

Hearing Officer Transmittal Checklist

Hearing Date 02/21/2012
Agenda Item No. 10

Project Number: R2009-00690-(2)
Case(s): Conditional Use Permit Case No. 201000097
Planner: Rudy Silvas

- Factual
- Property Location Map
- Staff Report
- Draft Resolution / Draft Ordinance / 8.5x11 Map (ZC or PA)
- Draft Findings
- Draft Conditions
- Burden of Proof Statement(s)
- Environmental Documentation (ND / MND / EIR)
- Correspondence
- Photographs
- Aerial Image(s)
- Land Use Radius/Surrounding Zoning Maps
- Tentative Tract / Parcel Map
- Site Plan / Floor Plan/Elevation Plan
- Exhibit Map
- Landscaping Plans
- Previous CUP approval findings and conditions

Reviewed By: 



Los Angeles County Department of Regional Planning
 320 West Temple Street
 Los Angeles, California 90012
 Telephone (213) 974-6462
PROJECT NUMBER R2009-00690
Conditional Use Permit RCUP 201000097

PUBLIC HEARING DATE 2/21/2012	AGENDA ITEM 10
RPC CONSENT DATE	CONTINUE TO

APPLICANT Antonio Pellini	OWNER Lopez Hempling LLC	REPRESENTATIVE Sheryl Brady
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PROJECT DESCRIPTION
 Conditional Use Permit to allow sale of beer and wine for on-site consumption in an established restaurant (The Eatalian Café). Restaurant is located in the M-2 (Heavy Manufacturing) Zone, and within the West Rancho Dominguez - Victoria Community Standards District (CSD). The restaurant was approved for food processing and sale of produced goods by Plot Plan No. 200900497, with an occupancy load determination for no more than 86 persons, along with required parking.

REQUIRED ENTITLEMENTS
 The applicant requests a Conditional Use Permit application, pursuant to Los Angeles County "Code" Section 22.56.195, for Alcoholic Beverage Sales with on-site consumption at an established restaurant.

LOCATION/ADDRESS
 15500 S. Broadway St., Gardena

SITE DESCRIPTION
 Site plan depicts the existing building with said restaurant and adjacent building suite with light manufacturing use, parking stalls and loading dock, access driveway, property lines, gates and fences, streets and sidewalks.

ACCESS W. 155th Street	ZONED DISTRICT Victoria
ASSESSORS PARCEL NUMBER 6129-006-030	COMMUNITY Rosewood
SIZE 0.83 Net Acres	COMMUNITY STANDARDS DISTRICT West Rancho Dominguez - Victoria

	EXISTING LAND USE	EXISTING ZONING
Project Site	Restaurant and Light Industrial	M-2
North	Light Industrial	M-2
East	Outside Storage/Auto Salvage	M-2
South	Warehouse/Restaurant	M-2
West	Light Industrial/Warehouse	M-1 (Light Manufacturing)

GENERAL PLAN/COMMUNITY PLAN Countywide General Plan	LAND USE DESIGNATION (I) Major Industrial	MAXIMUM DENSITY N/A
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ENVIRONMENTAL DETERMINATION
 Class 1 Categorical Exemption-Existing Facilities

RPC LAST MEETING ACTION SUMMARY

LAST RPC MEETING DATE	RPC ACTION	NEEDED FOR NEXT MEETING
MEMBERS VOTING AYE	MEMBERS VOTING NO	MEMBERS ABSTAINING/ABSENT

TO BE COMPLETED ONLY ON CASES TO BE HEARD BY THE BOARD OF SUPERVISORS

STAFF CONTACT PERSON: Rudy Silvas		
RPC HEARING DATE(S)	RPC ACTION DATE	RPC RECOMMENDATION
MEMBERS VOTING AYE	MEMBERS VOTING NO	MEMBERS ABSTAINING
STAFF RECOMMENDATION (PRIOR TO HEARING):		
SPEAKERS* (O) 0 (F) 0	PETITIONS (O) 0 (F) 0	LETTERS (O) 0 (F) 0

*(O) = Opponents (F) = In Favor

STAFF ANALYSIS
PROJECT NO. 2009-00690-(2)
CONDITIONAL USE PERMIT NO. 201000097

PROJECT DESCRIPTION

Conditional Use Permit (CUP) to allow beer and wine sales for on-site consumption (ABC Type 41 Liquor License) in an existing restaurant (The Eatalian Café), located in the M-2 (Heavy Manufacturing) Zone within the West Rancho Dominguez - Victoria Community Standards District (CSD). The restaurant was approved by Plot Plan No. 200900497, along with food processing and sale of the goods produced with a maximum occupancy load of 86 persons.

REQUIRED ENTITLEMENTS

Conditional Use Permit pursuant to Los Angeles County "Code" Section 22.56.195 for Alcoholic Beverage Sales for on-site consumption at an existing restaurant in an M-2 (Heavy Manufacturing) Zone.

LOCATION

The subject property is located at 15500 S. Broadway St. within the unincorporated community of Rosewood, Second Supervisorial District, Victoria Zone District.

Existing Zoning

Subject Property

The subject site is currently zoned M-2.

Surrounding Zones

Surrounding properties are zoned:

North: M-2

South: M-2

East: M-2

West: M-1 (Light Manufacturing)

Existing Land Uses

Subject Property

Large industrial/commercial building with two tenants. Subject suite is used for the existing restaurant and food processing, second suite is used for garment manufacturing. Total of forty eight parking stalls are located on the site, including three handicap stalls plus one loading space serving the restaurant.

Surrounding Properties

Surrounding land uses consist of:

North: Light industrial

South: Warehouse/Restaurant

East: Outside storage/auto salvage

West: Light industrial/warehouse

SITE PLAN DESCRIPTION

The site plan for the restaurant was approved by Plot Plan No. 200900497 which also approved parking for the adjacent suite which has a light manufacturing use, 48 parking stalls and loading dock, access driveway and aisles, property lines, existing

landscaping, gates and fences, streets and sidewalks. The subject property is nearly square in shape consisting of two parcels grouped together as one property with the northern property boundary along West 155th Street and the western property boundary along South Broadway Street. The restaurant area depicted on the site plan is a 13,900 square-foot restaurant and food processing suite. The restaurant has a Determination of Assembly Occupant Load for Parking of 86 persons, as determined by County Building and Safety on August 30, 2009 at the time of the plot plan approval. The restaurant, together with the manufacturing use in the adjacent building suite, requires a total of 48 parking stalls which are depicted on the site plan. A total of 26 standard, 19 compact and 2 handicap stalls are depicted on the site plan, plus one loading space area. Twenty-nine parking stalls are required for the restaurant. The floor plan shows an island counter where beer taps will be located next to other fountain drink dispensers and an espresso machine. The shelf storage area for the alcohol will be located in the southeast corner of the building next to the existing loading zone entrance as indicated on the floor plan.

ENVIRONMENTAL DETERMINATION

Staff of the Los Angeles County Department of Regional Planning (DRP) has determined that a Categorical Exemption, Class 1 – Existing Facilities, is the appropriate environmental documentation under California Environmental Quality Act (CEQA) reporting requirements. The project is to allow the sales of beer and wine at an existing restaurant.

LEGAL NOTIFICATION AND PUBLIC OUTREACH

Pursuant to the provisions of Sections 22.60.174 and 22.60.175 of the County Code, the community was appropriately notified of the public hearing by mail, newspaper, property posting, library posting and DRP website posting.

In order to ensure notification thirty (30) days before the scheduled hearing date of February 21, 2012 and in accordance with above provisions, a total of 45 public hearing notices were mailed out on January 11, 2012 to all property owners within a 500 foot radius of the subject property.

Also in compliance with the thirty-day noticing requirement, the Notice of Public Hearing was published and advertised in *The Daily Breeze* newspaper on January 14, 2012, and *La Opinion* newspaper on January 17, 2012, and was also sent on January 11, 2012 to the A.C. Bilbrew County Library located at 150 E. El Segundo Boulevard in unincorporated Athens Village along with the Factual Sheet.

Staff also received the Certificate of Posting from the applicant stating that the Notice of Public Hearing was posted at the site 30 days before the hearing date in accordance with Section 22.60.175 of the County Code.

PREVIOUS CASES/ZONING HISTORY

- The current zoning of M-2 was established by Ordinance No. 6756 on September 6, 1955.
- County Assessor records indicate that the structure on site was developed in 1961.
- Plot Plan 200900497 was approved on August 13, 2009 for the renovation and conversion of 13,900 square feet of manufacturing space into restaurant with food processing.

STAFF EVALUATION

General Plan Consistency

The Los Angeles Countywide General Plan Land Use Category for the subject property is Category "I" (Major Industrial). The established commercial/light industrial use and the proposed sale of beer and wine within the established restaurant do not conflict with the Major Industrial land use category of the Countywide General Plan. The Countywide General Plan states that Major Industrial land uses are "areas which are generally appropriate for major industrial uses including manufacturing of all types". The existing use is an approved food processing facility, with retail sales of goods, which also includes the serving of food and drink to the public (the restaurant). It is a local serving business serving local needs as well, which is also consistent with the land use category.

Zoning Ordinance and Development Standards Compliance

Located in the Rosewood area of unincorporated Los Angeles County, the proposed beer and wine sales for on-site consumption in an established restaurant would be located in the M-2 zone and within the West Rancho Dominguez – Victoria Community Standards District (CSD). County Code Section 22.56.195 requires a CUP for alcoholic beverage sales, for either on-site consumption. Accordingly, a CUP application for the proposed beer and wine sales for onsite consumption at the existing restaurant was filed. The West Rancho Dominguez - Victoria CSD (County Code Section 22.44.130) does not contain additional requirements for the sale of alcohol at an existing restaurant. The restaurant is an existing, by-right use, approved by a plot plan in 2009 and complies with M-2 and CSD development standards. The restaurant does not currently sell alcoholic beverages but proposes to do so for on-site consumption with this permit.

In addition to the findings required pursuant to Subsection "A" of County Code Section 22.56.090 regarding public safety, health and general welfare, the State Department of Alcoholic Beverage Control (ABC) reported to Regional Planning on December 15, 2011 that the location of the restaurant establishment is in a high crime reporting district. Staff consulted the County Sheriff Department (Compton Sheriff Station) for a call and crime history report for the project site over the last five years (report attached). The County Sheriff's Department voiced no objection to the proposed use in their letter dated December 23, 2011.

The site itself is located greater than 600 feet from any place used exclusively for religious worship, school, park, playground or any similar use; and the site is sufficiently buffered from any residential areas in the vicinity, the nearest being a nonconforming mobilehome park in the M-1 zone up on Redondo Beach Boulevard at the edge of a 600 foot radius from the project site. There are no other recognized establishments conducting alcoholic beverage sales, for either on-site or off-site consumption, within a 600-foot radius of the site; however, due to the report from ABC of an undue concentration in the subject Reporting District No. 2871, the restaurant establishment will require a finding of public convenience and necessity.

Finally, the proposed use would not adversely affect the economic welfare of the local community, and the exterior appearance of the building is consistent with surrounding structures. Therefore, the use is in compliance with Subsection "B" of County Code Section 22.56.195.

The existing parking, as required for the restaurant per County Code Section 22.52.1110 for Entertainment, Assembly and Dining, is provided in accordance with the stamped Occupancy Load Determination for 86 persons on the plan. Twenty-nine parking spaces are provided for the existing restaurant, one stall for every three persons based on the total number of persons in the Occupancy Load Determination.

An additional 19 parking spaces are required for the light industrial/manufacturing use in the adjacent building suite, in accordance with County Code Section 22.52.1140, which requires one stall for every 500 square feet of floor area. Upon a site visit by Staff on December 21, 2011, it was noticed that six compact parking stalls were obstructed by a seabin container, a small tree growing out of a pot hole, and a trash bin container. These stalls are located next to the adjacent building suite and are part of the 29 stalls required for that use. The site is not in compliance with County Code Section 22.52.1140 for the light industrial/manufacturing use in the adjacent building suite.

One loading space area is provided for the restaurant/food manufacturing establishment, and is in compliance with County Code Section 22.52.1084 for loading space areas that serve an industrial use. One Type B stall is required (12'X30') and provided with a loading dock entrance on the east end of the restaurant/food processing building suite.

Also during Staff's site visit of December 21, 2011, it was noticed that there is a new set of three projecting business signs, and one new wall business sign along the Broadway Street frontage of the property. It is not clear what their dimensions are, or whether they comply with County Code Sections 22.52.900 for projecting business signs and 22.52.880 for wall business signs. An updated Exhibit "A" building elevation and sign plan will be required for review and final approval.

Neighborhood Impact/Land Use Compatibility

The proposed sale of alcoholic beverages for on-site consumption with food service in the established restaurant would not create any type of negative impacts to the surrounding neighborhood. The project site is surrounded primarily by industrial uses and there are no residences within 500 feet of the subject property. The restaurant and food processing business is a benefit to the local industrial community, serving not only those within this community, but serving customers from outside the community who visit or do business in the local vicinity. The use itself does not conflict with the Major Industrial land use category of the Countywide General Plan. However, due to the report from ABC that there is an undue concentration of ABC licenses in Reporting District 2871 where the restaurant is located, Staff has made a finding that the sale of alcoholic beverages for on-site consumption in the existing restaurant provides a public convenience and necessity that serves the local community.

Staff recommends that the applicant, Antonio Pellini, be allowed to proceed with the project under the attached conditions of approval. The conditions of approval will ensure that the restaurant with beer and wine sales for on-site consumption is operated properly and in accordance with all applicable County and State regulations, that the property is maintained in a clean and orderly manner, and that the sale of alcohol for onsite consumption will be neighborhood compatible. The use and the improvements to the site would be in adherence to the qualities outlined in the West Rancho Dominguez – Victoria Community Standards District.

RELATED ZONING ENFORCEMENT CASES

None currently open on site. Verified with Zoning Enforcement West on December 22, 2011. However, Zoning Enforcement will follow up with the permittee for compliance with the approved Plot Plan No. 200900497 for parking requirements and for signage regulations prior to final approval of the Exhibit "A" for this permit.

Burden of Proof

The applicant is required to substantiate all facts identified by County Code Section 22.56.040. The CUP Burden of Proof with applicant's responses is attached. In addition, the applicant is also required to substantiate all facts identified by County Code Section 22.56.195. Staff is of the opinion that the applicant has met the Alcoholic Beverage Sales Burden of Proof.

COUNTY DEPARTMENT COMMENTS AND RECOMMENDATIONS

Staff did not solicit any comments from other County Departments as the scope of this project is the sale of beer and wine at an existing restaurant, which was approved through a plot plan.

PUBLIC COMMENTS

To date, Staff has not received any comments from the public regarding the new CUP application for alcoholic beverage sales.

FEES/DEPOSITS

If approved, fees identified in the attached project conditions will apply unless modified by the Hearing Officer.

STAFF RECOMMENDATION

The following recommendation is made prior to the public hearing and is subject to change based upon testimony and/or documentary evidence presented at the public hearing:

Staff recommends that the Hearing Officer close the public hearing and approve Conditional Use Permit No. 200900690, subject to the attached Findings and Conditions.

Prepared by Rudy Silvas, Principal Regional Planning Assistant
Reviewed by Mi Kim, Supervising Regional Planner

Attachments:

Draft Findings and Conditions of Approval
Applicant's Burden of Proof statement
Site Photographs
Site Plan/Elevation Plan
Land Use Map

MKK:RS 02/09/2012

**DRAFT FINDINGS AND ORDER OF THE HEARING OFFICER
COUNTY OF LOS ANGELES**

**PROJECT NO. R2009-00690-(2)
CONDITIONAL USE PERMIT NO. 201000097-(2)**

REQUEST:

The applicant requests a Conditional Use Permit application, pursuant to Los Angeles County "Code" Section 22.56.195, for Alcoholic Beverage Sales for on-site consumption of beer and wine at an established restaurant. The restaurant is located in the M-2 (Heavy Manufacturing) Zone within the West Rancho Dominguez - Victoria Community Standards District (CSD). The restaurant in conjunction with food processing and sale of produced goods was approved Plot Plan No. 200900497, with an Occupancy Load Determination for no more than 86 persons, along with required parking.

HEARING DATE: FEBRUARY 21, 2012

PROCEEDINGS BEFORE THE HEARING OFFICER:

To be prepared immediately following the public hearing.

Findings

1. The subject property is located at 15500 S. Broadway St., in the unincorporated County area of Rosewood. The location is situated in the Second Supervisorial District of Los Angeles County, within the Victoria Zone District.
2. The project is a Conditional Use Permit (CUP) to allow beer and wine sales for on-site consumption (State Alcoholic Beverage Control (ABC) Type 41 Liquor License) in an established restaurant (The Eatalian Café). The restaurant is located in the M-2 (Heavy Manufacturing) Zone within the West Rancho Dominguez - Victoria Community Standards District (CSD).
3. The subject property consists of large industrial/commercial building with multi-tenant suites (two). Subject suite is used for existing restaurant/food processing, second suite is used for garment manufacturing. Forty eight parking stalls are located on the site, including three handicap stalls plus one loading space serving the restaurant. Twenty-nine of the total parking stalls are required for the restaurant.
4. Surrounding properties are zoned:
North: M-2
South: M-2
East: M-2
West: M-1 (Light Manufacturing)

5. Surrounding land uses consist of:
North: Light industrial
South: Warehouse/Restaurant
East: Outside storage/auto salvage
West: Light industrial/warehouse
6. The Los Angeles Countywide General Plan Land Use Category for the subject property is Category "I" (Major Industrial). The established commercial/light industrial use and the proposed sale of beer and wine within the established restaurant do not conflict with the Major Industrial land use category of the Countywide General Plan. The Countywide General Plan states that Major Industrial land uses are "areas which are generally appropriate for major industrial uses including manufacturing of all types". The existing use is an approved food processing facility, with retail sales of goods, which also includes the serving of food and drink to the public (the restaurant). It is a local serving business serving local needs as well, which is also consistent with the land use category. The adjacent use on site for garment manufacturing is also consistent with the Major Industrial land use category.
7. The current zoning of M-2 was established by Ordinance No. 6756 on September 6, 1955.
8. County Assessor records indicate that structure on site was developed in 1961.
9. Plot Plan 200900497 was approved on August 13, 2009 for renovation and conversion of 13,900 square feet of manufacturing space into a restaurant with food processing.
10. Under County Code Section 22.56.195, which requires a CUP for alcoholic beverage sales, for either on-site or off-site consumption, the applicant was required to file the CUP application for the proposed beer and wine sales in an established restaurant. The West Rancho Dominguez - Victoria CSD, (County Code Section 22.44.130), does not require any supplemental information for the CUP application for beer and wine sales onsite in an existing eating establishment.
11. The restaurant establishment does not currently sell alcoholic beverages but proposes to do so for on-site consumption.
12. In addition to the findings required pursuant to Subsection "A" of County Code Section 22.56.090 regarding public safety, health and general welfare, the State Department of Alcoholic Beverage Control (ABC) reported to Regional Planning on December 15, 2011 that the location of the restaurant establishment is in a high crime reporting district. Staff consulted the County Sheriff Department (Compton Sheriff Station) for a call and crime history report for the project site over the last

five years (report attached). The County Sheriff's Department voiced no objection to the proposed use in their letter dated December 23, 2011

13. The project site is located greater than 600 feet away from any place used exclusively for religious worship, school, park, playground or any similar use; and the site is sufficiently buffered from any residential areas in the vicinity, the nearest being a nonconforming mobilehome park in the M-1 zone up on Redondo Beach Boulevard at the edge of the 600-foot radius from the project site. There are no other recognized establishments conducting alcoholic beverage sales, for either on-site or off-site consumption, within a 600 foot radius of the site; however, ABC has reported an undue concentration (2 licenses allowed; 2 existing) of ABC licenses within the Reporting District No.2871 within which the subject site is located. An addition of an ABC license to sell beer and wine for onsite consumption with food service is of public convenience and necessity as the subject restaurant serves surrounding uses.
14. Finally, the proposed use would not adversely affect the economic welfare of the local community, and the exterior appearance of the building is consistent with surrounding structures. Therefore, the use is in compliance with Subsection "B" of County Code Section 22.56.195.
15. The existing parking, as required for the restaurant per County Code Section 22.52.1110 for Entertainment, Assembly and Dining, is provided in accordance with the stamped Occupancy Load Determination for 86 persons on the plan. Twenty-nine parking spaces are provided for the existing restaurant; that is one stall for every three persons based on the total number of persons in the Occupancy Load Determination.
16. An additional 19 parking spaces are required for the light industrial/manufacturing use in the adjacent building suite, in accordance with County Code Section 22.52.1140, which requires one stall for every 500 square feet of floor area. Upon a site visit by Staff on December 21, 2011, it was noticed that six compact parking stalls were obstructed by a seabin container, a small tree growing out of a pot hole, and a trash bin container. These stalls are located next to the adjacent building suite and are part of the 29 stalls required for that use. The site is not in compliance with County Code Section 22.52.1140 for the light industrial/manufacturing use in the adjacent building suite.
17. One loading space area is provided for the restaurant/food manufacturing establishment, and is in compliance with County Code Section 22.52.1084 for loading space areas that serve an industrial use. One Type B stall is required (12'X30') and provided with a loading dock entrance on the east end of the restaurant/food processing building suite.

18. Also during Staff's site visit of December 21, 2011, it was noticed that there is a new set of three projecting business signs, and one new wall business sign along the Broadway Street frontage of the property. It is not clear what their dimensions are, or whether they comply with County Code Sections 22.52.900 for projecting business signs and 22.52.880 for wall business signs. An updated Exhibit "A" building elevation and sign plan will be required for review and final approval.
19. The proposed on-site sale of alcoholic beverages in the established restaurant would not create any type of negative impacts to the surrounding neighborhood. The surrounding community is primarily developed with industrial use; there are no residences within 500 feet. The restaurant/food processing business is a benefit to the local industrial community, serving not only those within this community, but serving customers from outside the community who visit or do business in the local vicinity. The use itself does not conflict with the Major Industrial land use category of the Countywide General Plan. However, due to the report from ABC that there is an undue concentration of ABC licenses in Reporting District 2871 where the restaurant is located, Staff has made a finding that the sale of alcoholic beverages for on-site consumption in the existing restaurant provides a public convenience and necessity that serves the local community.
20. Staff recommends that the applicant, Antonio Pellini, be allowed to proceed with the project under the attached conditions of approval. The conditions of approval will ensure that the restaurant with beer and wine sales for on-site consumption is operated properly and in accordance with all applicable County and State regulations, that the property is maintained in a clean and orderly manner, and that the sale of beer and wine for onsite consumption is neighborhood compatible. The use and the improvements to the site would be in adherence to the qualities outlined in the West Rancho Dominguez – Victoria Community Standards District.
21. No open Enforcement cases on site; verified with Zoning Enforcement West on December 22, 2011. However, Zoning Enforcement will follow up with the permittee for compliance with the approved Plot Plan No. 200900497 for parking requirements and for signage regulations prior to final approval of the Exhibit "A" for this permit.
22. Staff has not received any comments from the public regarding this new CUP for alcoholic beverage sales.
23. The applicant is required to substantiate all facts identified by County Code Section 22.56.040. The CUP Burden of Proof with applicant's responses is attached. In addition, the applicant is also required to substantiate all facts identified by County Code Section 22.56.195. Staff is of the opinion that the applicant has met the Alcoholic Beverage Sales Burden of Proof.

24. Pursuant to the provisions of Sections 22.60.174 and 22.60.175 of the County Code, the community was appropriately notified of the public hearing by mail, newspaper and property posting.
25. To assure continued compatibility between the use of the subject property allowed by this grant and surrounding land uses, the Hearing Officer determined that it is necessary to limit the term of the grant to **15** years, with **(8)** **biennial** site inspections.
26. The location of the documents and other materials constituting the record of proceedings upon which the Hearing Officer's decision is based in this matter is at the Los Angeles County Department of Regional Planning, 13th Floor, Hall of Records, 320 West Temple Street, Los Angeles, CA 90012. The custodian of such documents and materials is the Section Head of the Zoning Permits West Section, Los Angeles County Department of Regional Planning.

BASED ON THE FOREGOING, THE HEARING OFFICER CONCLUDES:

Regarding Conditional Use Permit:

- A. That the requested use at the location proposed will not:
 1. Adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area, or
 2. Be materially detrimental to the use, enjoyment or valuation of property of other persons located in the vicinity of the site, or
 3. Jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare.
- B. That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking, and loading facilities, landscaping and other development features described in this Ordinance, or as is otherwise required in order to integrate said use with the uses in the surrounding area.
- C. That the proposed site is adequately served:
 1. By highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate, and
 2. By other public or private service facilities as are required.

Regarding Alcoholic Beverage Sales:

- A. That the requested use at the proposed location will not adversely affect the use of a place used exclusively for religious worship, school, park, playground, or any similar use within a 600 – foot radius.
- B. That the requested use at the proposed location is sufficiently buffered in relation to any residential area within the immediate vicinity so as not to adversely affect said area.
- C. The requested use at the proposed location will not result in an undue concentration of similar premises; a separation of not less than 500 feet shall not

be construed as undue concentration; provided, however, that the planning agency may find that the public convenience or necessity for an additional facility selling alcoholic beverages for off-site consumption, outweighs the fact that it is located within a 500-foot radius of any other facility selling alcoholic beverages for either on-site or off-site consumption, in which case the shelf space devoted to alcoholic beverages shall be limited to not more than five percent of the total shelf space in the establishment.

- D. That the requested use at the proposed location will not adversely affect the economic welfare of the surrounding community.
- E. That the exterior appearance of the structure will not be inconsistent with the exterior appearance of commercial structures already constructed or under construction within the immediate neighborhood so as to cause blight, deterioration, or substantially diminish or impair property values within said neighborhood.

HEARING OFFICER ACTION:

1. Staff of the Department of Regional Planning has determined that a Categorical Exemption, Class 1 – Existing Facilities, is the appropriate environmental documentation under California Environmental Quality Act (CEQA) reporting requirements. The Hearing Officer has considered the Categorical Exemption for this project and certifies that it is consistent with the finding by the State Secretary for Resources or by local guidelines that this class of projects does not have a significant on the environment.
2. In view of the findings of fact and conclusions presented above, Conditional Use Permit No. 201000097, Project No. 2009-00690, is **APPROVED** subject to the attached conditions.

c: Hearing Officer, Zoning Enforcement, Building and Safety

MKK:RS
02/09/2012

**DRAFT CONDITIONS OF APPROVAL
DEPARTMENT OF REGIONAL PLANNING
PROJECT NO. R2009-00690-(2)
CONDITIONAL USE PERMIT NO. 201000097**

PROJECT DESCRIPTION

Conditional Use Permit (CUP) to allow beer and wine sales for on-site consumption (ABC Type 41 Liquor License) in an existing restaurant (The Eatalian Café), located in the M-2 (Heavy Manufacturing) Zone within the West Rancho Dominguez - Victoria Community Standards District (CSD). The restaurant was approved by Plot Plan No. 200900497, along with food processing and sale of the goods produced with a maximum occupancy load of 86 persons. The project is **APPROVED** subject to the following conditions of approval:

GENERAL CONDITIONS

1. Unless otherwise apparent from the context, the term "**permittee**" shall include the applicant, owner of the property, and any other person, corporation, or other entity making use of this grant.
2. This grant shall not be effective for any purpose until the **permittee**, and the owner of the subject property if other than the **permittee**, have filed at the office of the Los Angeles County ("County") Department of Regional Planning ("Regional Planning") their affidavit stating that they are aware of and agree to accept all of the conditions of this grant, and that the conditions of the grant have been recorded as required by Condition No. 7, and until all required monies have been paid pursuant to Condition No. 10. Notwithstanding the foregoing, this Condition No. 2 and Condition Nos. 4, 5, and 9 shall be effective immediately upon final approval of this grant by the County. The recorded affidavit shall be filed and the required monies shall be paid by **April 21, 2012**.
3. Unless otherwise apparent from the context, the term "date of final approval" shall mean the date the County's action becomes effective pursuant to Section 22.60.260 of the County Code.
4. The **permittee** shall defend, indemnify, and hold harmless the County, its agents, officers, and employees from any claim, action, or proceeding against the County or its agents, officers, or employees to attack, set aside, void, or annul this permit approval, which action is brought within the applicable time period of Government Code Section 65009 or other applicable limitations period. The County shall promptly notify the **permittee** of any claim, action, or proceeding and the County shall fully cooperate in the defense. If the County fails to promptly notify the **permittee** of any claim action or proceeding, or if the County fails to cooperate fully in the defense, the **permittee** shall not thereafter be responsible to defend, indemnify, or hold harmless the County.
5. In the event that any claim, action, or proceeding as described above is filed against the County, the **permittee** shall within ten days of the filing make an initial deposit with Regional Planning in the amount of up to \$5,000.00, from which actual costs and expenses shall be billed and deducted for the purpose of defraying the costs or expenses involved in the department's cooperation in the defense, including but not limited to, depositions, testimony, and other assistance provided to **permittee** or **permittee's** counsel.

- a. If during the litigation process, actual costs or expenses incurred reach 80 percent of the amount on deposit, the **permittee** shall deposit additional funds sufficient to bring the balance up to the amount of \$5,000.00. There is no limit to the number of supplemental deposits that may be required prior to completion of the litigation.
 - b. At the sole discretion of the **permittee**, the amount of an initial or any supplemental deposit may exceed the minimum amounts defined herein. Additionally, the cost for collection and duplication of records and other related documents shall be paid by the **permittee** according to County Code Section 2.170.010.
6. If any material provision of this grant is held or declared to be invalid by a court of competent jurisdiction, the permit shall be void and the privileges granted hereunder shall lapse.
7. Prior to the use of this grant, the permittee, or the owner of the subject property if other than the **permittee**, shall **record the terms and conditions** of the grant in the office of the County Registrar-Recorder/County Clerk ("Recorder"). In addition, upon any transfer or lease of the property during the term of this grant, the permittee, or the owner of the subject property if other than the permittee, shall promptly provide a copy of the grant and its conditions to the transferee or lessee of the subject property.
8. **This grant shall terminate on February 21, 2027.** Entitlement to use of the property thereafter shall be subject to the regulations then in effect. If the permittee intends to continue operations after such date, whether or not the permittee proposes any modifications to the use at that time, the permittee shall file a new Conditional Use Permit application with Regional Planning, or shall otherwise comply with the applicable requirements at that time. Such application shall be filed at least six (6) months prior to the expiration date of this grant and shall be accompanied by the required fee. In the event that the permittee seeks to discontinue or otherwise change the use, notice is hereby given that the use of such property may require additional or different permits and would be subject to the then-applicable regulations.
9. This grant shall expire unless used within two (2) years from the date of final approval of the grant. A single one-year time extension may be requested in writing and with the payment of the applicable fee prior to such expiration date.
10. The subject property shall be maintained and operated in full compliance with the conditions of this grant and any law, statute, ordinance, or other regulation applicable to any development or activity on the subject property. Failure of the permittee to cease any development or activity not in full compliance shall be a violation of these conditions. Inspections shall be made to ensure compliance with the conditions of this grant as well as to ensure that any development undertaken on the subject property is in accordance with the approved site plan on file. The permittee shall deposit with the County the sum of **\$1,600.00**. The deposit shall be placed in a performance fund, which shall be used exclusively to compensate Regional Planning for all expenses incurred while inspecting the premises to determine the permittee's compliance with the conditions of approval. The fund provides for **eight (8) biennial** inspections. Inspections shall be unannounced.
 - a. If additional inspections are required to ensure compliance with the conditions of this grant, or if any inspection discloses that the subject property is being used in violation of any one of the conditions of this grant, the permittee shall be financially responsible

and shall reimburse Regional Planning for all additional enforcement efforts necessary to bring the subject property into compliance. The amount charged for additional inspections shall be \$200.00 per inspection, or the current recovery cost at the time any additional inspections are required, whichever is greater.

11. Notice is hereby given that any person violating a provision of this grant is guilty of a misdemeanor. Notice is further given that the Regional Planning Commission ("Commission") or a Hearing Officer may, after conducting a public hearing, revoke or modify this grant, if the Commission or Hearing Officer finds that these conditions have been violated or that this grant has been exercised so as to be detrimental to the public's health or safety or so as to be a nuisance or otherwise authorized pursuant to Chapter 22.56, Part 13 of the County Code.
12. All development pursuant to this grant must be kept in full compliance with the County Fire Code.
13. All requirements of Title 22 of the County Zoning Ordinance and of the specific zoning of the subject property must be complied with unless otherwise modified as set forth in these conditions or as shown on the approved Exhibit A or on a revised Exhibit A approved by the Director.
14. All development pursuant to this grant shall conform with the requirements of County Department of Public Works.
15. All structures, walls and fences open to public view shall remain free of graffiti or other extraneous markings, drawings, or signage that was not approved by Regional Planning. These shall include any of the above that do not directly relate to the business being operated on the premises or that do not provide pertinent information about said premises. The only exceptions shall be seasonal decorations or signage provided under the auspices of a civic or non-profit organization.

In the event of graffiti or other extraneous markings occurring, the permittee shall remove or cover said markings, drawings, or signage within 24 hours of notification of such occurrence, weather permitting. Paint utilized in covering such markings shall be of a color that matches, as closely as possible, the color of the adjacent surfaces.

16. The subject property shall be developed and maintained in substantial compliance with the plans marked Exhibit "A." **Four (4) copies** of a modified Exhibit "A" of the building elevation plan that also depicts the new wall business sign and three projecting business signs fully dimensioned and drawn to scale shall be submitted to Regional Planning within sixty (60) days of the date of approval for final approval.

PERMIT SPECIFIC CONDITIONS

17. The **permittee** shall maintain the property in a neat and orderly fashion.
18. The **permittee** shall maintain free of liter all areas on the premises under which the permitte has control.
19. The **permittee** shall maintain 48 parking stalls on the premises per the approved Plot Plan No. 200900497, specifically 29 parking stalls for the existing restaurant use and 19 for the adjacent garment manufacturing use on site. All required parking spaces shall be cleared

- of obstructions by the permittee and verified by Zoning Enforcement prior to final approval of this CUP.
20. Trash bin containers shall be located in their proper location and not over required parking stalls.
 21. The conditions of this grant shall be retained on the premises at all times and shall be immediately produced upon request of any County Sheriff, Zoning Inspector or Department of Alcoholic Beverage Control agent. The manager and all employees of the facility shall be knowledgeable of the conditions herein;
 22. Loitering shall be prohibited on the subject property, including loitering by employees of the subject property. Signage in compliance with Section 22.52 Part 10 of the County Code shall be placed on the premises indicating said prohibition. Employees shall be instructed to enforce these regulations and to call local law enforcement if necessary;
 23. The **permittee**, and all managers and designated employees of the establishment, who directly serve or are in the practice of selling alcoholic beverages, shall participate in the LEAD (Licensee Education on Alcohol and Drugs) Program provided by the State of California Department of Alcoholic Beverage Control. All new designated employees shall be required to attend. The licensee shall display a certificate or plaque in a publicly accessible area of the establishment such as the lobby, indicating they have participated in this program. Proof of completion of the facilities' training program by employees, the licensee and all managers shall be available upon request;
 24. The **permittee** shall not advertise the sale of alcoholic beverages on the exterior of any structure on the subject property including windows, walls, fences or similar structures;
 25. All regulations of the State of California prohibiting the sale of alcoholic beverages to minors shall be strictly enforced;
 26. The **permittee** shall post or otherwise provide telephone numbers of local law enforcement agencies and taxicab companies at or near the cashier, or similar public service area. Such telephone numbers shall be visible by and available to the general public;
 27. This grant authorizes the sale of alcoholic beverages (beer and wine) for onsite consumption from 11a.m. to 9 p.m. Monday through Saturday.

PROJECT SITE SPECIFIC CONDITIONS

28. There shall be no consumption of alcoholic beverages outside the designated areas of the subject facility. The **permittee** shall instruct all designated employees, who directly serve or are in the practice of selling alcoholic beverages, regarding this restriction. Employees shall be instructed to enforce such restrictions and to call local law enforcement as necessary.
29. The **permittee** shall develop and implement a Designated Driver program (i.e. free soft drinks or coffee to a designated driver of a group). The **permittee** shall submit the program to the Director of Planning for approval prior to the approval of the Exhibit "A". A

printed two-sided card explaining this program shall be placed on all tables in the restaurant or an explanation regarding the program shall be printed on the menu.

30. All servers of alcoholic beverages must be at least 18 years of age.
31. There shall be no music or other noise audible beyond the restaurant premises.
32. No live entertainment, dancing, or dance floor is authorized in or outside the premises.
33. Alcoholic beverages shall be sold to customers only when food is ordered and consumed within the subject restaurant only.
34. The sale and serving of alcoholic beverages for consumption outside the restaurant is prohibited, including patios, sidewalks, porches, loading docks, etc.
35. The business shall employ not less than one full-time cook that is engaged in the preparation of meals for patrons during the permissible hours of operation.
36. Not less than fifty-one percent of the income from the business enterprise shall be derived from the sale of food and non-alcoholic beverages. The business owner shall at all times maintain records which reflect separately the gross sale of food and the gross sale of alcoholic beverages. Said records shall be made available to the Los Angeles County Department of Regional Planning, the Department of Alcoholic Beverage Control, or the Los Angeles County Sheriff's Department on demand.
37. The **permittee** shall not advertise or hold any "happy hour" drink specials, "two for one" specials, or similar promotions.
38. Food service shall be continuously provided during operating hours.



CONDITIONAL USE PERMIT BURDEN OF PROOF

Pursuant to Zoning Code Section 22.56.040, the applicant shall substantiate the following:

(Do not repeat the statement or provide Yes/No responses. If necessary, attach additional pages.)

A. That the requested use at the location will not:

1. Adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area, or
2. Be materially detrimental to the use, enjoyment or valuation of property of other persons located in the vicinity of the site, or
3. Jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare.

The requested use at the location is for a pizza/pasta restaurant. There are no residential housing or places of worship within 2,000 meters of existing building.

B. That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this Title 22, or as is otherwise required in order to integrate said use with the uses in the surrounding area.

The site is adequate in size to accommodate all of the development features.

C. That the proposed site is adequately served:

1. By highways or streets of sufficient width, and improved as necessary to carry the kind and quantity of traffic such use would generate, and
2. By other public or private service facilities as are required.

The proposed site is adequately served by highways and streets. The kind of traffic that will be generated is already sufficiently paved and accessible.



Los Angeles County
Department of Regional Planning

Planning for the Challenges Ahead



ALCOHOLIC BEVERAGE SALES BURDEN OF PROOF

Pursuant to Zoning Code Section 22.56.195, the applicant shall substantiate the following:

(Do not repeat the statement or provide Yes/No responses. If necessary, attach additional pages.)

A. That the requested use at the proposed location will not adversely affect the use of a place used exclusively for religious worship, school, park, playground, or any similar use within a 600-foot radius.

It will not adversely affect any religious worship, school, park, playground, there are none within a 600-foot radius.

B. That the requested use at the proposed location is sufficiently buffered in relation to any residential area within the immediate vicinity so as not to adversely affect said area.

There are no residential areas within the immediate vicinity, therefore the proposed use will not adversely affect any residential areas.

C. The requested use at the proposed location will not result in an undue concentration of similar premises; a separation of not less than 500 feet shall not be construed as undue concentration; provided, however, that the planning agency may find that the public convenience or necessity for an additional facility selling alcoholic beverages for off-site consumption, outweighs the fact that it is located within a 500-foot radius of any other facility selling alcoholic beverages for either on-site or off-site consumption, in which case the shelf space devoted to alcoholic beverages shall be limited to not more than five percent of the total shelf space in the establishment.

There are no other facility's selling alcoholic beverages within a 500-foot radius.

D. That the requested use at the proposed location will not adversely affect the economic welfare of the surrounding community.

There will be no adverse affect on the economic welfare in the community. The business will increase the economic welfare of the community.

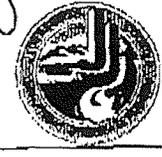
E. That the exterior appearance of the structure will not be inconsistent with the exterior appearance of commercial structures already constructed or under construction within the immediate neighborhood so as to cause blight, deterioration, or substantially diminish or impair property values within said neighborhood.

The exterior appearance of the structure is similar in appearance of other commercial structures in the area. It will not cause any blight, deterioration or impairment in surrounding property values.



To Rudy Silvas
 Fax 213-626-0434

Page 1 of 2



Los Angeles County
DEPARTMENT OF REGIONAL PLANNING
 320 West Temple Street, 13th Floor
 Los Angeles, CA 90012

Transmittal: Crime & License Statistics Request

TO	ABC Office	Service Area	Phone	Fax
<input type="checkbox"/>	Inglewood	Southern and Western LA County	310-412-6311	310-673-4082
<input checked="" type="checkbox"/>	Long Beach/ Lakewood	Southeastern LA County	562-982-1337	562-982-1396
<input type="checkbox"/>	LA Metro	Central LA County	213-833-6043	213-833-6058
<input type="checkbox"/>	Monrovia	Northeastern LA County	626-256-3241	626-357-4173
<input type="checkbox"/>	Van Nuys	North and Northwestern LA County	818-901-5017	818-785-6731

We are processing a Conditional Use Permit (CUP) to authorize the sale of alcoholic beverages. Please provide (by fax or e-mail) a "B&P Worksheet" referencing if the subject property is located within a "high-crime reporting district" and indicate if there is an undue concentration of alcoholic beverage licenses within the subject census tract. If you need further information, please contact the case planner. Thank you for your assistance.

	License Type	Description
<input type="checkbox"/>	Off-Sale Beer and Wine (Retail)	Type 20: Sale of beer and wine for consumption off-site.
<input type="checkbox"/>	Off-Sale General (Retail)	Type 21: Sale of beer, wine and distilled spirits for consumption off-site.
<input type="checkbox"/>	On-Sale Beer & Wine (Bar, Tavern, Club)	Type 42: Sale of beer and wine for consumption on site.
<input type="checkbox"/>	On-Sale General (Bar, Tavern, Club)	Type 48: Sale of beer and wine and distilled spirits for consumption on-site.
<input checked="" type="checkbox"/>	On-Sale Beer & Wine (Restaurant)	Type 41: Sale of beer and wine for consumption on-site.
<input type="checkbox"/>	On-Sale General (Restaurant)	Type 47: Sale of beer, wine and distilled spirits for consumption on-site.
<input type="checkbox"/>	Other (Describe)	

TODAY'S DATE: December 14, 2011
 CASE PLANNER: Rudy Silvas
 E-MAIL: rsilvas@planning.lacounty.gov FAX: 213-626-0434
 PROJECT NO.: R2009-00690 CUP NO.: 2010 00097
 ESTABLISHMENT: EATALIAN CAFÉ
 LOCATION: 15500 S BROADWAY ST., UNINCORP. GARDENA
 LICENSE OWNER'S NAME(S): Antonio Pellini will submit his application this month
 ABC LICENSE NO.: N/A

xg 2

23958.4 B & P APPLICATION WORK SHEET

PREMISES ADDRESS:

15500 S Broadway ST
Gardena (unincorporated)

LICENSE TYPE: 41

1. 90 day rule applies: Yes / No (if yes, no stats or PC or N required)

2. CRIME REPORTING DISTRICT

Jurisdiction unable to provide statistical data.

Reporting District: 2871

Total number of reporting districts: 374

Total number of offenses: 56,753

Average number of offenses per district: 151.74

120% of average number of offenses: 182.1

Total offenses in district: 203

Location is within a high crime reporting district: (Yes) No

3. CENSUS TRACT / UNDUE CONCENTRATION

Census Tract: 189

Population: 1166 / County Ratio 1.1147

Number of licenses allowed: 2

Number of existing licenses: 2

Undue concentration exists: (Yes) No

Letter of public convenience or necessity required: Governing Body / (Applicant)

Three time publication required: (Yes) No

Person Taking Application

Investigator

Supervisor

Over



Los Angeles County
Dept. of Regional Planning
320 W. Temple St., #1346
Los Angeles, CA 90012



COMMENTS REQUESTED WITHIN 30 DAYS OF 12/14/11

DATE: December 14, 2011

TO: COMPTON SHERIFF STATION
ATTN: CAPTAIN DIANE WALKER

FAX: (310) 605-6529

FROM: Rudy Silvas, Principal Regional Planning Assistant
Los Angeles County Department of Regional Planning
Phone: (213) 974-6462 Fax: (213) 626-0434
Email: rsilvas@planning.lacounty.gov

SUBJECT: Conditional Use Permit Application for the Sale of Alcoholic Beverages
Project: R2009-00690
Case: CUP 2010 00097 (NEW)
Establishment: EATALIAN CAFE
Location: 15500 S. BROADWAY ST., UNINCORP. GARDENA
APN: 6129-006-030

Request: To authorize the sale of alcoholic beverages (Type 41 beer/wine on-site) in association with a previously authorized restaurant (PP 200900497), located in the M-1 zone, West Rancho Dominguez CSD, Victoria Zoned District, Gardena. LID exempt. CE Class 1.

Regional Planning is considering a request for the sale of alcoholic beverages. Please indicate if the Sheriff's Dept. has objections to authorizing this request.

Crime Analyst: Please provide a service call and crime history report for the project site over the last five years.

Watch Captain: Please provide any comments on or recommendations for the proposed project. Please indicate if the Sheriff's Dept. has objections to authorizing this request.

Thank you for your valuable input.



County of Los Angeles
Sheriff's Department Headquarters

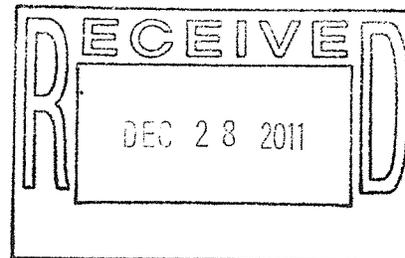
4700 Ramona Boulevard
 Monterey Park, California 91754-2169



Erroy D. Baca, Sheriff

December 23, 2011

Los Angeles County Department of Regional Planning
 320 West Temple Street, #1346
 Los Angeles, California 90012



Los Angeles County Department of Regional Planning;

Thank you for your recent correspondence regarding the Conditional Use Permit Application for the sale of alcoholic beverages (Type 41 beer/wine on-site) at Eatalian Café, 15500 South Broadway Street, Unincorporated Gardena. It has been reviewed by Lieutenant Stuckey.

While the Los Angeles County Sheriff's Department makes no policy recommendations on such issues, below are the service calls January 1, 2007 to December 10, 2011.

Incident Reports	Total
Grand Theft: From Building	1
Weapon Laws: Shooting, Unlawful	1
Total	2
Calls for Service	
Illegal Parking	1
Speeding or Racing of Vehicle(s)	1
Suspicious Circumstances (open window/door)	1
Abandoned Vehicle	1
Disturbance (family)	1
Disturbance (business)	1
Burglary (attempt)	4
Burglary (reported)	2
Grand Theft Auto	1
Shooting at an inhabited dwelling	1
Total	14

A Tradition of Service Since 1850

As such, the Los Angeles County Sheriff's Department currently voices no objections to the proposed change.

Should you have any questions, comments or concerns regarding this matter, please do not hesitate in contacting me at (310)605-6500.

Sincerely,

LERON D. BACA, SHERIFF

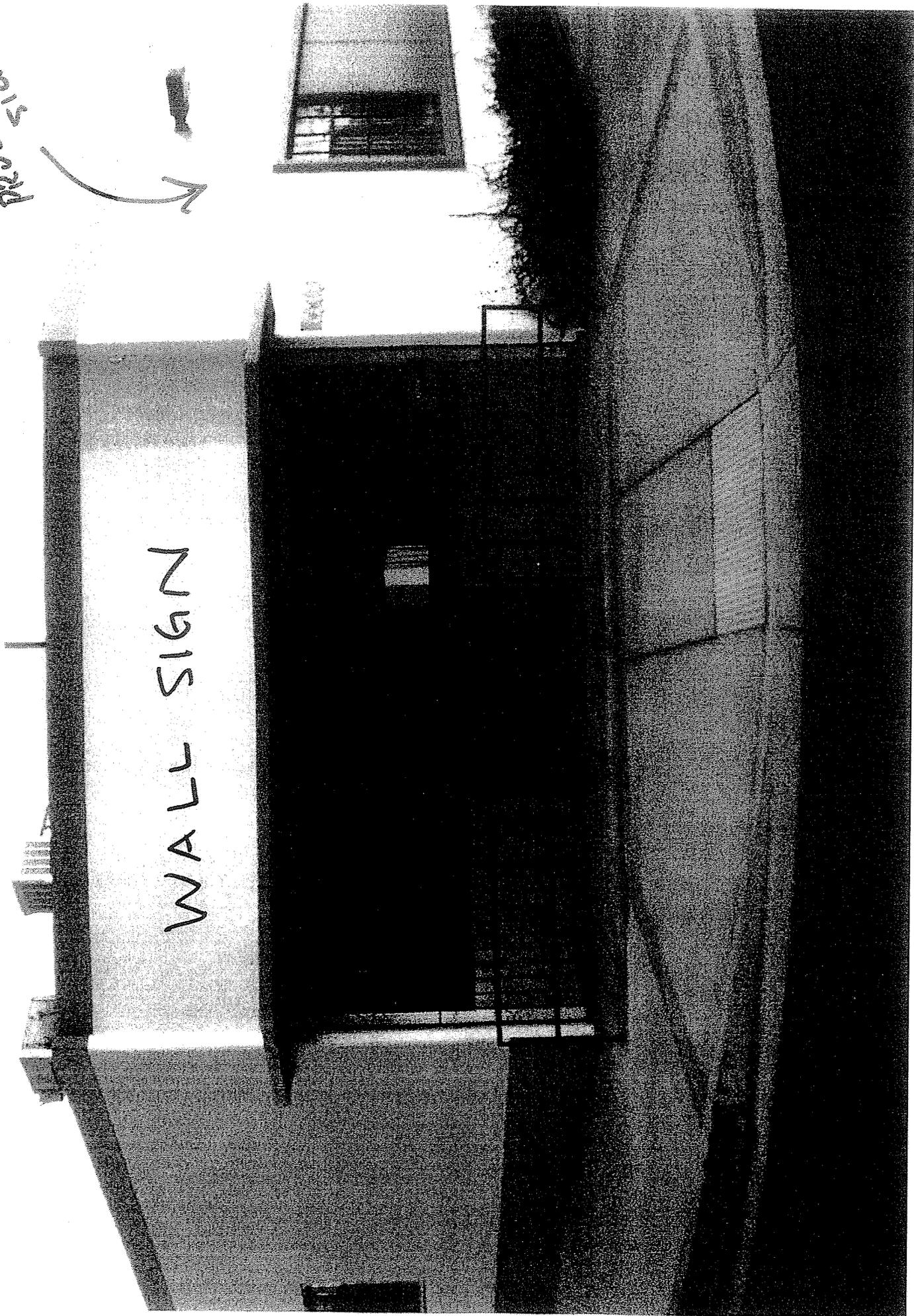
A handwritten signature in cursive script, appearing to read "Diane Walker", is written over the typed name "LERON D. BACA, SHERIFF".

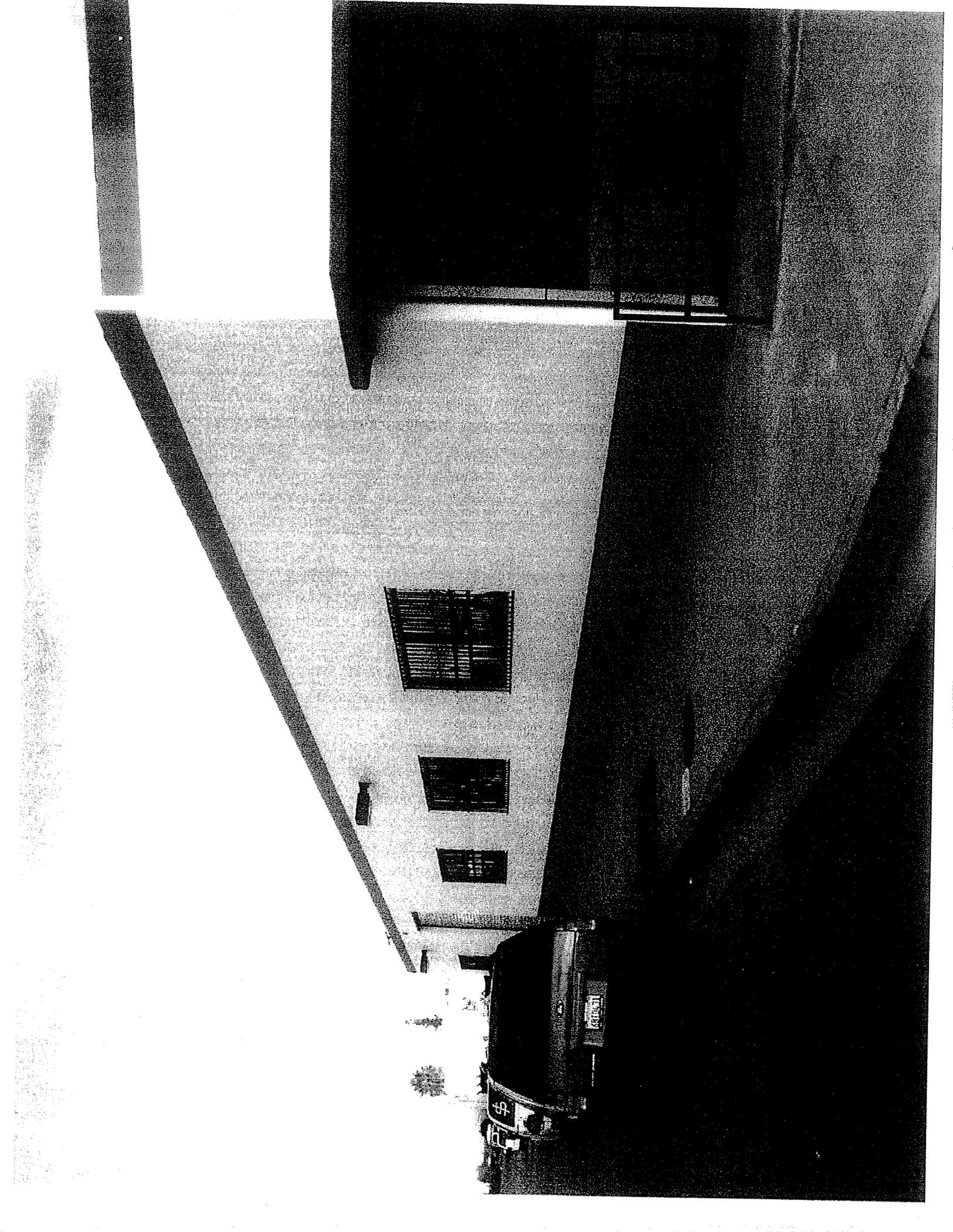
Diane E. Walker, Captain
Compton Sheriff's Station

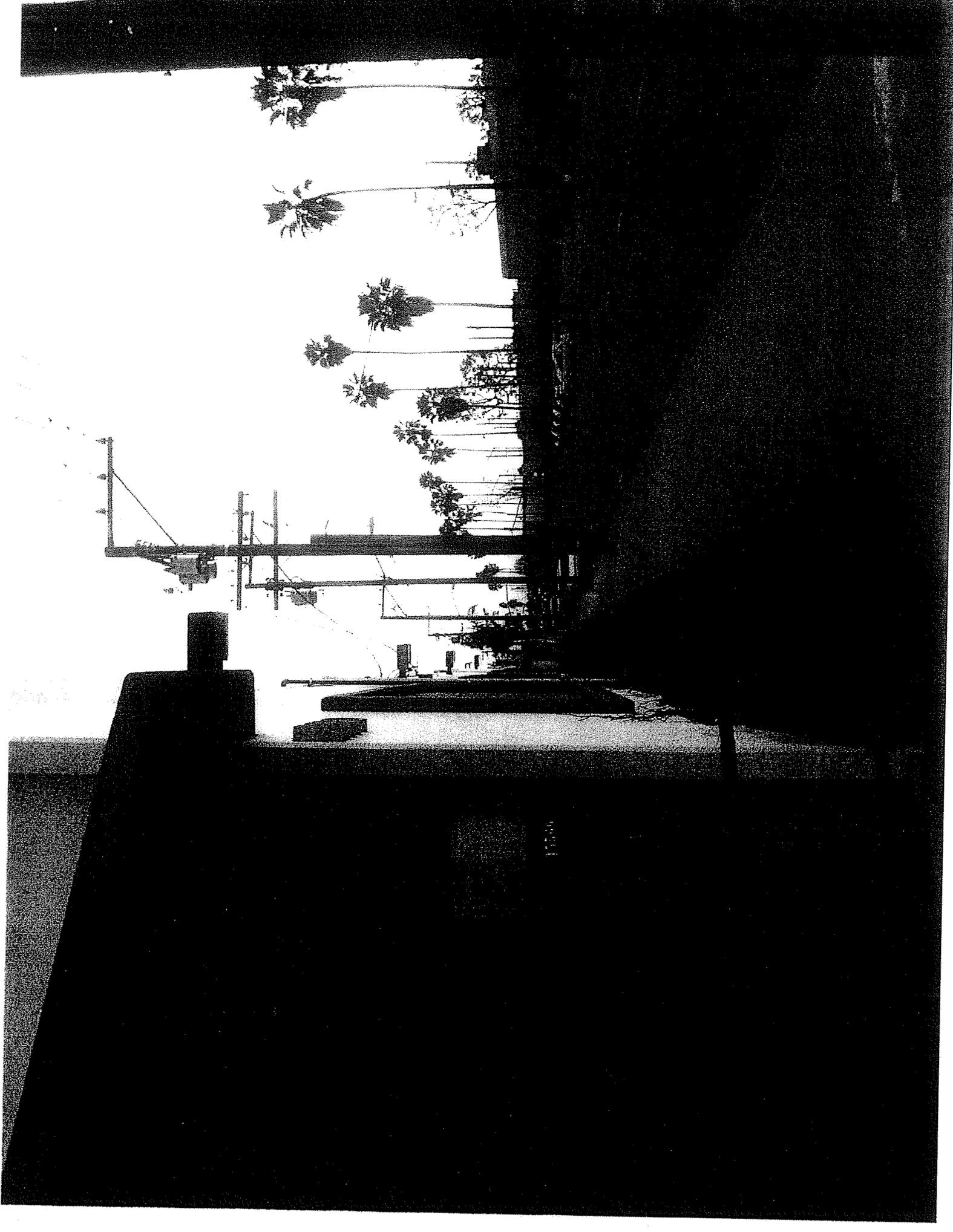
people's lead

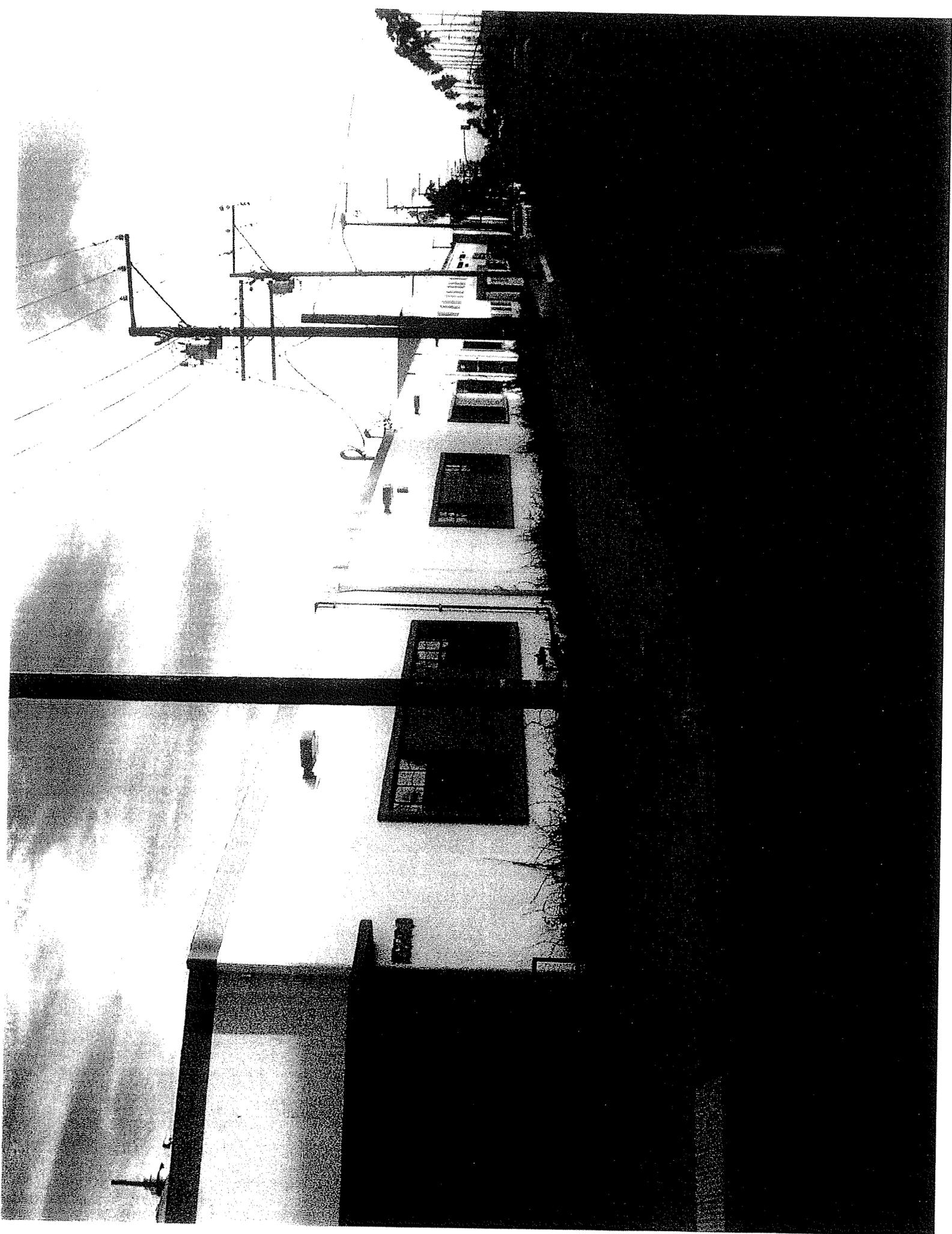


WALL SIGN









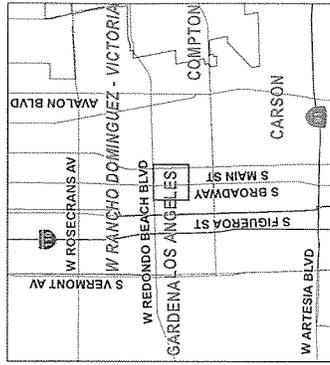
LAND USE

**LAND USE 500 FT.
RADIUS MAP / SENSITIVE
USES - 600 FT. RADIUS**
Proj. R2009-00690 (2)
RCUP 2010-00097

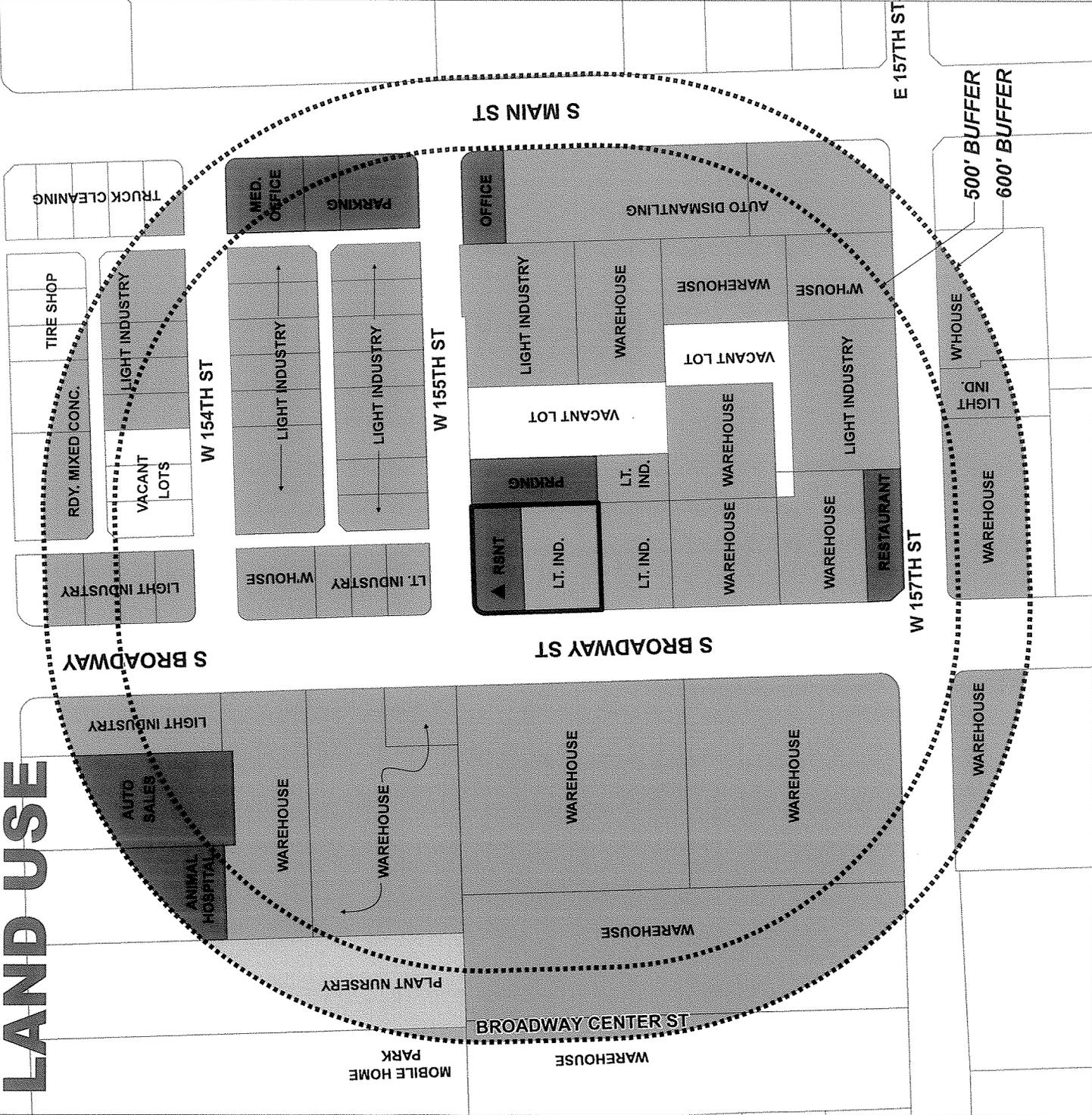
Legend

- ▲ ON-SITE ALCOHOL CONSUMPTION
- MULTI-FAMILY RESIDENCE
- COMMERCIAL
- LIGHT AGRICULTURE
- LIGHT INDUSTRY
- VACANT

VICINITY MAP



LOS ANGELES COUNTY
Department of Regional Planning
320 W. Temple St.
Los Angeles, CA 90012



500' BUFFER
600' BUFFER

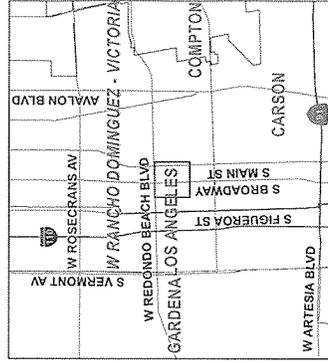
ZONING 500 FOOT RADIUS MAP

Proj. R2009-00690 (2)
RCUP 2010-00097

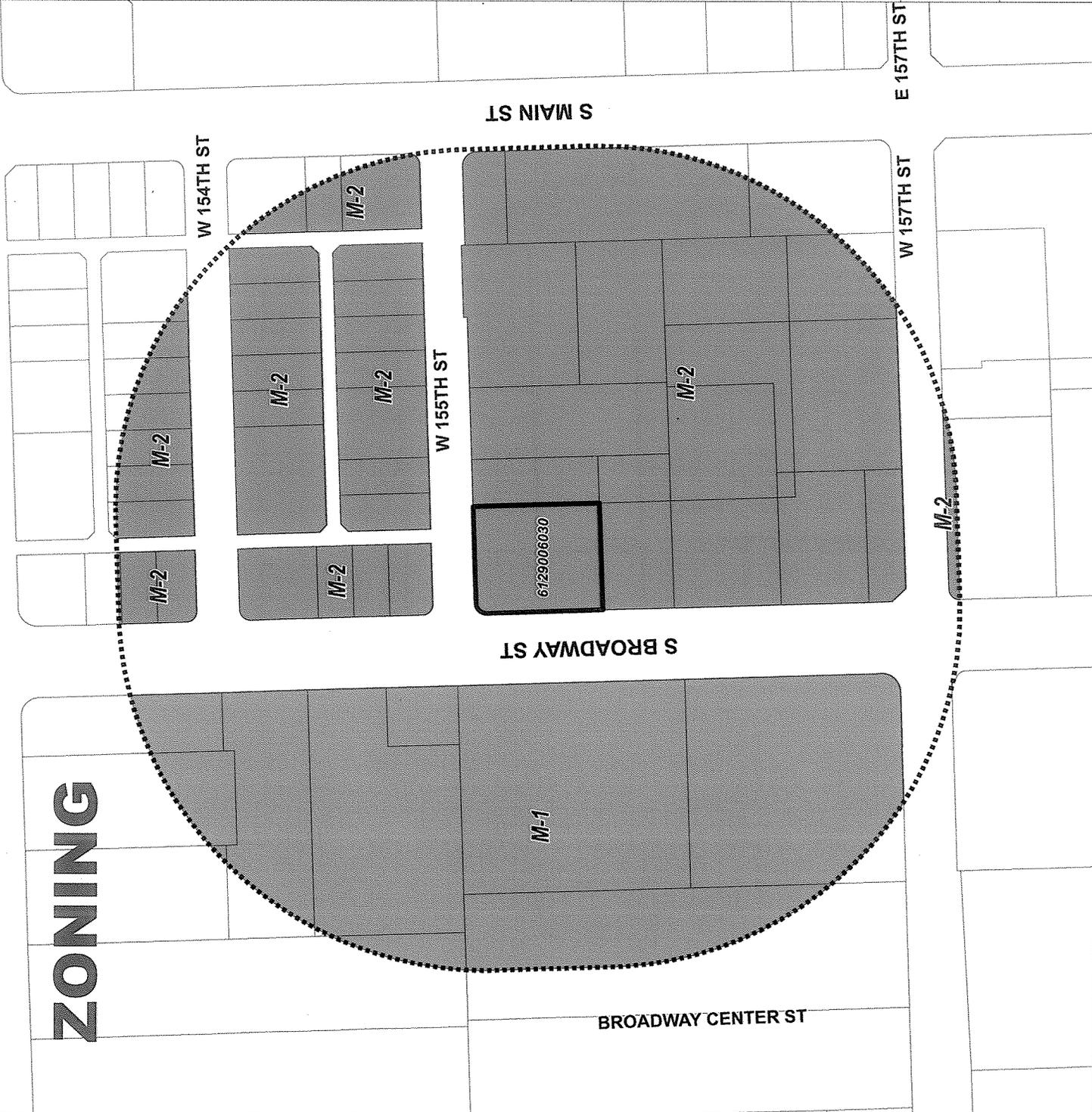
Legend

-  M-1 - LIGHT MANUFACTURING
-  M-2 - HEAVY MANUFACTURING

VICINITY MAP



LOS ANGELES COUNTY
Department of Regional Planning
320 W. Temple St.
Los Angeles, CA 90012



FATALIAN Cafe

BUILDING DATA :

SCOPE OF PROJECT : CHANGE OF OCCUPANCY FROM FURNITURE STORE TO MERCHANDISE / FACTORY

NEW OCCUPANCY GROUP : M, F-1, S-2

TYPE CONSTRUCTION : MB, FPE SPRINKLER

TOTAL AREA OF BUILDING : 12,800 SF.

NET AREA : 4,200 SF (shaded)

PLUMBING CODE : 2008 L.A. COUNTY CODES

ALLOWABLE AREA : 4,950 / 12,800 + 5,150 / 18,000 + 3,835 / 26,000 = .63 < 1

BUILDING CODE : 2008 L.A. COUNTY CODES

PLUMBING FIXTURES BASE ON SECTION 412 OF THE PLUMBING CODE

OCCUPANCY LOAD :

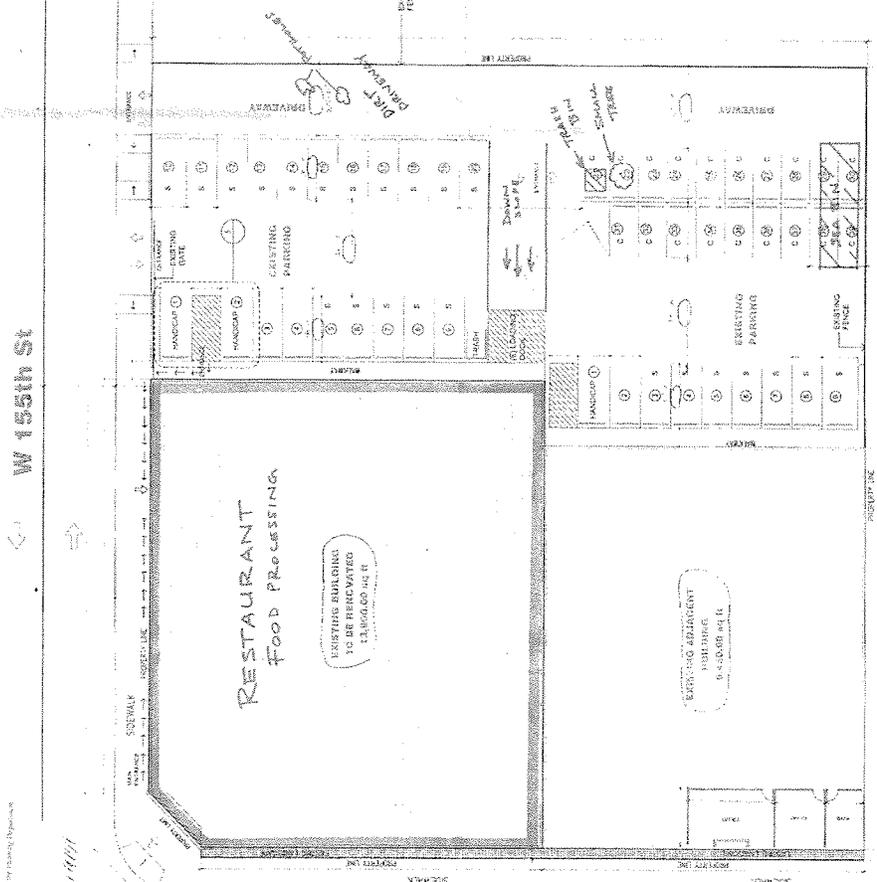
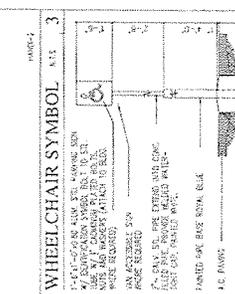
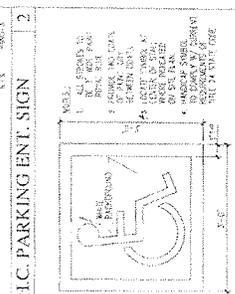
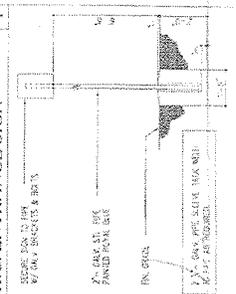
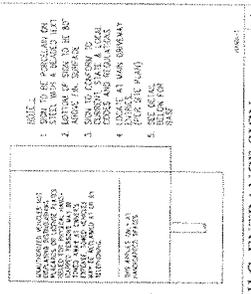
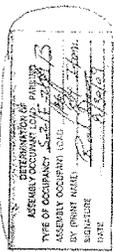
4,905 / 200 + 5,150 / 2,000 + 3,835 / 5,000 = 29

REQUIRED FIXTURES :

MALE : 2 WATER CLOSETS, 2 SINKS

FEMALE : 2 WATER CLOSETS, 2 SINKS

1 DRINKING WATER FOUNTAIN



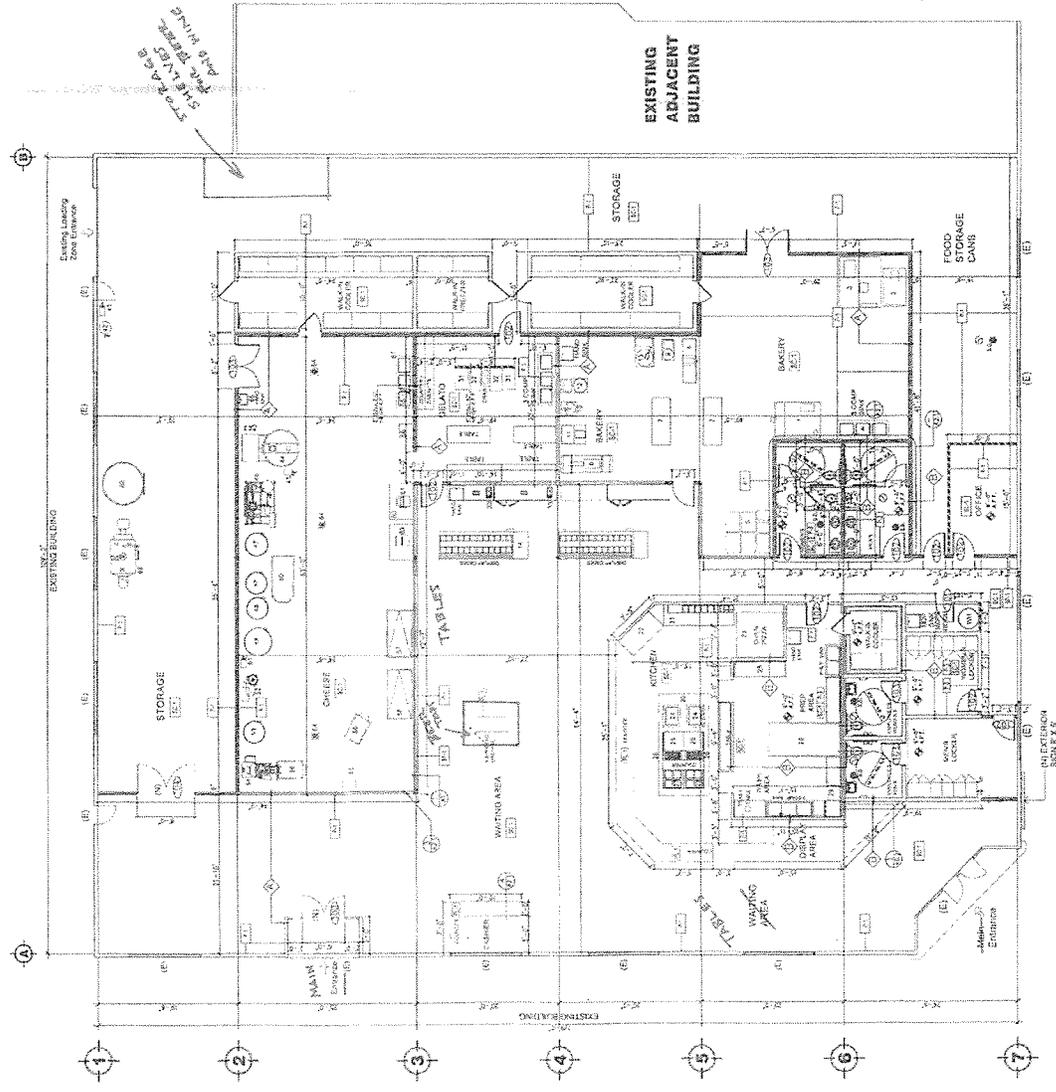
LEGEND

- 5 = STANDARD PARKING SPACE
- C = COMPACT PARKING SPACE

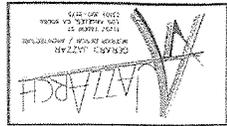
1. This plan was prepared by the undersigned for the purpose of showing compliance with the applicable laws, rules and regulations of the City of Gardena, California, and the State of California, and is not to be construed as a guarantee of the accuracy of the information contained herein. The undersigned is not responsible for the accuracy of the information contained herein, nor for the consequences of any action taken based on this plan. The undersigned is not responsible for the accuracy of the information contained herein, nor for the consequences of any action taken based on this plan. The undersigned is not responsible for the accuracy of the information contained herein, nor for the consequences of any action taken based on this plan.

Ref 2010 08977

Eatalian Cafe



DATE	1/15/10
BY	...
REVISION	...



FLOOR PLAN / FINISH FLOOR PLAN
 15500 S BROADWAY
 GARDENA, CA 90248
EATALIAN CAFE

DATE	JUNE 20, 2009
BY	...
REVISION	...

A.2

BAKERY EQUIPMENT

1. BAKERY OVEN
2. COFFIN BREAD PANS
3. ROLLER BRIDGE PROFFER
4. SINK 3 COMPARTMENTS
5. CASES
6. CORNETH MACHINE
7. TABLE
8. MANUAL DOUGH SHEETER
9. PLANETARY MIXER
10. DOUGH DIVIDER
11. DOUGH FEEDER
12. PASTA COOK
13. PORK MIXER
14. DISPLAY CABINET

KITCHEN EQUIPMENT

21. PIZZA PREP TABLE
22. PIZZA PREP TABLE
23. PIZZA OVEN
24. CONVECTION OVEN
25. BURNER
26. HOT PLATE
27. PASTA COOK
28. HOT WATER
29. HOOD TYPE DISHWASHER
30. HOOD

GELATO EQUIPMENT

31. BATCH HEAT TREATMENT
32. BATCH ICE CREAM FREEZER
33. WHIPPED CREAM DISPENSER

CHEESE EQUIPMENT

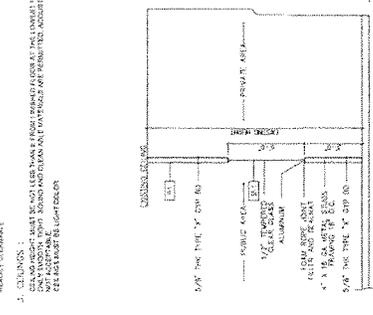
34. PRINCIPAL DISCHARGES
35. SECONDARY DISCHARGES
36. FLOOR INCLINATION LINES
37. WALLS TO REALIZE
38. CONSTANT LEVEL TANK
39. MILK FORWARDING BRW PUMP TO REFRIGERATOR
40. BAG FILTER
41. MILK REFRIGERATOR 1600 LT
42. MILK FORWARDING DRW PMP TO PASTEURIZER
43. MILK PASTEURIZER 1600 LT/11
44. MILK COAGULATOR VAT 400 LT
45. COAGULATION VAT 400 LT
46. RICOTTA VAT 800 LT
47. DRAINAGE TABLE
48. WHEY DRIVEN PUMP
49. SEPARATOR WITH FEEDING BATH
50. HOT WATER PRODUCTION VAT 500 LT
51. HOT WATER PRODUCTION VAT 500 LT
52. DRUM TRAY COLLECTING TROLLEY
53. HANGING BATH
54. SANDING BATH
55. WASHING TABLE
56. PACKAGING MACHINE
57. ENHAST WHRY TANK 5000 LT
58. VACUUM PACKAGING MACHINE
59. SHAMBE WATER MANHOLE
60. HAND SINK
61. 3-COMP. SINK
62. STRAM GENERATOR
63. ELECTRO-COMPRESSOR

MATERIALS & FINISH SCHEDULE

CODE	MATERIAL	MANUFACTURER	SPECIFICATION
P-1	INTERIOR (EXTERIOR WALL)	TO BE DETERMINED BY OWNER	1/2" MIN. WHITE BRICK MASONRY WITH 1/2" MIN. POLYURETHANE INSULATION
P-2	FLOOR (INTERIOR)	TO BE DETERMINED BY OWNER	1/2" MIN. WHITE BRICK MASONRY WITH 1/2" MIN. POLYURETHANE INSULATION
P-3	FLOOR (OFF. TO CEILING)	TO BE DETERMINED BY OWNER	1/2" MIN. WHITE BRICK MASONRY WITH 1/2" MIN. POLYURETHANE INSULATION
P-4	FLOOR (OFF. TO CEILING)	TO BE DETERMINED BY OWNER	1/2" MIN. WHITE BRICK MASONRY WITH 1/2" MIN. POLYURETHANE INSULATION
PL-1	PLASTER (INTERIOR)	TO BE DETERMINED BY OWNER	1/2" MIN. WHITE BRICK MASONRY WITH 1/2" MIN. POLYURETHANE INSULATION
SC-1	CEILING (CONCRETE)	TO BE DETERMINED BY OWNER	1/2" MIN. WHITE BRICK MASONRY WITH 1/2" MIN. POLYURETHANE INSULATION
SP-1	INTERIOR GLASS (PARTITIONS)	TO BE DETERMINED BY OWNER	1/2" MIN. WHITE BRICK MASONRY WITH 1/2" MIN. POLYURETHANE INSULATION

CONSTRUCTION REQUIREMENTS FOR SMALL FROZEN MILK PRODUCTS PLANTS.

- FLOORS SHALL BE CONCRETE ON GRAVEL OR SAND. ALL FLOORS SHALL BE FINISHED WITH A POLISHED CONCRETE OR POLISHED TERRAZZO. ALL FLOORS SHALL BE FINISHED WITH A POLISHED CONCRETE OR POLISHED TERRAZZO. ALL FLOORS SHALL BE FINISHED WITH A POLISHED CONCRETE OR POLISHED TERRAZZO.
- ALL WALLS SHALL BE CONCRETE ON BLOCK OR BRICK. ALL WALLS SHALL BE FINISHED WITH A POLISHED CONCRETE OR POLISHED TERRAZZO. ALL WALLS SHALL BE FINISHED WITH A POLISHED CONCRETE OR POLISHED TERRAZZO.
- ALL CEILING SHALL BE CONCRETE ON TRUSS OR JOIST. ALL CEILING SHALL BE FINISHED WITH A POLISHED CONCRETE OR POLISHED TERRAZZO. ALL CEILING SHALL BE FINISHED WITH A POLISHED CONCRETE OR POLISHED TERRAZZO.
- ALL ROOF SHALL BE CONCRETE ON TRUSS OR JOIST. ALL ROOF SHALL BE FINISHED WITH A POLISHED CONCRETE OR POLISHED TERRAZZO. ALL ROOF SHALL BE FINISHED WITH A POLISHED CONCRETE OR POLISHED TERRAZZO.



GENERAL NOTES

- SEE EQUIPMENT LEGEND FOR KITCHEN, BAKERY, GELATO AND CHEESE AREA.
- PROOF WATER RESISTANT GYP. BO. AT ALL WALLS 5000 WITH STUCCO.
- PROOF WATER RESISTANT GYP. BO. AT ALL WALLS 5000 WITH STUCCO.
- PROOF WATER RESISTANT GYP. BO. AT ALL WALLS 5000 WITH STUCCO.
- PROOF WATER RESISTANT GYP. BO. AT ALL WALLS 5000 WITH STUCCO.
- METAL STUDS TO BE BY CALIFORNIA EXPANDED METAL PRODUCTS.
- SHOT PINS TO BE HILTI; L.A. RESEARCH REPORT NO. 02421.
- SUPPRESSED DRYSLIM BOARD CEILING TO BE JCS GYPSUM; CRP EX 1984.

NEW METAL STUDS WALL WITH 5/8" TYPE REFER TO SHEET AA FOR DOOR SCHEDULE AND TYPES

NEW METAL STUDS WALL WITH 5/8" TYPE REFER TO SHEET AA X

WATER RESISTANT GYP. BO. FLOOR TO CEILING - HEIGHT ABOVE FINISH FLOOR

NOTE DESIGNATOR / SEE FINISH SCHEDULE

FINISH DESIGNATOR / SEE FINISH SCHEDULE

12049-00610
REV 2010 0077

LOOR PLAN

SCALE: 1/8" = 1'-0"

DRAWING LEGEND

- EXISTING EXTERIOR & INTERIOR WALLS TO REMAIN
- NEW 2 X 4 STUD WALL
- NEW 2 X 6 STUD WALL
- CASING STEEL COLUMN D = 6"
- EXISTING WINDOWS & DOORS
- RENOVATION AREA
- SW. BR. SLANG

