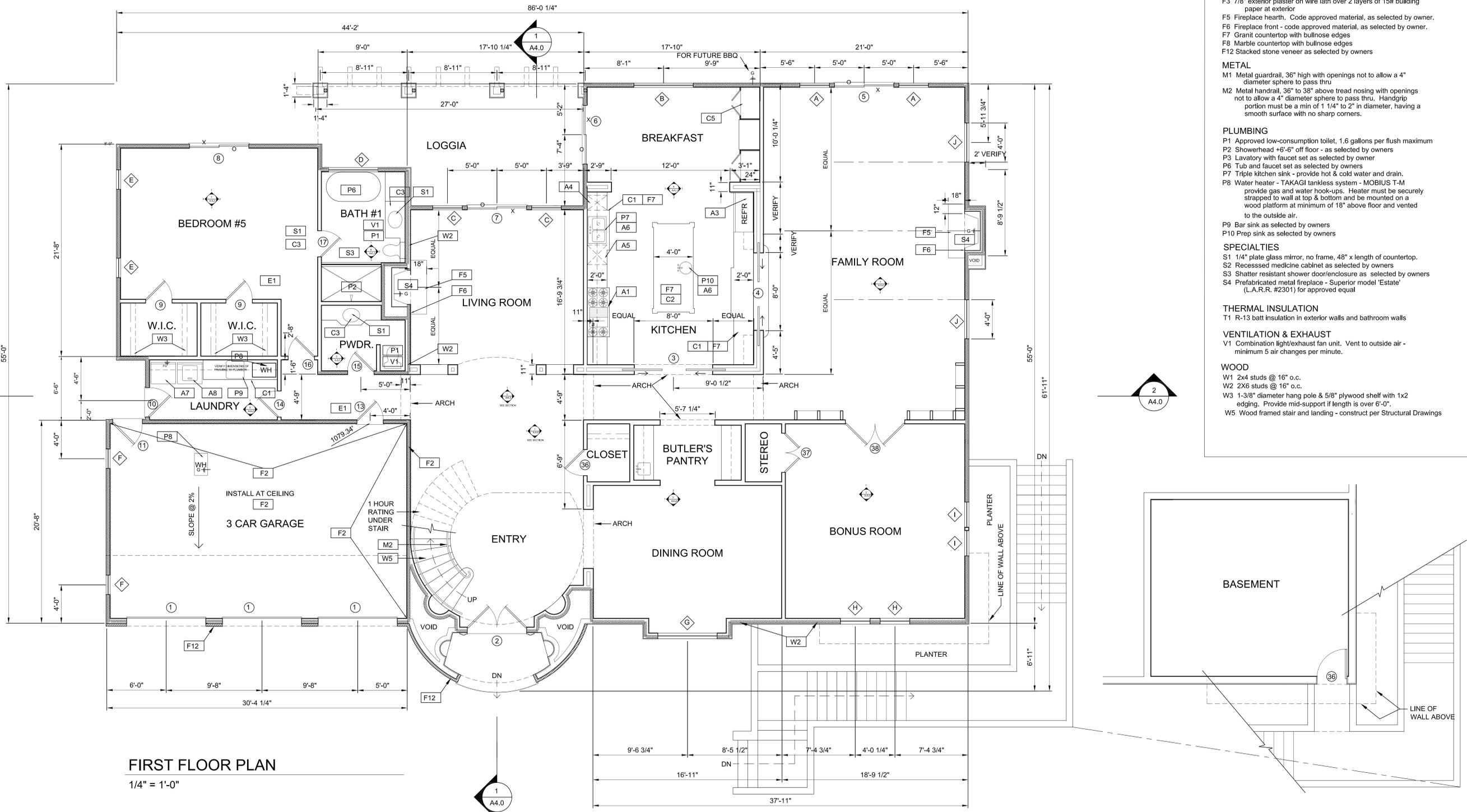
- T1 R-13 batt insulation in exterior walls and bathroom walls

#### VENTILATION & EXHAUST

- V1 Combination light/exhaust fan unit. Vent to outside air - minimum 5 air changes per minute.

#### WOOD

- W1 2x4 studs @ 16" o.c.
- W2 2X6 studs @ 16" o.c.
- W3 1-3/8" diameter hang pole & 5/8" plywood shelf with 1x2 edging. Provide mid-support if length is over 6'-0".
- W5 Wood framed stair and landing - construct per Structural Drawings



FIRST FLOOR PLAN

1/4" = 1'-0"

# A-1.0

**JOHN ANTHONY LEWIS ~ ARCHITECT**

ARCHITECTURE  
INTERIOR DESIGN  
LANDSCAPE DESIGN

STUDIO  
6821 SMOKE TREE AVENUE  
OAK PARK, CA 91377

STUDIO (818) 451-9876  
FAX (818) 450-0810

TITLE: FIRST FLOOR PLAN

DATE: 1-16-2012

REVISIONS:

DRAWN BY: MDG - BRL

SCALE: 1/4" = 1'-0"

NEW SINGLE FAMILY RESIDENCE FOR:  
EDWARD BETZ  
4688 SHERMAN OAKS AVE  
SHERMAN OAKS, CA 91403

25066 MULHOLLAND HIGHWAY, CALABASAS, CALIFORNIA

Betz  
Residence

\* REVISIONS & COMPLETION OF PREVIOUS ARCHITECTS DESIGN

| MARK | DOOR  |       |        |         |             | DESCRIPTION   | LOCATION       | QUANTITY | NOTES              | HARDWARE*     |
|------|-------|-------|--------|---------|-------------|---------------|----------------|----------|--------------------|---------------|
|      | SIZE  |       | MATL.  | GLAZING |             |               |                |          |                    |               |
|      | WIDTH | HGT.  |        |         |             |               |                |          |                    |               |
| 18   | 6'-0" | 8'-0" | 1-3/4" | WOOD    | 10 LITE (2) | SLIDING GLASS | MSTR BEDROOM   | 1        | PAINT              | PRIVACY LATCH |
| 19   | 2'-4" | 8'-0" | 1-3/4" | WOOD    |             | INTERIOR      | MASTER BATH    | 1        | PAINT              | PRIVACY LATCH |
| 20   | 2'-4" | 8'-0" | 1-3/4" | WOOD    |             | INTERIOR      | HIS CLOSET     | 1        | PAINT              | PASSAGE       |
| 21   | 2'-4" | 8'-0" | 1-3/4" | WOOD    |             | INTERIOR      | MASTER BATH    | 1        | PAINT              | PRIVACY LATCH |
| 22   | 2'-4" | 8'-0" | 1-3/4" | WOOD    | 12 LITE (2) | INTERIOR PAIR | BEDROOM #4     | 1 PAIR   | PAINT              | PRIVACY LATCH |
| 23   | 2'-4" | 8'-0" | 1-3/4" | WOOD    |             | INTERIOR      | BATHROOM #4    | 1        | PAINT              | PRIVACY LATCH |
| 24   | 2'-4" | 8'-0" | 1-3/4" | WOOD    |             | INTERIOR      | BEDROOM #4     | 1        | PAINT              | PASSAGE       |
| 25   | 2'-4" | 8'-0" | 1-3/4" | WOOD    |             | INTERIOR      | HALL WAY       | 1 PAIR   | SELF-CLOSER, PAINT | PRIVACY LATCH |
| 26   | 2'-4" | 8'-0" | 1-3/4" | WOOD    |             | INTERIOR      | HER CLOSET     | 1        | PAINT              | PASSAGE       |
| 27   | 2'-4" | 8'-0" | 1-3/4" | WOOD    |             | INTERIOR      | BEDROOM #4     | 1        | PAINT              | PRIVACY LATCH |
| 28   | 2'-4" | 8'-0" | 1-3/4" | WOOD    |             | INTERIOR      | HALLWAY CLOSET | 1        | PAINT              | PASSAGE       |
| 29   | 2'-4" | 8'-0" | 1-3/4" | WOOD    |             | INTERIOR      | BATHROOM #2    | 1        | PAINT              | PRIVACY LATCH |
| 30   | 2'-4" | 8'-0" | 1-3/4" | WOOD    |             | INTERIOR      | BEDROOM #2     | 1        | PAINT              | PASSAGE       |
| 31   | 2'-4" | 8'-0" | 1-3/4" | WOOD    |             | INTERIOR      | BEDROOM #2     | 1        | PAINT              | PRIVACY LATCH |
| 32   | 2'-4" | 8'-0" | 1-3/4" | WOOD    |             | INTERIOR      | LINEN          | 1        | PAINT              | PASSAGE       |
| 33   | 2'-4" | 8'-0" | 1-3/4" | WOOD    |             | INTERIOR      | BEDROOM #3     | 1        | PAINT              | PRIVACY LATCH |
| 34   | 2'-4" | 8'-0" | 1-3/4" | WOOD    |             | INTERIOR      | BEDROOM #3     | 1        | PAINT              | PASSAGE       |
| 35   | 2'-4" | 8'-0" | 1-3/4" | WOOD    |             | INTERIOR      | BATHROOM #3    | 1        | PAINT              | PRIVACY LATCH |

NOTE: ALL GLASS IN DOORS SHALL BE TEMPERED.  
NOTE: ALL HARDWARE SHALL BE POLISHED BRASS

| MARK | SIZE  |       |        | MATL. | GLAZING     | DESCRIPTION   | LOCATION      | QUANTITY | NOTES                          |
|------|-------|-------|--------|-------|-------------|---------------|---------------|----------|--------------------------------|
|      | WIDTH | HGT.  | THK.   |       |             |               |               |          |                                |
|      | K     | 3'-0" | 6'-4"  |       |             |               |               |          |                                |
| L    | 4'-0" | 6'-0" | 1-3/4" | WOOD  | SINGLE-PANE | PAIR CASEMENT | MSTR BEDROOM  | 3        | 10 LITE(2) - ROUND TOP - PAINT |
| M    | 2'-0" | 4'-0" | 1-3/4" | WOOD  | SINGLE-PANE | CASEMENT      | MSTR BATHROOM | 4        | 8 LITE - PAINT                 |
| M    | 2'-0" | 4'-0" | 1-3/4" | WOOD  | SINGLE-PANE | FIXED         | MSTR BATHROOM | 1        | 8 LITE - PAINT                 |
| N    | 2'-0" | 3'-0" | 1-3/4" | WOOD  | SINGLE-PANE | CASMENT       | MSTR BATH #4  | 2        | 6 LITE - PAINT                 |
| O    | 6'-0" | 6'-0" | 1-3/4" | WOOD  | SINGLE-PANE | FIXED         | ENTRY         | 1        | 16 LITE - ROUND TOP - PAINT    |
| P    | 2'-0" | 6'-0" | 1-3/4" | WOOD  | SINGLE-PANE | FIXED         | STAIRS        | 2        | 14 LITE - ROUND TOP - PAINT    |
| Q    | 2'-0" | 3'-0" | 1-3/4" | WOOD  | SINGLE-PANE | CASMENT       | BATHROOM #3   | 2        | 6 LITE - PAINT                 |
| R    | 5'-0" | 6'-0" | 1-3/4" | WOOD  | SINGLE-PANE | CASMENT PAIR  | BEDROOM #3    | 2        | 8 LITE(2) - ROUND TOP - PAINT  |
| S    | 5'-0" | 5'-0" | 1-3/4" | WOOD  | SINGLE-PANE | PAIR CASMENT  | BEDROOM #3    | 1        | (2) 8 LITE - ROUND TOP - PAINT |
| T    | 2'-0" | 3'-0" | 1-3/4" | WOOD  | SINGLE-PANE | CASEMENT      | LINEN         | 1        | 6 LITE - ROUND TOP - PAINT     |
| U    | 5'-0" | 6'-0" | 1-3/4" | WOOD  | SINGLE-PANE | PAIR CASEMENT | BEDROOM #2    | 2        | (2) 8 LITE - ROUND TOP - PAINT |
| V    | 2'-0" | 3'-0" | 1-3/4" | WOOD  | SINGLE-PANE | CASMENT       | BATHROOM #2   | 1        | 8 LITE - ROUND TOP - PAINT     |
| W    | 3'-0" | 6'-4" | 1-3/4" | WOOD  | SINGLE-PANE | FIXED         | FAMILY ROOM   | 2        | 10 LITE - ROUND TOP - PAINT    |
| X    | 6'-0" | 6'-4" | 1-3/4" | WOOD  | SINGLE-PANE | FIXED         | FAMILY ROOM   | 1        | 20 LITE - ROUND TOP - PAINT    |
| Y    | 5'-0" | 4'-6" | 1-3/4" | WOOD  | SINGLE-PANE | PAIR CASMENT  | LOFT          | 1        | (2) 8 LITE - ROUND TOP - PAINT |
| AA   | 2'-0" | 4'-4" | 1-3/4" | WOOD  | SINGLE-PANE | FIXED         | ENTRY         | 2        | 1 LITE - PAINT                 |
| BB   | 5'-4" | 6'-4" | 1-3/4" | WOOD  | SINGLE-PANE | FIXED         | ENTRY         | 1        | 1 LITE - PAINT                 |

## SHEET NOTES

### CABINETRY

- C1 Kitchen type base cabinets with wall cabinets above
- C3 Pullman counter top with base cabinets
- C6 Linen and other storage
- C7 Dressing table
- C8 2 - 3' wide desks with cabinetry in between and book shelves above

### ELECTRICAL

- E1 Smoke detectors, hardwired, see Fire Dept. Notes. Locate as per code.

### FINISHES

- F1 5/8" gypsum board
- F3 7/8" exterior plaster on wire lath over 2 layers of 15# building paper
- F4 Waterproof pedestrian traffic membrane over sloped elasto crete over deck fire retardant membrane. "Mercoat Decking System" LARR# 23811.
- F5 Fireplace hearth. Code approved material, as selected by owner.
- F6 Fireplace front - code approved material, as selected by owner.
- F7 Concrete roof tile EAGLE Conventional Weight L.A.R.R. #25021 over 2 layers 15# building paper
- F9 Marble as selected by owners
- F12 Stacked stone veneer as selected by owners

### METAL

- M1 Metal guardrail, 36" high with openings not to allow a 4" diameter sphere to pass thru, with hardwood top
- M2 Metal handrail, 36" to 38" above tread nosing with openings not to allow a 4" diameter sphere to pass thru, with hardwood top
- M3 26 gauge galvanized flashing and counterflashing at juncture of roof and vertical surfaces
- M4 26 gauge galvanized flashing and counterflashing at juncture of deck and walls and vertical surfaces

### PLUMBING

- P1 Approved low-consumption watercloset, 1.6 gallons per flush maximum as selected by owners
- P2 Showerhead +6'-6" off floor - as selected by owners
- P3 Lavatory with faucet set as selected by owner
- P4 Approved low-consumption bidet, as selected by owner
- P6 Tub and faucet set as selected by owners

### SPECIALTIES

- S1 1/4" plate glass mirror, no frame, 48" x length of countertop.
- S2 Recessed medicine cabinet as selected by owners
- S3 Shatter resistant shower door / enclosure as selected by owners
- S4 Prefabricated metal fireplace - Superior model 'Estate' (L.A.R.R. #2301)
- S5 Prefabricated metal flue manufactured to fit prefabricated fireplace
- S6 Prefabricated skylight above 3'x3'

### THERMAL INSULATION

- T1 R-13 batt insulation in exterior walls and bathroom walls

### VENTILATION & EXHAUST

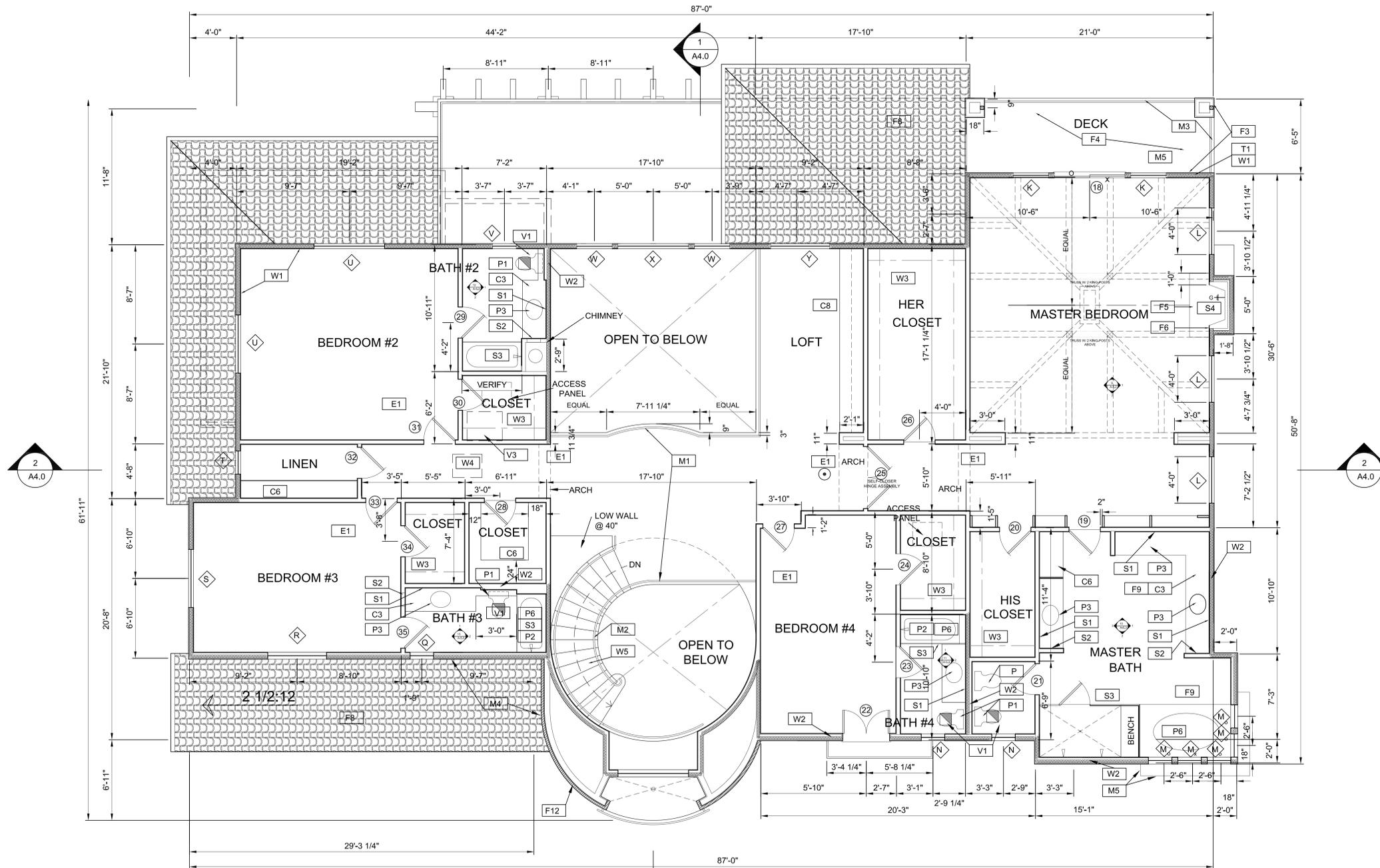
- V1 Combination light/exhaust fan unit. Vent to outside air - minimum 5 air changes per minute.
- V3 Fan coil unit in attic space - provide condensate drain to the nearest plumbing drain line.

### WOOD

- W1 2x4 studs @ 16" o.c.
- W2 2x6 studs @ 16" o.c.
- W3 1-3/8" diameter hang pole & 1/2" plywood shelf with 1x2 edging. Provide mid-support if length is over 6'-0".
- W4 Provide a minimum 24" x 30" attic access panel in ceiling
- W5 Wood framed stair and landing - construct per Structural Drawings.
- W9 Tub platform of 3/4" marine plywood on cripple walls of 2x4s at maximum 12" o.c.

## GENERAL NOTES

- See Electrical Plans for all conditions & notes with regards to electrical.
- All roof/ceiling assemblies over habitable areas shall have minimum R-30 thermal insulation installed per manufacturer's recommendations.
- All exterior walls of habitable areas shall have minimum R-13 thermal insulation installed per manufacturer's recommendations.
- All second floor habitable areas over garage shall have minimum R-19 thermal insulation installed in floor per manufacturer's recommendations. Bottom of floor shall have 5/8" type "X" gypsum board for a 1 hour fire rating.
- All selections of cabinetry, fixtures, finishes, appliances, railings, etc. shall be per owner's preferences.



## SECOND FLOOR PLAN

1/4" = 1'-0"

A-1.1

JOHN ANTHONY LEWIS ARCHITECT



STUDIO 6821 SMOKE TREE AVENUE OAK PARK, CA 91377  
STUDIO (818) 521-0876  
FAX (818) 450-0810

TITLE: SECOND FLOOR PLAN

REVISIONS

DATE

SCALE

DRAWN BY

MDG - BRL

1-18-2012

NEW SINGLE FAMILY RESIDENCE FOR:  
EDWARD BETZ  
4556 SHERMAN OAKS AVE  
SHERMAN OAKS, CA 91403

25066 MULHOLLAND HIGHWAY, CALABASAS, CALIFORNIA

**Betz Residence**

**SHEET NOTES**

- FINISHES**  
 F3 7/8" exterior plaster on wire lath over 2 layers of 15# building paper at exterior  
 F8 Clay Spanish style roof tile EAGLE Conventional Weight L.A.R.R. #25021 over 2 layers 15# building paper  
 F10 Built-up trim as selected by owners  
 F11 Decorative tiled recess with wrought iron device  
 F12 Stacked stone veneer as selected by owners
- METAL**  
 M3 Metal guardrail, 36" high with openings not to allow a 4" diameter sphere to pass thru  
 M4 26 gauge galvanized flashing and counterflashing at juncture of roof and vertical surfaces  
 M5 City approved galvanized spark arrester at chimney - painted  
 M6 26 gauge galvanized sheet metal chimney cap - painted  
 M7 Galvanized gutter - painted to match trim  
 M8 Decorative wrought iron plant holder
- WOOD**  
 W7 Decorative trimmed 6x12 rafter tails

**A-4.0**

**JOHN ANTHONY LEWIS ~ ARCHITECT**



STUDIO 6821 SMOKE TREE AVENUE  
 OAK PARK, CA 91377  
 STUDIO (818) 521-8876  
 FAX (818) 450-0810

TITLE: EAST & NORTH ELEVATIONS

DATE: 1-18-2012  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: MDG - BRL

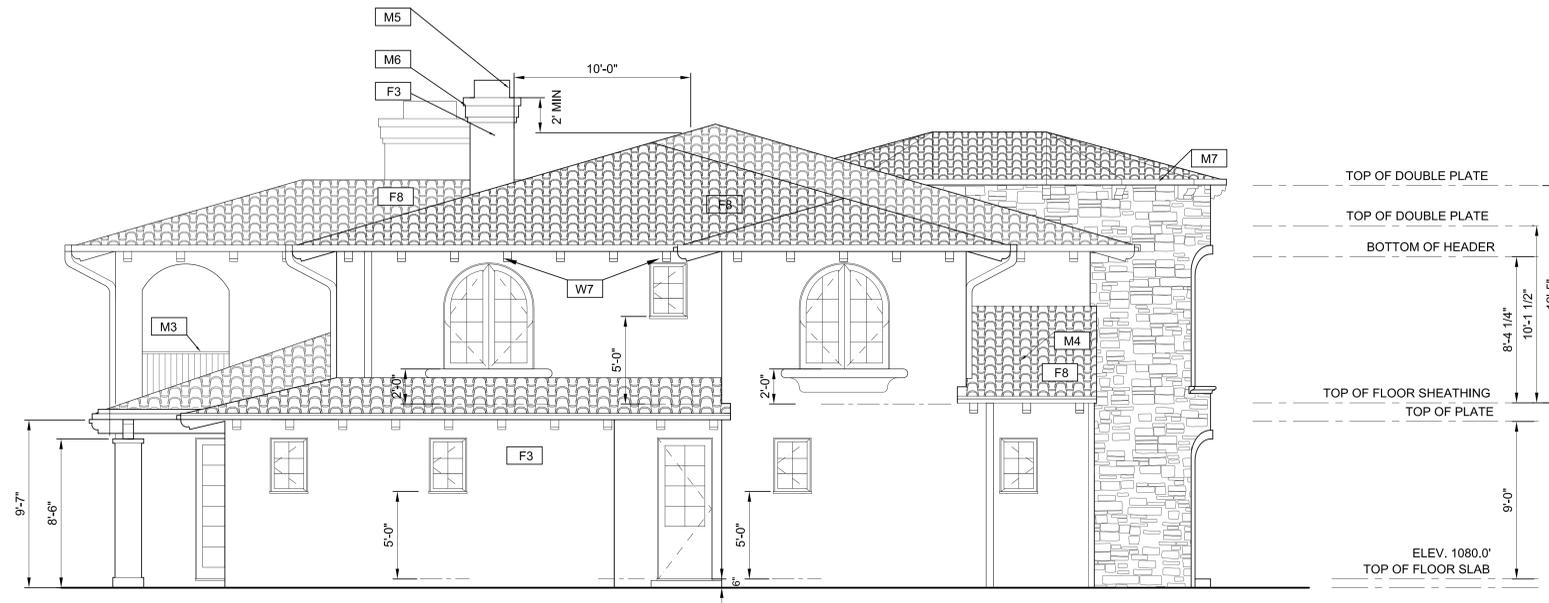
REVISIONS

NEW SINGLE FAMILY RESIDENCE FOR:  
 EDWARD BETZ  
 4558 SHERMAN OAKS AVE.  
 SHERMAN OAKS, CA 91403

25066 MULHOLLAND HIGHWAY, CALABASAS, CALIFORNIA

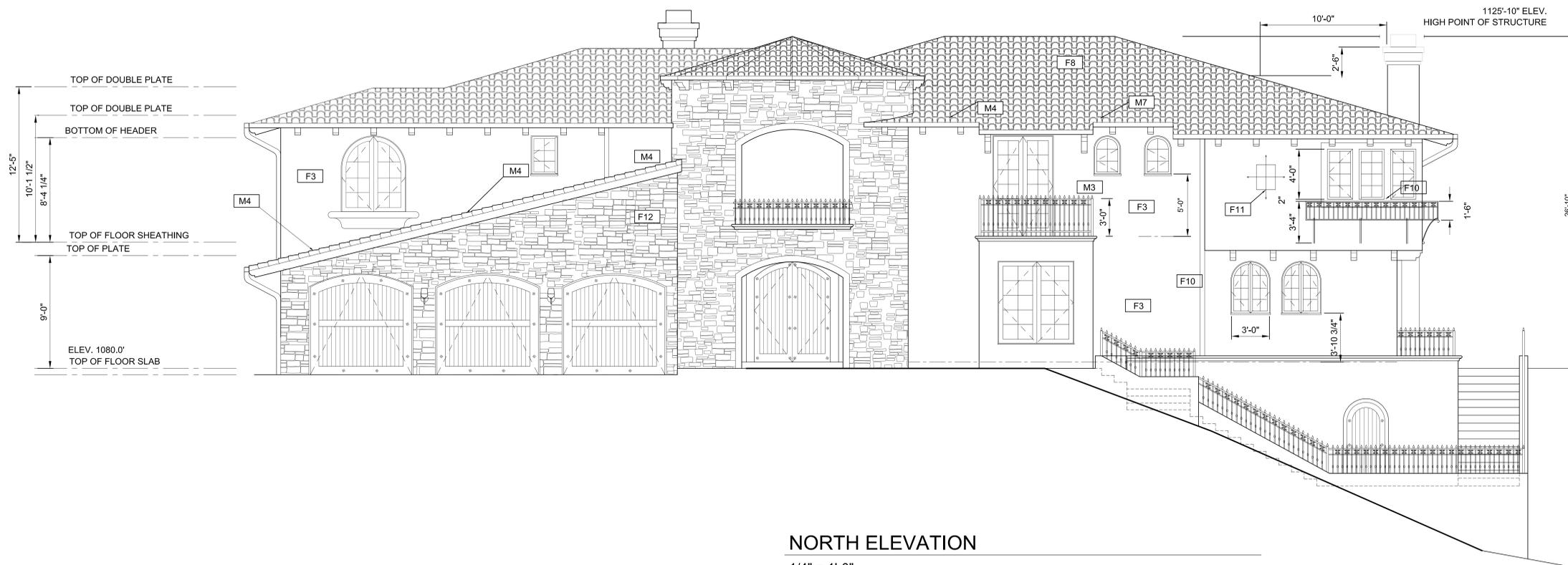
**Betz Residence**

\* REVISIONS & COMPLETION OF PREVIOUS ARCHITECTS DESIGN



**EAST ELEVATION**

1/4" = 1'-0"



**NORTH ELEVATION**

1/4" = 1'-0"

**SHEET NOTES**

**FINISHES**

- F3 7/8" exterior plaster on wire lath over 2 layers of 15# building paper at exterior
- F8 Clay Spanish style roof tile EAGLE Conventional Weight L.A.R.R. #25021 over 2 layers 15# building paper
- F10 Built-up trim as selected by owners
- F11 Decorative corbel as selected by owners
- F12 Stacked stone veneer as selected by owners

**METAL**

- M3 Metal guardrail, 36" high with openings not to allow a 4" diameter sphere to pass thru
- M4 26 gauge galvanized flashing and counterflashing at juncture of roof and vertical surfaces
- M5 City approved galvanized spark arrester at chimney - painted
- M6 26 gauge galvanized sheet metal chimney cap - painted
- M7 Galvanized gutter - painted to match trim

**WOOD**

- W7 Decorative trimmed 6x12 rafter tails

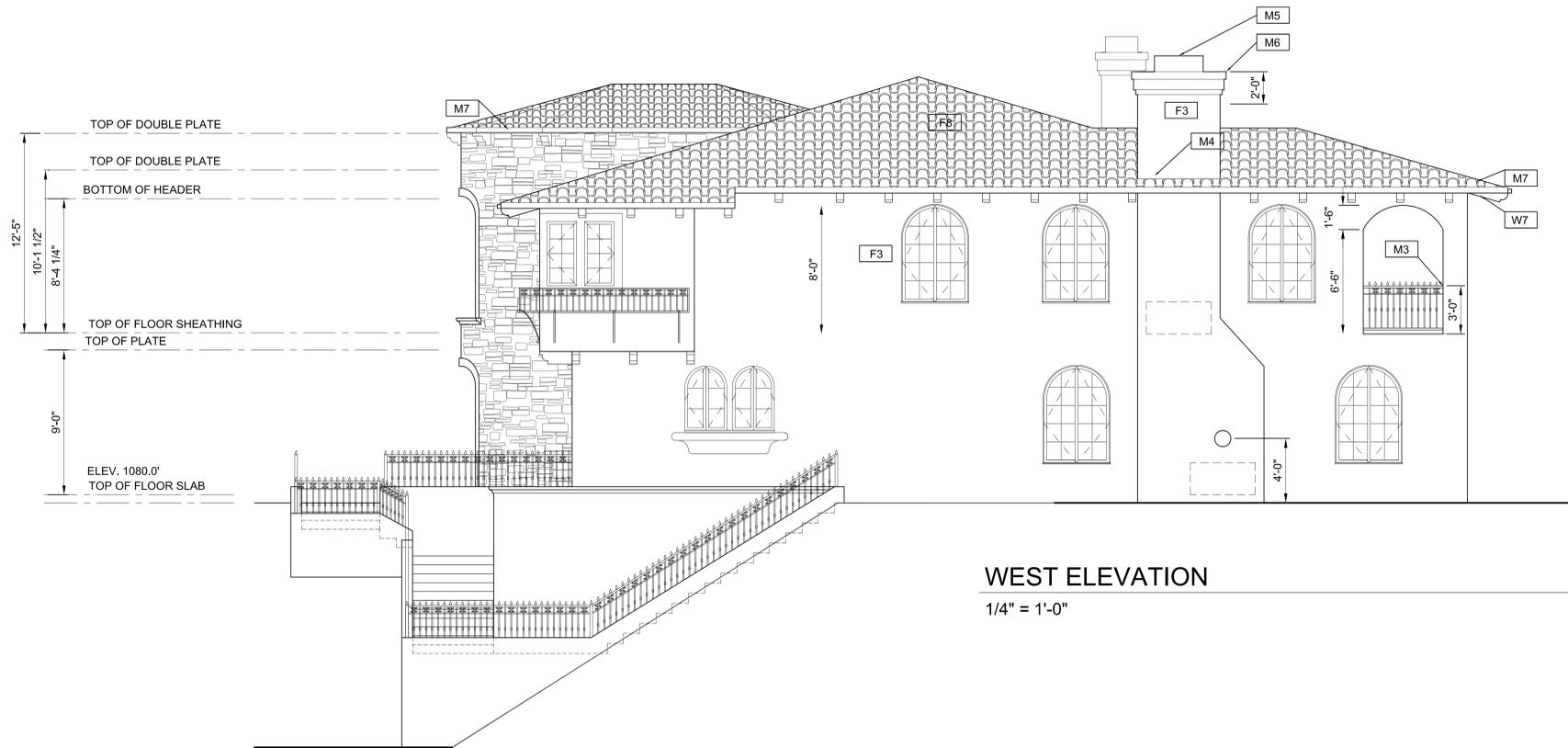
**A-4.1**

**JOHN ANTHONY LEWIS ~ ARCHITECT**



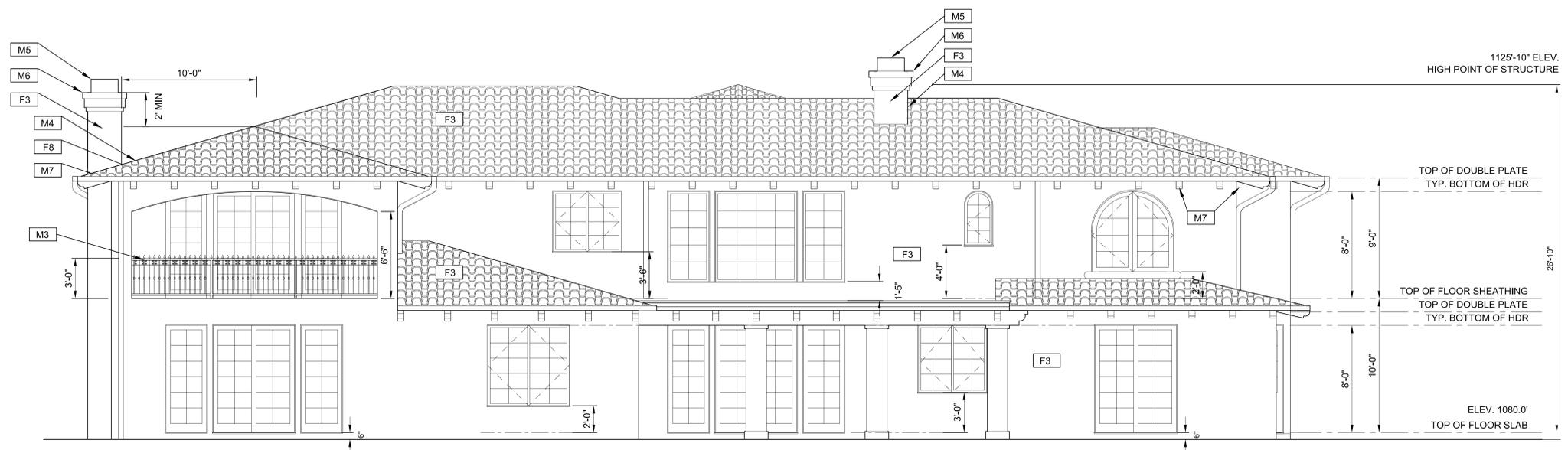
STUDIO  
6821 SMOKE TREE AVENUE  
OAK PARK, CA 91377  
STUDIO (818) 521-9876  
FAX (818) 450-0810

|           |                         |
|-----------|-------------------------|
| TITLE:    | WEST & SOUTH ELEVATIONS |
| DRAWN BY: | MDG - BRL               |
| SCALE:    | 1/4" = 1'-0"            |
| DATE:     | 1-18-2012               |



**WEST ELEVATION**

1/4" = 1'-0"



**SOUTH ELEVATION**

1/4" = 1'-0"

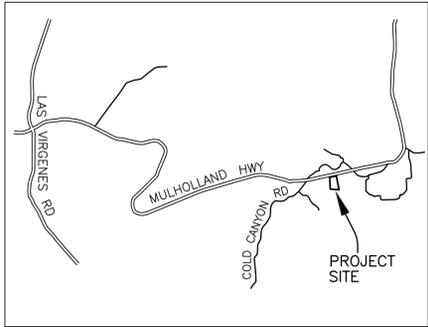
REVISIONS

NEW SINGLE FAMILY RESIDENCE FOR:  
EDWARD BETZ  
4858 SHERMAN OAKS AVE.  
SHERMAN OAKS, CA 91403

25066 MULHOLLAND HIGHWAY, CALABASAS, CALIFORNIA

**Betz Residence**

\* REVISIONS & COMPLETION OF PREVIOUS ARCHITECTS DESIGN



VICINITY MAP  
NOT TO SCALE

**BENCH MARK:**  
 BM CY 5354 ELEV. 1026.661  
 RD TAG IN HDWL ROCK & CONC CULV 9M S MULHOLLAND HWY & 21M W/O ELY MOST COLD CYN RD INT OPP HSE 24875 @ MI MKR #25.50  
 MALIBU QUAD 1998

**PROJECT INFORMATION**  
(General Information)

GRADING PERMIT APPLICATION NO. GR 0808210003  
 EARTHWORK VOLUMES CUT 980 (cy) FILL 980 (cy)  
 OVER EXCAVATION/ALLUVIAL REMOVAL & COMPACTION N/A (cy)  
 IMPORT 100 (cy), IMPORT LOCATION 25080 MULHOLLAND HWY  
 TOTAL DISTURBED AREA 0.70 (ACRES)  
 PRE-DEVELOPMENT IMPERVIOUS AREA 0 (ACRES)  
 POST-DEVELOPMENT IMPERVIOUS AREA 0.21 (ACRES)  
 WATER DISCHARGE IDENTIFICATION NUMBER (WID#) N/A  
 CONSTRUCTION & DEMOLITION DEBRIS RECYCLING & REUSE PLAN (RRPID#) \_\_\_\_\_

(Property Information)

PROPERTY ADDRESS 25066 MULHOLLAND HIGHWAY, CALABASAS, CA  
 TRACT/PARCEL MAP NO. 39812 LOT/PARCEL NO. 41  
 PROPERTY OWNER EDWARD BETZ  
 ASSESSORS ID NUMBER 4455-018-028

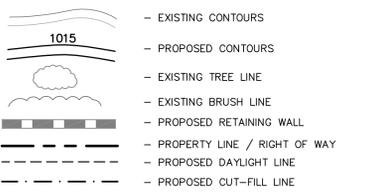
(Zoning and Regional Planning Information)

PROPERTY ZONING: R1  
 INTENDED LAND USE: SINGLE FAMILY RESIDENCE  
 CERTIFICATE OF COMPLIANCE: CC NO. \_\_\_\_\_  
 PLOT PLAN NUMBER: PP NO. 2007 00380  
 CONDITIONAL USE PERMIT: CUP NO. \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_  
 OAK TREE PERMIT NUMBER: OTP NO. \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_  
 COMMUNITY STANDARDS DISTRICT: \_\_\_\_\_  
 CALIFORNIA COASTAL COMMISSION AREA X YES, \_\_\_\_\_ NO  
 APPROVED VOLUME: \_\_\_\_\_ (cy)  
 COSTAL DEVELOPMENT PERMIT CDP \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

DESIGN ENGINEER: EJK & ASSOCIATES  
 6520 PLATT AVE. #538  
 WEST HILLS, CA. 91307  
 CONTACT: E.J. KIM, P.E.  
 PHONE: 818-337-9055

PLAN CHECKER: \_\_\_\_\_ PHONE: \_\_\_\_\_

**LINETYPE LEGEND**



**STORMWATER POLLUTION NOTES**

- EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORMWATER FROM THE PROJECT SITE AT ALL TIMES.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED IN THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENUED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I HAVE READ AND UNDERSTAND THE REQUIREMENTS LISTED ABOVE, NECESSARY TO CONTROL STORM WATER POLLUTION FROM SEDIMENTS, EROSION AND CONSTRUCTION MATERIALS, AND I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS.

PRINT NAME EDWARD BETZ  
 (OWNER OR AUTHORIZED AGENT OF THE OWNER)  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 (OWNER OR AUTHORIZED AGENT OF THE OWNER)

THE FOLLOWING BMPs AS OUTLINED IN, BUT NOT LIMITED TO, CALIFORNIA STORMWATER BEST MANAGEMENT PRACTICES HANDBOOK, JANUARY 2003, OR THE LATEST EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (additional measures may be required if deemed appropriate by the Project Engineer or the Building Official).

**EROSION CONTROL**

- EC1 - SCHEDULING
- EC2 - PRESERVATION OF EXIST. VEGETATION
- EC3 - HYDRAULIC MULCH
- EC4 - HYDROSEEDING
- EC5 - SOIL BINDERS
- EC6 - STRAW MULCH
- EC7 - GEOTEXTILES & MATS
- EC8 - WOOD MULCHING
- EC9 - EARTH DIKES AND DRAINAGE SWALES
- EC10 - VELOCITY DISSIPATION DEVICES
- EC11 - SLOPE DRAINS
- EC12 - STREAMBANK STABILIZATION
- EC13 - POLYACRYLAMIDE

**TEMPORARY SEDIMENT CONTROL**

- SE1 - SILT FENCE
- SE2 - SEDIMENT BASIN
- SE3 - SEDIMENT TRAP
- SE4 - CHECK DAM
- SE5 - FIBER ROLLS
- SE6 - GRAVEL BAG BERM
- SE7 - STREET SWEEPING AND VACUUMING
- SE8 - SANDBAG BARRIER
- SE9 - STRAW BALE BARRIER
- SE10 - STORM DRAIN INLET PROTECTION

**WIND EROSION CONTROL**

- WE1 - WIND EROSION CONTROL

**EQUIPMENT TRACKING CONTROL**

- TC1 - STABILIZED CONST. ENTRANCE/EXIT
- TC2 - STABILIZED CONSTRUCTION ROADWAY
- TC3 - ENTRANCE/OUTLET TIRE WASH
- TC4 - CHECK DAM
- TC5 - FIBER ROLLS

**FIRE DEPARTMENT NOTES**

- PROVIDE A MINIMUM, UNOBSTRUCTED WIDTH OF 20 FEET CLEAR TO SKY, VEHICULAR ACCESS TO WITHIN 150 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS, FIRE CODE 902.2.1.
- THE INSPECTION, HYDROSTATIC TEST AND FLUSHING OF THE HYDRANTS AND/OR SPRINKLER SYSTEM SHALL BE WITNESSED BY THE PROPER FIRE DEPARTMENT REPRESENTATIVE AND NO UNDERGROUND PIPING SHALL BE COVERED WITH EARTH OR HIDDEN FROM VIEW UNTIL THE FIRE DEPARTMENT REPRESENTATIVE HAS BEEN NOTIFIED AND GIVEN NO LESS THAN 48 HOURS IN WHICH TO INSPECT SUCH INSTALLATION.
- VEHICULAR ACCESS MUST BE PROVIDED AND MAINTAINED AND SERVICEABLE THROUGHOUT CONSTRUCTION.
- PROVIDE AN APPROVED FIRE SPRINKLER SYSTEM. SUBMIT PLANS FOR APPROVAL PRIOR TO INSTALLATION. FIRE CODE 103.2.1.1. REASON: COUNTY ORDINANCE.
- THE FIRE SPRINKLER SYSTEM SHALL BE SUPERVISED AS REQUIRED IN THE BUILDING CODE, 904.3.1.1.
- PLANS SHOWING UNDERGROUND PIPING OF ON-SITE HYDRANTS, SPRINKLER SYSTEMS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION.
- THE REQUIRED FIRE FLOW FOR PUBLIC FIRE HYDRANTS AT THIS LOCATION IS 1250 GALLONS PER MINUTE AT 20 PSI FOR A DURATION OF 2 HOURS OVER AND ABOVE MAXIMUM DAILY DOMESTIC DEMAND.
- COMPLETE AND RETURN FIRE FLOW AVAILABILITY FORM 195/196.
- THE FIRE SPRINKLER SYSTEM SHALL BE CALCULATED PER PAPPHLET #13.
- THE FIRE SPRINKLER SYSTEM SHALL BE SUPERVISED AS REQUIRED IN THE BUILDING CODE, 904.3.1.1.
- ON-SITE PROTECTION FACILITIES (I.E., HYDRANTS, SPRINKLER SYSTEMS, ETC.) SHALL BE SUBMITTED FOR APPROVAL PRIOR TO OCCUPANCY.
- A FINAL FUEL MODIFICATION PLAN SHALL BE SUBMITTED AND APPROVED BY THE FORESTRY DIVISION PRIOR TO BUILDING PLAN APPROVAL. IMPLEMENTATION OF THE APPROVED FINAL FUEL MODIFICATION PLAN AND FINAL INSPECTION WILL BE REQUIRED PRIOR TO APPROVAL OF FINAL OCCUPANCY. SUBMIT 3 COPIES OF A COMPLETED FUEL MODIFICATION PLAN TO THE FUEL MODIFICATION UNIT, FIRE STATION #32, 605 NORTH ANGELENO AVENUE, AZUSA, CA 91702-2904, TELEPHONE 629-969-5202. FIRE CODE 1117.2.1.

**GENERAL NOTES**

- ALL GRADING AND CONSTRUCTION SHALL CONFORM TO APPENDIX CHAPTER 33 AND CHAPTER 71 (Latest Edition) OF THE COUNTY OF LOS ANGELES BUILDING CODE UNLESS SPECIFICALLY NOTED ON THESE PLANS.
- ANY MODIFICATIONS OF OR CHANGES IN APPROVED GRADING PLANS MUST BE APPROVED BY THE BUILDING OFFICIAL.
- NO GRADING SHALL BE STARTED WITHOUT FIRST NOTIFYING THE BUILDING OFFICIAL A PRE-GRADING MEETING AT THE SITE IS REQUIRED BEFORE THE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, COUNTY GRADING INSPECTOR(S) OR THEIR REPRESENTATIVES, AND WHEN REQUIRED, THE ARCHEOLOGIST OR OTHER JURISDICTIONAL AGENCIES. PERMITTEE OR HIS AGENT ARE RESPONSIBLE FOR ARRANGING PRE-GRADING MEETING AND MUST NOTIFY THE BUILDING OFFICIAL AT LEAST TWO BUSINESS DAYS PRIOR TO PROPOSED PRE-GRADING MEETING.
- APPROVAL OF THESE PLANS REFLECT SOLELY THE REVIEW OF PLANS IN ACCORDANCE WITH THE LOS ANGELES COUNTY BUILDING CODE AND DOES NOT REFLECT ANY POSITION BY THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS REGARDING THE STATUS OF ANY TITLE ISSUES RELATING TO THE LAND ON WHICH THE IMPROVEMENTS MAY BE CONSTRUCTED. ANY DISPUTES RELATING TO TITLE ARE SOLELY A PRIVATE MATTER NOT INVOLVING THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS.
- ALL GRADING AND CONSTRUCTION ACTIVITIES SHALL COMPLY WITH COUNTY OF LOS ANGELES CODE, TITLE 12, SECTION 12.12.030 THAT CONTROLS AND RESTRICTS NOISE FROM THE USE OF CONSTRUCTION AND GRADING EQUIPMENT FROM THE HOURS OF 8:00 PM TO 6:30 AM, AND ON SUNDAYS AND HOLIDAYS. (MORE RESTRICTIVE CONSTRUCTION ACTIVITY TIMES MAY GOVERN, AS REQUIRED BY THE DEPARTMENT OF REGIONAL PLANNING AND SHOULD BE SHOWN ON THE GRADING PLANS WHEN APPLICABLE.)
- CALIFORNIA PUBLIC RESOURCES CODE (SECTION 5097.98) AND HEALTH AND SAFETY CODE (SECTION 7050.5) ADDRESS THE DISCOVERY AND DISPOSITION OF HUMAN REMAINS. IN THE EVENT OF DISCOVERY OR RECOGNITION OF ANY HUMAN REMAINS IN ANY LOCATION OTHER THAN A DEDICATED CEMETERY, THE LAW REQUIRES THAT GRADING IMMEDIATELY STOPS AND NO FURTHER EXCAVATION OR DISTURBANCE OF THE SITE, OR ANY NEARBY AREA WHERE HUMAN REMAINS MAY BE LOCATED, OCCUR UNTIL THE FOLLOWING HAS BEEN MEASURES HAVE BEEN TAKEN:
  - THE COUNTY CORONER HAS BEEN INFORMED AND HAS DETERMINED THAT NO INVESTIGATION OF THE CAUSE OF DEATH IS REQUIRED, AND
  - IF THE REMAINS ARE OF NATIVE AMERICAN ORIGIN, THE DESCENDANTS FROM THE DECEASED NATIVE AMERICANS HAVE MADE A RECOMMENDATION FOR THE MEANS OF TREATING OR DISPOSING, WITH APPROPRIATE DIGNITY, OF THE HUMAN REMAINS AND ANY ASSOCIATED GRAVE GOODS.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITEE.
- ALL EXPORT OF MATERIAL FROM THE SITE MUST GO TO A PERMITTED SITE APPROVED BY THE BUILDING OFFICIAL OR A LEGAL DUMPSTIE. RECEIPTS FOR ACCEPTANCE OF EXCESS MATERIAL BY A DUMPSTIE ARE REQUIRED AND MUST BE PROVIDED TO THE BUILDING OFFICIAL UPON REQUEST.
- A COPY OF THE GRADING PERMIT AND APPROVED GRADING PLANS MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
- THE STANDARD RETAINING WALL DETAILS SHOWN ON THE GRADING PLANS ARE FOR REFERENCE ONLY. STANDARD RETAINING WALLS ARE NOT CHECKED, PERMITTED, OR INSPECTED PER THE GRADING PERMIT. A SEPARATE RETAINING WALL PERMIT IS REQUIRED FOR ALL STANDARD RETAINING WALLS.
 

NOTE: THIS NOTE ONLY APPLIES TO STANDARD RETAINING WALLS. GEGRID FABRIC AND SEGMENTAL RETAINING WALLS DO NOT REQUIRE A SEPARATE RETAINING WALL PERMIT. DETAILS AND CONSTRUCTION NOTES FOR ALL GEGRID WALLS MUST BE ON THE GRADING PLAN.
- A PREVENTIVE PROGRAM TO PROTECT THE SLOPES FROM POTENTIAL DAMAGE FROM BURROWING RODENTS IS REQUIRED PER SECTION 3307.6 OF THE COUNTY OF LOS ANGELES BUILDING CODE. OWNER IS TO INSPECT SLOPES PERIODICALLY FOR EVIDENCE OF BURROWING RODENTS AND AT FIRST EVIDENCE OF THEIR EXISTENCE SHALL EMPLOY AN EXTERMINATOR FOR THEIR REMOVAL.
- IF GRADING AUTHORIZED BY THIS PLAN IS TO EXTEND THROUGH THE RAINY SEASON, NOVEMBER 1 THROUGH APRIL 15 OF THE FOLLOWING YEAR, SEPARATE UPDATED PLANS FOR EROSION CONTROL MUST BE SUBMITTED PRIOR TO OCTOBER PER SECTION 3319.3 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
- TRANSFER OF RESPONSIBILITY: IF THE CIVIL ENGINEER, THE SOILS ENGINEER, OR THE ENGINEERING GEOLOGIST OF RECORD IS CHANGED DURING GRADING, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS AGREED IN WRITING TO ACCEPT THEIR RESPONSIBILITY WITHIN THE AREA OF TECHNICAL COMPETENCE FOR APPROVAL UPON COMPLETION OF THE WORK. IT SHALL BE THE DUTY OF THE PERMITEE TO NOTIFY THE BUILDING OFFICIAL IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF SUCH GRADING.

**INSPECTION NOTES**

- THE PERMITEE OR HIS AGENT SHALL NOTIFY THE BUILDING OFFICIAL AT LEAST ONE WORKING DAY IN ADVANCE OF REQUIRED INSPECTIONS AT FOLLOWING STAGES OF THE WORK: [SECTION 7020 OF THE BUILDING CODE]
  - INITIAL - WHEN THE SITE HAS BEEN CLEARED OF VEGETATION AND UNAPPROVED FILL HAS BEEN SCARIFIED, BENCHED OR OTHERWISE PREPARED FOR FILL. FILL SHALL NOT BE PLACED PRIOR TO THIS INSPECTION. NOTE: PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING GRADING, ALL STORMWATER POLLUTION PREVENTION MEASURES INCLUDING EROSION CONTROL DEVICES WHICH CONTAIN SEDIMENTS MUST BE INSTALLED.
  - ROUGH - WHEN APPROXIMATE FINAL ELEVATIONS HAVE BEEN ESTABLISHED; DRAINAGE TERRACES SWALES AND BERMS INSTALLED AT THE TOP OF THE SLOPE; AND THE STATEMENTS REQUIRED IN THIS SECTION HAVE BEEN RECEIVED.
  - FINAL - WHEN GRADING HAS BEEN COMPLETED; ALL DRAINAGE DEVICES INSTALLED; SLOPE PLANTING ESTABLISHED, IRRIGATION SYSTEMS INSTALLED AND THE AS-BUILT PLANS, REQUIRED STATEMENTS, AND REPORTS HAVE BEEN SUBMITTED AND APPROVED.

**INSPECTION NOTES continued**

- IN ADDITION TO THE INSPECTION REQUIRED OF THE BUILDING OFFICIAL FOR REGULAR GRADING, REPORTS AND STATEMENTS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL IN ACCORDANCE WITH SECTION 3317 AND 3318 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
- ALL GRADED SITES MUST HAVE DRAINAGE SWALES, BERMS, AND OTHER DRAINAGE DEVICES INSTALLED PRIOR TO ROUGH GRADING APPROVAL PER SECTION 3317.6 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
- THE GRADING CONTRACTOR SHALL SUBMIT THE STATEMENT TO THE GRADING INSPECTOR AS REQUIRED BY SECTION 3318.1 OF THE COUNTY OF LOS ANGELES BUILDING CODE AT THE TIME OF COMPLETION OF ROUGH GRADING.
- FINAL GRADING MUST BE APPROVED BEFORE OCCUPANCY OF BUILDINGS WILL BE ALLOWED PER SECTION 3318 OF THE COUNTY OF LOS ANGELES BUILDING CODE.

**DRAINAGE NOTES**

- ROOF DRAINAGE MUST BE DIVERTED FROM GRADED SLOPES.
- PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.
- ALL CONSTRUCTION AND GRADING WITHIN A STORM DRAIN EASEMENT AREA TO BE DONE PER PRIVATE DRAIN PD NO. \_\_\_\_\_ OR MISCELLANEOUS TRANSFER DRAIN MTD NO. \_\_\_\_\_
- ALL STORM DRAIN WORK IS TO BE DONE UNDER CONTINUOUS INSPECTION BY THE FIELD ENGINEER. WEEKLY STATUS REPORTS SHALL BE SUBMITTED BY THE FIELD ENGINEER TO THE LOCAL BUILDING AND SAFETY DISTRICT OFFICE.

**AGENCY NOTES**

- AN ENCROACHMENT PERMIT FROM (COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS IS REQUIRED FOR ALL WORK WITHIN OR AFFECTING ROAD RIGHT OF WAY. ALL WORK WITHIN ROAD RIGHT OF WAY SHALL CONFORM TO COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS ENCROACHMENT PERMIT.
- AN ENCROACHMENT PERMIT / CONNECTION PERMIT IS REQUIRED FROM THE COUNTY OF LOS ANGELES FLOOD CONTROL DISTRICT FOR ALL WORK WITHIN THE COUNTY OF LOS ANGELES FLOOD CONTROL DISTRICT RIGHT OF WAY. ALL WORK SHALL CONFORM WITH CONDITIONS SET BY THE PERMIT.
- PERMISSION TO OPERATE IN FIRE ZONE 4 MUST BE OBTAINED FROM THE FIRE PREVENTION BUREAU OR THE LOCAL FIRE STATION PRIOR TO COMMENCING WORK.
- ALL WORK WITHIN THE STREAMBED AND AREAS OUTLINED ON GRADING PLANS SHALL CONFORM TO: ARMY CORP 404 PERMIT NUMBER: \_\_\_\_\_ CALIFORNIA FISH AND GAME PERMIT NO. \_\_\_\_\_

**GENERAL GEOTECHNICAL NOTES**

- ALL WORK MUST BE IN COMPLIANCE WITH THE RECOMMENDATIONS INCLUDED IN THE GEOTECHNICAL CONSULTANT'S REPORTS AND THE APPROVED GRADING PLANS AND SPECIFICATIONS.
  - GRADING OPERATIONS MUST BE CONDUCTED UNDER PERIODIC INSPECTIONS BY THE GEOTECHNICAL CONSULTANTS WITH MONTHLY INSPECTION REPORTS TO BE SUBMITTED TO THE GEOLOGY AND SOILS SECTION.
  - THE SOILS ENGINEER SHALL PROVIDE SUFFICIENT INSPECTIONS DURING THE PREPARATION OF THE NATURAL GROUND AND THE PLACEMENT AND COMPACTION OF THE FILL TO BE SATISFIED THAT THE WORK IS BEING PERFORMED IN ACCORDANCE WITH THE PLAN AND APPLICABLE CODE REQUIREMENTS.
  - ROUGH GRADING MUST BE APPROVED BY A FINAL ENGINEERING AND SOILS ENGINEERING REPORT. AN AS-BUILT GEOLOGIC MAP MUST BE INCLUDED IN THE FINAL GEOLOGY REPORT. PROVIDE A FINAL REPORT STATEMENT THAT VERIFIES WORK WAS DONE IN ACCORDANCE WITH REPORT RECOMMENDATIONS CODE PROVISIONS (SECTION 3318.1 OF THE COUNTY OF LOS ANGELES BUILDING CODE). THE FINAL REPORTS MUST BE SUBMITTED TO THE GEOTECHNICAL AND MATERIALS ENGINEERING DIVISION FOR REVIEW AND APPROVAL.
  - FOUNDATION, WALL AND POOL EXCAVATIONS MUST BE INSPECTED AND APPROVED BY THE CONSULTING GEOLOGIST AND SOILS ENGINEER PRIOR TO THE PLACING OF STEEL OR CONCRETE.
  - BUILDING PADS LOCATED IN CUT/FILL TRANSITION AREAS SHALL BE OVER-EXCAVATED A MINIMUM OF THREE (3) FEET BELOW THE PROPOSED BOTTOM OF FOOTING.
- FILL NOTES**
- ALL FILL SHALL BE COMPACTED TO THE FOLLOWING MINIMUM RELATIVE COMPACTION CRITERIA:
    - 90% OF MAXIMUM DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE.
    - 93% OF MAXIMUM DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90% OF MAXIMUM DRY DENSITY) IS JUSTIFIED BY THE GEOTECHNICAL ENGINEER.

THE RELATIVE COMPACTION SHALL BE DETERMINED BY A S.T.M. SOIL COMPACTION TEST D1557-01 WHERE APPLICABLE, WHERE NOT APPLICABLE, A TEST ACCEPTABLE TO THE BUILDING OFFICIAL SHALL BE USED. (SECTION 3313.4 OF THE COUNTY OF LOS ANGELES BUILDING CODE.)
  - FIELD DENSITY SHALL BE DETERMINED BY THE METHOD ACCEPTABLE TO THE BUILDING OFFICIAL (SECTION 3313.4 OF THE COUNTY OF LOS ANGELES BUILDING CODE.) HOWEVER, NOT LESS THAN 10% OF THE REQUIRED DENSITY TEST UNIFORMLY DISTRIBUTED, AND SHALL BE OBTAINED BY THE SANDCONE METHOD.
  - SUFFICIENT TESTS OF THE FILL SOILS SHALL BE MADE TO DETERMINE THE RELATIVE COMPACTION OF THE FILL IN ACCORDANCE WITH THE FOLLOWING MINIMUM GUIDELINES:
    - ONE TEST FOR EACH TWO FOOT VERTICAL LIFT.
    - ONE TEST FOR EACH 1000 CUBIC YARDS OF MATERIAL PLACED.
    - ONE TEST AT THE LOCATION OF THE FINAL FILL SLOPE FOR EACH BUILDING SITE (LOT) IN EACH FOUR FOOT VERTICAL LIFT OR PORTION THEREOF
    - ONE TEST IN THE VICINITY OF EACH BUILDING PAD FOR EACH FOUR FOOT VERTICAL LIFT OR PORTION THEREOF.
  - SUFFICIENT TESTS OF FILL SOILS SHALL BE MADE TO VERIFY THAT THE SOIL PROPERTIES COMPLY WITH THE DESIGN REQUIREMENTS AS DETERMINED BY THE SOILS ENGINEER SOIL TYPES, SHEAR STRENGTHS PARAMETERS AND CORRESPONDING UNIT WEIGHTS IN ACCORDANCE WITH THE FOLLOWING GUIDELINES:
    - PRIOR AND SUBSEQUENT TO PLACEMENT OF THE FILL, SHEAR TESTS SHALL BE TAKEN ON EACH TYPE OF SOIL MIXTURE TO BE USED FOR ALL FILL SLOPES STEEPER THAN THREE (3) HORIZONTAL TO ONE VERTICAL.
    - SHEAR TEST RESULTS FOR THE PROPOSED FILL MATERIAL MUST MEET OR EXCEED THE DESIGN VALUES USED IN THE GEOTECHNICAL REPORT TO DETERMINE SLOPE STABILITY REQUIREMENTS. OTHERWISE, THE SOILS MUST BE RE-EVALUATED USING THE ACTUAL SHEAR TEST VALUE OF THE FILL MATERIAL THAT IS IN PLACE.
    - FILL SOILS SHALL BE FREE OF DELETERIOUS MATERIALS.

**FILL NOTES continued**

- FILL SHALL NOT BE PLACED UNTIL STRIPPING OF VEGETATION, REMOVAL OF UNSUITABLE SOILS, AND INSTALLATION OF SUBDRAINS (IF ANY) HAVE BEEN INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER. THE BUILDING OFFICIAL MAY REQUIRE A "STANDARD TEST METHOD FOR MOISTURE, ASH, ORGANIC MATTER, PEAT OR OTHER ORGANIC SOILS" ASTM D-2974-87 ON ANY SUSPECT MATERIAL. DETRIMENTAL AMOUNT OF ORGANIC MATERIAL SHALL NOT BE PERMITTED IN FILLS. SOIL CONTAINING SMALL AMOUNTS OF ROOTS MAY BE ALLOWED PROVIDED THAT THE ROOTS ARE IN A QUANTITY AND DISTRIBUTION IN A MANNER THAT WILL NOT BE DETRIMENTAL TO THE FUTURE USE OF THE SITE AND THE SOILS ENGINEER APPROVES THE USE OF SUCH MATERIAL.
- ROCK OR SIMILAR MATERIAL, GREATER THAN 12 INCHES IN DIAMETER SHALL NOT BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE SOILS ENGINEER AND APPROVED IN ADVANCE BY THE BUILDING OFFICIAL. LOCATION, EXTENT, AND ELEVATION OF ROCK DISPOSAL AREAS MUST BE SHOWN ON AN "AS BUILT" GRADING PLAN.
- CONTINUOUS INSPECTION BY THE SOILS ENGINEER, OR A RESPONSIBLE REPRESENTATIVE, SHALL BE PROVIDED DURING ALL FILL PLACEMENT AND COMPACTION OPERATIONS WHERE FILLS HAVE A DEPTH GREATER THAN 30 FEET OR SLOPE SURFACE STEEPER THAN 2:1. (SECTION 3313.7 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
- CONTINUOUS INSPECTION BY THE SOILS ENGINEER, OR A RESPONSIBLE REPRESENTATIVE, SHALL BE PROVIDED DURING ALL SUBDRAIN INSTALLATION. (SECTION 3313.2 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
- ALL SUBDRAIN OUTLETS ARE TO BE SURVEYED FOR LINE AND ELEVATION. SUBDRAIN INFORMATION MUST BE SHOWN ON AN "AS BUILT" GRADING PLAN.
- FILL SLOPES IN EXCESS OF 2:1 STEEPNESS RATIO ARE TO BE CONSTRUCTED BY THE PLACEMENT OF SOIL AT SUFFICIENT DISTANCE FROM THE PROPOSED FINISH SLOPE TO ALLOW COMPACTION EQUIPMENT TO BE OPERATED AT THE OUTER LIMITS OF THE FINAL SLOPE SURFACE. THE EXCESS FILL IS TO BE REMOVED PRIOR TO COMPLETION OF ROUGH GRADING. OTHER CONSTRUCTION PROCEDURES MAY BE USED WHEN IT IS DEMONSTRATED TO THE SATISFACTION OF THE BUILDING OFFICIAL THAT THE ANGLE OF SLOPE, CONSTRUCTION METHOD AND OTHER FACTORS WILL HAVE EQUIVALENT EFFECT. (SECTION 3313.4 OF THE COUNTY OF LOS ANGELES BUILDING CODE.)
- IN-GRADING INSPECTIONS MUST BE MADE BY THE CONSULTING GEOLOGIST AND SOILS ENGINEER. MONTHLY IN-GRADING INSPECTION REPORTS MUST BE SUBMITTED DIRECTLY TO THE GEOLOGY AND SOILS SECTION BY THE CONSULTANTS.

**PLANTING AND IRRIGATION NOTES**

- PLANTING AND IRRIGATION ON GRADED SLOPES MUST COMPLY WITH THE FOLLOWING MINIMUM GUIDELINES:
  - THE SURFACE OF ALL CUT SLOPES MORE THAN 5 FEET IN HEIGHT AND FILL SLOPES MORE THAN 3 FEET IN HEIGHT SHALL BE PROTECTED AGAINST DAMAGE BY EROSION BY PLANTING WITH GRASS OR GROUNDCOVER PLANTS. SLOPES EXCEEDING 15 FEET IN VERTICAL HEIGHT SHALL ALSO BE PLANTED WITH SHRUBS, SPACED AT NOT TO EXCEED 10 ON CENTERS; OR TREES, SPACED AT NOT TO EXCEED 20 FEET ON CENTERS, OR A COMBINATION OF SHRUBS AND TREES AT EQUIVALENT SPACING, IN ADDITION TO THE GRASS OR GROUNDCOVER PLANTS. THE PLANTS SELECTED AND PLANTING METHODS USED SHALL BE SUITABLE FOR THE SOIL AND CLIMATIC CONDITIONS OF THE SITE. PLANT MATERIAL SHALL BE SELECTED WHICH WILL PRODUCE A COVERAGE OF PERMANENT PLANTING EFFECTIVELY CONTROLLING EROSION. CONSIDERATION SHALL BE GIVEN TO DEEP-ROOTED PLANTING MATERIAL NEEDING LIMITED WATERING, MAINTENANCE, HIGH ROOT TO SHOOT RATION, WIND SUSCEPTIBILITY AND FIRE-RETARDANT CHARACTERISTICS. ALL PLANT MATERIALS MUST BE APPROVED BY THE BUILDING OFFICIAL. (SECTION 3316.3 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
  - NOTE: PLANTING NEED NOT BE PROVIDED FOR CUT SLOPES ROCKY IN CHARACTER AND NOT SUBJECT TO DAMAGE BY EROSION AND ANY SLOPES PROTECTED AGAINST EROSION DAMAGE BY OTHER METHODS WHEN SUCH METHODS HAVE BEEN SPECIFICALLY RECOMMENDED BY A SOILS ENGINEER, ENGINEERING GEOLOGIST, OR EQUIVALENT AUTHORITY AND FOUND TO OFFER EROSION PROTECTION EQUAL TO THAT PROVIDED BY THE PLANTING SPECIFIED ABOVE.
  - B. SLOPES REQUIRED TO BE PLANTED BY SECTION 3316.3 SHALL BE PROVIDED WITH AN APPROVED SYSTEM OF IRRIGATION THAT IS DESIGNED TO COVER ALL PORTIONS OF THE SLOPE. IRRIGATION SYSTEM PLANS SHALL BE SUBMITTED AND APPROVED PRIOR TO INSTALLATION. A FUNCTIONAL TEST OF THE SYSTEM MAY BE REQUIRED. FOR SLOPES LESS THAN 20 FEET IN VERTICAL HEIGHT, HOSE BIBS TO PERMIT HAND WATERING WILL BE ACCEPTABLE IF SUCH HOSE BIBS ARE INSTALLED AT CONVENIENTLY ACCESSIBLE LOCATIONS WHERE A HOSE NO LONGER THAN 50 FEET IS NECESSARY FOR IRRIGATION. THE REQUIREMENTS FOR PERMANENT IRRIGATION SYSTEMS MAY BE MODIFIED UPON SPECIFIC RECOMMENDATION OF A LANDSCAPE ARCHITECT OR EQUIVALENT AUTHORITY THAT, BECAUSE OF THE TYPE OF PLANTS SELECTED, THE PLANTING METHODS USED AND THE SOIL AND CLIMATIC CONDITIONS AT THE SITE, IRRIGATION WILL NOT BE NECESSARY FOR THE MAINTENANCE OF THE SLOPE PLANTING. (SECTION 3316.4 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
  - C. OTHER GOVERNMENTAL AGENCIES MAY HAVE ADDITIONAL REQUIREMENTS FOR LANDSCAPING AND IRRIGATION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE WITH OTHER AGENCIES TO MEET THEIR REQUIREMENTS WHILE MAINTAINING COMPLIANCE WITH THE COUNTY OF LOS ANGELES BUILDING CODE.
- THE PLANTING AND IRRIGATION SYSTEMS SHALL BE INSTALLED AS PRACTICAL AFTER ROUGH GRADING. PRIOR TO FINAL GRADING APPROVAL, ALL REQUIRED SLOPE PLANTING MUST BE WELL ESTABLISHED. (SECTION 3316.7 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
- THIS PROJECT REQUIRES A LANDSCAPE PLAN PER CHAPTER 71 OF THE COUNTY OF LOS ANGELES BUILDING CODE. PRIOR TO ROUGH GRADE APPROVAL LANDSCAPE PLANS MUST BE SUBMITTED AND APPROVED BY THE DEPARTMENT OF PUBLIC WORKS, LAND DEVELOPMENT DIVISION. (900 S. FREMONT AVE, ALHAMBRA - 3RD FLOOR, CA 91803 (626) 458-4921)

**NOTICE TO CONTRACTOR**

(1) THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF THE ENGINEER'S KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS.

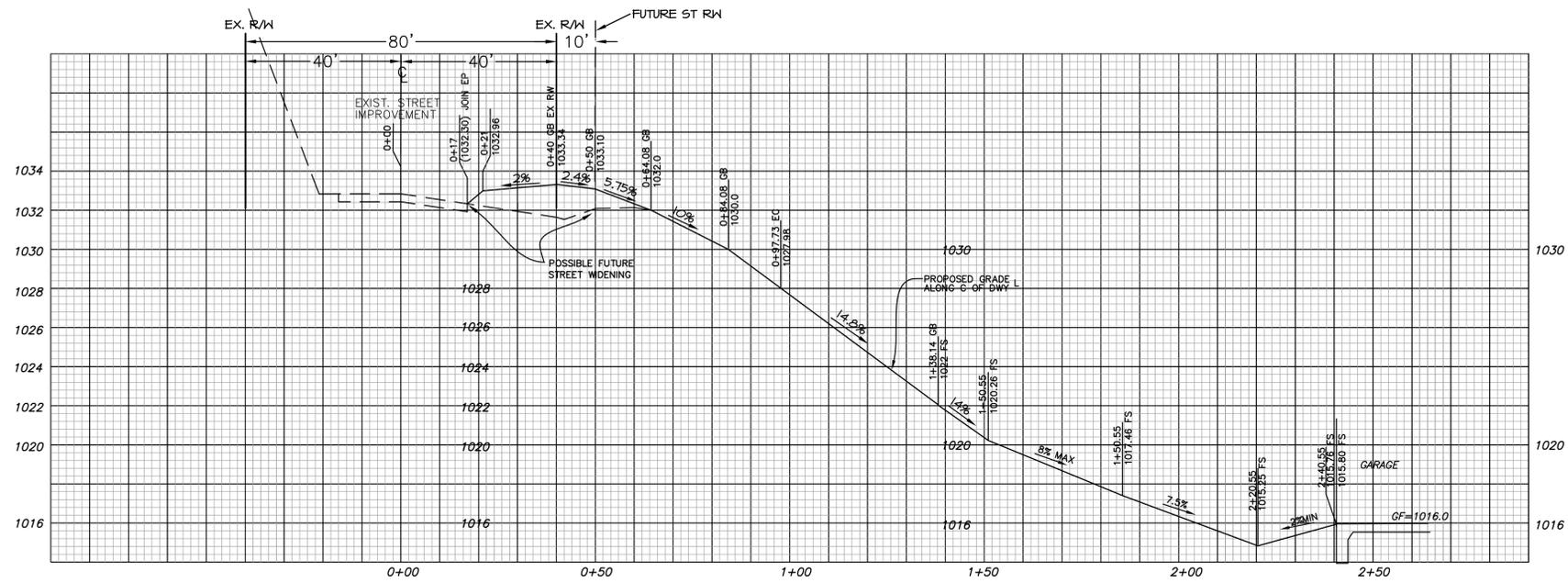
THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

PROPOSED STARTING DATE \_\_\_\_\_ ESTIMATED COMPLETION DATE \_\_\_\_\_

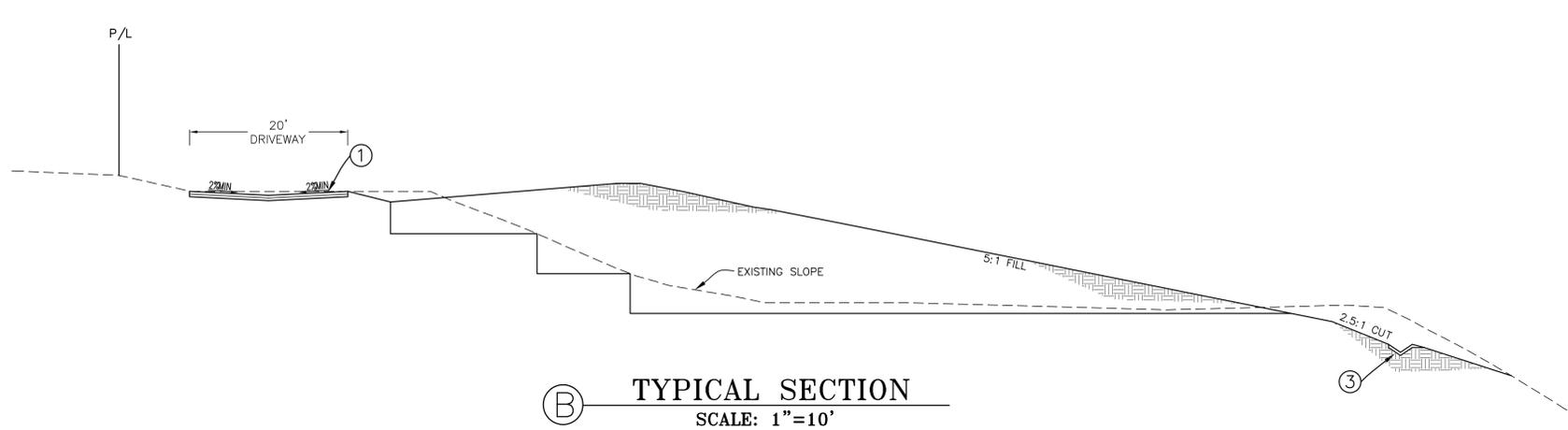
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|      |        |        |      |        |      |      |      |      |      |      |      | COUNTY OF LOS ANGELES<br><b>GRADING PLAN</b><br>SINGLE FAMILY RESIDENCE<br>25066 MULHOLLAND HWY, CALABASAS |      | SHEET 1 OF 3 |
| REV. | SYMBOL | R.C.E. | DATE | P.D.E. | DATE   | DATE |              |

EJK 0808-BETZ GRADING.DWG



**DRIVEWAY PROFILE**  
 VER. SCALE 1"=4'  
 HOR. SCALE 1"=20'



REV-1-16-2012

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 C.O.L.A. \_\_\_\_\_  
 CHECKED \_\_\_\_\_

PREPARED BY:  
**EJK & Associates**  
 CIVIL ENGINEERING & LAND PLANNING  
 6520 Platt Ave. #538, West Hills, CA. 91307  
 Phone: 818/357-9055

REGISTERED ENGINEER NO. 42388  
 E. J. KIM P.E. EXP. 3/21/10

"These plans have been reviewed and found to be in general conformity with our recommendations."

GEOLOGIST/SOILS ENGINEER

GOLD COAST GEOSERVICES, INC.  
 5217 Verdugo Way, Suite B Camarillo, CA. 93012  
 Phone: 805-484-5070

R.C.E. \_\_\_\_\_ DATE \_\_\_\_\_

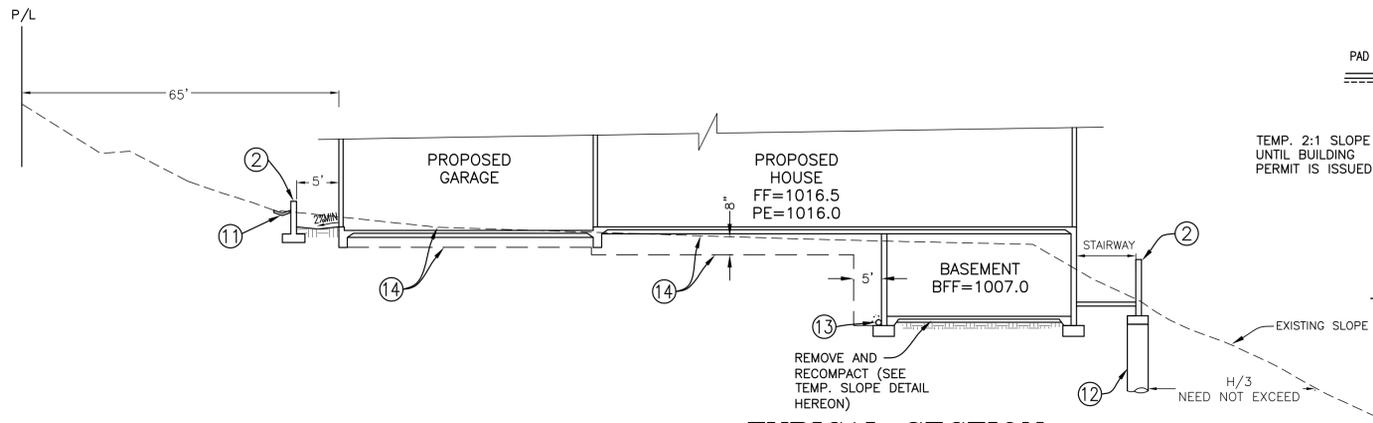
COUNTY OF LOS ANGELES

**GRADING PLAN**  
 SINGLE FAMILY RESIDENCE  
 25066 MULHOLLAND HWY, CALABASAS

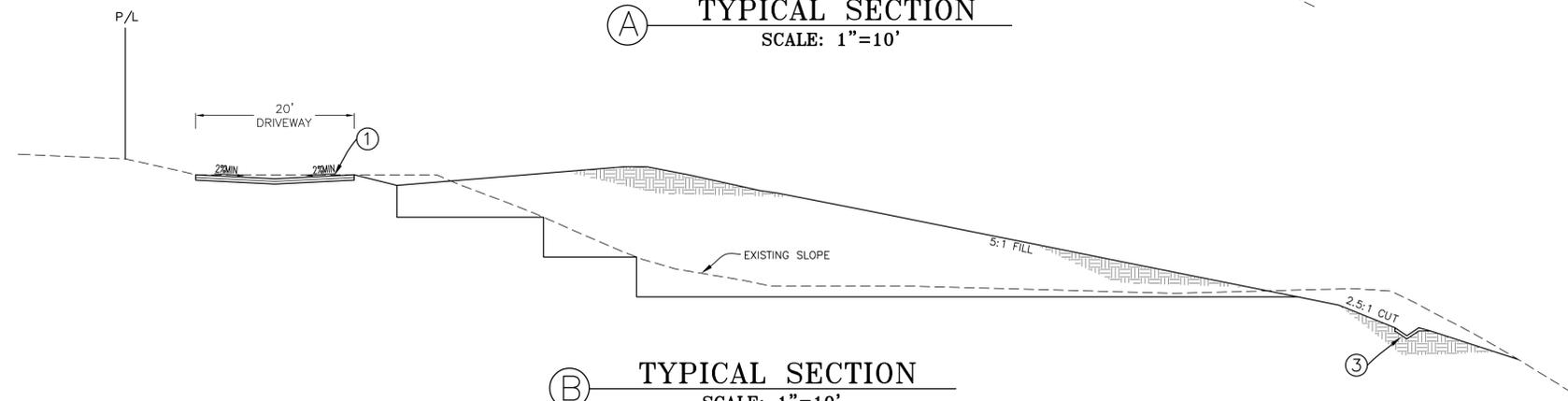
SHEET 2 OF 3

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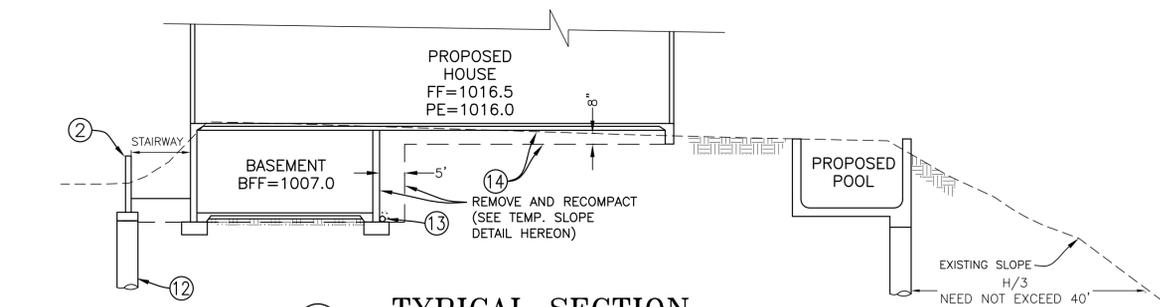




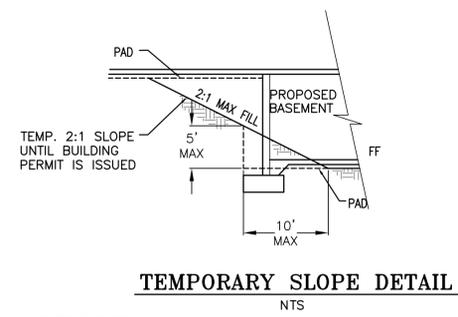
**(A) TYPICAL SECTION**  
SCALE: 1"=10'



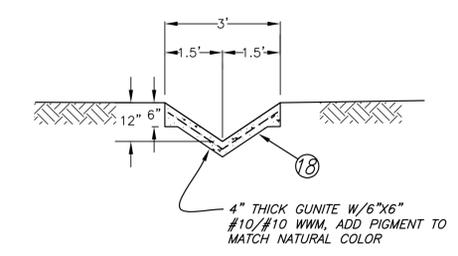
**(B) TYPICAL SECTION**  
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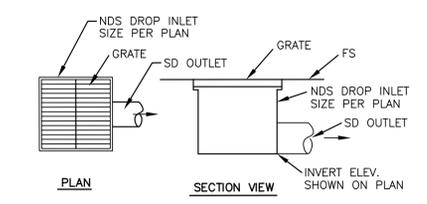
**(D) TYPICAL SECTION**  
SCALE: 1"=10'



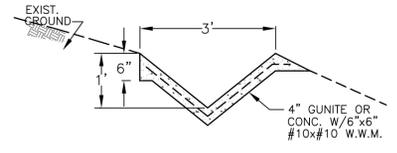
**TEMPORARY SLOPE DETAIL**  
NTS



**(18) CONC. DOWNDRAIN DETAIL**  
NTS

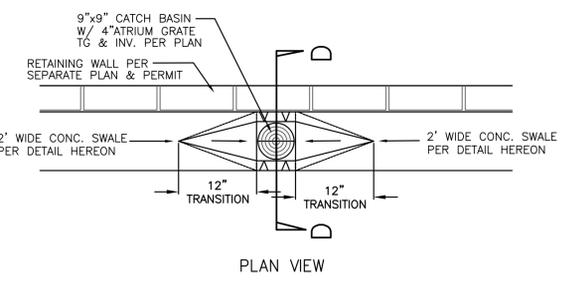


**(5) CATCH BASIN DETAIL**  
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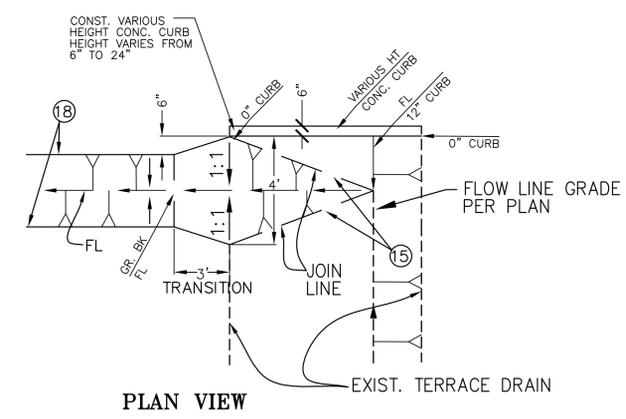


**(3) CONC. V-DITCH DETAIL**  
TYP. SEC.

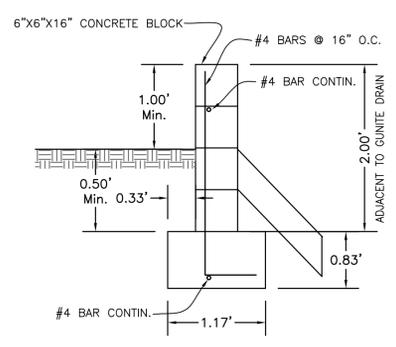
- SECTION NOTES:**
- CONST. 4" CONC. DRIVEWAY OVER 4" MIN. AGGREGATE BASE. SEE TYP. DRIVEWAY DETAIL ON SHEET 3
  - CONST. RET. WALL PER SEPARATE PERMIT
  - CONST. 36" CONC. SWALE PER DETAIL HEREON
  - CONST. 24"x3" THICK CONC. SWALE PER TYP. DET. HEREON
  - CONST. CONC. PILE PER STRUCTURAL PLAN
  - CONST. MOISTURE PROOFING & SUBDRIN PER STRUCTURAL PLAN
  - SCARIFY MIN. 6"-8" OF EXIST. SOIL AND RECOMPACT
  - SAWCUT AND REMOVE PART OF EX. TERRACE DRAIN AND JOIN W/ PCC DOWNDRAIN. USE 12" LONG #4 REBAR @ 18" O.C. TO JOIN THE NEW DOWNDRAIN TO EXIST. TERRACE DRAIN



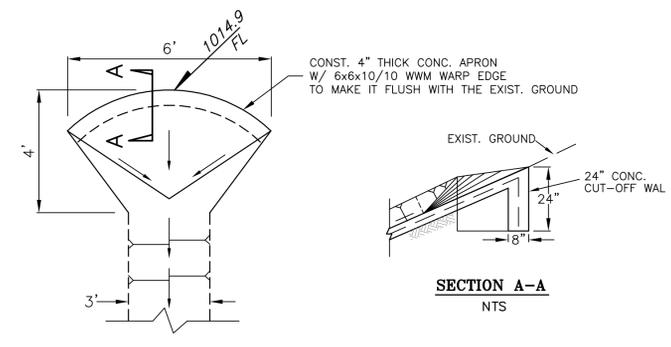
**PLAN VIEW**



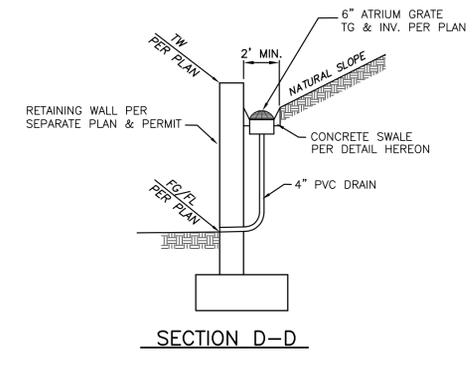
**(15) TRANS. V-DITCH TYP. DETAIL**  
NTS



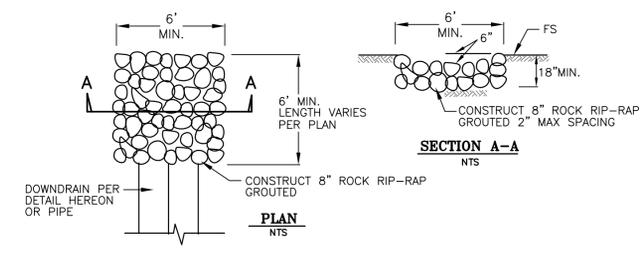
**(7) SPLASH WALL DETAIL**  
NTS



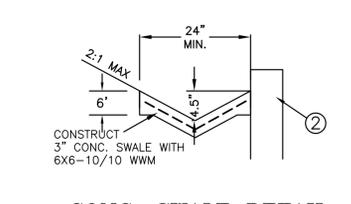
**(17) CONC. APRON DETAIL**  
NTS



**(10) DRAIN PIPE THRU WALL SECTION**  
NTS



**(4) ROCK RIP-RAP DETAIL**  
NTS



**(11) CONC. SWALE DETAIL**  
NTS

|      |        |  |  |                  |  |  |                                 |                       |  |
|------|--------|--|--|------------------|--|--|---------------------------------|-----------------------|--|
|      |        |  |  | DATE _____       | PREPARED BY:<br><b>EJK &amp; Associates</b><br>CIVIL ENGINEERING & LAND PLANNING<br>6520 Platt Ave. #538, West Hills, CA. 91307<br>Phone: 818/357-9055 | *These plans have been reviewed and found to be in general conformity with our recommendations.* |                                 | COUNTY OF LOS ANGELES |  |
|      |        |  |  | DESIGNED _____   | GEOLOGIST/SOILS ENGINEER   |  | GRADING PLAN                    |                       |  |
|      |        |  |  | DATE _____       | GOLD COAST GEOSERVICES INC.<br>5217 Verdugo Way, Suite B Camarillo, CA. 93012<br>Phone: 805-484-5070   |  |                                 |                       |  |
|      |        |  |  | DELINEATED _____ | REGISTERED ENGINEER NO. 42388  |  | SINGLE FAMILY RESIDENCE         |                       |  |
|      |        |  |  | DATE _____       | E. J. KIM P.E. Exp. 3/31/10  |  |                                 |                       |  |
|      |        |  |  | COLLA. _____     | DATE _____   |  | 25066 MULHOLLAND HWY, CALABASAS |                       |  |
|      |        |  |  | CHECKED _____    | R.C.E. _____ DATE _____  |  |                                 |                       |  |
| REV. | SYMBOL |  |  | R.C.E.           | DATE   | P.D.E.   | DATE                            | SHEET 2 OF 3          |  |