

OWNER / APPLICANT

JOSE & ESPERANZA HURTADO
37539 90TH STREET EAST
LITTLE ROCK, CA. 93543

LEGAL DESCRIPTION

THE SOUTH 1/2 OF THE NORTH 1/2 OF THE NORTH 25 ACRES OF THE NORTHEAST 1/4 OF SECTION 31, TOWNSHIP 6 NORTH, RANGE 10 WEST, SAN BERNARDINO MERIDIAN, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND APPROVED BY THE SURVEYOR GENERAL.

PARKING REQUIREMENTS

ASSEMBLY USE: 1 PARKING FOR EVERY 3 OCCUPANTS
TOTAL STALLS REQUIRED = 67
TOTAL STANDARD STALLS PROVIDED = 117
TOTAL HANDICAP: 6 STALLS
TOTAL REGULAR: 111 STALLS

LANDSCAPE COVERAGE

REQUIRED = 2% OF LOT AREA (NET S.F.)
2% x 175,982 S.F. = 3,520 S.F.
PROVIDED = 4,300 S.F.
AREAS BETWEEN BLEACHERS & LANDSCAPE, AND AREAS BENEATH BLEACHERS, SHALL BE COVERED WITH D.G.

EXISTING EASEMENTS

- PER SCHEDULE B OF PRELIMINARY REPORT DATED SEPTEMBER 12, 2012 PREPARED BY CHICAGO TITLE COMPANY, ORDER NO. 126091503-H13.
- 30' WIDE EASEMENT IN FAVOR OF THE COUNTY OF LOS ANGELES FOR ROADWAY PURPOSES PER DOCUMENT RECORDED APRIL 23, 1925 IN BOOK 4940, PAGE 300 OF OFFICIAL RECORDS.
- 30' WIDE EASEMENT IN FAVOR OF THE COUNTY OF LOS ANGELES FOR PUBLIC ROAD AND HIGHWAY PURPOSES PER DOCUMENT RECORDED IN BOOK 4458, PAGE 13 OF OFFICIAL RECORDS.
- 20' WIDE EASEMENT IN FAVOR OF THE COUNTY OF LOS ANGELES FOR PUBLIC ROAD AND HIGHWAY PURPOSES PER DOCUMENT RECORDED MAY 9, 1961 IN BOOK D-1216, PAGE 116 OF OFFICIAL RECORDS.
- 32' WIDE EASEMENT FOR PUBLIC ROAD, INGRESS, EGRESS AND PUBLIC UTILITY PURPOSES PER DOCUMENT RECORDED SEPTEMBER 11, 1968 (NO BOOK, PAGE OR INSTRUMENT NO. PROVIDED); NO REPRESENTATION IS MADE AS TO THE PRESENT OWNERSHIP OF SAID EASEMENT.

LOT COVERAGE

(FOR RODEO SITE ONLY)
RODEO ARENA (PERVIOUS) = 30,000 S.F.
LANDSCAPE AREA (PERVIOUS) = 4,300 S.F.
D.G. COVERED AREA (PERVIOUS) = 2,913 S.F.
A.C. GRINDINGS (50% PERVIOUS) = 129,380 S.F.
RESTROOM BUILDING (IMPERVIOUS) = 445 S.F.
TRASH ENCLOSURE (IMPERVIOUS) = 140 S.F.
CONCRETE GUTTERS (IMPERVIOUS) = 3,854 S.F.
ASPHALT PAVING (IMPERVIOUS) = 1,250 S.F.
CONCRETE SIDEWALK (IMPERVIOUS) = 3,700 S.F.
IMPERVIOUS AREA = 74,073 S.F. OR 4.2%

PROJECT DESCRIPTION

CONSTRUCT 430,000 S.F. ARENA + BLEACHER SEATING AND PIPE CORRALS FOR RODEO EVENTS. CONSTRUCT 445 S.F. RESTROOM FACILITY AND ONSITE PARKING.

TOTAL OCCUPANT = 150 PER EVENT (1 SHIFT PER DAY)

PROJECT DATA

ASSESSOR PARCEL NUMBERS: 3042-024-027 (EXISTING RESIDENCE), 3042-024-028 (PROPOSED RODEO)
LOT SIZE: OVERALL SITE = 6.23 AC. (GROSS), EXISTING RESIDENCE = 1.97 AC. (GROSS) / 1.75 AC. (NET), PROPOSED RODEO = 4.26 AC. (GROSS) / 4.04 AC. (NET)
EXISTING ZONING: A-2-1
EXISTING USE: RESIDENTIAL / VACANT
PROPOSED USE: RESIDENTIAL/ASSEMBLY
FLOOD ZONE: X (COMMUNITY 065043) MAP NO. 060370703F

RODEO ARENA DESIGN CRITERIA

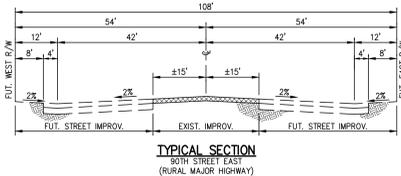
CONSTRUCTION TYPE: II-B
OCCUPANCY: A
FIRE SPRINKLERS: NONE
RESTROOM DESIGN CRITERIA
CONSTRUCTION TYPE: II-B
OCCUPANCY: U
FIRE SPRINKLERS: NONE

UTILITIES

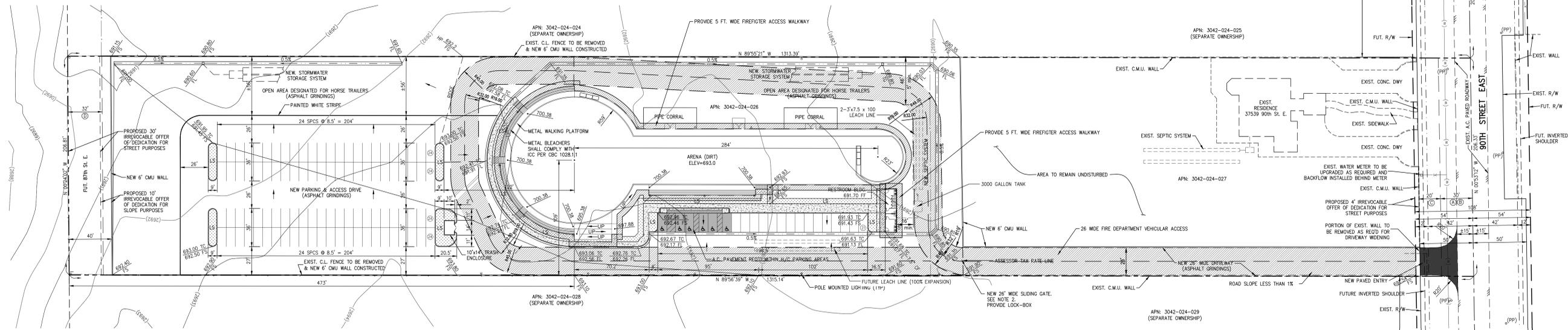
POWER: SOUTHERN CALIFORNIA EDISON
GAS: SOUTHERN CALIFORNIA GAS COMPANY
TELEPHONE: AT&T
TELEVISION: TIME WARNER
SEWER: PRIVATE SEPTIC
**WATER: LA. COUNTY WATER

WATER USAGE

BASE ON 2150 S.F. IRRIGATED LANDSCAPE ESTIMATED WATER USAGE WILL BE ± 2000 GPM PER MONTH
ESTIMATED WATER USAGE FOR RESTROOMS: 1125 GPM PER MONTH
ESTIMATED ANNUAL DEMAND = 0.32 ACRE-FEET / YEAR PER WATER SUPPLY ACQUISITION AGREEMENT SIGN 12/16/14



BENCH MARK: L 5181
ELEV. 2688.974
DPW BM TAG IN CB 300MM S/O
END @ SE COR 90TH ST E & AVE
R-8 19M E & 9.4 SO / C/L INT
BASELINE QUAD (1998 ADJUSTMENT)
NAVD 88 DATUM



SITE PLAN

FIRE DEPARTMENT NOTES

- NOTES:**
- EXCLUSIVE RIGHT AND LEFT TURNS ARE NOT REQUIRED AS NOTED IN THE TRAFFIC IMPACT STUDY PREPARED FOR THIS PROJECT BY ABC TRAFFIC INC., DATED DECEMBER 10, 2010.
 - NO STREET IMPROVEMENTS ARE REQUIRED FOR THIS PROJECT. ALL STREET IMPROVEMENTS ARE FUTURE.
 - NO SOILS REPORT WAS PREPARED FOR THIS PROJECT. ANY EARTHWORK QUANTITIES SHOWN HEREIN ARE BASED ON AN ASSUMED SHRINKAGE FACTOR. ANY SLAB ON GRADE STRUCTURE BUILT SHALL HAVE FOOTINGS THAT EXTEND A MINIMUM OF 2' INTO NATIVE SOIL.
 - PORTABLE RESTROOM FACILITIES SHALL BE PROVIDED FOR EACH SPECIAL EVENT HELD TO ACCOMMODATE MORE THAN 200 OCCUPANTS.
 - ALL NEW EXTERIOR LIGHTING SHALL BE DESIGNED TO MINIMIZE OFF-SITE ILLUMINATION AND GLARE BY REFLECTING LIGHT AWAY FROM ADJACENT PARCELS, PUBLIC AREAS, AND THE NIGHT SKY, USING SHIELDS AND HOODS SUCH THAT THE LIGHTING SOURCE IS NOT VISIBLE OUTSIDE THE SITE. LIGHTING SHOWN ON SITE PLAN IS A PRELIMINARY DESIGN. ONCE THE PROJECT IS APPROVED A MORE ACCURATE DESIGN WILL BE SUBMITTED FOR REVIEW AND APPROVAL.
 - NO SIGN DETAIL PROPOSED AT THIS TIME.
 - NO FIX COOKING FACILITIES PROVIDE. ALL FOOD TO BE PREPARED BY CATERING SERVICE.
 - THE DESIGN AND INSTALLATION OF OWIS SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THIS DEPARTMENT AND OTHER APPLICABLE REGULATORY AGENCIES. THE APPLICANT SHALL OBTAIN AUTHORIZATION FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ORDER TO PROCEED WITH THIS PROJECT.
 - LIMIT THE HOURS OF OPERATION TO 8:00 A.M. TO 10:00 P.M. THE APPLICANT, MR. JOSE ANTONIO HURTADO, INFORMED THIS DEPARTMENT THAT HE IS AGREEABLE TO IMPLEMENTATION OF THIS NIGHTTIME RESTRICTION.
 - ALL STANDARD CONSTRUCTION NOISE ATTENUATION MEASURES AND LIMITING HOURS OF CONSTRUCTION ACTIVITIES TO 7:00 A.M. TO 7:00 P.M. MONDAY-SATURDAY. CONSTRUCTION IS PROHIBITED ON SUNDAY AND LEGAL HOLIDAYS.
 - NO HIGH VOLTAGE LINE WITHIN 100 FEET OF PROPERTY LINE OR STRUCTURES.

- PROVIDE A MINIMUM UNOBSTRUCTED WIDTH OF 26 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES IN ACCORDANCE WITH SECTION 503.6, AND AN UNOBSTRUCTED VERTICAL CLEARANCE "CLEAR TO SKY" FIRE DEPARTMENT VEHICULAR ACCESS TO WITHIN 150 FEET OF ALL PORTIONS OF THE EXTERIOR BUILDING WALLS. FIRE CODE 503.2.1
- WHEN SECURITY GATES ARE PROVIDED, MAINTAIN A MINIMUM ACCESS WIDTH OF 26 FEET. THE SECURITY GATE SHALL BE PROVIDED WITH AN APPROVED MEANS OF EMERGENCY OPERATION, AND SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F220. FIRE CODE 503.6
- FIRE DEPARTMENT VEHICULAR ACCESS ROADS SHALL BE PROVIDED WITH A 32 FOOT CENTERLINE TURNING RADIUS. FIRE CODE 503.2.4
- THE GRADIENT OF FIRE DEPARTMENT VEHICLE ACCESS ROADS SHALL NOT EXCEED 15 PERCENT UNLESS APPROVED BY THE FIRE CODE OFFICIAL. FIRE CODE 503.2.7
- PROVIDE APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS NO PARKING - FIRE LANE. SIGNS SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS, TO CLEARLY INDICATE THE ENTRANCE TO SUCH ROAD, OR PROHIBIT THE OBSTRUCTION THEREOF, AS REQUIRED BY THE FIRE INSPECTOR. FIRE CODE 503.3
- FIRE DEPARTMENT VEHICULAR ACCESS ROADS SHALL BE HARD SCAPE ALL WEATHER ACCESS IN ACCORDANCE WITH THE DEPARTMENT'S ALL WEATHER ACCESS REQUIREMENTS. FIRE CODE 503.2.3
- GRADE BREAKS SHALL NOT EXCEED THE MAXIMUM ANGLE OF APPROACH OR DEPARTURE FOR FIRE DEPARTMENT APPARATUS, WHICH SHOULD NOT EXCEED A MAXIMUM 10 PERCENT IN 10 FEET. FIRE CODE 503.2.8
- FIRE DEPARTMENT VEHICULAR ACCESS ROADS MUST BE INSTALLED AND MAINTAINED IN A SERVICEABLE MANNER PRIOR TO AND DURING THE TIME OF CONSTRUCTION. FIRE CODE 501.4
- A MINIMUM 5 FOOT WIDE APPROVED PREFIREGHTER ACCESS WALKWAY LEADING FROM THE FIRE APPARATUS ACCESS ROAD TO THE BUILDING'S EXTERIOR OPENINGS SHALL BE PROVIDED FOR FIRE FIGHTING AND RESCUE PURPOSES. FIRE CODE 504.1
- THE LOCATION OF ALL OVERHEAD HIGH VOLTAGE TRANSMISSION LINES WITHIN 100 FEET OF ALL PROPERTY LINES SHALL BE SHOWN ON THE SITE PLAN. ANY PROPOSED CONSTRUCTION OR LAND USE WITHIN 100 FEET OF THE DRIP LINE OF HIGH VOLTAGE TRANSMISSION LINES SHALL BE SUBJECT TO REVIEW BY THE FIRE MARSHAL, COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATION 27 (68KV OR MORE)
- A KEY BOX SHALL BE PROVIDED AND MAINTAINED AT ANY GATES, IN ACCORDANCE WITH FIRE CODE 506, AND AS SET FORTH IN THE COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATION 5.1.
- BLEACHERS SHALL COMPLY WITH ICC 300 PER CBC 1028.1.1.

PRELIMINARY EARTHWORK ESTIMATE

RAW CUT = 1,875 C.Y.
RAW FILL = 1,705 C.Y.
APPROX. SHRINKAGE (10%) = 170 C.Y.
APPROXIMATE IMPORT/EXPORT = 0 C.Y.
ABOVE NUMBERS ARE BASED ON THE FOLLOWING:
3" THICK A.C. PAVEMENT OVER 4" THICK BASE MATERIAL
4" THICK P.C.C. SIDEWALK
2" THICK A.C. GRINDINGS

CUP# 200990015

PROJECT# R2006-02483

Design Consultant
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Project Information
RODEO ARENA
90th STREET EAST
LITTLE ROCK, CA.

Owner Information
JOSE ANTONIO HURTADO
37539 90TH ST, E,
LITTLE ROCK, CA.
93543

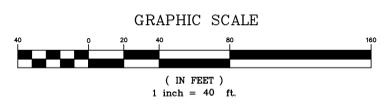
Sheet Description

SITE PLAN

#	DESCRIPTION	DATE

Project Number: 87-2009
Date: 10/26/12

Sheet
SP-1



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Project Information
RODEO ARENA
 90th STREET EAST
 LITTLEROCK, CA.

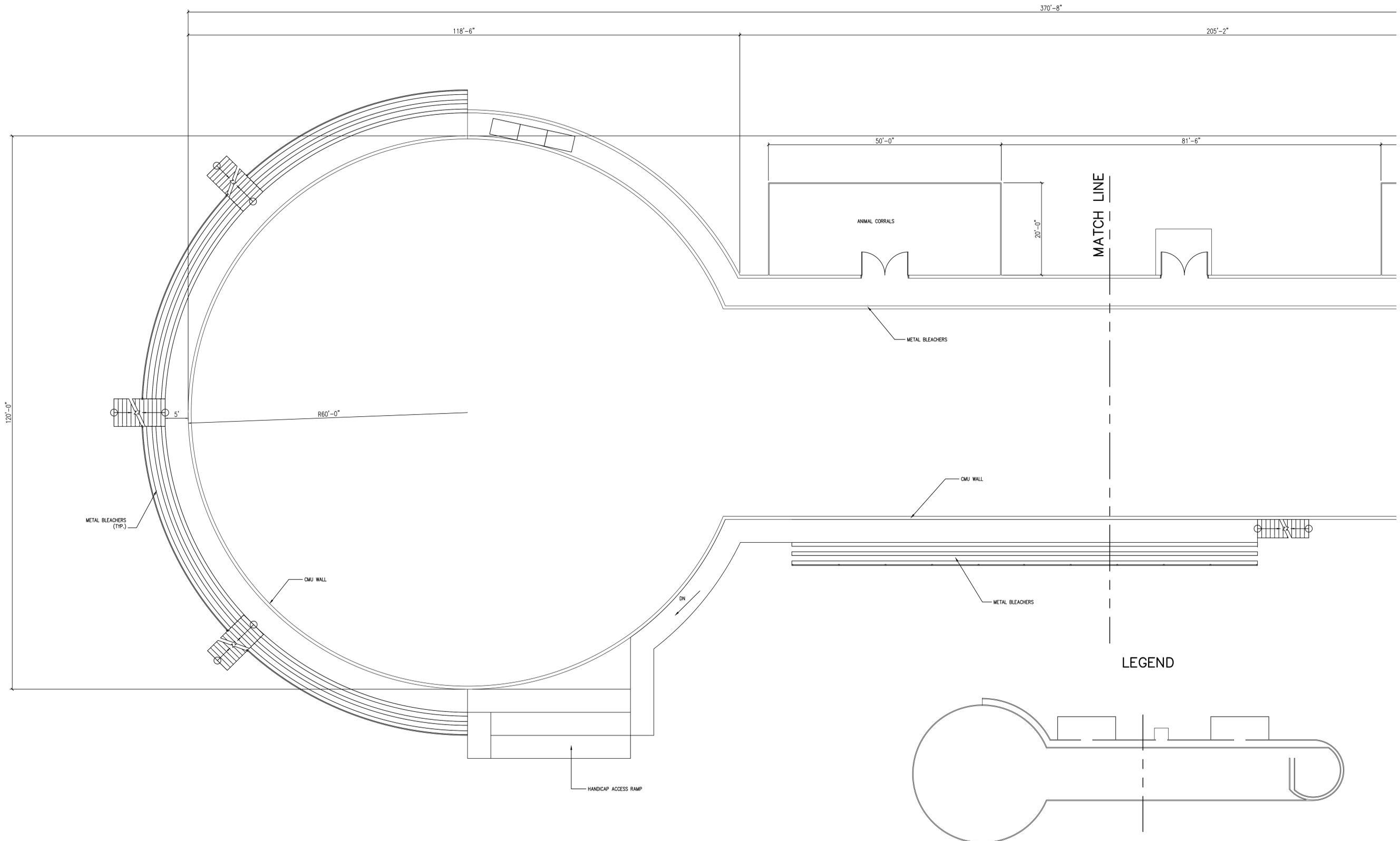
Owner Information
JOSE ANTONIO HURTADO
 37539 90TH ST, E,
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Sheet Description
ARENA FLOOR PLAN

REV	DESCRIPTION	DATE
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Project Number: 87-2009
 Date: 15/04/09
 File: 2009-SITE

Sheet
A-1.1



FLOOR PLAN
 SCALE = 1/8" = 1'-0"

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Project Information
RODEO ARENA
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 LITTLEROCK, CA.

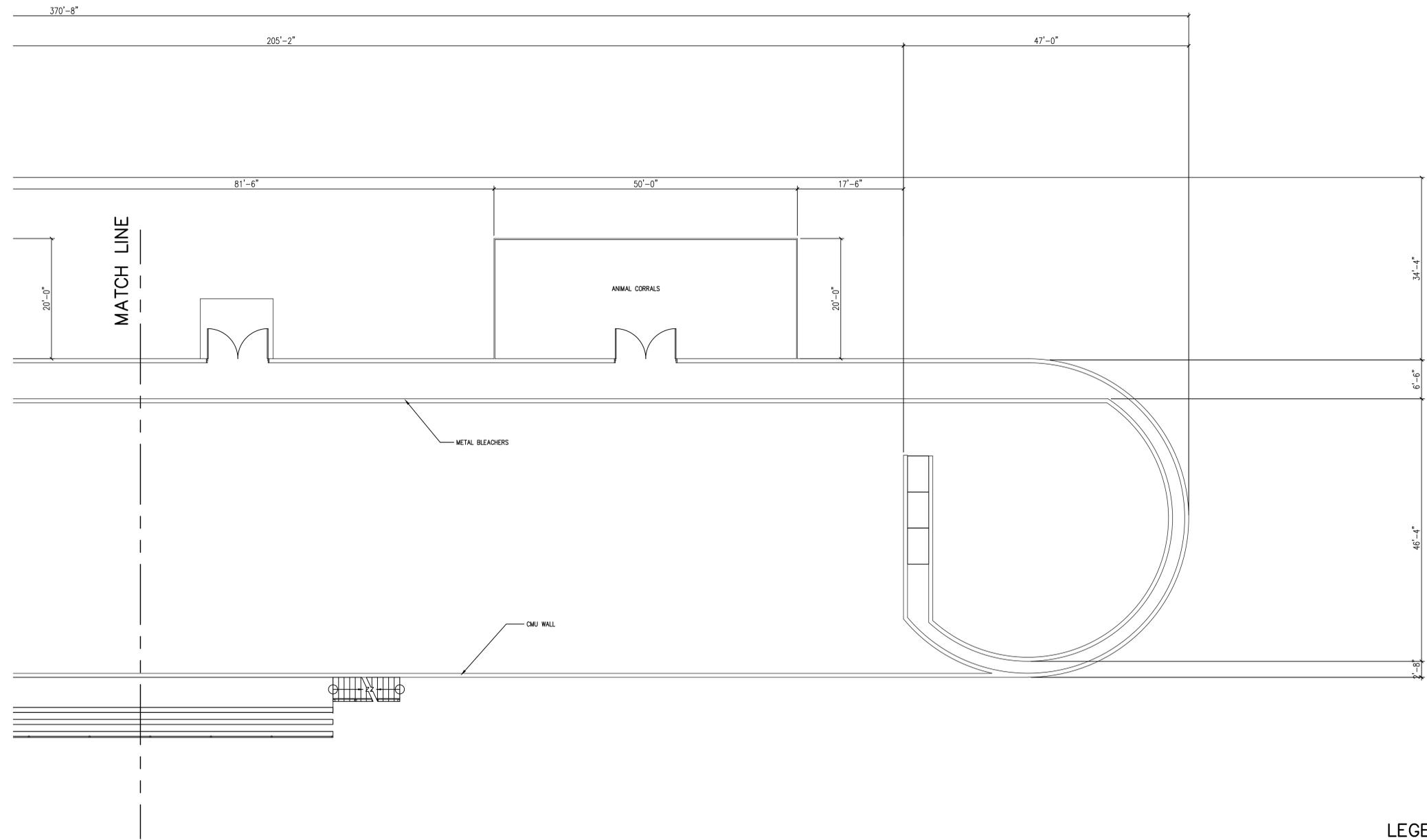
Owner Information
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Sheet Description
ARENA FLOOR PLAN

REV	DESCRIPTION	DATE
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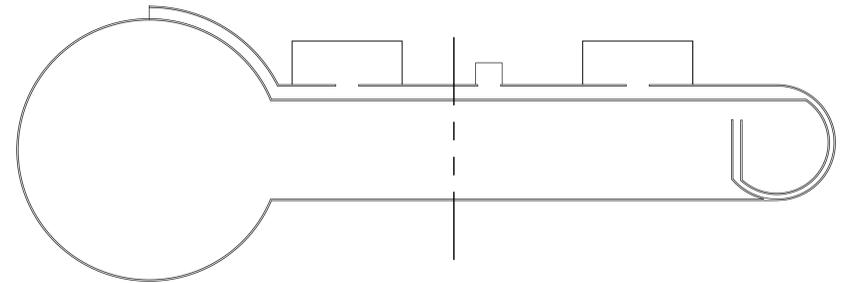
Project Number: 87-2009
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Sheet
A-1.2



FLOOR PLAN
 SCALE = 1/8" = 1'-0"

LEGEND



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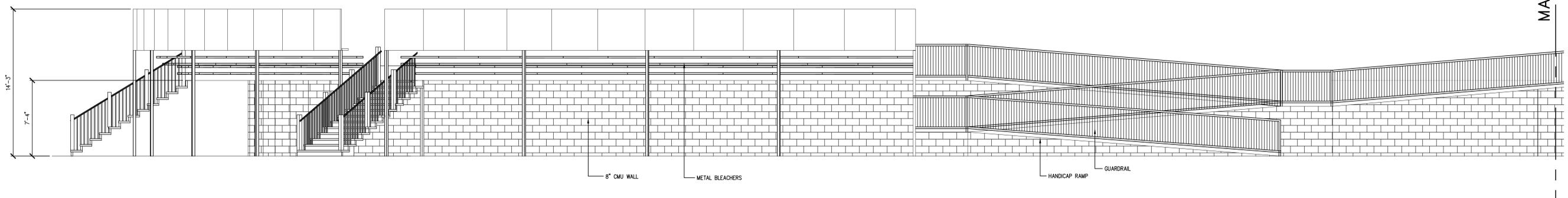
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EXTERIOR
 ELEVATION

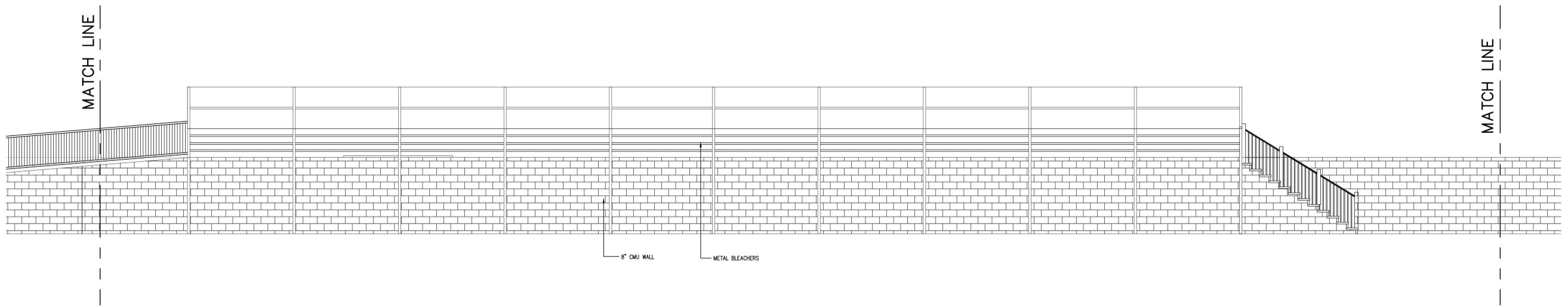
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Project Number: 07-2009
 Date: 15/04/09
 File: 2009-SITE

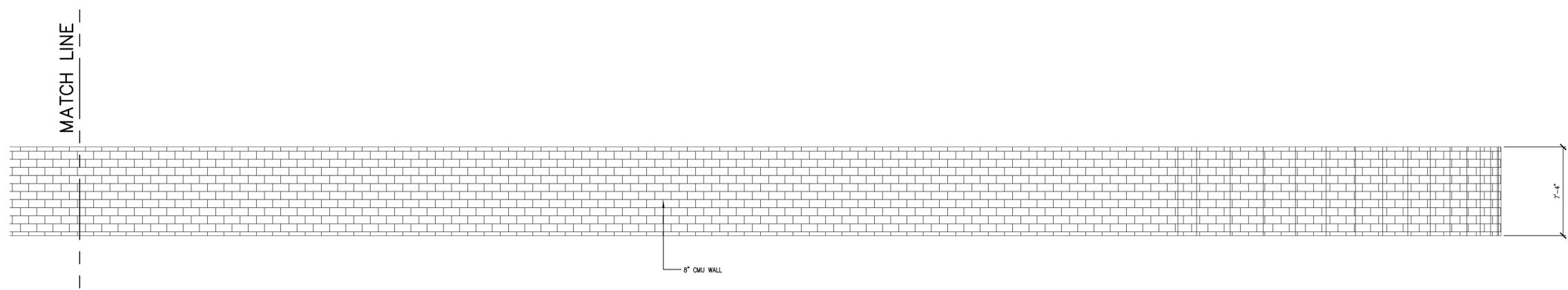
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A-2.1



SOUTH ELEVATION (WEST SECTION)
 SCALE = 1/4" = 1'-0"

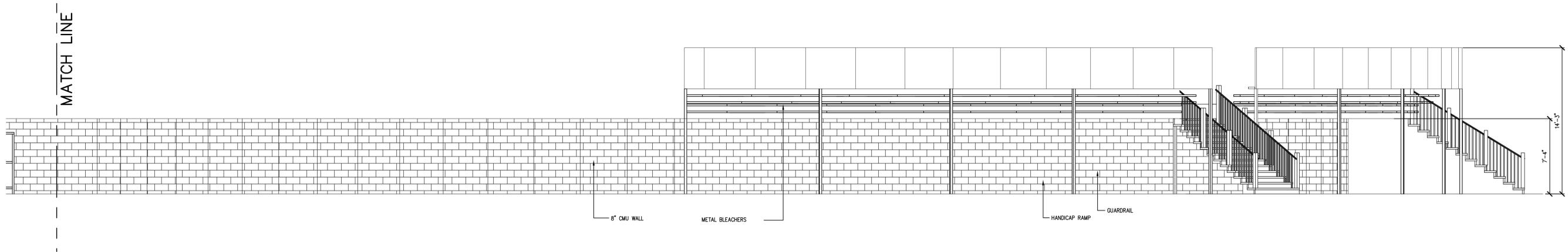


SOUTH ELEVATION (MIDDLE SECTION)
 SCALE = 1/4" = 1'-0"

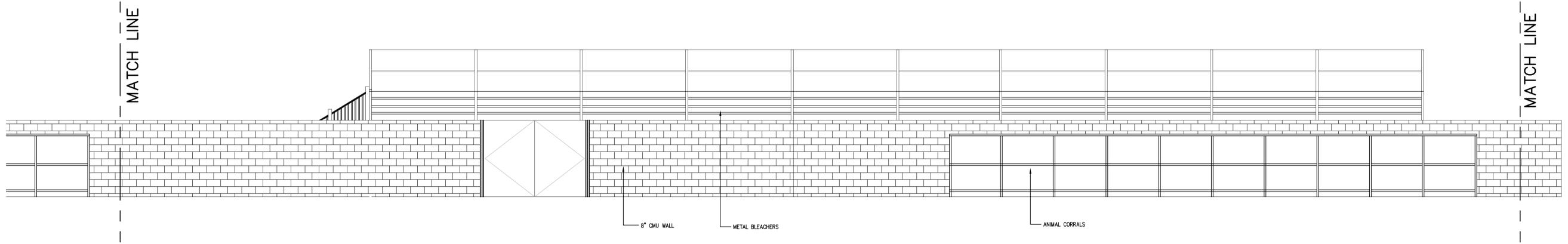


SOUTH ELEVATION (EAST SECTION)
 SCALE = 1/4" = 1'-0"

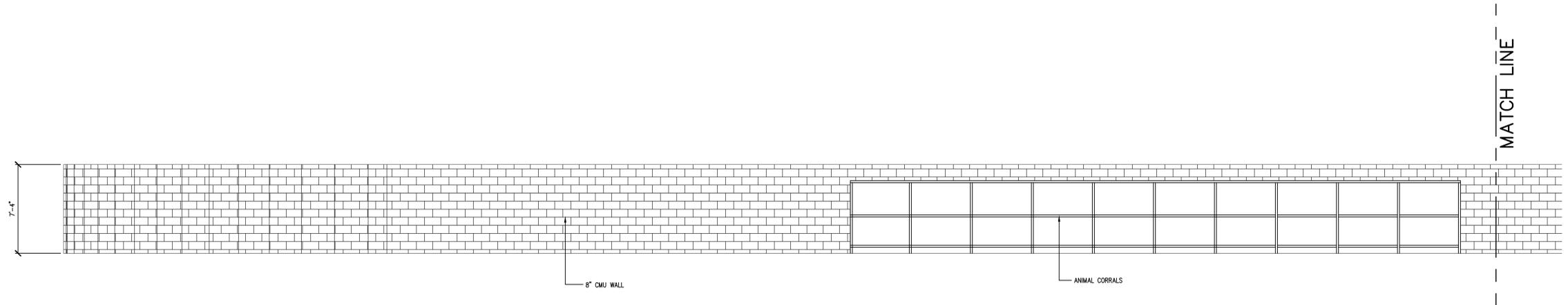
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NORTH ELEVATION (WEST SECTION)
 SCALE = 1/4" = 1'-0"



NORTH ELEVATION (MIDDLE SECTION)
 SCALE = 1/4" = 1'-0"



NORTH ELEVATION (EAST SECTION)
 SCALE = 1/4" = 1'-0"

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 90th STREET EAST
 LITTLE ROCK, CA.

Owner Information
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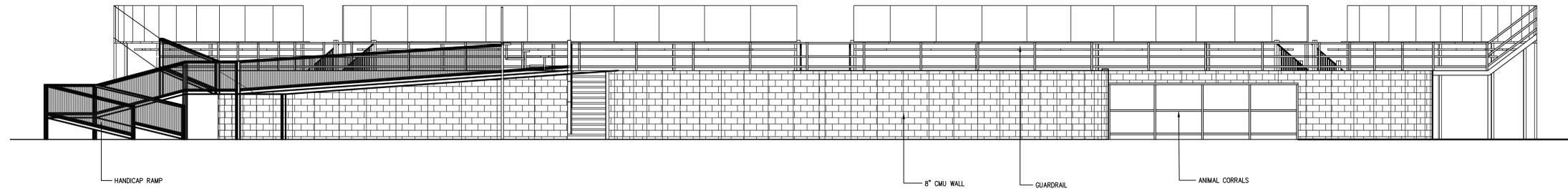
Sheet Description
 EXTERIOR
 ELEVATION

REV	DESCRIPTION	DATE
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Project Number: 07-2009
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A-2.2

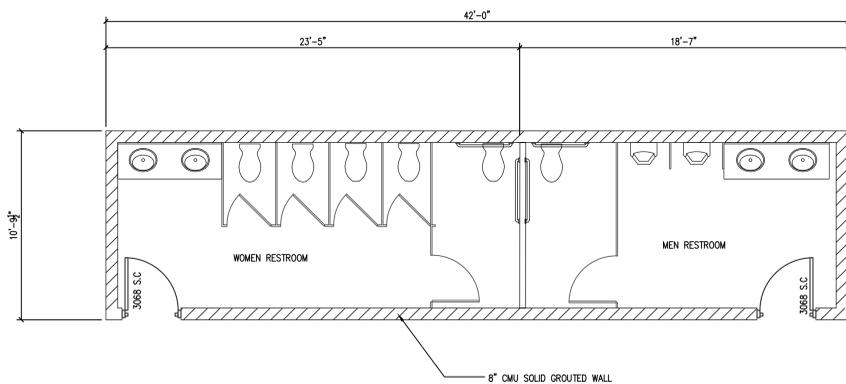
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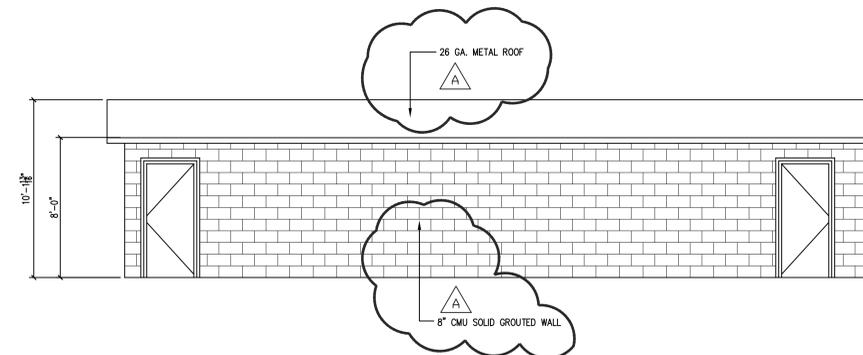
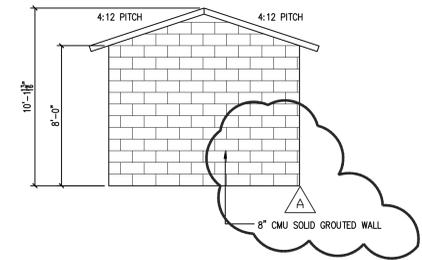
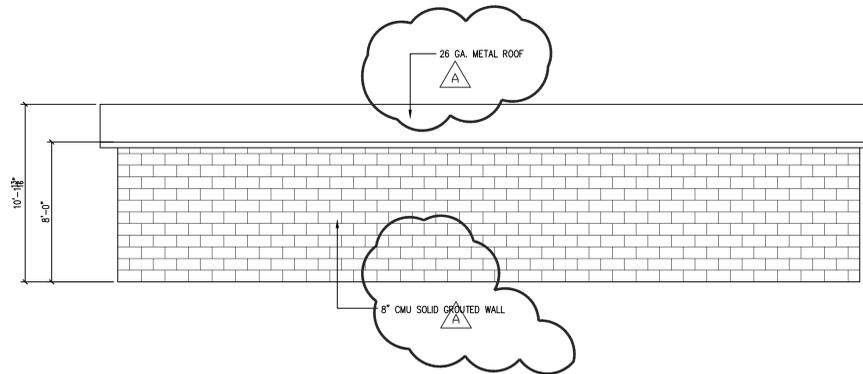
EAST ELEVATION
 SCALE = 3/16" = 1'-0"



WEST ELEVATION
 SCALE = 3/16" = 1'-0"



FLOOR PLAN
 SCALE = 1/4" = 1'-0"



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 90th STREET EAST
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Sheet Description
RODEO EXTERIOR ELEVATION & RESTROOM FLOOR PLAN & ELEVATIONS

REV	DESCRIPTION	DATE
-	-	-

Project Number: 87-2009
 Date: 15/04/09
 File: 2009-SITE

Sheet
A-2.3