

Regional Planning Commission Transmittal Checklist

Hearing Date
08/31/16

Agenda Item No.
8

Project Number: R2015-03107-(3)
Vesting Tentative Parcel Map No. 073804
Case(s): Minor Coastal Development Permit No. 201500112
Environmental Assessment Case No. 201500224
Planner: Edward A. Rojas

- Project Summary
- Property Location Map
- Staff Analysis
- Draft Resolution / Draft Ordinance / 8.5x11 Map (ZC or PA)
- Draft Findings
- Draft Conditions
- Burden of Proof Statement(s)
- Environmental Documentation (ND)
- Correspondence
- Photographs
- Aerial Image(s)
- Land Use/Zoning Map
- Tentative Tract / Parcel Map
- Site Plan / Floor Plans / Elevations
- Exhibit Map
- Exhibit "A"

Reviewed By:  8/18/16



Department of Regional Planning
320 West Temple Street
Los Angeles, California 90012

PROJECT NUMBER

R2015-03107-(3)

HEARING DATE

August 31, 2016

REQUESTED ENTITLEMENTS

Vesting Tentative Parcel Map No. 073804
Minor Coastal Development Permit No. 201500112
Environmental Assessment No. 201500224

PROJECT SUMMARY

OWNER / APPLICANT

Vladimir and Luba Tomalevski

MAP/EXHIBIT DATE

March 22, 2016

PROJECT OVERVIEW

Vesting tentative parcel map to develop three residential condominium units on 0.23 acres and a Minor Coastal Development Permit for a land division within the Santa Monica Coastal Zone.

LOCATION

18225 Coastline Drive, Malibu

ACCESS

Coastline/Private Driveway

ASSESSORS PARCEL NUMBER(S)

4443-008-021

SITE AREA

0.23 acres (gross)/0.19 acres (net)

GENERAL PLAN / LOCAL PLAN

Santa Monica Mountains Coastal Zone

ZONED DISTRICT

The Malibu

LAND USE DESIGNATION

U20 – Residential (20 du/ac)

ZONE

R-3 – Limited Multiple Residence Zone

PROPOSED UNITS

3

MAX DENSITY/UNITS

3

COMMUNITY STANDARDS DISTRICT

N/A

ENVIRONMENTAL DETERMINATION (CEQA)

Negative Declaration

KEY ISSUES

- Consistency with the Santa Monica Mountains Local Coastal Program
- Conformance with the following Section(s) of Title 21 of the Los Angeles County Code:
 - 21.38.010 (Vesting Tentative Map)
 - 21.24.380 (Condominiums and Community Apartment Projects)

CASE PLANNER:

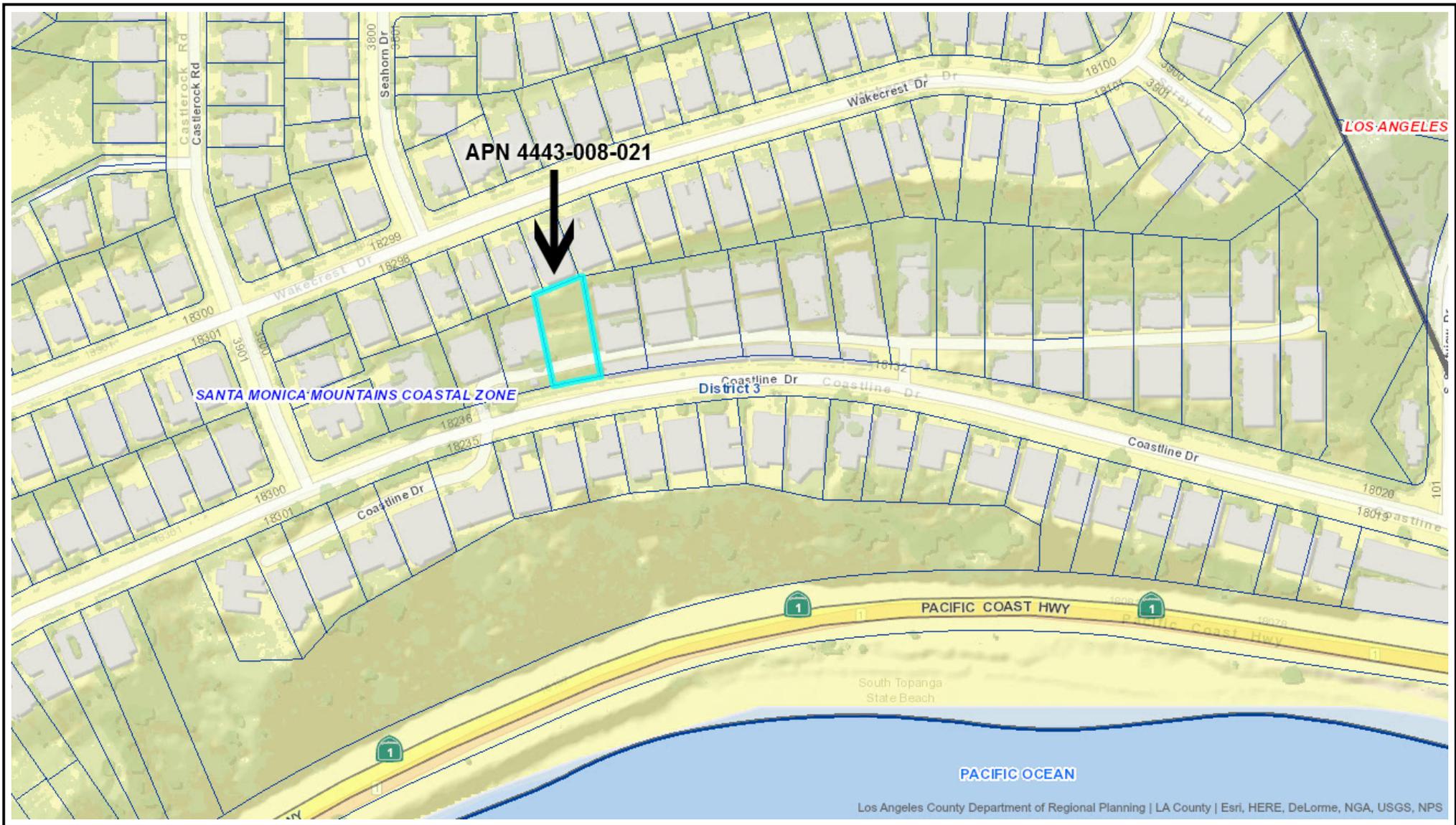
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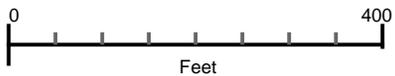


Created in GIS-NET3

PM073804 - Property Location Map

Printed: Jul 19, 2016

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ENTITLEMENTS REQUESTED

- Vesting Tentative Parcel Map No. 073804, subdivision to create three residential condominium units over 0.23 gross acres (0.19 net acres).
- Minor Coastal Development Permit No. 201500112, for a subdivision within the Santa Monica Mountains Coastal Zone.

PROJECT DESCRIPTION

Vesting Tentative Parcel Map No. 073804, dated March 22, 2016, Minor Coastal Development Permit No. 201500112, is a proposal to subdivide an existing multi-family residential lot into three residential condominium units in the R-3 (Limited Multiple Residence) zone.

The proposed vesting tentative parcel map depicts the property to be rectangular in shape, with a sloping terrain. The project site fronts Coastline Drive. The property is currently vacant, except for a paved private driveway used for access by the subject property and shared with neighboring properties, and a concrete foundation and retaining wall from an abandoned apartment project. Permits for the construction of the apartment were obtained in 1961. No additional work was done beyond the foundation and retaining walls. The project's accompanying Exhibit Map and Exhibit "A" depicts the proposed development, which consist of two buildings, one two-story building with a condominium unit over three two-car garages with a maximum height of 30 feet, and a two-story building with two condominium units with a maximum height of 35 feet. The project proposes 1371 cubic yards of grading, 1066 cubic yards of cut and 305 cubic yards of fill. Two uncovered guest parking spaces are proposed south of the private driveway.

EXISTING ZONING

The subject property is zoned R-3.

Surrounding properties are zoned as follows:

North: R-1
South: R-1
East: R-3
West: R-3

EXISTING LAND USES

The subject property is currently vacant.

Surrounding properties are developed as follows:

North: Single-family residential
South: Single-family residential
East: Condominiums
West: Condominiums

PREVIOUS CASES/ZONING HISTORY

Permits were obtained to construct a 4-unit apartment house in 1961. The project was abandoned and permits expired. The scope of the work up to the point when the project was abandoned was limited to a retaining wall and foundation work.

ENVIRONMENTAL DETERMINATION

The Los Angeles County ("County") Department of Regional Planning recommends that a Negative Declaration is the appropriate environmental documentation under the California Environmental Quality Act (CEQA) and the County environmental guidelines. The Initial Study concluded that there is no evidence that the project may have a significant impact on the environment.

STAFF EVALUATION

Community Plan Consistency

The project site is located within the Santa Monica Mountains Coastal Zone and subject to the Santa Monica Mountains Local Coastal Program. The land use designation for the project site under the Santa Monica Mountains Land Use Plan is U20. This designation is intended for Residential development not to exceed 20 dwelling units per acre. The subdivision of the existing lot into three residential condominiums units is consistent with the land use designation. The property has a net lot are of 0.19 acres. The maximum density allowed for a lot of that size by the U20 land use category is three units, which is consistent with the projects proposed density.

The following policies of the Community Plan are applicable to the proposed project:

- *LU-1 New residential, commercial, or industrial development shall be located within, contiguous with, or in close proximity to, existing developed areas able to accommodate it, or where such areas are not able accommodate it, in other areas with adequate public services, and where it will not have significant adverse effects, either individually or cumulatively, on coastal resources. In addition, land divisions, other than lease for agricultural uses, outside existing developed areas shall be permitted only where 50 percent of the usable parcels in the area have been developed and created parcels would be no smaller than the average size of surrounding parcels.*

The proposed project of three residential condominium units is located in a residentially developed area of the coastal zone. More than 50 percent of the usable parcels in the area have been developed. The project site is the one of the last remaining vacant lots in the immediate vicinity which is developed with multi-family and single-family homes. The project site is serviced by public water and sewer and would not have an adverse effect on coastal resources.

- *LU-9 Land Divisions shall only be permitted if each new parcel being created contains an identified building site area and any necessary access road that could each be developed consistent with all policies of the LCP and without building in*

H1 or H2 “High Scrutiny” habitat areas, H1 habitat buffer, or removing or modifying H1 or H2 “High Scrutiny” habitat for fuel modification.

The proposed land division will create three residential condominium units on an existing multi-family lot. The proposed building pad and necessary access road will not result in construction within H1 or H2 “High Scrutiny” area habitat areas, H1 habitat buffer, or result in the removal or modification of H1 or H2 “High Scrutiny” habitat area. The project site is mapped H3 Habitat.

- *Any coastal development permit for a land division resulting in the creation of additional lots, or the development of a second residential unit or multi-family residential units, shall be conditions upon the retirement of development credits at a ratio of one credit per new lot or unit created.*

The proposed three residential condominium units will result in the creation of two additional units, with credit given for the existing lot. Therefore the project will be conditioned to require the applicant to provide two transfer development credits prior to final map recordation.

Zoning Consistency

The project site is zoned R-3 (Limited Multiple Residence) Zone and subject to the Santa Monica Mountains Coastal Program. Properties zoned R-3 within the Coastal Program are subject to the zone-specific development standards of the Local Implementation Program (“LIP”). Property can be developed at a density not exceed 20 du/ac in the R-3 Zone. The proposed three residential condominium units are consistent with the required density. The maximum number of units that may be developed on 0.19 net acres is three units. The proposed setbacks of 7 ½ feet in the front, 5 foot side yards, and 15 feet rear yard setbacks are consistent with the required setbacks for development on R-3 zone property and front yards on sloping terrain in the LIP.

Local Implementation Program Compliance

The project site is located within the boundaries of the Santa Monica Mountains Coastal Program and subject to the Local Implementation Plan (LIP). The LIP outlines required Community-Wide and Area-Specific development standards in addition to the Zone-Specific standards. Pursuant to Section 22.44.1230 of the LIP (Transfer of Development Credit Program (“TDC”), this project is subject to the TDC requirements and will be conditioned to provide two TDC credits, which is the required number of credits for the development of three condominium units on one existing lot. The applicant will be required to purchase and retire the development potential of property equaling two TDC’s, as outlined in Section 22.44.130. Pursuant to Section 22.44.1240 of the LIP (Vegetation Management and Landscaping), the applicant submitted a landscape plan, which has been reviewed by staff for consistency with the applicable policies and requirements of the LIP, and was found to be consistent.

The project is proposing two buildings, Building A and Building B. Building A is closest to Coastline Drive and will have a height of 30 feet. Building B, which is farthest from

Coastline Drive, will have a height of 30 feet, with a 35 foot long by 19 foot wide portion of the building having a height of 35 feet. Pursuant to Section 22.44.1250 of the LIP (Height Limits), the maximum height for residences is 30 feet. However, per Section 22.44.1250(B), "where an applicant can demonstrate that a taller structure would result in a smaller building footprint with less land alteration and fewer impacts to environmental resources," the height limit can be a maximum of 35 feet. The proposed downslope development proposed two tiered buildings, which minimized grading and alteration to the existing slope, as opposed to one single building. The additional five feet will raise the lowest level of the building above natural grade reducing the need for additional grading and increase natural light and ventilation for Building B. The proposed project is not located within a Scenic Resource Area and conforms to Section 22.44.1440 of the LIP (Visual Resource Protection). No views from public viewing areas or scenic highways will be impacted by the development, as required by the LIP. The height of the structure and bulk is similar to adjacent structure, also zoned R-3 for multifamily housing.

Pursuant to Section 22.44.1260 (Grading) the project grading will not exceed 5,000 cubic yards, the maximum permitted under a Minor Coastal Development Permit (CDP). No grading permit will be issued prior to the issuance of a valid CDP and prior to recordation of the final map as required by 22.44.1260(B). The proposed project is proposing stepped pads to minimize grading and disturbance of the natural topography of the site. The proposed design of the project conforms to Section 22.44.1350 of the LIP (Hillside Management), which requires development to maximize the preservation of natural topography and minimize grading and landform alterations, which is important for the stabilization of hillside areas.

Pursuant to Section 22.44.1410 of the LIP (Vehicle Parking Space), two covered parking spaces are provided for each unit. Two uncovered guest parking spaces are provided, although none are required for project consisting of less than 10 units. The proposed project will be subject to and required to conform to Sections 22.44.1270 (Exterior Lights), 22.44.1310 (Fences, Gates, and Walls), and 22.44.1320 (Construction, Colors, Materials, and Design) of the LIP.

The proposed project also conforms to the area-specific development standards for Biological Resources, Section 22.44.1800 of the LIP. The project site is located in H3 category habitat. All proposed development will be outside of H1, H2, and H2 "High Scrutiny" habitat. A biological inventory was completed and reviewed by staff. The biological inventory did not indicate the presence or potential for sensitive species or habitat. While the project site is vacant, grading has previously been completed to construct a driveway, retaining walls, and foundation. The site has also been consistently cleared of overgrown vegetation, as the property is within a very high fire hazard area. All the previously done work has been lawfully done.

Site Visit

Staff visited the site on August 1, 2016. Staff verified the public hearing notice was posted on the property 30 days prior to the hearing and the erection of story poles on the site. The story poles represent the height of the proposed structures, which varies from 30 to 35 feet. The highest part of the structure was the same height as the property to the east and several other buildings along coastline. The proposed project is higher than the

structure to the west, although the neighboring structure is also 35 feet. This is due to larger amounts of cut grading for the neighboring project.

Neighborhood Impact/Land Use Compatibility

The proposed development of three residential condominiums is compatible with the maximum density permitted by the zoning and land use category and will conform to all applicable development standards. The proposed project is of similar height and bulk to surrounding multi-family housing. The development is proposed on land designated H3 habitat, and surrounded by multi-family and single-family homes. The home is accessed by public roads and will connect to public sewer and water. No degradation of natural features will occur, as the subject property is located in an urbanized area and no sensitive resources are located on the site. Shopping and employment opportunities are available within 1.2 miles of the subject property

COUNTY DEPARTMENT COMMENTS AND RECOMMENDATIONS

The Los Angeles County Subdivision Committee consists of representatives from the Departments of Regional Planning, Public Works, Fire, Parks and Recreation, and Public Health. Based on the vesting tentative parcel map dated March 22, 2016, the Subdivision Committee cleared the project for public hearing. The Subdivision Committee Report, dated April 21, 2016, containing County Department comments is attached.

LEGAL NOTIFICATION AND PUBLIC OUTREACH

Pursuant to the provisions of Sections 22.60.174 and 22.60.175 of the County Code, the community was appropriately notified of the public hearing by mail, newspaper, property posting, library posting and DRP website posting.

PUBLIC COMMENTS

During the site visit staff was approached by a neighbor who expressed concern over the height of the structure and setbacks. The neighbor wanted more information about the project. Staff showed them a copy of the tentative and exhibit map and went over the proposed project with them. Staff also received one call from a neighbor stating they had concerns about the project and wanted to ensure no decisions would be taken on the project until the public hearing. Staff confirmed the hearing would decide all the requested entitlements. The caller did not want to discuss their concerns but stated they would show up to the hearing instead.

FEES/DEPOSITS

If approved, fees identified in the attached project conditions will apply unless modified by the Regional Planning Commission.

STAFF RECOMMENDATION

The following recommendation is made prior to the public hearing and is subject to change based upon testimony and/or documentary evidence presented at the public hearing:

Staff recommends **APPROVAL** of Project Number R2015-03107, Vesting Tentative Parcel Map Number 073804 and Minor Coastal Development Permit Number 201500112, subject to the attached conditions.

SUGGESTED APPROVAL MOTION:

I MOVE THAT THE REGIONAL PLANNING COMMISSION CLOSE THE PUBLIC HEARING AND ADOPT THE NEGATIVE DECLARATION PURSUANT TO STATE AND LOCAL CEQA GUIDELINES.

I MOVE THAT THE REGIONAL PLANNING COMMISSION APPROVE VESTING TENTATIVE PARCEL MAP NUMBER 073804 AND MINOR COASTAL DEVELOPMENT PERMIT NUMBER 201500112 SUBJECT TO THE ATTACHED FINDINGS AND CONDITIONS.

Prepared by Edward A. Rojas, Senior Planner, Land Divisions Section
Reviewed by Kim Szalay, Supervising Regional Planner, Land Divisions Section

Attachments:
Draft Findings
Draft Conditions of Approval
Environmental Document
Site Photographs
Aerial Image
Land Use Map

KKS:ER
8/15/16

**DRAFT FINDINGS OF THE REGIONAL PLANNING COMMISSION
AND ORDER
COUNTY OF LOS ANGELES
PROJECT NO. R2015-03107-(3)
VESTING TENTATIVE PARCEL MAP NO. 073804
MINOR COASTAL DEVELOPMENT PERMIT NO. 201500112**

1. The Los Angeles County (“County”) Regional Planning Commission (“Commission”) conducted a duly-noticed public hearing on August 31, 2016, in the matter of Project No. R2015-03107, consisting of Vesting Tentative Parcel Map No. 073804 and Minor Coastal Permit No. 201500112.
2. The applicant requests a Vesting Tentative Parcel Map to develop three residential condominium units on 0.23 gross (0.19 net) acres, pursuant to County Code Section 21.38.010 and a Minor Coastal Development Permit for a land division in the Santa Monica Mountains Coastal Zone pursuant to County Code Section 22.44.640.
3. The project site is located at 18225 Coastline Drive in the unincorporated community of Malibu.
4. The project site is 0.23 gross acres (0.19 net acres) in size and consists of one legal lot. The project site is rectangular in shape with sloping topography and is currently vacant, except for a foundation and retaining wall from a previously approved project, which was never completed.
5. The project site is located in The Malibu Zoned District and is zoned R-3 – Limited Multiple Residence Zone.
6. The project site is located within the U20 – Residential (20 du/ac) land use category of the Santa Monica Mountains Land Use Plan.
7. Surrounding Zoning within a 700-foot radius include:
 - North: R-1
 - South: R-1, R-C-1, and O-S-P
 - East: R-3
 - West: R-3 and R-1
8. Surrounding land uses within a 700-foot radius include:
 - North: Single-family residences
 - South: Single-family residences
 - East: Condominiums
 - West: Condominiums and single-family residences
9. Permits were issued in 1961 for a 4-unit apartment building. Footings and foundation were poured and retaining walls erected before the project was

abandoned. No additional work was done beyond the foundations and walls before the permit was expired in 1962.

10. The Vesting Tentative Parcel Map dated March 22, 2016 depicts the rectangular shaped parcel. The existing foundation and retaining walls are shown and labeled to be removed. The map also shows the existing 25 foot private driveway/access easement that will remain.
11. The exhibit map dated March 22, 2016 depicts the proposed development. The project consists of two buildings. Proposed building "A" fronts the private driveway/fire lane. It will have three two-car garages with a unit above the garages. Proposed building "B" is shown to the north and upslope from building "A." Building "B" will consist of two units. The Exhibit Map also depicts two proposed uncovered guest parking spaces south of the private driveway/fire lane. Stairs are shown running along the sides of the buildings connecting the private driveway/fire lane with the walkways to the entry of each unit and to the rear of the property.
12. Coastline Drive provides access to the subject site and a private driveway and fire lane provides internal access to the proposed units and parking.
13. 1371 cubic yard of grading is proposed, 1066 cubic yards of cut and 305 cubic yards of fill including 761 cubic yards of export.
14. The conditions of the Subdivision Committee, comprised of the Departments of Regional Planning, Public Works, Fire, Parks and Recreation, and Public Health, are based on the map dated March 22, 2016. The subdivision committee report is dated April 21, 2016.
15. Prior to the Commission's public hearing on the Project, an Initial Study was prepared for the project in compliance with the California Environmental Quality Act (Public Resources Code section 21000, et seq.) ("CEQA"), the State CEQA Guidelines, and the Environmental Document Reporting Procedures and Guidelines for the County. Based on the Initial Study, staff from Regional Planning determined that a Negative Declaration was the appropriate environmental document for the project since the Initial Study concluded that there was no substantial evidence that the property project would result in a significant impact on the environment.
16. Pursuant to the provisions of Sections 22.60.174, 22.60.175 and 2.44.970 of the County Code, the community was appropriately notified of the public hearing by mail, newspaper, property posting, library posting, and DRP website posting.
17. Staff received comments about the project during a site visit. A neighbor approached staff during a site visit and expressed concern about the height of the structures and setbacks. One call was received from a neighboring property owner who was concerned about the project but did not elaborate, stating they would show up to the hearing instead.

18. Hearing proceedings. [to be added following the hearing]
19. **PLAN CONSISTENCY.** The property has a land use category designation U20 – Residential (20 du/ac) under the Santa Monica Mountains Land Use Plan. Based on the size of the project site, 0.19 net acres, and application of the U20 land use category, the property may be developed with a maximum of three dwelling units. The proposed project consists of three residential condominium units; therefore, the Project's use and density are consistent with the Santa Monica Mountains Land Use Plan.
20. **ZONING CONSISTENCY.** The project site is located in the Santa Monica Mountains Coastal Zone and zoned R-3 (Limited Multiple Residence Zone). The project is subject to the Santa Monica Mountains Local Implementation Program ("LIP"). The zone specific development standards for property zoned R-3 in the LIP are limited to density, no more than 20 du/ac, which the project is consistent with and setbacks. The proposed front, side and rear yard setbacks are consistent with the required setbacks of the LIP.

Minor Coastal Development Permit Specific Findings

21. The Project is subject to the policies and provisions of the LCP, and was analyzed for consistency with the LCP's land use plan (LUP) and LIP. The Commission finds the Project to be consistent and supportive of the applicable goals, policies, and regulations contained in the LUP and LIP.
22. The project is not located between the nearest public road and the sea or shoreline of any body of water located within the Coastal Zone, and does not conflict with the public access and public recreation policies of Chapter 3 of Division 20 or the California Public Resource Code.
23. The project site is mapped H3 Habitat in the map of biological resources of the LUP. This category is designated for property that would be designated H2 Habitat but has been disturbed by lawfully-established development.
24. Proposed Building A will have a maximum height of 30 feet. Building B will have a maximum height of 35 feet as permitted by Section 22.44.1250(B) of the LIP.
25. The proposed project is subject to the Transfer of Development Credit Program. The development of three residential condominiums on one existing residential lot will result in the requirement of two transfers of development credits which requires that the applicant purchase and retire the development potential of property equaling two transfer of development credits as outlined in Section 22.44.1230 of the LIP.
26. No grading or construction is permitted until Vesting Tentative Parcel Map No. 073804 has been recorded.

Tentative Map Specific Findings

27. The Regional Planning Commission finds that the proposed subdivision and the provisions for its design and improvements are consistent with the goals and policies of the Los Angeles County General Plan and Santa Monica Mountains Local Coastal Program. The project protects the character of residential neighborhoods by preventing the intrusion of incompatible uses, promotes the provision of an adequate supply of housing by location/type and price, and promotes the full use of existing service systems.
28. The Regional Planning Commission finds that the site is physically suitable for the type of development being proposed since the property is relatively level and is served by adequate road and utility infrastructure.
29. The Regional Planning Commission finds that the discharge of sewage from this land division into the public sewer system will not violate the requirements of the California Regional Water Quality Control Board pursuant to Division 7 (Commencing with Section 13000) of the Water Code. Public Works has issued conditional approval of the subject land division, and sewer service is available for the site.
30. The Regional Planning Commission finds that the design of the subdivision and the type of improvements will not cause serious public health problems, since sewage disposal, storm drainage, fire protection, and geologic and soils factors are already adequately addressed.
31. The Regional Planning Commission finds that there is no substantial evidence, based on the record as a whole, that the proposed project will have potential for an adverse effect on wildlife resources or the habitat upon which, either individually or cumulatively, the wildlife depends. The proposed subdivision is on a relatively small site completely surrounded by developed land and does not contain any sensitive wildlife or habitat environments.
32. The Regional Planning Commission finds that the design of the subdivision provides to the extent feasible, for future passive or natural heating or cooling opportunities therein. Future structures built on the subject property after subdivision recordation will be required to comply with State and County Green Building standards, which regulate the heating and cooling efficiency of structures for the benefit of the natural environment.
33. The Regional Planning Commission finds that the division and development of the property in the manner set forth on this map will not unreasonably interfere with the free and complete exercise of public entity and/or public utility rights-of-way and/or easements within this map, since the design and development as set forth in the conditions of approval and shown on the tentative map, provide adequate protection for any such easements.

34. The Regional Planning Commission finds that pursuant to Chapter 4, Article 3.5 of the Subdivision Map Act, the proposed subdivision does not contain or front upon any public waterway, river, stream, coastline, shoreline, lake or reservoir.
35. The Regional Planning Commission finds that the housing and employment needs of the region were considered and balanced against the public service needs of local residents and available fiscal and environmental resources when the project was determined to be consistent with the General Plan.

Environmental Determination

36. The Regional Planning Commission finds that the permittee is subject to the payment of California Department of Fish and Wildlife fees related to the Project's effect on wildlife resources pursuant to section 711.4 of the California Fish and Game Code.
37. After consideration of the Negative Declaration together with the comments received during the public review process, the Commission finds on the basis of the whole record before it that there is no substantial evidence that the Project and conditions will have a significant effect on the environment, and further finds that the environmental document reflects the independent judgement and analysis of the Commission.
38. The location of the documents and other materials constituting the record of proceedings upon which the Commission's decision is based in this matter is at the Los Angeles County Department of Regional Planning, 13th Floor, Hall of Records, 320 West Temple Street, Los Angeles, California 90012. The custodian of such documents and materials shall be the Section Head of the Land Divisions Section, Department of Regional Planning.

BASED ON THE FOREGOING, THE REGIONAL PLANNING COMMISSION CONCLUDES THAT:

- A. That the proposed use with the attached conditions will be consistent with the adopted General Plan.
- B. That the proposed use at the site will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area, will not be materially detrimental to the use, enjoyment or valuation of property of other persons located in the vicinity of the site, and will not jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare.
- C. That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development

features prescribed in this Title 22 of the County Code, or as is otherwise required in order to integrate said use with the uses in the surrounding area.

- D. That the proposed site is adequately served by highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate, and by other public or private service facilities as are required.

THEREFORE, THE REGIONAL PLANNING COMMISSION:

1. Certifies that the Negative Declaration for the Project was completed in compliance with CEQA and the State and County Guidelines related thereto; certifies that it independently reviewed and considered the Negative Declaration and that the Negative Declaration reflects the independent judgement and analysis of the Commission as the environmental consequences of the Project; determined that on the basis of the whole record before Commission that there is no substantial evidence that the Project will have a significant effect on the environment; and adopts the Negative Declaration; and
2. Approves Vesting Tentative Parcel Map No. 073804 and Minor Coastal Development Permit No. 201500112, subject to the attached conditions.

ACTION DATE: August 31, 2016

Vote:

Yes:

No:

Absent:

KKS:ER

8/15/16

**DRAFT CONDITIONS OF APPROVAL
COUNTY OF LOS ANGELES
PROJECT NO. R2015-03107-(3)
VESTING TENTATIVE PARCEL MAP NO. 073804**

PROJECT DESCRIPTION

This grant authorizes the development of three residential condominiums, in conjunction with Minor Coastal Development Permit No. 201500112, on an existing 0.23 acre (0.19 net acre) multiple-family lot in the Santa Monica Mountains Coastal Zone, subject to the following conditions of approval:

GENERAL CONDITIONS

1. Unless otherwise apparent from the context, the term “permittee” shall include the applicant, owner of the property, and any other person, corporation, or other entity making use of this grant.
2. This grant shall not be effective for any purpose until the permittee, and the owner of the subject property if other than the permittee, have filed at the office of the Los Angeles County ("County") Department of Regional Planning (“Regional Planning”) their affidavit stating that they are aware of and agree to accept all of the conditions of this grant, and until all required monies have been paid. Notwithstanding the foregoing, this Condition No. 2 and Condition Nos. 4, 5, and 7 shall be effective immediately upon the date of final approval of this grant by the County.
3. Unless otherwise apparent from the context, the term “date of final approval” shall mean the date the County's action becomes effective pursuant to Section 22.60.260 of the County Code.
4. The permittee shall defend, indemnify, and hold harmless the County, its agents, officers, and employees from any claim, action, or proceeding against the County or its agents, officers, or employees to attack, set aside, void, or annul this permit approval, which action is brought within the applicable time period of Government Code Section 65009 or any other applicable limitations period. The County shall promptly notify the permittee of any claim, action, or proceeding and the County shall reasonably cooperate in the defense. If the County fails to promptly notify the permittee of any claim, action, or proceeding, or if the County fails to cooperate reasonably in the defense, the permittee shall not thereafter be responsible to defend, indemnify, or hold harmless the County.
5. In the event that any claim, action, or proceeding as described above is filed against the County, the permittee shall within ten days of the filing make an initial deposit with Regional Planning in the amount of up to \$5,000.00, from which actual costs and expenses shall be billed and deducted for the purpose of defraying the costs or expenses involved in Regional Planning's cooperation in the defense, including but not limited to, depositions, testimony, and other assistance provided to permittee or permittee's counsel.

If during the litigation process, actual costs or expenses incurred reach 80 percent of the amount on deposit, the permittee shall deposit additional funds sufficient to bring the balance up to the amount of \$5,000.00. There is no limit to the number of supplemental deposits that may be required prior to completion of the litigation.

At the sole discretion of the permittee, the amount of an initial or any supplemental deposit may exceed the minimum amounts defined herein. Additionally, the cost for collection and duplication of records and other related documents shall be paid by the permittee according to County Code Section 2.170.010.

6. If any material provision of this grant is held or declared to be invalid by a court of competent jurisdiction, the permit shall be void and the privileges granted hereunder shall lapse.
7. This grant shall expire unless used within two (2) years after the recordation of a final map for Vesting Tentative Parcel Map No. 073804. In the event that Vesting Tentative Parcel Map No. 073804 should expire without the recordation of a final map, this grant shall terminate upon the expiration of the tentative map. Entitlement to the use of the property thereafter shall be subject to the regulations then in effect.
8. The subject property shall be maintained and operated in full compliance with the conditions of this grant and any law, statute, ordinance, or other regulation applicable to any development or activity on the subject property. Failure of the permittee to cease any development or activity not in full compliance shall be a violation of these conditions.
9. Prior to the issuance of any building permit(s), the permittee shall remit all applicable library facilities mitigation fees to the County Librarian, pursuant to Chapter 22.72 of the County Code. The permittee shall pay the fees in effect at the time of payment, pursuant to Section 22.72.030. Questions regarding fee payment can be directed to the County Librarian at (562) 940-8430. The permittee shall provide proof of payment upon request from Regional Planning.
10. Notice is hereby given that any person violating a provision of this grant is guilty of a misdemeanor. Notice is further given that the Regional Planning Commission ("Commission") or a Hearing Officer may, after conducting a public hearing, revoke or modify this grant, if the Commission or Hearing Officer finds that these conditions have been violated or that this grant has been exercised so as to be detrimental to the public's health or safety or so as to be a nuisance, or as otherwise authorized pursuant to Chapter 22.56, Part 13 of the County Code.
11. Within three (3) working days of the date of final approval of this grant, the permittee shall remit reprocessing fees at the County Registrar-Recorder/County Clerk Office, payable to the County of Los Angeles, in connection with the filing and posting of a Notice of Determination (NOD) for this project and its entitlements in compliance with Section 21152 of the Public Resources Code. Unless a Certificate of Exemption is used by the California Department of Fish and Wildlife pursuant to Section 711.4 of the California Fish and Game Code, the permittee shall pay the fees in effect at the

time of the filing of the NOD, as provided for in Section 711.4 of the Fish and Game Code, currently \$2,260.25 (\$2,210.25 for a Negative Declaration or Mitigated Negative Declaration plus \$50.00 processing fee). No land use project subject to this requirement is final, vested or operative until this fee is paid.

12. Interpretation. Any questions of intent or interpretation of any condition will be resolved by the Director.
13. All development pursuant to this grant must be kept in full compliance with the County Fire Code to the satisfaction of said department.
14. All development pursuant to this grant shall conform with the requirements of the County Department of Public Works to the satisfaction of said department.
15. All development pursuant to this grant shall comply with the requirements of Title 22 of the County Code and of the specific zoning of the subject property, unless specifically modified by this grant, as set forth in these conditions.
16. The permittee shall maintain the subject property in a neat and orderly fashion. The permittee shall maintain free of litter all areas of the premises over which the permittee has control.
17. All structures, walls and fences open to public view shall remain free of graffiti or other extraneous markings, drawings, or signage that was not approved by Regional Planning.

In the event of graffiti or other extraneous markings occurring, the permittee shall remove or cover said markings, drawings, or signage within 24 hours of such occurrence, weather permitting. Paint utilized in covering such markings shall be of a color that matches, as closely as possible, the color of the adjacent surfaces.

PERMIT SPECIFIC CONDITIONS – VESTING TENTATIVE PARCEL MAP

The approval grants the development of three residential condominiums units as depicted on Tentative Tract/Exhibit Map dated March 22, 2016.

18. Unless otherwise apparent from the context, the term “subdivider” shall include the applicant or any successor in interest, and any other person, corporation, or other entity making use of this grant.
19. Except as expressly modified herein, this approval is subject to all recommended conditions listed in the attached Subdivision Committee Report dated April 21, 2016, consisting of letters and reports from the Departments of Public Works, Fire, Parks and Recreation, and Public Health.
20. The project site shall be developed and maintained in substantial compliance with the approved tentative/exhibit map dated March 22, 2016.
21. Place a note or notes on the final map, to the satisfaction of the Department of

Regional Planning, that this subdivision is approved as a condominium project for a total of 3 residential units whereby the owners of the units of air space will hold an undivided interest in the common areas, which will in turn provide the necessary access, and utility easements for the units.

22. As required by section 21.32.195 of the County Code, the subdivider shall plant or cause to be planted at least three trees of non-invasive species within the front yard of the multi-family residential lot. The location and the species of said trees shall be incorporated into a landscape plan which shall be approved by the Director of Regional Planning ("Director") prior to final map approval. The subdivider shall post a bond with Public Works, or submit other verification to the satisfaction of Regional Planning, ensuring future on-site tree planting.
23. The shared driveway shall be labeled as Private Driveway and Fire Lane on the final map.
24. The permittee shall submit a draft copy of the Covenants, Conditions, and Restrictions ("CC&Rs") to Regional Planning for review and approval, prior to final map approval.
25. The permittee shall provide language in the CC&Rs describing a method for continuous maintenance of the common areas, including the driveways, landscaping and the lighting system along all walkways and outdoor areas, to the satisfaction of the Director.
26. Reserve in the Covenants, Conditions and Restrictions the right for all residents within the condominium project to use the driveways for access and the guest parking spaces throughout the subdivision.
27. The permittee shall comply with the conditions and requirements of Minor Coastal Development Permit No. 201500112.

Attachments:

Subdivision Committee Report (Vesting Tentative Parcel/Exhibit Map dated 03/22/16)

KKS:ER
8/15/16



Department of Regional Planning
320 West Temple Street
Los Angeles, California 90012

PROJECT NUMBER

R2015-03107

HEARING DATE

TBD

REQUESTED ENTITLEMENTS

Vesting Tentative Parcel Map No. 073804
Coastal Development Permit No. 201500112
Environmental Assessment No. 201500224

SUBDIVISION COMMITTEE REPORT

OWNER / APPLICANT

Vladimir and Luba Tomalevski

**MAP/EXHIBIT
DATE:**

03/22/16

**SCM REPORT
DATE:**

04/21/16

SCM DATE:

Reports Only

PROJECT OVERVIEW

Subdivision to create three residential condominium units in the Santa Monica Mountains Coastal Zone.

MAP STAGETentative: Revised: Amendment: Amended :
Exhibit "A"Modification to :
Recorded MapOther: **MAP STATUS**Initial: 1st Revision: 2nd Revision: 3rd Revision (requires a fee): **LOCATION**

18225 Coastline Drive, Malibu

ACCESS

Coastline Drive/Private Street

ASSESSORS PARCEL NUMBER(S)

4443-008-021

SITE AREA

10,430 square feet (gross)/8,650 square feet (net)

GENERAL PLAN / LOCAL PLAN

Santa Monica Mountains Coastal Zone

ZONED DISTRICT

The Malibu

SUP DISTRICT5th**LAND USE DESIGNATION**

U20 – Residential (20 du/ac)

ZONER-3 – Limited Multiple
Residence**CSD**

N/A

PROPOSED UNITS

(DU)

3

MAX DENSITY/UNITS

(DU)

3

GRADING

(CUT/FILL, IMPORT/EXPORT, ONSITE/OFFSITE)

1066 cy (cut) 305 cy (fill) 841 cy (export)

ENVIRONMENTAL DETERMINATION (CEQA)

An initial study is required

SUBDIVISION COMMITTEE DEPARTMENT CLEARANCE

<u>Department</u>	<u>Status</u>	<u>Contact</u>
Regional Planning	Hold	Edward Rojas (213) 974-6433 erojas@planning.lacounty.gov
Public Works	Hold	Henry Wong (626) 458-4961 hwong@dpw.lacounty.gov
Fire	Cleared	Juan Padilla (323) 890-4243 juan.padilla@fire.lacounty.gov
Parks & Recreation	Cleared	Clement Lau (213) 351-5120 clau@parks.lacounty.gov
Public Health	Cleared	Vicente Banada (626) 430-5381 vbanada@ph.lacounty.gov

PREVIOUS CASES

R1ST201500057

REGIONAL PLANNING ADDITIONAL COMMENTS AND HOLDS

Case Status/Recommendation: At this time, Regional Planning does not recommend approval of the tentative parcel map. Please read below for further details.

Environmental:

1. Initial study is required and pending.

Coastal Development Permit

1. Two Transfer Development Credits are required for the proposed project and will be a Condition of Approval if the Tentative Map and Coastal Permit are approved. Provide information regarding potential donor lots that meet the transfer of development credit requirement of the LIP. The two lots previously provided as potential donor lots do not meet the requirements in the LIP. Please refer to Section 22.44.1230 of the LIP for more information.
2. A detailed grading plan is required as outlined in 22.44.840(S).
3. Your landscape plan is under review.

RESUBMITTAL INSTRUCTIONS

If a map revision is required, please submit the following items:

- *A completed and signed Land Division application,*
- *A signed and dated cover letter describing all changes made to the map,*
- *Five (5) folded and collated copies of Tract/Parcel Map and Exhibit Map/Exhibit "A,"*
- *A digital (CD or Flash drive) copy of the map/exhibit in PDF format,*
- *Revision fee payment (for the 3rd revision and thereafter), and*
- *Other materials requested by the case planner.*

NOTE: *An appointment is required for resubmittal. **You must call the Land Divisions Section at 213-974-6433 to schedule the appointment.** Prior to scheduling, you are encouraged to contact the case planner for a preview of your next SCM submittal.*

The following reports consisting of 8 pages are the recommendations of Public Works.

The subdivision shall conform to the design standards and policies of Public Works, in particular, but not limited to the following items:

1. Details and notes shown on the tentative map are not necessarily approved. Any details or notes which may be inconsistent with requirements of ordinances, general conditions of approval, or Department policies must be specifically approved in other conditions, or ordinance requirements are modified to those shown on the tentative map upon approval by the Advisory agency.
2. Easements are tentatively required, subject to review by the Director of Public Works to determine the final locations and requirements.
3. Easements shall not be granted or recorded within areas proposed to be granted, dedicated, or offered for dedication for public streets, highways, access rights, building restriction rights, or other easements until after the final map is filed with the Registrar-Recorder/County Clerk's Office. If easements are granted after the date of tentative approval, a subordination must be executed by the easement holder prior to the filing of the final map.
4. In lieu of establishing the final specific locations of structures on each lot at this time, the owner, at the time of issuance of a grading or building permit, agrees to develop the property in conformance with the County Code and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Ordinance, Highway Permit Ordinance, Mechanical Code, Zoning Ordinance, Undergrounding of Utilities Ordinance, Water Ordinance, Sanitary Sewer and Industrial Waste Ordinance, Electrical Code, and Fire Code. Improvements and other requirements may be imposed pursuant to such codes and ordinances.
5. All easements existing at the time of final map approval must be accounted for on the approved tentative map. This includes the location, owner, purpose, and recording reference for all existing easements. If an easement is blanket or indeterminate in nature, a statement to that effect must be shown on the tentative map in lieu of its location. If all easements have not been accounted for, submit a corrected tentative map to the Department of Regional Planning for approval.
6. Adjust, relocate, and/or eliminate lot lines, lots, streets, easements, grading, geotechnical protective devices, and/or physical improvements to comply with ordinances, policies, and standards in effect at the date the County determined the application to be complete all to the satisfaction of Public Works.

7. If applicable, quitclaim or relocate easements running through proposed structures.
8. Label driveways and multiple access strips as "Private Driveway and Fire Lane" and delineate on the final map to the satisfaction of Public Works and Fire Department.
9. Prior to final approval of the parcel map submit a notarized affidavit to the Director of Public Works, signed by all owners of record at the time of filing of the map with the Registrar-Recorder/County Clerk's Office, stating that any proposed condominium building has not been constructed or that all buildings have not been occupied or rented and that said building will not be occupied or rented until after the filing of the map with the Registrar-Recorder/County Clerk's Office.
10. Place standard condominium notes on the final map to the satisfaction of Public Works.
11. A final parcel map must be processed through the Director of Public Works prior to being filed with the Registrar-Recorder/County Clerk's Office.
12. Prior to submitting the parcel map to the Director of Public Works for examination pursuant to Section 66450 of the Government Code, obtain clearances from all affected Departments and Divisions, including a clearance from the Subdivision Mapping Section of the Land Development Division of Public Works for the following mapping items; mathematical accuracy; survey analysis; and correctness of certificates, signatures, etc.
13. A final guarantee will be required at the time of filing of the final map with the Registrar-Recorder/County Clerk's Office.
14. Within 30 days of the approval date of this land use entitlement or at the time of first plan check submittal, the applicant shall deposit the sum of \$2,000 with Public Works to defray the cost of verifying conditions of approval for the purpose of issuing final map clearances.

HW



Prepared by Aissa Carrillo

Phone (626) 458-3126

Date Rev. 04-21-2016

pm73804L-rev2.doc

<http://planning.lacounty.gov/case/view/pm73804/>



**COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS**

900 SOUTH FREMONT AVENUE
ALHAMBRA, CALIFORNIA 91803-1331
WWW.DPW.LACOUNTY.GOV

PARCEL MAP NO.: 073804

TENTATIVE MAP DATE: 03/22/16
EXHIBIT MAP DATE 03/22/16

HYDROLOGY UNIT CONDITIONS OF APPROVAL, PHONE: (626) 458-4921

Prior to Improvement Plans Approval:

1. Comply with hydrology study, which was approved on 04/19/16 to the satisfaction of the Department of Public Works.

Note: This clearance is only for the tentative map. If a Conditional Use Permit is required by the Department of Regional Planning, a drainage concept may be required prior to clearing the Conditional Use Permit.

Name M.D. Esfandi Date 04/19/16 Phone (626) 458-7130
DAVID ESFANDI

P:\ldpub\SUBPCHECK\Hydrology\Tentative Map Reviews\TTCON2-PM073804.doc

County of Los Angeles Department of Public Works
Geotechnical and Materials Engineering Division
GEOLOGIC AND SOILS ENGINEERING REVIEW SHEET
900 S. Fremont Avenue, Alhambra, CA 91803

Tentative Parcel Map 73804 Tentative Map Dated 3/22/16 (REV.) Parent Tract
Grading By Subdivider? [Y] (Y or N) 1,146 yd³ Location Malibu APN 4443-008-021
Geologist Bay City Geology, Inc. Subdivider Tomalevski Trust
Soils Engineer Bay City Geology, Inc. Engineer/Arch.

Review of:

Geologic Report(s) Dated:

Soils Engineering Report(s) Dated:

Geotechnical Report(s) Dated: 12/4/15 (Stormwater Infiltration), 5/20/15

References:

TENTATIVE MAP FEASIBILITY IS RECOMMENDED FOR APPROVAL FROM A GEOTECHNICAL STANDPOINT

THE FOLLOWING CONDITIONS MUST BE FULFILLED:

- S1. At the grading plan stage, submit grading plans to the GMED for verification of compliance with County Codes and policies.
S2. At the grading plan stage, provide a geotechnical report that at minimum, specifically addresses the grading plans, provides specific recommendations for proposed retaining walls shown on the grading plans, all temporary conditions, construction sequencing, and foundation details.
S3. At the grading plan review stage, provide information, analyses, and/or recommendations for the following:
a. Cross-Sections. Provide additional cross sections that are oriented both parallel and perpendicular to the cross section provided in the soils report.
b. Slope stability analyses. Provide static, seismic, and temporary stability analyses for slopes based on a 40-scale.
c. Foundations plans and details. All foundations and details relating to retaining structures and proposed buildings must be accurately shown on the grading plans.
d. De-watering details and/or notes. Provide de-watering details and/or notes on the grading plans.
e. Chemical Test Results. Provide chemical testing of on-site soils.
S4. At the grading plan stage, additional comments may arise based on the submitted grading plans and the geotechnical report submitted for grading plan construction.

NOTE: Provide a copy of this review sheet with your resubmittal.

NOTE(S) TO THE PLAN CHECKER/BUILDING AND SAFETY DISTRICT ENGINEER:

PER THE SOILS ENGINEER

A. ON-SITE STORMWATER INFILTRATION IS NOT FEASIBLE FOR LID COMPLIANCE.

B. ON-SITE SOILS HAVE MEDIUM EXPANSION POTENTIAL.

Prepared by

Yonah Halpern Soils Section (includes professional engineer seal for Yonah Rendall Halpern, No. 78810, State of California, Civil)

Geir Mathisen Geology Section

Date 4/6/16

Please complete a Customer Service Survey at http://dpw.lacounty.gov/go/gmedsurvey

NOTICE: Public safety, relative to geotechnical subsurface exploration, shall be provided in accordance with current codes for excavations, inclusive of the Los Angeles County Code, Chapter 11.48, and the State of California, Title 8, Construction Safety Orders.

1. Approval of this map pertaining to grading is recommended.

The subdivision shall conform to the design standards and policies of Public Works, in particular, but not limited to the following items:

REQUIREMENTS PRIOR TO GRADING PLAN APPROVAL:

2. Provide approval of:
 - a. The latest hydrology study by the Storm Drain and Hydrology Section of Land Development Division.
 - b. The grading plan by the Geotechnical & Materials Engineering Division (GMED).
 - c. Permits and/or letters of non-jurisdiction from all State and Federal Agencies. These agencies may include, but may not be limited to the California Coastal Commission.

REQUIREMENTS PRIOR TO FINAL MAP RECORDATION:

3. Submit a grading plan for approval. The grading plan must show and call out the following items, including but not limited to: construction of all drainage devices and details, paved driveways, elevation and drainage of all pads, SUSMP and LID devices (fill in whichever is applicable), and any required landscaping and irrigation not within a common area or maintenance easement. Acknowledgement and/or approval from all easement holders may be required.



Name Nazem Said Date 3/28/2016 Phone (626) 458-4921

P:\ldpub\SUBPCHECK\Plan Checking Files\Parcel Map\PM 073804\GP 073804\2016-03-23 TPM 073804 SUBMITTAL

COUNTY OF LOS ANGELES
CITY ENGINEER/SUPERINTENDANT OF STREETS
DEPARTMENT OF PUBLIC WORKS
LAND DEVELOPMENT DIVISION – ROAD
PARCEL MAP NO. 073804Rev

Page 1/1

TENTATIVE MAP DATED 03-22-2016
EXHIBIT MAP DATED 03-22-2016

The subdivision shall conform to the design standards and policies of Public Works, in particular, but not limited to the following items:

1. Repair any damaged curb, gutter, and sidewalk along the property frontage on Coastline Drive to the satisfaction of Public Works.
2. Prior to final map approval, enter into an agreement with the County franchised cable TV operator (if an area is served) to permit the installation of cable in a common utility trench to the satisfaction of Public Works; or provide documentation that steps to provide cable TV to the proposed subdivision have been initiated to the satisfaction of Public Works.
3. Install postal delivery receptacles in groups to serve two or more residential units.



Prepared by Sam Richards
pm073804r-rev2.doc

Phone (626) 458-4921

Date 04-15-2016

The subdivision shall conform to the design standards and policies of Public Works, in particular, but not limited to the following items:

1. The subdivider shall install separate house laterals to serve each building in the land division. Installation and dedication of main line sewers may be necessary to meet the minimum 2 percent grade for the house laterals.
2. A sewer area study for the proposed subdivision (PC12279AS, dated 04-20-2016) was reviewed and approved. A Will Serve letter from the County Sanitation District and City of Los Angeles indicating adequate capacity exists in the trunk line and treatment plant respectively was obtained prior to approval of the sewer area study. No additional mitigation measures are required. The sewer area study shall be invalidated should there be an increase in the total number of dwelling units, an increase in the density, dwelling units occur on previously identified building restricted lots, a change in the proposed sewer alignment, an increase in the tributary sewershed, a change in the sewer connection points, or the adoption of a land use plan or a revision to the current plan. A revision to the approved sewer area study may be allowed at the discretion of the Director of Public Works. The approved sewer area study shall remain valid for two years from the date of sewer area study approval. After this period of time, an update of the area study shall be submitted by the applicant if determined to be warranted by Public Works.


Prepared by Imelda Ng
pm73804s-rev2(rev'd 04-21-16).doc

Phone (626) 458-4921

Date 04-21-2016

The subdivision shall conform to the design standards and policies of Public Works, in particular, but not limited to the following items:

1. A water system maintained by the water purveyor, with appurtenant facilities to serve all units in the land division, must be provided. The system shall include fire hydrants of the type and location (both on-site and off-site) as determined by the Fire Department. The water mains shall be sized to accommodate the total domestic and fire flows.
2. The applicant shall comply with the requirements as stipulated by the attached Will Serve letter dated 10/28/2015 from the Los Angeles County Water Works District No. 29 to the satisfaction of Public Works. The Will Serve letter will expire on 10/28/2016, it shall be sole responsibility of the applicant to renew the aforementioned Will Serve letter upon expiration and abide by all requirements of the water purveyor.
3. Submit landscape and irrigation plans for each common area in the land division, with landscape area greater than 1000 square feet, in accordance with the Water Efficient Landscape Ordinance.



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4243, Fax (323) 890-9783

PROJECT: PM 73804

MAP DATE: March 22, 2016

**THE FIRE DEPARTMENT RECOMMENDS APPROVAL OF THIS PROJECT AS
PRESENTLY SUBMITTED WITH THE FOLLOWING CONDITIONS OF APPROVAL.**

FINAL MAP CONDITIONS OF APPROVAL

1. Access as noted on the Tentative and the Exhibit Maps shall comply with Title 21 (County of Los Angeles Subdivision Code) and Section 503 of the Title 32 (County of Los Angeles Fire Code), which requires an all-weather access surface to be clear to sky.
2. A copy of the Final Map shall be submitted to the Fire Department for review and approval prior to recordation.
3. The Private Street is required for fire apparatus access and shall be indicated on the Final Map as "Private Driveway and Fire lane" with the widths clearly depicted.
4. A reciprocal access agreement along the Private Street is required since multiple lots and units are sharing the same access. Submit documentation to the Fire Department for review prior to Final Map clearance.

PROJECT CONDITIONS OF APPROVAL

1. This property is located within the area described by the Fire Department as "Very High Fire Hazard Severity Zone". A "Fuel Modification Plan" shall be submitted and approved prior to building permit issuance. (Contact: Fuel Modification Unit, Fire Station #32, 605 North Angeleno Avenue, Azusa, CA 91702-2904, Phone (626) 969-5205 for details).

Reviewed by: Juan Padilla

Date: April 19, 2016



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4243, Fax (323) 890-9783

PROJECT: PM 73804

MAP DATE: March 22, 2016

-
2. All proposed buildings shall be places such that a fire lane is provided to within 150 feet of all exterior walls of the first story. This measurement shall be by an approved route around the exterior of the building or facility. Verification for compliance will be performed during the Fire Department review of the architectural plan prior to building permit issuance.
 3. The Private Street shall provide a minimum paved unobstructed width of 20 feet, clear to the sky. Verification for compliance will be performed during the Fire Department review of the architectural plan prior to building permit issuance.
 4. Any change of direction within a private driveway shall provide a 32 feet centerline turning radius. Verification for compliance will be performed during the Fire Department review of the architectural plan prior to building permit issuance.
 5. Per the fire flow test performed by Los Angeles County Waterworks District #29 dated 07-06-15, the existing fire hydrants and water system meet the current Fire Department requirements. An updated fire flow test will be required by the Fire Department prior to building permit issuance.
 6. The required fire flow from the public fire hydrant for this development can be up to **2000** gallons per minute at 20 psi for a duration of 2 hours, over and above maximum daily domestic demand. Verification for compliance will be performed during the Fire Department review of the architectural plan prior to building permit issuance.
 7. An approved automatic fire sprinkler system is required for proposed building within this development. Submit design plans to the Fire Department Sprinkler Plan Check Unit for review and approval prior to installation.
 8. The driveways required for fire apparatus access shall be posted with signs stating "No Parking-Fire Lane" and/or stripped accordingly in compliance with the County of Los Angeles Fire Code prior to occupancy.
 9. All future buildings shall provide approved address numbers. Compliance required prior to occupancy to the satisfaction of the Department of Public Works and the County of Los Angeles Fire Code.

Reviewed by: Juan Padilla

Date: April 19, 2016



**COUNTY OF LOS ANGELES FIRE DEPARTMENT
FIRE PREVENTION DIVISION**

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4243, Fax (323) 890-9783

PROJECT: PM 73804

MAP DATE: March 22, 2016

For any questions regarding the report, please contact Juan Padilla at (323) 890-4243 or Juan.Padilla@fire.lacounty.gov.



**LOS ANGELES COUNTY
DEPARTMENT OF PARKS AND RECREATION**



PARK OBLIGATION REPORT

Tentative Map #	73804	DRP Map Date:	03/22/2016	SCM Date:	/ /	Report Date:	04/19/2016
Park Planning Area #	27B		EAST MALIBU			Map Type:	REV. (REV RECD)

Total Units = Proposed Units + Exempt Units

Sections 21.24.340, 21.24.350, 21.28.120, 21.28.130, and 21.28.140, the County of Los Angeles Code, Title 21, Subdivision Ordinance provide that the County will determine whether the development's park obligation is to be met by:

- 1) the dedication of land for public or private park purpose or,
- 2) the payment of in-lieu fees or,
- 3) the provision of amenities or any combination of the above.

The specific determination of how the park obligation will be satisfied will be based on the conditions of approval by the advisory agency as recommended by the Department of Parks and Recreation.

Park land obligation in acres or in-lieu fees:

ACRES:	0.02
IN-LIEU FEES:	\$5,722

Conditions of the map approval:

The park obligation for this development will be met by:

The payment of \$5,722 in-lieu fees.

Trails:

No trails.

Comments:

*** Advisory:

The Representative Land Value (RLVs) in Los Angeles County Code (LACC) Section 21.28.140 are used to calculate park fees and are adjusted annually, based on changes in the Consumer Price Index. The new RLVs become effective July 1st of each year and may apply to this subdivision map if first advertised for hearing before either a hearing officer or the Regional Planning Commission on or after July 1st pursuant to LACC Section 21.28.140, subsection 3. Accordingly, the park fee in this report is subject to change depending upon when the subdivision is first advertised for public hearing.

Please contact Clement Lau at (213) 351-5120 or Sheela Mathai at (213) 351-5121, Department of Parks and Recreation, 510 South Vermont Avenue, Los Angeles, CA 90020 for further information or to schedule an appointment to make an in-lieu fee payment.

For information on Hiking and Equestrian Trail requirements, please contact the Trails Coordinator at (213) 351-5134.

By: *Kathline J. King*
Kathline J. King, Chief of Planning



**LOS ANGELES COUNTY
DEPARTMENT OF PARKS AND RECREATION**



PARK OBLIGATION WORKSHEET

Tentative Map #	73804	DRP Map Date:	03/22/2016	SMC Date:	/ /	Report Date:	04/19/2016
Park Planning Area #	27B		EAST MALIBU			Map Type:	REV. (REV RECD)

The formula for calculating the acreage obligation and or In-lieu fee is as follows:

(P)people x (0.003) Ratio x (U)nits = (X) acres obligation

(X) acres obligation x RLV/Acre = In-Lieu Base Fee

- Where: P = Estimate of number of People per dwelling unit according to the type of dwelling unit as determined by the 2000 U.S. Census*. Assume * people for detached single-family residences; Assume * people for attached single-family (townhouse) residences, two-family residences, and apartment houses containing fewer than five dwelling units; Assume * people for apartment houses containing five or more dwelling units; Assume * people for mobile homes.
- Ratio = The subdivision ordinance provides a ratio of 3.0 acres of park land for each 1,000 people generated by the development. This ratio is calculated as "0.0030" in the formula.
- U = Total approved number of Dwelling Units.
- X = Local park space obligation expressed in terms of acres.
- RLV/Acre = Representative Land Value per Acre by Park Planning Area.

Total Units = Proposed Units + Exempt Units

	People*	Ratio 3.0 Acres / 1000 People	Number of Units	Acre Obligation
Detached S.F. Units	2.59	0.0030	1	0.01
M.F. < 5 Units	2.26	0.0030	2	0.01
M.F. >= 5 Units	2.01	0.0030	0	0.00
Mobile Units	1.06	0.0030	0	0.00
Exempt Units			0	
Total Acre Obligation =				0.02

Park Planning Area = **27B EAST MALIBU**

Ratio	Acre Obligation	RLV / Acre	In-Lieu Base Fee
@(0.0030)	0.02	\$286,080	\$5,722

Lot #	Provided Space	Provided Acres	Credit (%)	Acre Credit	Land
None					
Total Provided Acre Credit:				0.00	

Acre Obligation	Public Land Crdt.	Priv. Land Crdt.	Net Obligation	RLV / Acre	In-Lieu Fee Due
0.02	0.00	0.00	0.02	\$286,080	\$5,722



CYNTHIA A. HARDING, M.P.H.
Interim Director

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April 18, 2016

Tentative Parcel Map No. 073804

Vicinity: The Malibu

Tentative Parcel Map Date: March 22, 2016

The Los Angeles County Department of Public Health – Environmental Health Division approves **Tentative Parcel Map 073804** based on the use of public water (Los Angeles County Waterworks District #29) and public sewer (Los Angeles County Sanitation District) as proposed. Any variation from the approved method of sewage disposal and/or approved use of public water shall invalidate the Department's approval.

Prepared by:

V.B.
VICENTE BAÑADA, REHS

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Land Use Program

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**DRAFT CONDITIONS OF APPROVAL
COUNTY OF LOS ANGELES
PROJECT NO. R2015-03107-(3)
MINOR COASTAL PERMIT NO. 201500112**

PROJECT DESCRIPTION

This grant authorizes the development of three residential condominiums, in conjunction with Vesting Parcel Map No. 073804, on an existing 0.23 acre (0.19 net acre) multiple-family lot in the Santa Monica Mountains Coastal Zone subject to the following conditions of approval:

GENERAL CONDITIONS

1. Unless otherwise apparent from the context, the term “permittee” shall include the applicant, owner of the property, and any other person, corporation, or other entity making use of this grant.
2. This grant shall not be effective for any purpose until the permittee, and the owner of the subject property if other than the permittee, have filed at the office of the Los Angeles County ("County") Department of Regional Planning (“Regional Planning”) their affidavit stating that they are aware of and agree to accept all of the conditions of this grant, and that the conditions of the grant have been recorded as required by Condition No. 8, and until all required monies have been paid pursuant to Condition No.12. Notwithstanding the foregoing, this Condition No. 2 and Condition Nos. 4, 5, 10, and 12 shall be effective immediately upon the date of final approval of this grant by the County.
3. Unless otherwise apparent from the context, the term “date of final approval” shall mean the date the County's action becomes effective pursuant to Section 22.44.1090 of the Los Angeles County Code (“County Code”).
4. The permittee shall defend, indemnify, and hold harmless the County, its agents, officers, and employees from any claim, action, or proceeding against the County or its agents, officers, or employees to attack, set aside, void, or annul this permit approval, which action is brought within the applicable time period of Government Code Section 65009 or any other applicable limitations period. The County shall promptly notify the permittee of any claim, action, or proceeding and the County shall reasonably cooperate in the defense. If the County fails to promptly notify the permittee of any claim, action, or proceeding, or if the County fails to cooperate reasonably in the defense, the permittee shall not thereafter be responsible to defend, indemnify, or hold harmless the County.
5. Assumption of Risk, Waiver of Liability and Indemnity. By acceptance of this permit, the permittee acknowledges and agree (i) that the site may be subject to hazards from wildfire and erosion; (ii) to assume the risks to the applicants and the property that is the subject of this permit of injury and damage from such hazards in connection with this permitted development; (iii) to unconditionally waive any claim of damage or liability against the County, its officers, agents, and employees for

injury or damage from such hazards; and (iv) to indemnify and hold harmless the County, its officers, agents, and employees with respect to the Commission's approval of the project against any and all liability, claims, demands, damages, costs (including costs and fees incurred in defense of such claims), expenses, and amounts paid in settlement arising from any injury or damage due to such hazards.

6. In the event that any claim, action, or proceeding as described above is filed against the County, the permittee shall within ten days of the filing make an initial deposit with Regional Planning in the amount of up to \$5,000.00, from which actual costs and expenses shall be billed and deducted for the purpose of defraying the costs or expenses involved in Regional Planning's cooperation in the defense, including but not limited to, depositions, testimony, and other assistance provided to permittee or permittee's counsel.

If during the litigation process, actual costs or expenses incurred reach 80 percent of the amount on deposit, the permittee shall deposit additional funds sufficient to bring the balance up to the amount of \$5,000.00. There is no limit to the number of supplemental deposits that may be required prior to completion of the litigation.

At the sole discretion of the permittee, the amount of an initial or any supplemental deposit may exceed the minimum amounts defined herein. Additionally, the cost for collection and duplication of records and other related documents shall be paid by the permittee according to County Code Section 2.170.010.

7. If any material provision of this grant is held or declared to be invalid by a court of competent jurisdiction, the permit shall be void and the privileges granted hereunder shall lapse.
8. Prior to the use of this grant, the permittee, or the owner of the subject property if other than the permittee, shall **record the terms and conditions** of the grant in the office of the County Registrar-Recorder/County Clerk ("Recorder"). In addition, upon any transfer or lease of the property during the term of this grant, the permittee, or the owner of the subject property if other than the permittee, shall promptly provide a copy of the grant and its conditions to the transferee or lessee of the subject property.
9. Prior to this grant being effective, the applicant shall submit to the Director for review and approval documentation demonstrating that, after the Coastal Development Permit is issued and implemented, all special conditions of that permit are satisfied so that the reconfiguration of the lots is final, the applicant executed and recorded against the parcel governed by this permit a deed restriction, as it existed at the time of recordation, in a form and content acceptable to the Director: (1) indicating that, pursuant to this permit, the California Coastal Commission has authorized development on the subject property, subject to terms and conditions that restrict the use and enjoyment of that property; and (2) imposing the Special Conditions of this permit as covenants, conditions and restrictions on the use and enjoyment of the Property. The deed restriction shall include a legal description of the entire parcel or

parcels governed by this permit, consistent with Sections 22.44.1230 (TDC), 22.44.1270 (Lighting), 22.44.1390 (Public Access and Trail Requirements), 22.44.1920(E) (Lighting), 22.44.1920(I) (Future Improvements), and 22.44.2102 (Hazards).

10. This grant shall expire unless used within two (2) years after the recordation of a final map for Vesting Tentative Parcel Map No. 073804. In the event that Vesting Tentative Parcel Map No. 073804 should expire without the recordation of a final map, this grant shall terminate upon the expiration of the tentative map. Entitlement to the use of the property thereafter shall be subject to the regulations then in effect.
11. Prior to the issuance of any building permit(s), the permittee shall remit all applicable library facilities mitigation fees to the County Librarian, pursuant to Chapter 22.72 of the County Code. The permittee shall pay the fees in effect at the time of payment, pursuant to Section 22.72.030. Questions regarding fee payment can be directed to the County Librarian at (562) 940-8430. The permittee shall provide proof of payment upon request from Regional Planning.
12. Within three (3) working days of the date of final approval of this grant,, the permittee shall remit processing fees at the County Registrar-Recorder/County Clerk Office, payable to the County of Los Angeles, in connection with the filing and posting of a Notice of Determination (NOD) for this project and its entitlements in compliance with Section 21152 of the Public Resources Code. Unless a Certificate of Exemption is issued by the California Department of Fish and Wildlife pursuant to Section 711.4 of the California Fish and Game Code, the permittee shall pay the fees in effect at the time of the filing of the NOD, as provided for in Section 711.4 of the Fish and Game Code, currently **\$2,260.25** (\$2,210.25 for a Negative Declaration or Mitigated Negative Declaration plus \$50.00 processing fee). No land use project subject to this requirement is final, vested or operative until the fee is paid.
13. Notice is hereby given that any person violating a provision of this grant is guilty of a misdemeanor. Notice is further given that the Regional Planning Commission ("Commission") or a Hearing Officer may, after conducting a public hearing, revoke or modify this grant, if the Commission or Hearing Officer finds that these conditions have been violated or that this grant has been exercised so as to be detrimental to the public's health or safety or so as to be a nuisance, or as otherwise authorized pursuant to Section 22.44.690 of the County Code.
14. All development pursuant to this grant must be kept in full compliance with the County Fire Code to the satisfaction of the County Fire Department.
15. All development pursuant to this grant shall conform with the requirements of the County Department of Public Works to the satisfaction of said department.

16. All development pursuant to this grant shall comply with the requirements of Title 22 of the County Code and of the specific zoning of the subject property, unless specifically modified by this grant, as set forth in these conditions.
17. The permittee shall maintain the subject property in a neat and orderly fashion. The permittee shall maintain free of litter all areas of the premises over which the permittee has control.
18. All structures, walls and fences open to public view shall remain free of graffiti or other extraneous markings, drawings, or signage that was not approved by Regional Planning. These shall include any of the above that do not directly relate to the business being operated on the premises or that do not provide pertinent information about said premises. The only exceptions shall be seasonal decorations or signage provided under the auspices of a civic or non-profit organization.

In the event of graffiti or other extraneous markings occurring, the permittee shall remove or cover said markings, drawings, or signage within 24 hours of such occurrence, weather permitting. Paint utilized in covering such markings shall be of a color that matches, as closely as possible, the color of the adjacent surfaces.

19. The subject property shall be developed and maintained in substantial conformance with the plans marked Exhibit "A" or revised Exhibit "A" approved by the director. If changes to any of the plans marked Exhibit "A" are required as a result of instruction given at the public hearing, 3 copies of a modified Exhibit "A" shall be submitted to Regional Planning within 60 days.
20. Interpretation. Any questions of intent or interpretation of any condition will be resolved by the Director.

PERMIT SPECIFIC CONDITIONS – COASTAL DEVELOPMENT PERMIT

21. A Low Impact Development (LID) Plan as part of the drainage concept is required. Per County Code Section 12.84.460, comply with LID requirements and provide calculations in accordance with the Low Impact Development Standards Manual which can be found at <http://dpw.lacounty.gov/idd/web/>.
22. Structural Appearance. The permittee shall comply with and remain in substantial conformance with the color palette and material specifications as outlined in Section 22.44.1320 of the County Code and as approved by the this permit. the palette shall include the colors proposed for the roofs, trims, exterior surfaces, driveways, retaining walls, and other structures authorized by this permit. Acceptable colors shall be limited to colors compatible with the surrounding environment (earth tones) including shades of green, brown and gray with no white or light shades and no bright tones. All windows shall be comprised of non-glare glass. The approved structures shall be colored with only the colors and window materials authorized pursuant to this special condition. Any substantial changes in the proposed structural

appearance may be required to obtain amendment(s) to the permit(s) or new Coastal Development Permit(s).

23. Lighting Restriction. The permittee shall comply with the provisions for Exterior Lighting as outlined in Section 22.44.1270 of the County Code.
24. Future Development Restriction. This permit is only for the development described in this Coastal Development Permit. Pursuant to Title 14 California Code of Regulations section 13250(b)(6), the exemptions otherwise provided in Public Resources Code section 30610(a) shall not apply to the development governed by this Coastal Development Permit. Accordingly, any future structures, future improvements, or change of use to the permitted structures authorized by this permit, including but not limited to, any grading, clearing or other disturbance of vegetation other than as provided for in the approved landscape plan, shall require an amendment to this Coastal Development Permit from the Commission or shall require an additional coastal development permit from the Commission or from the applicable certified local government.
25. Removal of Vegetation. Removal of natural vegetation for the purpose of fuel modification within the 50 foot zone surrounding the proposed structure(s) shall not commence until the local government has issued a building or grading permit for the development approved pursuant to this permit. Vegetation thinning within the 50-200 foot fuel modification zone shall not occur until commencement of construction of the structure(s) approved pursuant to this permit.
26. No grading permit shall be issued prior to final map recordation.
27. Prior to final map recordation, the permittee shall provide two Transfer of Development Credits (TDC), as outlined in Section 22.44.1230 of the Local Implementation Program. Lot retirement as part of the TDC program shall be done in conformance with 22.44.1230(3).
28. The permittee shall comply with the conditions and requirements of Vesting Tentative Parcel Map 073804.
29. After recordation of Vesting Tentative Parcel Map 073804 the permittee shall submit a Revised Exhibit "A" for review and approval by the Director for construction of the proposed project, authorized by this grant.

Environmental Checklist Form (Initial Study)

County of Los Angeles, Department of Regional Planning



Project title: Project No. R2015-03107 / Vesting Tentative Parcel Map No. 073804/ Minor Coastal Development Permit No. 201500112/ Environmental Assessment No. 201500224

Lead agency name and address: Los Angeles County, 320 West Temple Street, Los Angeles, CA 90012

Contact Person and phone number: Edward A. Rojas

Project sponsor's name and address: Vladimir and Luba Tomalevski, 2332 Cotner Avenue, Suite 303, Los Angeles, CA 90064

Project location: 18225 Coastline Drive, Malibu, CA 90265
APN: 4443-008-021 USGS Quad: Topanga

Gross Acreage: 0.23

General plan designation: Subject to Community Plan

Community/Area wide Plan designation: U20 – Residential (20 du/ac) – Santa Monica Mountains Local Coastal Program

Zoning: R-3 (Limited Multiple Residence)

Description of project: The project consists of a vesting tentative parcel map to create 3 residential condominium dwelling units on 0.23 gross acres (0.19 net acres). The project also includes a Minor Coastal Development Permit for development within the Santa Monica Mountains Coastal Zone. The property is currently vacant, except for a paved private driveway used for access by the subject property and neighboring properties, and a concrete foundation and retaining walls from an abandoned apartment project. Permits for the construction of the apartment were obtained in 1962. No additional work was done beyond the foundation and retaining walls. The proposed development would consist of two buildings, one two story building with a condominium unit over three two car garages and a two story building with two condominium units.

Surrounding land uses and setting: The property is located in a developed area of the Santa Monica Mountains Coastal Zone, in a moderately dense tract of residential homes with public water and sewer utility connections. The property is surrounded by multi-unit residential buildings and single-family homes. It's approximately 1,200 feet to the west of the City of Los Angeles border within the un-incorporated community and approximately 450 feet to the north of the coastline and public beaches. The property has sloping terrain and fronts on Coastline Drive. A private driveway cuts through the property and several adjoining properties.

Other public agencies whose approval may be required (e.g., permits, financing approval, or participation agreement):

<i>Public Agency</i>	<i>Approval Required</i>
<u>Department of Public Works</u>	<u>Final Map</u>
<u>Department of Public Works</u>	<u>Building Permit</u>
<u>Los Angeles County Fire</u>	<u>Fuel Modification Plan</u>

Major projects in the area:

<i>Project/ Case No.</i>	<i>Description and Status</i>
<u>Project No. 99212/PM25785</u>	<u>Four residential condominium units. Approved and recorded.</u>
<u>Project No. 04-078/TR061127</u>	<u>Convert existing 4 unit apartment into 4 residential condominium units and 3 new condominium units. Approved, but not recorded.</u>

Reviewing Agencies:

Responsible Agencies

- None
- Regional Water Quality Control Board:
 - Los Angeles Region
 - Lahontan Region
- Coastal Commission
- Army Corps of Engineers

Trustee Agencies

- None
- State Dept. of Fish and Wildlife
- State Dept. of Parks and Recreation
- State Lands Commission
- University of California (Natural Land and Water Reserves System)

Special Reviewing Agencies

- None
- Santa Monica Mountains Conservancy
- National Parks
- National Forest
- Edwards Air Force Base
- Resource Conservation District of Santa Monica Mountains Area
-

County Reviewing Agencies

- DPW:
 - Land Development Division (Grading & Drainage)
 - Geotechnical & Materials Engineering Division
 - Watershed Management Division (NPDES)
 - Traffic and Lighting Division
 - Environmental Programs Division
 - Waterworks Division
 - Sewer Maintenance Division

Regional Significance

- None
- SCAG Criteria
- Air Quality
- Water Resources
- Santa Monica Mtns. Area
-

- Fire Department
 - Forestry, Environmental Division
 - Planning Division
 - Land Development Unit
 - Health Hazmat
- Sanitation District
- Public Health/Environmental Health Division: Land Use Program (OWTS), Drinking Water Program (Private Wells), Toxics Epidemiology Program (Noise)
- Sheriff Department
- Parks and Recreation
- Subdivision Committee
-

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project.

- Aesthetics
- Agriculture/Forest
- Air Quality
- Biological Resources
- Cultural Resources
- Energy
- Geology/Soils
- Greenhouse Gas Emissions
- Hazards/Hazardous Materials
- Hydrology/Water Quality
- Land Use/Planning
- Mineral Resources
- Noise
- Population/Housing
- Public Services
- Recreation
- Transportation/Traffic
- Utilities/Services
- Mandatory Findings of Significance

DETERMINATION: (To be completed by the Lead Department.)

On the basis of this initial evaluation:

- I find that the proposed project **COULD NOT** have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- I find that the proposed project **MAY** have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- I find that the proposed project **MAY** have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Signature (Prepared by)

Date 7/19/16

Signature (Approved by)

Date 7/19/16

EVALUATION OF ENVIRONMENTAL IMPACTS:

- 1) A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources the Lead Department cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the Lead Department has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
- 4) "Negative Declaration: Less Than Significant With Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level. (Mitigation measures from Section XVII, "Earlier Analyses," may be cross-referenced.)
- 5) Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA processes, an effect has been adequately analyzed in an earlier EIR or negative declaration. (State CEQA Guidelines § 15063(c)(3)(D).) In this case, a brief discussion should identify the following:
 - a) Earlier Analysis Used. Identify and state where they are available for review.
 - b) Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of, and adequately analyzed in, an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c) Mitigation Measures. For effects that are "Less than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 7) The explanation of each issue should identify: the significance threshold, if any, used to evaluate each question, and; mitigation measures identified, if any, to reduce the impact to less than significance. Sources of thresholds include the County General Plan, other County planning documents, and County ordinances. Some thresholds are unique to geographical locations.
- 8) Climate Change Impacts: When determining whether a project's impacts are significant, the analysis should consider, when relevant, the effects of future climate change on : 1) worsening hazardous conditions that pose risks to the project's inhabitants and structures (e.g., floods and wildfires), and 2) worsening the project's impacts on the environment (e.g., impacts on special status species and public health).

1. AESTHETICS

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
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Would the project:

a) Have a substantial adverse effect on a scenic vista?

The project consists of a subdivision to create three residential condominium units. There are no significant vistas or ridgelines on the subject property. The proposed structures are of comparable height to adjoining structures and will not obscure any existing views for neighboring properties. The project site is located approximately 400 feet from Pacific Coast Highway, a designated scenic route by the Santa Monica Mountains Local Costal Program (“LCP”). The project site is a vacant lot surrounded by multi-family and single-family residential development and outside the 200 foot buffer area for scenic highways that are considered Scenic Resource Areas by the LCP. Therefore the proposed project would not degrade any existing vistas from Pacific Coast Highway.

b) Be visible from or obstruct views from a regional riding or hiking trail?

The project site is located approximately 480 feet from the California Coastal Trail. The project site is situated within a developed area of the Santa Monica Mountains. Properties in the area are zoned R-3 and developed with multi-family residential uses and R-1 and developed with single-family homes. The proposed development is not visible from the existing trail and therefore would not degrade the scenic character in our around the trail.

c) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?

The project site does not contain any scenic resources such as trees, rock outcroppings or historical buildings and is located along or visible from a scenic highway.

d) Substantially degrade the existing visual character or quality of the site and its surroundings because of height, bulk, pattern, scale, character, or other features?

The proposed project is of comparable height and bulk as surrounding structures. The proposed structure will have a height of 30 to 35 feet, which is less than the abutting condominiums to the east and west, that were approved prior to the LCP. The project site is surrounded by residential development and the proposed project of 3 residential condominium units is in keeping with the character of the neighborhood.

e) Create a new source of substantial shadows, light, or glare which would adversely affect day or nighttime views in the area?

The proposed project of developing 3 residential condominium units on a vacant lot, within an area developed with residential development will not be a source of sustainable shadows or affect day or nighttime views. The proposed structure is comparable in bulk and height to surrounding properties. In addition the proposed development is subject to the Santa Monica Mountains Local Implementation Program (“LIP”), which limits exterior lighting to low intensity features, shielded and concealed to the greatest extent possible, with the use of dark skies technology (Section 22.44.1270). Construction will also be required to conform to Section 22.44.1320 of the LIP, which prohibits the use of reflective, glossy or polished metal siding and roofing and all other highly reflective materials.

2. AGRICULTURE / FOREST

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
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Would the project:

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The project site is not comprised of any farmland. The property is vacant lot in an established residential area. The project will not result in the conversion of Prime Farmland, Unique Farmland, or any other types of farmland (Source: Farmland Mapping and Monitoring Program, California Department of Conservation.)

b) Conflict with existing zoning for agricultural use, with a designated Agricultural Opportunity Area, or with a Williamson Act contract?

	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The property is zoned R-3 (Limited Multiple Residence). The project site is not designated as an Agricultural Opportunity Area. There are no Williamson Act contract lands in unincorporated Los Angeles County except for Catalina Island.

c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code § 12220 (g)), timberland (as defined in Public Resources Code § 4526), or timberland zoned Timberland Production (as defined in Government Code § 51104(g))?

	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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There is no forest land or timberland zoned Timberland Production within the project site or vicinity.

d) Result in the loss of forest land or conversion of forest land to non-forest use?

	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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There project site is not comprised of forest land and there is no forest land within the immediate vicinity of the project site.

e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?

	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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There is no forest land or farmland within the project site or immediate vicinity

3. AIR QUALITY

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
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Would the project:

a) Conflict with or obstruct implementation of applicable air quality plans of either the South Coast AQMD (SCAQMD) or the Antelope Valley AQMD (AVAQMD)?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project consists of three residential condominium units on a vacant lot surrounded by existing residential development. The project site is located within the South Coast Air Quality Management District (SCAQMD). The proposed project complies with the density and land use requirements of the Santa Monica Mountains Local Coastal Program. Therefore the project will not conflict or obstruct the implementation of the applicable SCAQMD air quality plan.

Based on the 2012 Area Designations for ten criteria pollutants, which is the most current available information and represents air quality based on 2008 and 2010 monitoring date, the State Ambient Air Quality Standards for Los Angeles County are as follows: “Nonattainment” for Ozone, Suspended Particulate Matter, Fine Suspended Particulate Matter, Nitrogen Dioxide, Lead; “Attainment” for Carbon Monoxide, Sulfur Dioxide and Sulfates; “Unclassified” for Hydrogen Sulfide and Visibility Reducing Particles. The proposed project would not significantly contribute to this nonattainment status.

b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The proposed project of three residential condominium units. The project will not violate an applicable federal or state air quality standard or projected air quality violation.

c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The construction of the proposed three condominium units individually or cumulatively, will not exceed the SCAQMD Air Quality Significant Thresholds.

d) Expose sensitive receptors to substantial pollutant concentrations?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project is not considered a sensitive land use and no sensitive land uses are located in close proximity to the project site. Therefore the proposed project would not expose sensitive receptors to substantial amounts

of pollutants. The proposed project is considered consistent with the existing land use in the neighborhood and is not contributor of substantial pollution concentration.

e) Create objectionable odors affecting a substantial number of people?

Due to the nature of the proposed land use, three residential condominium units, it can be expected that the proposed project would not create objectionable odors that would be perceptible to a substantial number of people. The proposed project would not violate AQMD Rule 402, which states “A person shall not discharge from any source whatsoever such quantities of air contaminants or other material which cause injury, detriment, nuisance, or annoyance to any considerable number of persons or to the public, or which endanger the comfort, repose, health or safety of any such persons or the public, or which cause, or have a natural tendency to cause, injury or damage to business or property. The provisions of this rule shall not apply to odors emanating from agricultural operations necessary for the growing of crops or the raising of fowl or animals.”

4. BIOLOGICAL RESOURCES

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
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Would the project:

a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife (CDFW) or U.S. Fish and Wildlife Service (USFWS)?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project site is located in the Santa Monica Mountains Coastal Zone, and subject to the Santa Monica Mountains Local Coastal Program “LCP” and the Local Implementation Program “LIP.” Habitat in the LCP is designated H1, H2, or H3. The project site consists entirely of H3 habitat. This designation is given to areas where native vegetation has significantly disturbed or removed, and not contiguous to large areas of undisturbed habitat. The project site is 200 feet from H1 designated habitat. While a small portion of the property is within 200 feet, the proposed development will be outside the 200 foot buffer from H1 category. Per the LIP a Biological Inventory Report “BIR” was produced by Envicom. The BIR dated February 12, 2016, determined that no protected or regulated biological resources were identified on the project site or will be impacted by the proposed project. The project site is surrounded by existing residential development. The site was previously graded and a concrete foundation was poured and retaining wall installed as part of an approved apartment house project, which was eventually abandoned. The foundation and retaining wall remain. The property has a private driveway cutting through it, which is used for access by the project site and surrounding properties. The project site is within a Very High Fire Hazard Area, and within the required fuel modification zone for surrounding residential structures. Furthermore the BIR found the project site not to be of importance for wildlife movement due to the isolation from undeveloped areas and the amount of residential development surrounding the project site.

b) Have a substantial adverse effect on any sensitive natural communities (e.g., riparian habitat, coastal sage scrub, oak woodlands, non-jurisdictional wetlands) identified in local or regional plans, policies, regulations or by CDFW or USFWS?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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A BIR was produced for the proposed project. The BIR dated February 12, 2016 did not identify any sensitive natural communities on the project site or within the immediate proximity of the project site. In addition the site was not found to be of importance for wildlife movement or habitat connectivity. The project site is a vacant lot with surrounded by existing residential development on all sides. While the site is vacant, there is a concrete pad and retaining wall from a previously abandoned apartment house project. The project site also has a private driveway that runs through it. The driveway is used for access by the project site and surrounding properties. Due to the disturbed nature of the site, the development of three residential condominium units on the site would not have an adverse effect on sensitive natural communities.

c) Have a substantial adverse effect on federally or state protected wetlands (including, but not limited to, marshes, vernal pools, coastal wetlands, and drainages) or waters of the United States, as defined by § 404 of the federal Clean Water Act or California Fish & Game code § 1600, et seq. through direct removal, filling, hydrological interruption, or other means?

The project site does not contain either federal or state-protected wetlands or waters.

d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

The project site is not within a mapped wildlife linkage designs (corridor) as identified by the South Coast Missing Linkages project. The project site is a vacant lot surrounded by residential development. A private driveway crosses across the southern part of the property, and is used by the neighboring properties for access. A concrete foundation and retaining walls from an abandoned project remain. The BIR determined that species such as reptiles, birds and small mammals may forage on the site but are not likely to reproduce on the project site due to the disturbed nature of the site and the lack of vegetation cover. Due to the isolation of the site from intact habitat, larger species are not expected to be found on the site. The BIR determined that site “does not support suitable habitat for wildlife and is not of particular importance to wildlife movement” (pg. 17).

e) Convert oak woodlands (as defined by the state, oak woodlands are oak stands with greater than 10% canopy cover with oaks at least 5 inch in diameter measured at 4.5 feet above mean natural grade) or otherwise contain oak or other unique native trees (junipers, Joshuas, southern California black walnut, etc.)?

The project site does not contain any Oak woodlands, Joshua trees, Junipers, or other sensitive trees on the subject property.

f) Conflict with any local policies or ordinances protecting biological resources, including Wildflower Reserve Areas (L.A. County Code, Title 12, Ch. 12.36), the Los Angeles County Oak Tree Ordinance (L.A. County Code, Title 22, Ch. 22.56, Part 16), the Significant Ecological Areas (SEAs) (L.A. County Code, Title 22, § 22.56.215), and Sensitive Environmental Resource Areas (SERAs) (L.A. County Code, Title 22, Ch. 22.44, Part 6)?

The project site is not located within a Significant Ecological Area (SEA), SEA Buffer Area, Sensitive Environmental Resource Area (SERA), or Wildflower Reserve Area. Since there are no oak trees or oak woodlands located on the project site, there is no conflict with the Los Angeles County Oak Tree Ordinance.

g) Conflict with the provisions of an adopted state, regional, or local habitat conservation plan?

The proposed project is consistent with the adopted Local Coastal Program for the Santa Monica Mountains and does not conflict with any other adopted State, regional, or local Habitat Conservation Plan.

5. CULTURAL RESOURCES

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
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Would the project:

a) Cause a substantial adverse change in the significance of a historical resource as defined in CEQA Guidelines § 15064.5?

The project site does not contain historical resources as defined in CEQA Guidelines §15064.5 and there is no record of national or state-designated historical resources on the project site.

b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to CEQA Guidelines § 15064.5?

The project site does not contain known archaeological resources as defined in CEQA Guidelines §15064.5 and would not disturb any known archeological resources. The site is located in a largely built out pocket of residential development.

c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature, or contain rock formations indicating potential paleontological resources?

The project site does not contain known paleontological resources or sites, unique geological features or rock formations.

d) Disturb any human remains, including those interred outside of formal cemeteries?

There is no record of human remains on the project site. If the project is approved, the project will be conditioned to require the subdivider to halt construction in the vicinity of the discovered human remains, leaving the remains in place. From that point, the procedures described in Section 7050.5 of the California Health and Safety Code shall be followed. These procedures require notification of the County Coroner. If the County Coroner determines that the discovered remains are those of Native American ancestry, then the Native American Heritage Commission (NAHC) must be notified by telephone within 24 hours. Section 5097.98 of the Public Resources Code describes the procedures to be followed after the notification of the NAHC.

e) Would the project cause a substantial adverse change in the significance of a tribal cultural resource as defined in CEQA Public Resources Code § 21074?

Consultation with the Tataviam Band of Mission Indians noted the site is within a sensitivity zone of one Tataviam Village site. A records search was conducted by the South Central Coastal Information Center of the project site and a 1/2 mile radius of the project site. No resources listed in the California Register of

Historical Resources were identified on the project site or within a ½ mile radius of the project site. A review of cultural resource reports and archeological resources also did not identify any resources on the project site. The project site is vacant but has been graded for a private driveway shared with surrounding properties. The site was also graded for a previously approved apartment house. A foundation was laid and a retaining wall was built before the project was abandoned. Due to the lack of identified resources found by the SCCIC research and disturbed nature of the site, the proposed project should not cause a substantial adverse change in significance of a tribal resource.

6. ENERGY

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
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Would the project:

a) Conflict with Los Angeles County Green Building Standards Code (L.A. County Code Title 31)?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project is subject to and shall be in compliance with the Los Angeles County Green Building ordinance requirements. The project is subject to all components of the Green Building Program.

b) Involve the inefficient use of energy resources (see Appendix F of the CEQA Guidelines)?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The project is required to comply with the LA County Green Building Standards Code related to construction. Appendix F, Section 1 of the CEQA Guidelines requires evaluation of energy efficiency only for Environmental Impact Reports.

7. GEOLOGY AND SOILS

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
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Would the project:

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:

i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known active fault trace? Refer to Division of Mines and Geology Special Publication 42.

There is no fault trace within the project site. Therefore, people or structures on the project site should not be exposed to potential substantial adverse effects (Source: California Geological Survey, Alquist-Priolo Earthquake Fault Zone Map).

ii) Strong seismic ground shaking?

There is no fault trace on the project site and not located within a seismic zone. The nearest recorded fault trace is located approximately 0.8 miles to the south of the project site according to the Geotechnical Report prepared for the proposed project, by Bay City Geology Inc., dated May 20. Therefore, people or structures on the project site should not be exposed to potential substantial adverse effects.

iii) Seismic-related ground failure, including liquefaction and lateral spreading?

The project site is not located in a designated liquefaction zone. A geotechnical report for the property found the threat of ground failure, including liquefaction and lateral spreading to be very low. This is due to the age, density and hardness of the soil that is found on the project site.

iv) Landslides?

The project site is not located within any identified landslide zone (Source: California Geological Survey).

b) Result in substantial soil erosion or the loss of topsoil?

The construction of the three proposed residential condominium units is subject to grading and site drainage reviews and has to comply with the County's Low Impact Development (LID) Ordinance. LID sets forth

requirements to manage storm water runoff and lessen the potential for erosion resulting from storm water runoff. Thus, the proposed project should not cause substantial soil erosion or the loss of topsoil.

c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?

The geotechnical report dated May 20, 2015 found the project site capable of supporting the proposed project. The underlying soils were found to be dense enough to support the foundation loads for the proposed three residential condominium units. The risk for lateral spreading or liquefaction is considered very low for the project site. The property is not located within a landslide zone

d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?

The geotechnical report dated May 20, 2015 found soils to have medium expansive potential. No soil with a high or very high expansion potential were found. Therefore the proposed project would not create a substantial risk to life or property due to expansive soil. The geotechnical report found the project site to be capable of supporting the three residential condominium units.

e) Have soils incapable of adequately supporting the use of onsite wastewater treatment systems where sewers are not available for the disposal of wastewater?

The proposed project will connect to the available public sewer for waste water disposal.

f) Conflict with the Hillside Management Area Ordinance (L.A. County Code, Title 22, § 22.56.215) or hillside design standards in the County General Plan Conservation and Open Space Element?

The proposed project is subject to the Hillside Management regulations of the Santa Monica Mountains Local Implementation Program “LIP.” The proposed project conforms to the LIP. The project is proposing multi-level pads and conforms to the natural landform of the property and does not impact any existing scenic resources. The project does not conflict with any other design standards in the Conservation or Open Space Element of the General Plan.

8. GREENHOUSE GAS EMISSIONS

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
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Would the project:

a) Generate greenhouse gas (GHGs) emissions, either directly or indirectly, that may have a significant impact on the environment?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project entails a subdivision to develop three residential condominium units on 0.19 net acres. Considering the project is required to comply with the County's Green Building Ordinance related to construction and is relatively small in scale, GHG emissions resulting from water delivery, electricity generation, and construction activities will not have a significant impact on the environment.

b) Conflict with any applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project entails a subdivision to develop three residential condominium units on 0.19 net acres. Considering the relatively small scale of the project, the proposed use, and the required compliance with the County's Green Building Ordinance, it is not expected that the project will generate GHGs that will have a significant impact on the environment. Therefore, the project should not conflict with any applicable plan, policy, or regulation adopted for the purpose of reducing GHGs emissions

9. HAZARDS AND HAZARDOUS MATERIALS

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
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Would the project:

a) Create a significant hazard to the public or the environment through the routine transport, storage, production, use, or disposal of hazardous materials?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project does not include the transportation, storage, production, use, or disposal of hazardous materials, or the use of pressurized tanks. During the construction phase of the project, the project may include minimal use of hazardous materials such as solvents, paints, lubricants, and oils. Current local, state and federal laws relating to the use, storage, and disposal of these materials make it unlikely that the project would have a significant effect on the environment.

b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials or waste into the environment?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The three proposed residential condominium units do not include the release of hazardous materials or waste into the environment. The construction of the condominiums may include minimal use of hazardous materials, such as solvents, paints, lubricants, and oils, which would not create a significant hazard to the public or the environment, or result in any accidental condition that could affect the public or the environment.

c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of sensitive land uses?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The development of three residential condominium units will not generate hazardous emissions or results in the handling of acutely hazardous materials, substances or waste. The construction phase of the project could include the minimal use of hazardous materials such as solvents, paints, lubricants, and oils. However, current local, state, and Federal laws relating to the use, storage, and disposal of these materials make it unlikely that the project would have a significant effect on the residences located within 500 feet of the project site.

d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code § 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The project site is not included on the California Department of Toxic Substances Control EnviroStor database of clean-up sites and hazardous waste permitted facilities (<http://www.envirostor.dtsc.ca.gov/public/>).

e) For a project located within an airport land use plan, or where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The project site is not located within an airport land use plan or within two miles of a public airport or public use airport.

f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?

The project site is not located within the vicinity of a private airstrip.

g) Impair implementation of, or physically interfere with, an adopted emergency response plan or emergency evacuation plan?

The development of three residential condominium units in a residentially developed area will not impair implementation of, or physically interfere, with an adopted emergency response plan or emergency evacuation plan.

h) Expose people or structures to a significant risk of loss, injury or death involving fires, because the project is located:

i) within a Very High Fire Hazard Severity Zones (Zone 4)?

The project site is located within a Very High Fire Hazard Severity Zone. The proposed project will be required to submit a Fuel Modification Plan, as are all projects, both discretionary and administrative in the Very High Fire Hazard Severity Zone, prior to building permit issuance. Los Angeles County Fire has reviewed and approved the proposed subdivision project.

ii) within a high fire hazard area with inadequate access?

The project site is fronted by Coastline Drive a 60 foot wide public street. The site has an existing private driveway that traverses the property. The private driveway will also serve as a fire lane. Los Angeles County Fire Department has reviewed and cleared the proposed project.

iii) within an area with inadequate water and pressure to meet fire flow standards?

Los Angeles County Waterworks District #29 conducted a fire flow test on July 6, 2015 and found the existing hydrant and water system to be adequate.

iv) within proximity to land uses that have the potential for dangerous fire hazard?

The project site is surrounded by residential development and not in close proximity to uses considered fire hazards. The proposed project would be required to comply with all of the requirements of the Los Angeles County Fire Code.

i) Does the proposed use constitute a potentially dangerous fire hazard?

The proposed residential use does not constitute a potentially dangerous fire hazard. The three condominium units do not entail the use of large amounts of hazardous or highly flammable materials or substances.

10. HYDROLOGY AND WATER QUALITY

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
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Would the project:

a) Violate any water quality standards or waste discharge requirements?

The project site is connected to an existing municipal wastewater system. A sewer area study was approved by the Department of Public Works for the proposed three residential condominium units. In unincorporated Los Angeles County, the proposed project would be required to comply with the requirements of the Low-Impact Development Ordinance, in order to control and minimize potentially polluted runoff. Compliance with these standards should prevent the violation of any water quality or waste discharge requirements.

b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?

The project site will be served by a public water system and will not make use of local groundwater.

c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?

The project site is currently vacant, except for an existing private driveway and the foundation of abandoned project. The proposed project of three residential condominium units will increase the amount of impervious area. However the project is required to submit an approved drainage plan and comply with LID requirements. Therefore the proposed three residential condominium units would not result in substantial on or off-site erosion or siltation. There are no streams or rivers on the subject property or within the immediate vicinity of the proposed development.

d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?

The project site is currently vacant, except for an existing private driveway and the foundation of abandoned project. The proposed project of three residential condominium units will increase the amount of impervious

area. However the project is required to submit an approved drainage plan and comply with LID requirements. Therefore the proposed three residential condominium units would not result in on or off-site flooding. There are no streams or rivers on the subject property or within the immediate vicinity of the proposed development.

e) Add water features or create conditions in which standing water can accumulate that could increase habitat for mosquitoes and other vectors that transmit diseases such as the West Nile virus and result in increased pesticide use?

The proposed project is not proposing water features or would create any conditions that would increase habitat for mosquitoes or other vectors. Any proposed water features in conjunction with single-family residences are reviewed as part of the routine permitting process. The review includes ensuring proposed water features have a water circulation component.

f) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?

Construction of the three residential condominium units is subject to site drainage review and the LID Ordinance. The County’s storm drainage conveyance system (MS4) collects residential stormwater discharge that is not absorbed onsite and is required to comply with its National Pollutant Discharge Elimination System (NPDES) permit.

g) Generate construction or post-construction runoff that would violate applicable stormwater NPDES permits or otherwise significantly affect surface water or groundwater quality?

The project will be required to comply with the National Pollution Discharge Elimination System (“NPDES”) requirements and any future construction of residences will be subject to the County’s Low Impact Development to minimize or reduce runoff. These collective measures should prevent violation of applicable storm water permits and negative impacts to surface waters or groundwater quality.

h) Conflict with the Los Angeles County Low Impact Development Ordinance (L.A. County Code, Title 12, Ch. 12.84)?

The project will be required to comply with the Los Angeles County Low-Impact Development Ordinance

i) Result in point or nonpoint source pollutant discharges into State Water Resources Control Board-designated Areas of Special Biological Significance?

Any run-off from the project site will discharged into a public storm drain system. The proposed project is subject to the County’s Low-Impact Development Ordinance, adherence to the requirements should prevent any substantial amount of nonpoint sources of pollutants. The project site is not located in the vicinity of a State Water Resources Control Board (“SWRCB”)-designated Area of Special Biological Significance

identified on the SCRCB website (Source: http://www.waterboards.ca.gov/water_issues/programs/ocean/docs/asbs/asbs_areas/asbs_swqpa_publication03.pdf).

j) Use onsite wastewater treatment systems in areas with known geological limitations (e.g. high groundwater) or in close proximity to surface water (including, but not limited to, streams, lakes, and drainage course)?

The proposed project does not entail the use of onsite wastewater treatment systems.

k) Otherwise substantially degrade water quality?

The proposed development of three residential condominium units will not substantially degrade water quality. The proposed project will be connected to the existing public water and sewer systems.

l) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map, or within a floodway or floodplain?

The project site is not located within a 100-year flood hazard area as mapped by a Federal Emergency Management Agency ("FEMA") Flood Insurance Rate Map ("FIRM").

m) Place structures, which would impede or redirect flood flows, within a 100-year flood hazard area, floodway, or floodplain?

The project site is not located within a 100-year flood hazard area as mapped by a Federal Emergency Management Agency ("FEMA") Flood Insurance Rate Map ("FIRM").

n) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?

The project site is not located within a 100-year flood hazard area as mapped by a Federal Emergency Management Agency ("FEMA") Flood Insurance Rate Map ("FIRM"). The project site is not located within a dam inundation area, as identified by the Los Angeles County CEO/ITS Emergency Management Systems.

o) Place structures in areas subject to inundation by seiche, tsunami, or mudflow?

The project site is not located within a flood zone, dam inundation area, landslide zone, or potential tsunami inundation zone.

11. LAND USE AND PLANNING

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
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Would the project:

a) Physically divide an established community?

The proposed project entails a subdivision to develop three residential condominium units. The project site is a vacant lot, surrounded by existing residential development. The proposed project would not physically divide an established community as it will conform to the existing street grid and development pattern for the area.

b) Be inconsistent with the applicable County plans for the subject property including, but not limited to, the General Plan, specific plans, local coastal plans, area plans, and community/neighborhood plans?

The project site is located in the Santa Monica Mountains Coastal Zone and subject to the Santa Monica Local Coastal Program “LCP.” The land use designation for the project site is U20 (20 du/ac). The land use designation is designed for the establishment of multi-family housing. The proposed project of three residential condominium units on 0.19 acres is consistent with the U20 land use category of the LCP.

c) Be inconsistent with the County zoning ordinance as applicable to the subject property?

The property is zoned R-3 (Limited Multiple Residence). The proposed property is located within the Santa Monica Mountains Coastal Zone and subject to the LCP and Local Implementation Program “LIP.” The proposed project is consistent with the permitted uses and required development standards for development in the R-3 zone. The applicants are requesting a height of 35 feet, instead of 30, for a portion of one of the proposed structures and to allow a retaining wall greater than 6’ in height (9’ 10” with the required 2’ free board), within the required rear setback. Both modifications are permitted by Sections 22.44.1250(B) (Building Height) and 22.44.1310(V) (Wall Height). Both requests have been found to meet the burden of proof. The increase in height will result in less grading and smaller footprint and the proposed retaining wall will not create safety hazard, impair the views of scenic resources or interfere with the movement of wildlife. Therefore staff supports the requested modifications.

d) Conflict with Hillside Management criteria, Significant Ecological Areas conformance criteria, or other applicable land use criteria?

The proposed development is not located within a Significant Ecological Area. The project site is within the Santa Monica Mountains LCP, which designates the area H3 habitat. H3 habitat designation is given to areas with significant disturbance or removal of native vegetation. Only H1 and H2 habitat is considered Significant Environmental Resource Areas. The proposed project is subject to the Hillside Management requirements of the LIP and the development of three residential condominium units does not conflict with the hillside management criteria. The proposed development is designed to conform to the natural land form and proposed multilevel pads reducing the need for extensive grading.

12. MINERAL RESOURCES

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
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Would the project:

a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?

The project will not result in the loss of availability of a known mineral resource, as the project site is not identified as a mineral resource area on the Los Angeles County Natural Resource Areas map.

b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?

The project would not result in the loss of availability of a locally-important mineral resource recovery site, as the project site is not identified as a mineral resource area on the Los Angeles County Natural Resource Areas map.

13. NOISE

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
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Would the project result in:

a) Exposure of persons to, or generation of, noise levels in excess of standards established in the County General Plan or noise ordinance (Los Angeles County Code, Title 12, Chapter 12.08), or applicable standards of other agencies?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project would not result in exposure of persons to, or generation of, noise levels in excess of standards established in the County Noise Ordinance or the General Plan Noise Element (GPNE). The project site is not near a noise-generating site. The project will conform to Title 12 Chapter 12.08 (“Noise Control Ordinance”) of the Los Angeles County Code, which sets forth 45 decibels (db) as the exterior noise level for nighttime (between 10 p.m. and 7 a.m.) and 50dB for daytime (7 a.m. to 10 p.m.) in residential areas (Noise Zone II). The project site will not create noise in excess of these limits, nor will residents of the project be exposed to noise in excess of these limits. The Noise Control Ordinance regulates construction noise and the hours of operation of mobile construction equipment.

b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Although the project is located within an established residential neighborhood, it would not expose sensitive receptors to excessive noise levels. The project proposes the same use as what currently exists. Further, the project will comply with Title 12 Chapter 12.08 (“Noise Control Ordinance”) of the Los Angeles County Code which sets ambient noise levels for various noise zones and limits construction noise to 75dB during the daytime in single-family residential areas.

c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project, including noise from parking areas?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project proposes a subdivision to develop three residential condominium units. The project should not generate significant vehicle noise from traffic and parking. The project would not result in a substantial permanent increase in ambient noise in the project vicinity above current levels, including noise from parking areas. Any noise generated by additional single-family residences would be similar to ambient noise levels in the area, which is developed with both single-family and multi-family residences at a similar density.

d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project, including noise from amplified sound systems?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project entails the subdivision of an existing residential lot into three residential condominium units. Although the subdivision project will include construction activity, all future activity will be required to comply with the limits set forth in the Los Angeles County Noise Control Ordinance. Associated vehicle noise from traffic and parking should not generate significant temporary or periodic increase in ambient noise levels. The project would not result in a substantial permanent increase in ambient noise in the project vicinity above current levels, including noise from parking areas. Any noise generated by additional residences would be in keeping with the current ambient noise levels in the area, which is developed with residences at a similar density. The subdivision should not create a substantial temporary or periodic new noise source, or result in any significant impacts related to a substantial increase in temporary noise.

e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?

The project site is not located within an airport land use plan or within two miles of a public airport or public use airport.

f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

The project site is not within the vicinity of a private airstrip

14. POPULATION AND HOUSING

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
--	---	--	---	----------------------

Would the project:

a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

The project proposes three residential condominium units which would not induce substantial growth in the area. The project site is zoned for limited multiple residences (R-3) and located in an area of established residential development. In addition, the LIP requires that a subdivision requesting the creation of three residential condominium units on one exiting lot provide two transfer development credits. The transfer of development credits program requires the development potential of a private parcel be retired to prevent the net increase of in the amount of development in the Santa Monica Mountains Coastal Zone. The applicant will be required to purchase two developable lots and retire the development potential of those two lots.

b) Displace substantial numbers of existing housing, especially affordable housing, necessitating the construction of replacement housing elsewhere?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

The proposed project site is a vacant lot, therefore will not displace existing housing, affordable or market rate.

c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

There is no existing housing on the project site.

d) Cumulatively exceed official regional or local population projections?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

The project would not exceed official regional or local population projections. The proposed three residential condominium units will not exceed this projection and is consistent with the density permitted by the Countywide General Plan. The creation of three residential condominium units should not alter the growth rate of the population beyond that projected in the County General Plan.

15. PUBLIC SERVICES

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
--	---	--	---	----------------------

a) **Would the project create capacity or service level problems, or result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:**

Fire protection?

The Fire Department has not indicated any significant effects on fire response time, service level, or facilities in regards to the proposed project. No additional fire facilities are required for this project. The nearest Los Angeles County Fire Station No. 69 is approximately 4.8 miles, shortest drive route, to the northwest of the project site. Los Angeles County Fire Station No. 70 is located 5 miles to the west of the project site. The nearest fire station to the project site is City of Los Angeles Fire station No. 23, which is 1.3 miles from the project site. No additional fire facilities are required for this project.

Sheriff protection?

The project would not create capacity or service level problems or result in substantial adverse physical impacts. The project site is approximately 17.5 miles, shortest drive route, from the Lost Hills Sheriff's Station. The proposed project will develop three new residential units but not enough to substantially reduce service ratios.

Schools?

The project site is located within the Santa Monica-Malibu Unified School District. Considering the scale of the project, the three residential condominium units are not expected to create a capacity problem for the School District. The project will be required to pay school impact fees to address the increase in population, at a rate to be determined by the school district.

Parks?

The project will be conditioned to pay Quimby Fees per Los Angeles County Code Section 21.28.140. No trails are required.

Libraries?

The project will be conditioned to pay the library fees per Los Angeles County Code Section 22.72. The proposed project will generate three condominium units. The population increase is not substantial and will not diminish Los Angeles County Public Library's capacity to serve the project site and the surrounding community.

Other public facilities?

The project is not perceived to create capacity or service level problems or result in substantial adverse physical impacts for any other public facility.

16. RECREATION

- | | <i>Potentially
Significant
Impact</i> | <i>Less Than
Significant
Impact with
Mitigation
Incorporated</i> | <i>Less Than
Significant
Impact</i> | <i>No
Impact</i> |
|---|---|--|---|--------------------------|
| a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Review of the project by the Los Angeles County Department of Parks and Recreation has not disclosed that the project would increase the use of existing neighborhood and regional parks or other recreational facilities contributing to substantial or accelerated physical deterioration of such facilities.

- | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| b) Does the project include neighborhood and regional parks or other recreational facilities or require the construction or expansion of such facilities which might have an adverse physical effect on the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project does not include recreational facilities. Since the project does not entail a dedication of park space, the subdivider will be required to pay in-lieu Quimby fees to satisfy the park obligation. No construction or expansion of recreational facilities is required.

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| c) Would the project interfere with regional open space connectivity? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

There are no expected impacts to regional open space connectivity. The project is proposed in an established urban neighborhood.

17. TRANSPORTATION/TRAFFIC

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
--	---	--	---	----------------------

Would the project:

a) Conflict with an applicable plan, ordinance, or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

The project would not conflict with an applicable plan, ordinance, or policy establishing a measure of effectiveness for the performance of the circulation system. The growth proposed by the project is accounted for in the Baseline Growth Forecast of the 2012-2035 Southern California Association of Governments' Regional Transportation Plan (RTP), which provided the basis for developing the land use assumptions at the regional and small-area levels that established the 2012 Regional Transportation Plan Alternative.

b) Conflict with an applicable congestion management program (CMP), including, but not limited to, level of service standards and travel demand measures, or other standards established by the CMP for designated roads or highways?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

The project entails a subdivision of one existing residential lot into three residential condominium units. The traffic impacts of the project have been reviewed and cleared by the Los Angeles County Department of Public Works (DPW).

c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that result in substantial safety risks?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

The project site is not located near a public or private airstrip and will not encroach into air traffic patterns.

d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

The project entails the subdivision of one existing residential lot into three residential condominium units. The project does not entail creating sharp curves or dangerous intersections or incompatible uses. Therefore, there will be no increased hazards due to design features.

e) **Result in inadequate emergency access?**

The proposed project of three residential condominium units would not block or provide inadequate emergency access for the project itself or make existing emergency access to off-site properties inadequate. Emergency access has been reviewed and cleared by the Los Angeles County Fire Department.

f) **Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?**

The project site would not conflict with adopted plans, policies, or programs for public transit, bicycle, or pedestrian facilities. The 2012 Bikeways Master Plan does not proposed a bike lane along Coastline Drive. No public transit or pedestrian facilities exist within the immediate vicinity of the project site.

18. UTILITIES AND SERVICE SYSTEMS

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impa ct</i>
--	---	--	---	---------------------------

Would the project:

- a) Exceed wastewater treatment requirements of either the Los Angeles or Lahontan Regional Water Quality Control Boards?

The development of three residential condominium units is not expected to exceed treatment requirements of the Los Angeles Regional Water Quality Control Boards. All public wastewater disposal (sewer) systems are required to obtain and operate under the terms of an NPDES (National Pollution Discharge Elimination System) permit, which is issued by the local Regional Water Quality Control Board (RWQCB). All municipal wastewater treatment facilities are required to obtain NPDES permits from the RWQCB and any project which would connect to such a system would be required to comply with the same standards imposed by the NPDES permit. Thus, project conformity with NPDES permit standards is achieved by the time residential units connect to the publicly owned treatment works.

- b) Create water or wastewater system capacity problems, or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?

The creation of three residential condominium units should not create a water or wastewater system capacity problem nor result in the construction of new water or wastewater treatment facilities. The project site will be served by a public water system, which has issued a “will serve” letter for the proposed subdivision.

- c) Create drainage system capacity problems, or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?

The Department of Public Works’ review of the project indicates that the project would not create drainage system capacity problems, and no construction of new storm water drainage facilities or expansion of existing facilities is required. The County’s Low Impact Development (LID) Ordinance was created to deal with stormwater runoff from new projects. Construction will be required to comply with the LID Ordinance.

- d) Have sufficient reliable water supplies available to serve the project demands from existing entitlements and resources, considering existing and projected water demands from other land uses?

The project will have sufficient reliable water supplies available to serve the project demands from existing entitlements and resources. The project site will be served by a public water system, which has issued a “will serve” letter for the proposed subdivision.

e) Create energy utility (electricity, natural gas, propane) system capacity problems, or result in the construction of new energy facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?

The creation of three residential condominium units will not significantly impact the availability of adequate energy supplies and should not create energy utility capacity problems or result in the construction of new energy facilities or expansion of existing facilities. In addition, any future construction will be subject to the Green Building Ordinance, which is required to provide energy saving measures to further reduce the amount of energy consumed by the proposed project.

f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?

Development at the proposed density at this location is planned for under the existing Los Angeles County Regional Waste Management Plan. The subdivision proposal of three residential condominium units, should not significantly impact solid waste disposal capacity due to its small scale.

g) Comply with federal, state, and local statutes and regulations related to solid waste?

The project would be required to comply with federal, state, and local statutes and regulations related to solid waste. The California Integrated Waste Management Act of 1989 requires the County of Los Angeles to attain specific waste diversion goals. Additionally, when households retain waste hauler services contracted with the County, residences receive one container for recyclable materials and one for green waste in addition to the trash container. Households can also receive one additional green waste container and one recyclable container at no extra cost upon request in an effort to achieve the waste diversion goals through increased recycling access (California Solid Waste Reuse and Recycling Access Act of 1991). The project will include sustainable elements to ensure compliance with all federal, state, and local statutes and regulations related to solid waste. It is anticipated that these project elements will comply with federal, state, and local statutes and regulations to reduce the amount of solid waste. The project will not displace an existing or proposed waste disposal, recycling, or diversion site.

19. MANDATORY FINDINGS OF SIGNIFICANCE

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

The project does not have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory. As analyzed in the Initial Study sections above, the proposed project will have no impact or less than significant impact in all these areas. The proposed project is consist of residential development in a residentially developed area.

b) Does the project have the potential to achieve short-term environmental goals to the disadvantage of long-term environmental goals?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--	--------------------------	--------------------------	-------------------------------------	--------------------------

The proposed project is consistent with the Santa Monica Mountains Local Coastal Program and Local Implementation Program which ensure development in the area is consistent with both the short-term and long-term environmental goals of the plan. The project site is a vacant lot surrounding by multi-family and single-family development. This infill type development is consistent with the long-term and short-term goals of the plan by allowing focusing development in previously disturbed areas and avoiding development in the more environmentally sensitive areas of the Santa Monica Mountains.

c) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--	--------------------------	--------------------------	-------------------------------------	--------------------------

The proposed project does not have cumulative impacts. The proposed project will not induce growth, as the project does not require additional infrastructure beyond that necessary to serve the project. Since, there aren't any impacts that could be deemed cumulatively considerable, the proposed project would have a less than significant impact.

d) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?

The project entails subdividing an existing residential lot into three residential condominium units in an R-3 (Limited Multiple Residence) zone. The proposed project would not threaten the health, safety or welfare of human beings. Therefore, the proposed project would have a less than significant impact on human beings



NOTICE
OF
HEARING
Case Number EM 17794
FOR INFORMATION
CALL (424) 974-6443

NOTICE
OF
HEARING
Case Number EM 17794
FOR INFORMATION
CALL (424) 974-6443

GENZ CERTIFIED SERVICE & REPAIR

BOSCH

18219



18219

NO PARKING

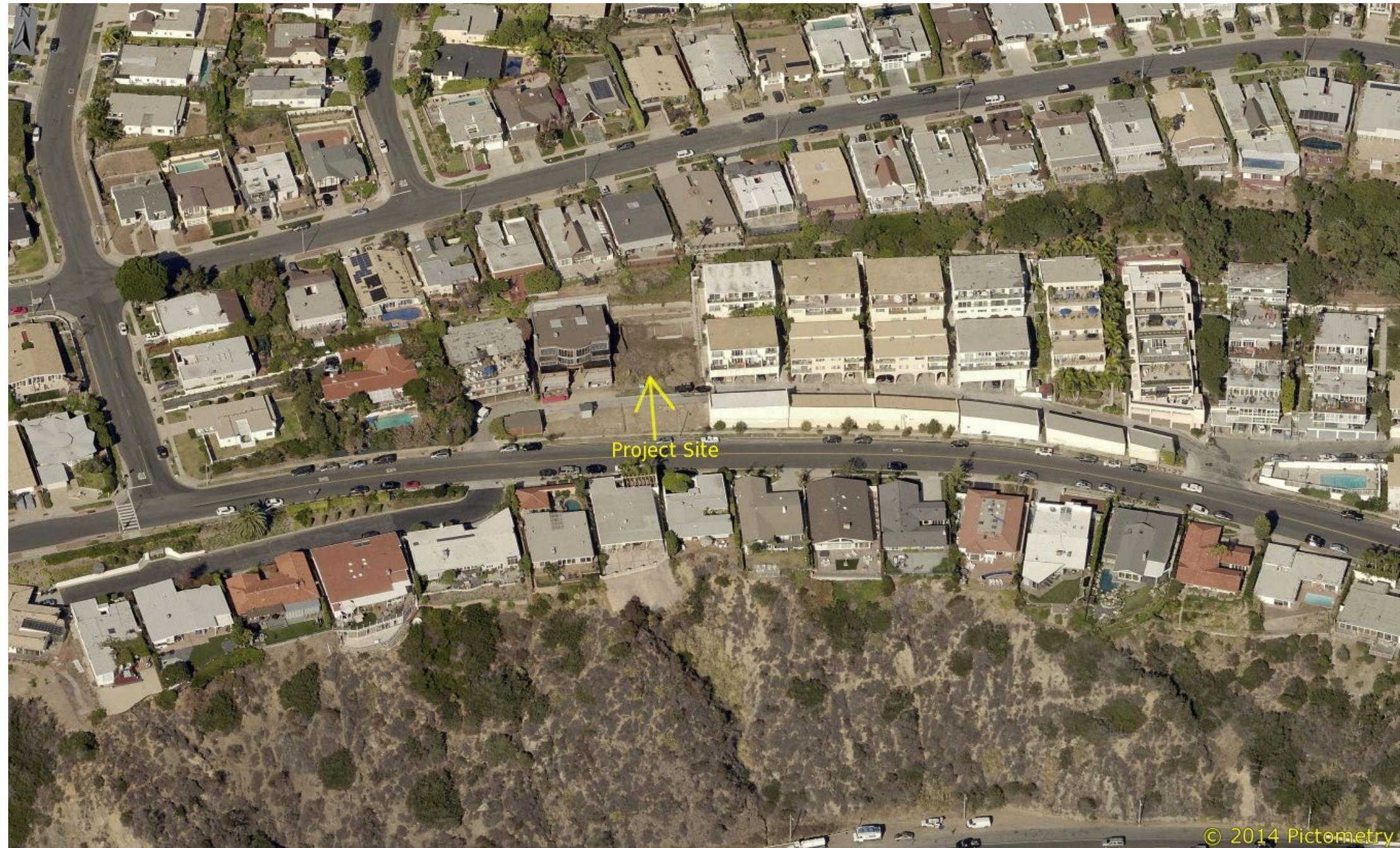






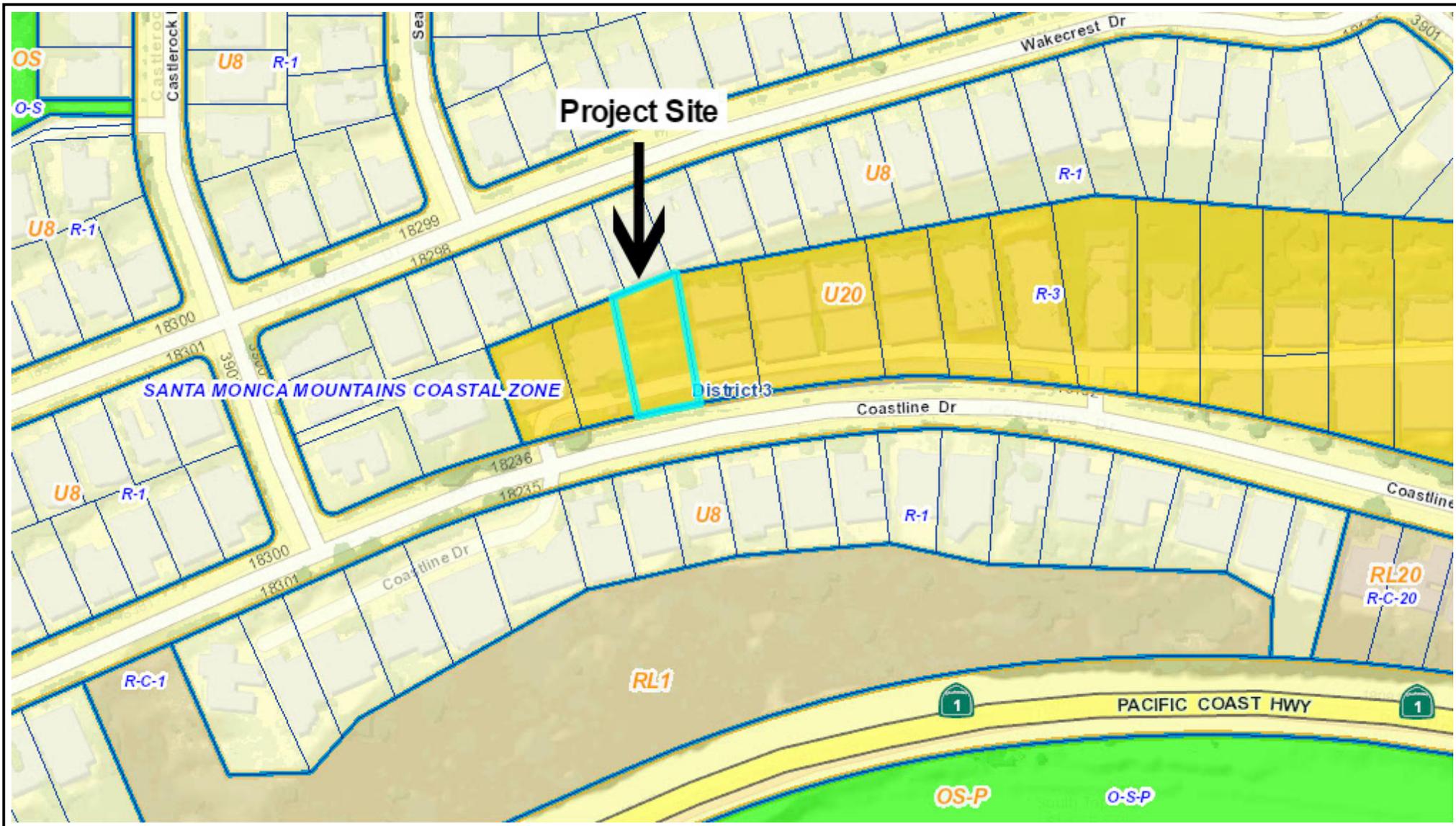


Tentative Parcel Map 073804



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01/18/2014

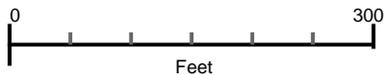


Created in GIS-NET3

Land Use/Zoning Map - PM073804

Printed: Aug 18, 2016

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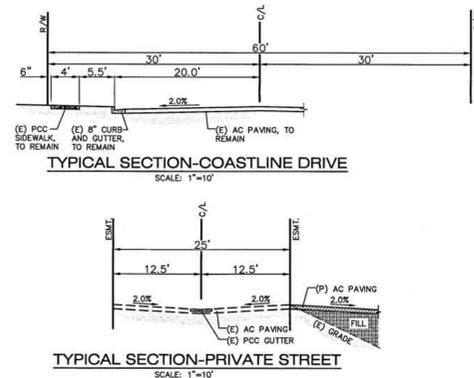
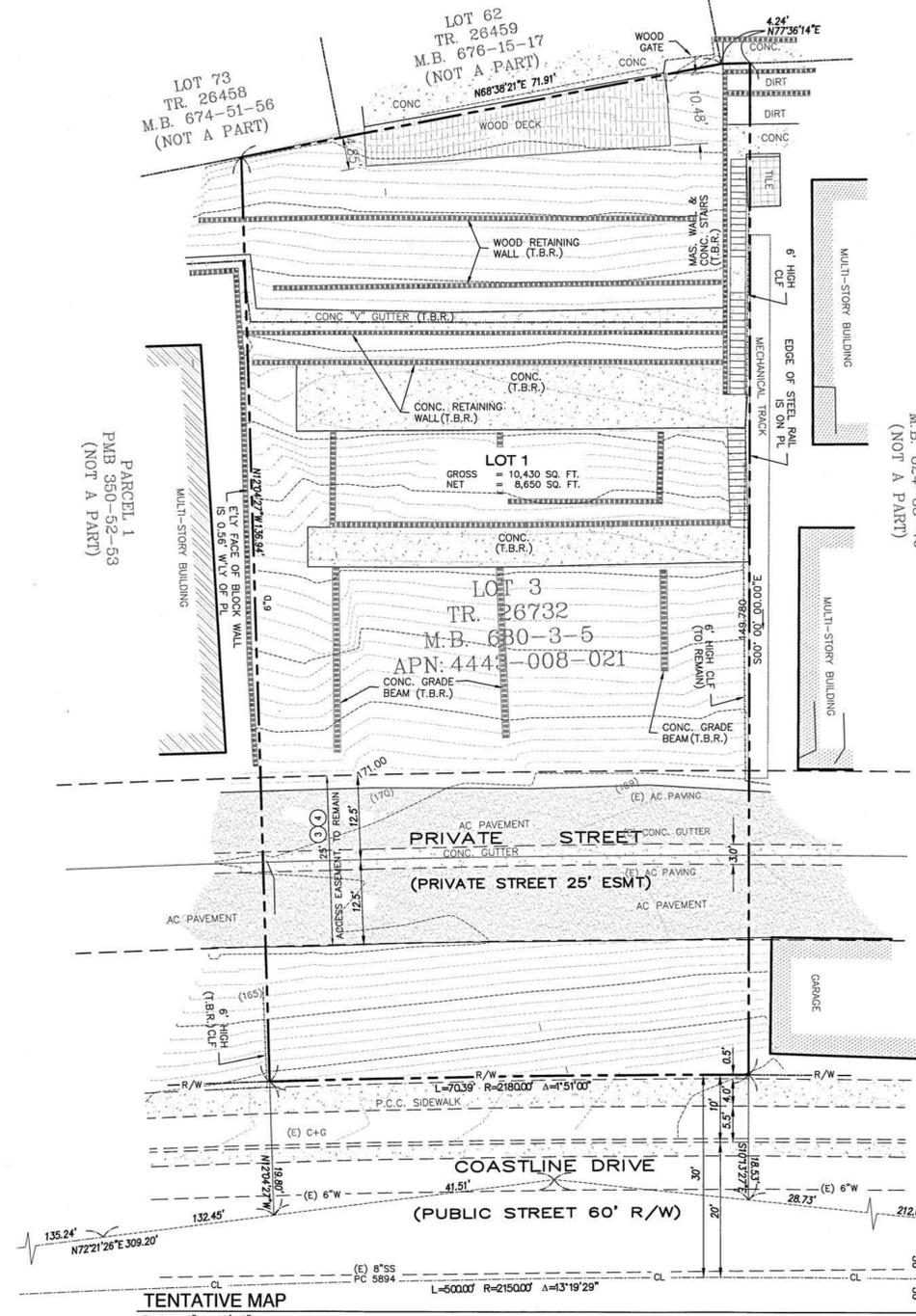


MINOR LAND DIVISION
 Vesting Tentative Parcel Map #073804
 For Condominium Purposes

Located in the Unincorporated Territory of the County of Los Angeles, State of California

March 16, 2016

THIS SUBDIVISION IS FOR CONDOMINIUM PURPOSES AS DEFINED IN SECTION 1350 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED PURSUANT TO THE SUBDIVISION MAP ACT.



APPLICANT/DEVELOPER:
 L+V ARCHITECTS
 2332 COTNER AVENUE #303
 WEST LOS ANGELES, CA 90064
 PHONE: (310) 325-5577
 CONTACT: LUBA TOMALEVSKA

ENGINEER / MAP PREPARED BY:
 BOLTON ENGINEERING CORP.
 25834 NARBONNE AVE 210
 LOMITA, CA 90717
 PHONE: (310) 325-5580
 ATTN: DANIEL J. BOLTON, P.E.
 RCE 63290 EXP. 6/30/12
 REC JOB NO. 14347

ARCHITECT:
 L+V ARCHITECTS
 2332 COTNER AVENUE #303
 WEST LOS ANGELES, CA 90064
 PHONE: (310) 325-5577
 CONTACT: LUBA TOMALEVSKA

SOILS ENGINEER:
 Bay City Geology
 2800 NELSON WAY
 SANTA MONICA, CA 90405
 PHONE: (310) 429-6681
 CONTACT: JONATHAN MILLER

PROPERTY ADDRESS:
 18225 COASTLINE DRIVE
 MALIBU, CALIFORNIA 90265

EXISTING USE:
 THE TOTAL AREA OF LAND CONSISTS OF:
 GROSS = 10,430 SQ. FT.
 NET = 8,650 SQ. FT.

LEGAL DESCRIPTION:
 THE LAND REFERRED TO IN THIS SURVEY IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF LOS ANGELES, AND IS DESCRIBED AS FOLLOWS:
 LOT 3 OF TRACT NO. 26732 AS PER MAP RECORDED IN BOOK 680 PAGES 3 THROUGH 5 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ZONING: R-3 (LIMITED MULTIPLE RESIDENCE), CURRENT AND PROPOSED.
LAND USE: U20 (RESIDENTIAL 20du/ac)

FLOOD ZONE:
 THE SUBJECT PROPERTY IS MAPPED AS ZONE "X" NOTES:
 1. ALL EXISTING IMPROVEMENTS ON SITE TO BE REMOVED, UNLESS SPECIFICALLY NOTED OTHERWISE. EXISTING UTILITIES IN THE PRIVATE STREET EASEMENT CROSSING THE LOT AND ADJACENT PUBLIC RIGHT OF WAY TO BE PROTECTED IN PLACE, UNLESS OTHERWISE NOTED.

SUBDIVISION SUMMARY:
 THE SUBDIVISION PROPOSES CREATION OF ONE (1) LOT FOR CONDOMINIUM PURPOSES, WITH THREE (3) CONDOMINIUM AIRSPACES:
 1-3 - TOWNHOUSE UNITS

THE PORTION OF LOT 1 OUTSIDE THE CONDOMINIUM AIRSPACES IS FOR COMMON AREA INCLUDING PRIVATE DRIVEWAY, LANDSCAPE AREA AND GUEST PARKING, AND TO PROVIDE REQUIRED UTILITY EASEMENTS. IT IS PART OF COMMON AREA WHICH WILL BE MADE UP OF THE OWNERS OF INDIVIDUAL LOTS.

4. WATER IS AVAILABLE IN THE PUBLIC RIGHT OF WAY. WATER PURVEYOR IS LOS ANGELES COUNTY WATERWORKS DISTRICT 29.

EARTHWORK QUANTITIES:
 BY METHOD OF TYPICAL SECTION:
 CUT: 1066 CY (N=429.6sf X 67')/27'
 OVEREX: 80 CY
 TOTAL CUT: 1146 CY

RECOMPACT: 80
 FILL: 164 CY (N=66.26sf X 67')/27'
 TOTAL FILL: 244 CY (RAW)
 FILL: 305 CY (20% SHRINKAGE)

NET: 841 CY EXPORT
EXPORT SITE: Calabasas Landfill
 5300 Lost Hills Road
 Agoura, CA 91301

EASEMENTS:
 FROM A TITLE REPORT BY LAWYERS TITLE COMPANY DATED APRIL 6, 2015:
 3. AN EASEMENT FOR A PRIVATE DRIVE AS SHOWN ON TRACT MAP 26732, BOOK 680, PAGES 3 THROUGH 5, AND AN EASEMENT TO GENERAL TELEPHONE FOR UNDERGROUND CONDUITS, OVER SAME, TO REMAIN.

BENCHMARK:
 BM NUMBER: 11313 (MAY 1989)
 FOUND CAL-TRANS BRASS DISC IN CONCRETE CURB RETURN 2.5M(8.2') WEST OF BOR @ NORTH WEST CORNER TOPANGA CANYON BLVD. AND PACIFIC COAST HIGHWAY.
 ELEV. = 44.664 FT.

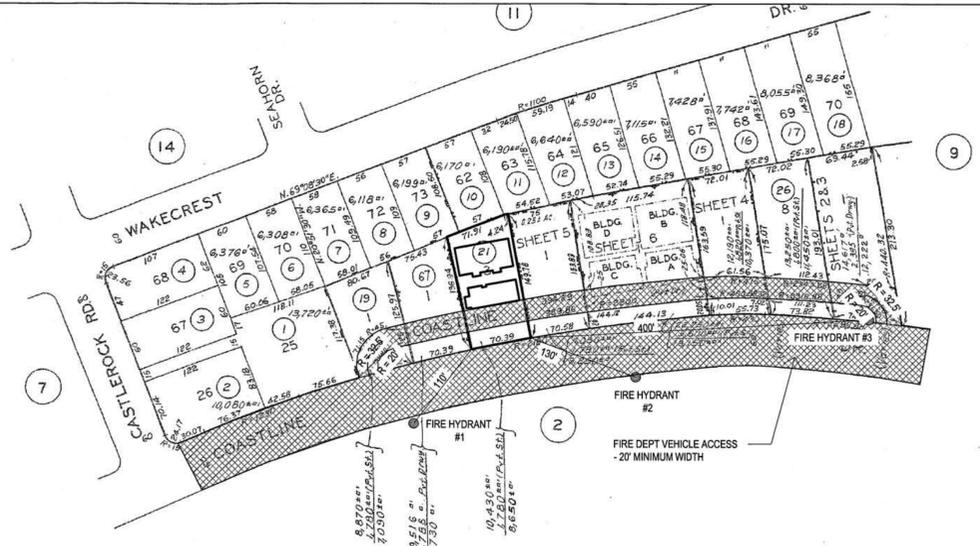
WATER PURVEYOR:
 LA COUNTY WATERWORKS DISTRICT 29



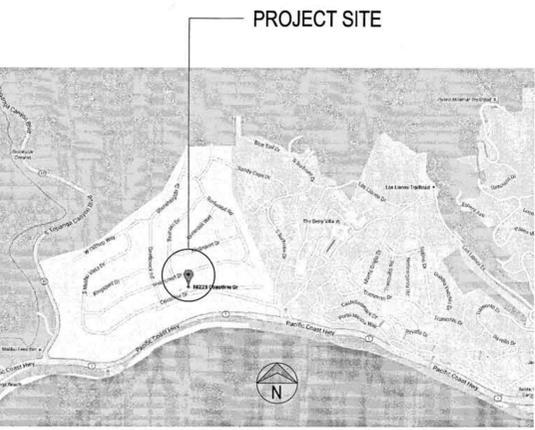
TENTATIVE MAP
 Scale: 1" = 10'-0"



Bolton Engineering Corp.
 Civil Engineering & Surveying
 25834 Narbonne Avenue Ste. 210
 Lomita, CA 90717



CONNECTION OF PRIVATE ROAD TO COASTLINE DRIVE 7



PROJECT SITE

- 3 NEW CONDOMINIUM UNITS IN 2 NEW BUILDINGS
- 3 PRIVATE GARAGES HOUSING 2 STANDARD PARKING STALLS EACH
- 2 UNCOVERED GUEST PARKING SPACES ALLOCATED AT GRADE

SCOPE OF WORK 6

SETBACKS	REQUIRED	PROVIDED
FRONT YARD (SOUTH) SETBACK	50% of 15'-0" = 7'-6"	48'-4"
SIDE YARD (EAST) SETBACK	5'-0"	5'-0"
SIDE YARD (WEST) SETBACK	5'-0"	5'-0"
REAR YARD (NORTH) SETBACK	15'-0"	15'-0" / 28'-6"

BUILDING A INFORMATION		
FLOOR AREA		
BASEMENT / GARAGE	R-3 139.0 Sq. Fl.	U 1,260.0 Sq. Fl.
UNIT 1 - FLOOR AREA		
FIRST FLOOR	1,384 Sq. Fl.	
SECOND FLOOR	1,096 Sq. Fl.	
TOTAL A UNIT FLOOR AREA	2,480 Sq. Fl.	

BUILDING B INFORMATION		
UNIT 2 - FLOOR AREA		
FIRST FLOOR	665.2 Sq. Fl.	
SECOND FLOOR	1,155.5 Sq. Fl.	
THIRD FLOOR	834.3 Sq. Fl.	
TOTAL UNIT B FLOOR AREA	2,655 Sq. Fl.	

UNIT 3 - FLOOR AREA		
FIRST FLOOR	665.2 Sq. Fl.	
SECOND FLOOR	1,155.5 Sq. Fl.	
THIRD FLOOR	834.3 Sq. Fl.	
TOTAL UNIT FLOOR AREA	2,655 Sq. Fl.	

TOTAL BUILDING B SQUARE FOOTAGE		
TOTAL BUILDING B SQUARE FOOTAGE	5,310 Sq. Fl.	

HEIGHT		
PERMITTED HEIGHT (25'-0" W/ EXCEPTION PER 22.44.1250 (PG 185 SMM LIP))		30'-0"
PROPOSED HEIGHT		30'-0"

CONSTRUCTION TYPE		
CONSTRUCTION TYPE		TYPE V - B

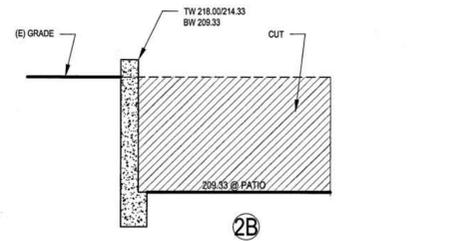
PARKING		
REQUIRED	2 ENCLOSED SPACES/ UNIT = TOTAL 6 SPACES	
PROVIDED	6 ENCLOSED SPACES AND 2 GUEST SPACES = TOTAL 8	

LEGAL DESCRIPTION		
ADDRESS: 18225 Coastline Drive		
APN		4443-008-021
LOT		3
LOT SIZE - GROSS		10,430.61 SQ.F.T
LOT SIZE - NET		8,650 SQ.F.T
TRACT		TR 26732
BLOCK		NONE
ARB		NONE

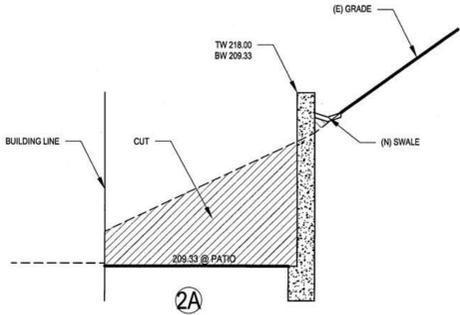
ZONING INFORMATION		
ZONE	CURRENT R-3	PROPOSED R-3
USE	RESIDENTIAL	RESIDENTIAL
OCCUPANCY		R-3, U
LAND USE (20 UNITS / ACRE)	U20	U20

PROJECT TEAM 8

PROJECT INFORMATION 5

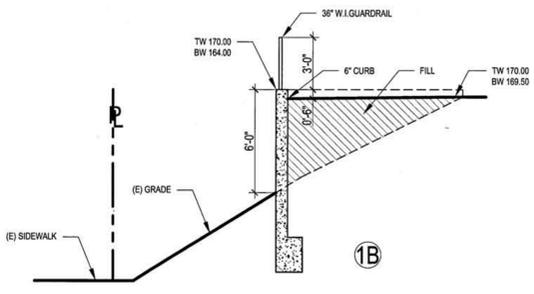


2B

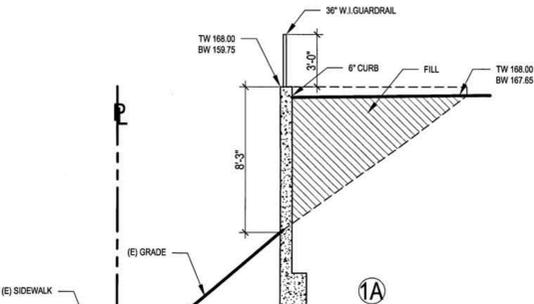


2A

RETAINING WALLS @ REAR YARD PATIOS SCALE 1/4" = 1'-0" 4



1B

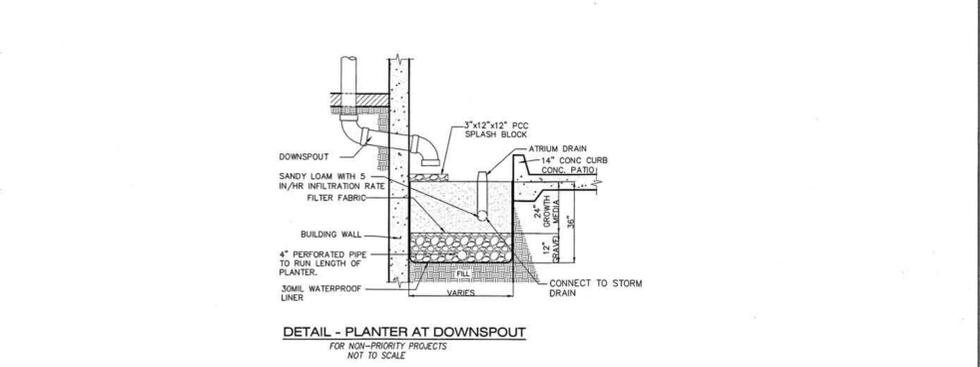


1A

RETAINING WALLS @ PARKING AREA CROSS SECTIONS SCALE 1/4" = 1'-0" 3

BENCHMARK:
BM NUMBER: 11313 (NAVD 1988)
FOUND CAL-TRANS BRASS DISC IN CONCRETE CURB RETURN
2.5M(8.2) WEST OF BCR @ NORTH WEST
CORNER TOPANGA CANYON BLVD. AND PACIFIC COAST HIGHWAY.
ELEV. = 44.664 FT.

BENCHMARK 2



DETAIL - PLANTER AT DOWNSPOUT
FOR NON-PRIORITY PROJECTS
NOT TO SCALE

PLANTER BOX DETAIL NTS 12

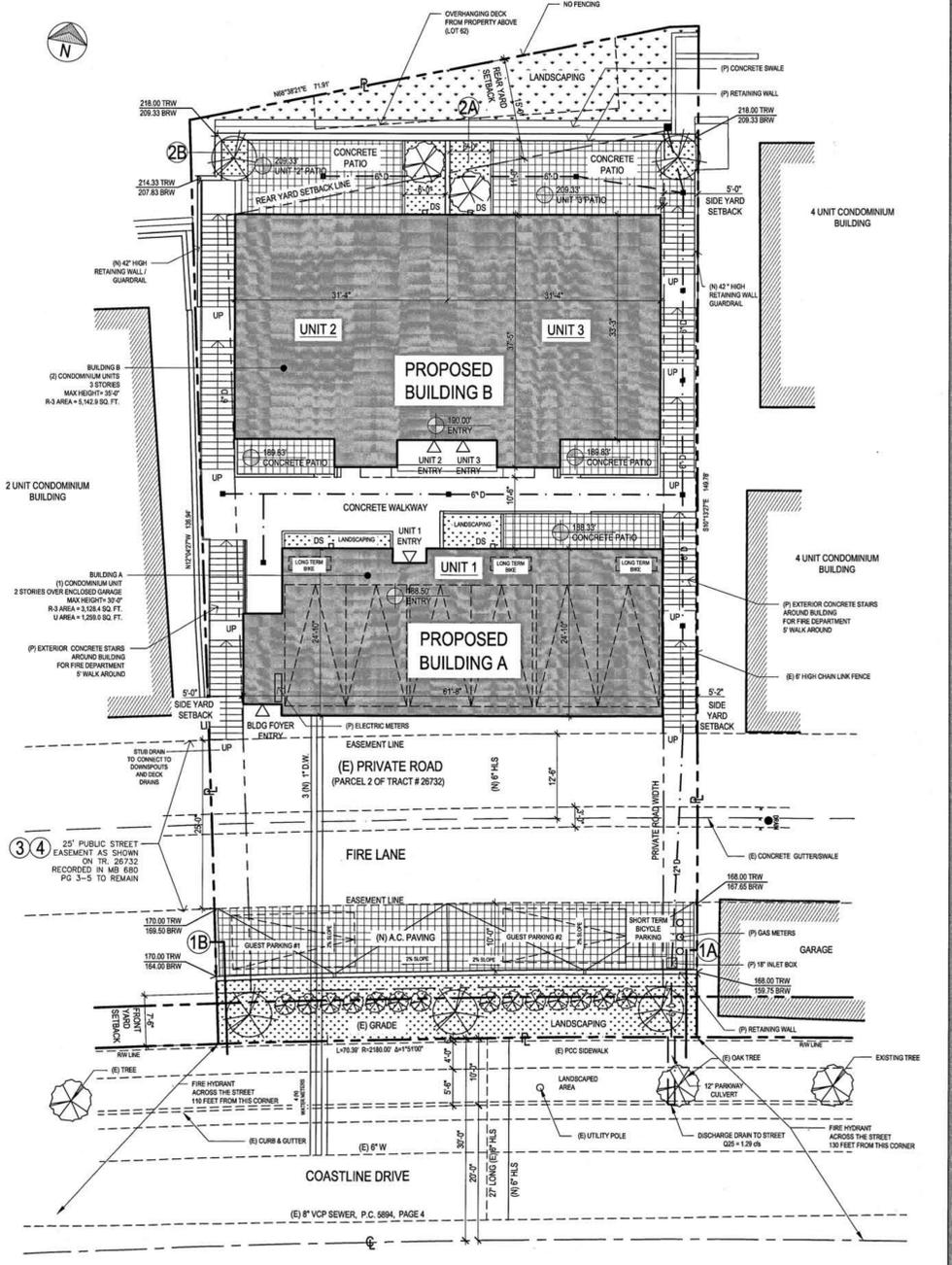


EXHIBIT MAP SCALE 1" = 10'-0" 1

FROM A TITLE REPORT BY LAWYERS TITLE COMPANY DATED APRIL 6, 2015:
AN EASEMENT FOR A PRIVATE DRIVE AS SHOWN ON TRACT MAP 26732, BOOK 680, PAGES 3-5, AND AN EASEMENT TO GENERAL TELEPHONE FOR UNDERGROUND CONDUITS, OVER SAME
TO REMAIN

EARTHWORK QUANTITIES:
BY METHOD OF TYPICAL SECTION:

CUT: 1066 CY (V=(429.6sf X 67')/27)
OVEREX: 80 CY
TOTAL CUT: 1146 CY

RECOMPACT: 80
FILL: 164 CY (V=(66.2.6sf X 67')/27)
TOTAL FILL: 244 CY (RAW)
FILL: 305 CY (20% SHRINKAGE)

NET: 841 CY EXPORT
EXPORT SITE: Calabaso Landfill
5300 Lost Hills Road
Agoura, CA 91301

EASEMENTS 11

GRADING QUANTITIES 9

APPLICANT
LUBA TOMALEVSKA
2332 Cotner Avenue Suite 303
West Los Angeles, CA 90064
t: (310) 914 - 5577

TENTATIVE MAP
BOLTON ENGINEERING CORP.
25834 Narbonne Ave #210
Lomita, CA 90717
(310)325-5580 (p)

OWNER
VLADIMIR AND LUBA
TOMALEVSKI TRUST
2332 Cotner Avenue Suite 303
West Los Angeles, CA 90064
t: (310) 914 - 5577

CIVIL ENGINEER
BOLTON ENGINEERING CORP.
25834 Narbonne Ave #210
Lomita, CA 90717
(310)325-5580 (p)

ARCHITECT
L&V ARCHITECTS INC.
2332 Cotner Avenue Suite 303
West Los Angeles, CA 90064
t: (310) 914 - 5577
f: (310) 914 - 5578
www.LVARCH.com

SURVEY
M&G LAND SURVEYING
347 S. Robertson,
Beverly Hills, CA 90211
tel. (310) 659-0871

PROJECT FOR 3 NEW CONDOMINIUMS

18225 Coastline Drive, Malibu, CA 90265

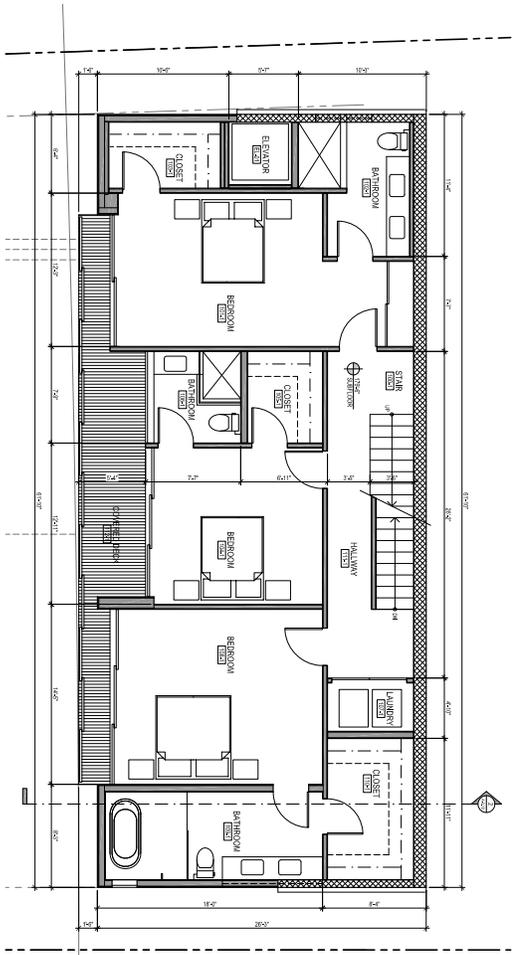


NEW CONDOMINIUMS
18225 COASTLINE DRIVE, MALIBU, CA 90265
 TENTATIVE PARCEL MAP # 073804

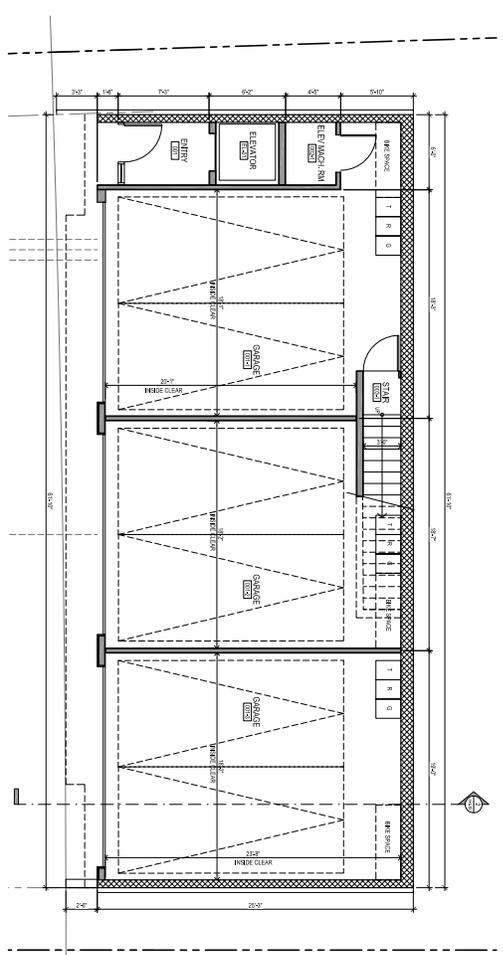
LA ARCHITECTURE, INC.
 2200 COVING AVE., SUITE 300
 MALIBU, CA 90265
 P: 310.714.4577 F: 310.714.4578

FRONT PAGE
 10/02/2015
 X=1/4" scale

T-0.00



BUILDING A - FIRST FLOOR PLAN SCALE: 1/8" = 1'-0"



BUILDING A - BASEMENT GARAGE FLOOR PLAN SCALE: 1/8" = 1'-0"

- KEY NOTES SCALE: 1/8" = 1'-0"**
1. SEE FINISHES.
 2. SEE ARCHITECTURAL SPECIFICATIONS.
 3. SEE ARCHITECTURAL SPECIFICATIONS.
 4. SEE ARCHITECTURAL SPECIFICATIONS.
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KEY NOTES SCALE: 1/8" = 1'-0"

NOTES SCALE: 1/8" = 1'-0"

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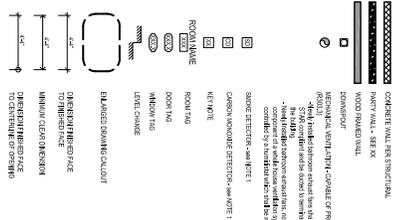
47. SEE ARCHITECTURAL SPECIFICATIONS.

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49. SEE ARCHITECTURAL SPECIFICATIONS.

50. SEE ARCHITECTURAL SPECIFICATIONS.

NOTES SCALE: 1/8" = 1'-0"



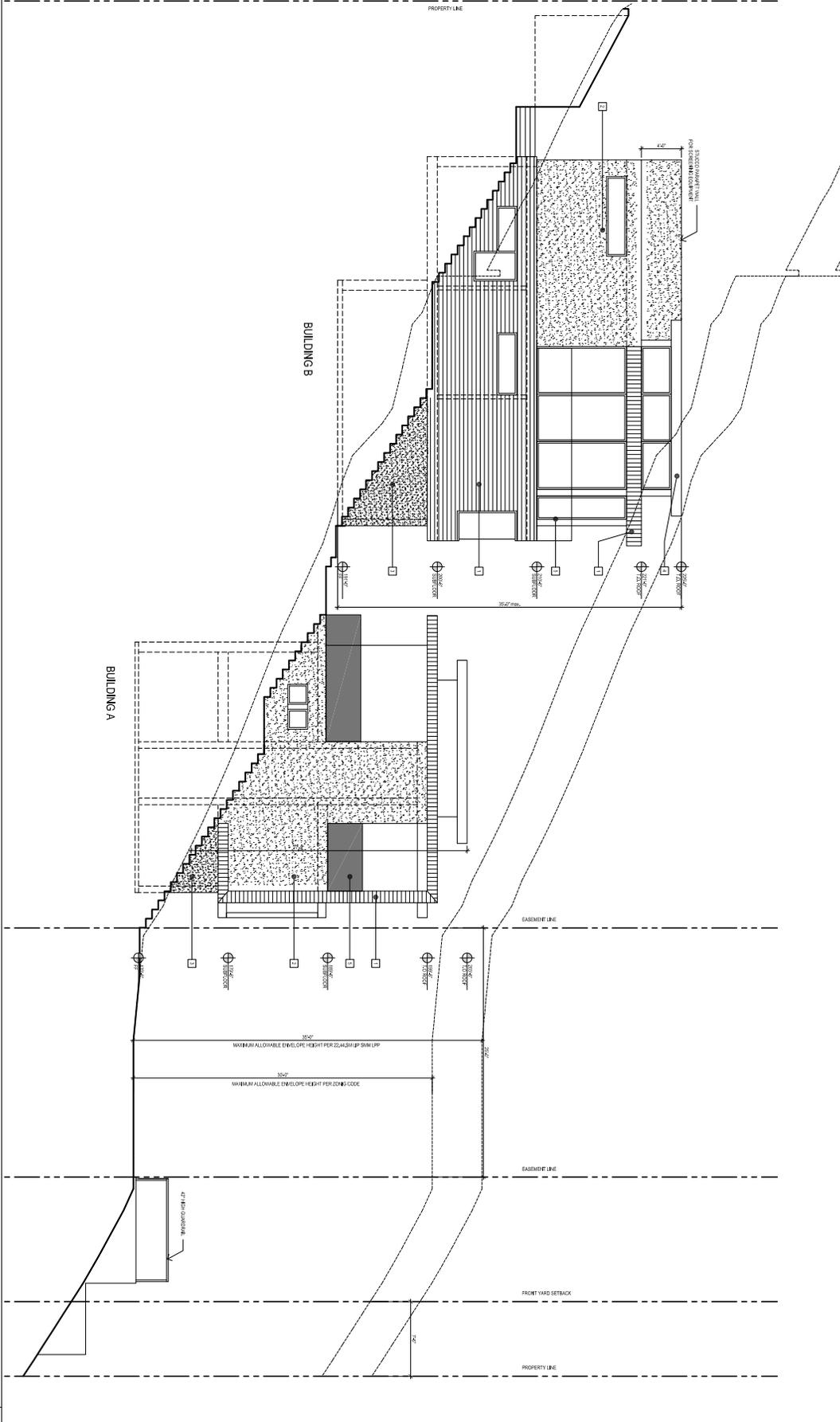
LEGEND SCALE: 1/8" = 1'-0"

PROJECT ADDRESS: 18225 Coastline Drive, Malibu, CA 90265

OWNER VALUERS AND USA 2325 Coastline Ave, Suite 303 Malibu, CA 90265 E (310) 914-4577	ARCHITECT LIVAC ARCHITECTS INC. 2325 Coastline Ave, Suite 303 Malibu, CA 90265 E (310) 914-4577	GENERAL CONTRACTOR RENTON CONSTRUCTION CORP. 13001 S. 10th St. Tulsa, OK 74117 E (918) 433-8899
STRUCTURAL ENGINEER SIRICK 2325 Coastline Ave, Suite 303 Malibu, CA 90265 E (310) 914-4577	CIVIL ENGINEER RENTON CONSTRUCTION CORP. 13001 S. 10th St. Tulsa, OK 74117 E (918) 433-8899	MECHANICAL ENGINEER RENTON CONSTRUCTION CORP. 13001 S. 10th St. Tulsa, OK 74117 E (918) 433-8899



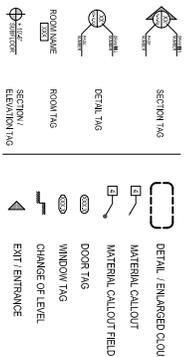
NEW CONDOMINIUMS
18225 COASTLINE DRIVE, MALIBU, CA 90265
 TENTATIVE PARCEL MAP # 073804



WEST ELEVATIONS SCALE: 1/4" = 1'-0"

FINISH	ABBREVIATION	REFERENCE
ROUGH STONE	RS	E-21
MEDIUM GRAY SMOOTH PLASTER - 1/2" THICKNESS	ES2	E-22
DARK GRAY SMOOTH PLASTER - 1" THICKNESS	ES3	E-23
METAL FASCIA	EF	E-24
CLAYS QUARTZITE	EQ	E-25
WOOD SCREEN	ES	E-26
CLAYED DOOR	ED	E-27
LANDSCAPE FOR HEIGHT USE		

FINISH KEY NOTES SCALE: N.T.S. 4



SYMBOLS LEGEND SCALE: N.T.S. 3

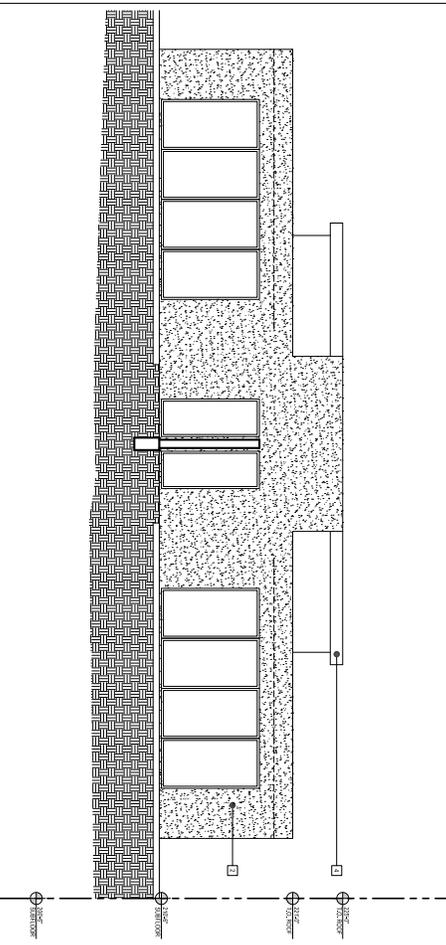
PROJECT ADDRESS: 18225 Coastline Drive, Malibu, CA 90265 APN - 44400021	
OWNER: TOWN OF MALIBU TOWNAL ENGINEER TRUST 2252 Coast Avenue, Suite 303 Malibu, CA 90265 E: (310) 914-4577	ARCHITECT: LAY ARCHITECTS INC. 2252 Coast Avenue, Suite 303 Malibu, CA 90265 E: (310) 914-4577 F: (310) 914-4577
ARCHITECT'S IN CHARGE: LAY ARCHITECTS INC. 2252 Coast Avenue, Suite 303 Malibu, CA 90265 E: (310) 914-4577 F: (310) 914-4577	CIVIL ENGINEER: ENTERTAINMENT ENGINEERING COMP. 18100 Ventura Blvd., Suite 400 Encino, CA 91436 E: (818) 252-5580 (9)
SUBJECT: 18225 Coastline Drive, Malibu, CA 90265 MALIBU CONDOMINIUMS MAP 073804	TITLE BLOCK: 2252 Coast Avenue, Suite 303 Malibu, CA 90265 E: (310) 914-4577 F: (310) 914-4577

PROJECT INFORMATION 1

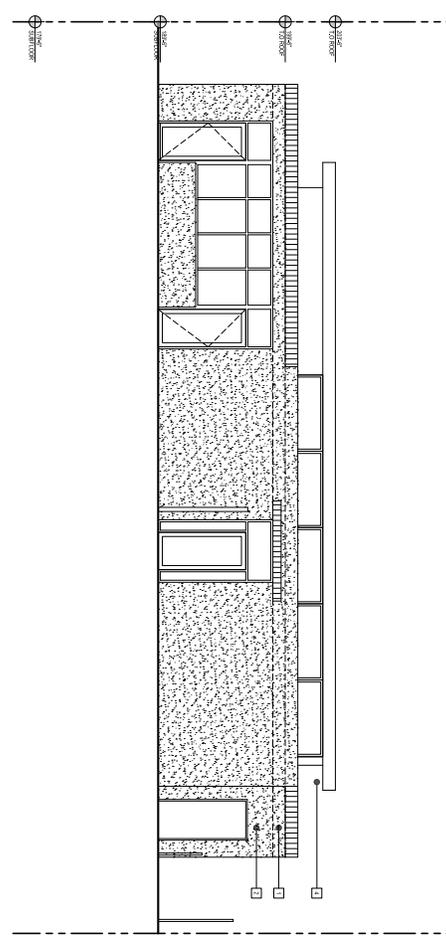
ALL ELEVATION, APPROXIMATIONS AND PLANS INDICATED OR EMPLOYED IN OR BY THE DRAWINGS) ARE OWNED BY LAY ARCHITECTS, INC. AND MUST BE KEPT AND EMPLOYED FOR THE SPECIFIC PROJECT. NONE OF THE ELEVATION, APPROXIMATIONS OR PLANS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LAY ARCHITECTS, INC.



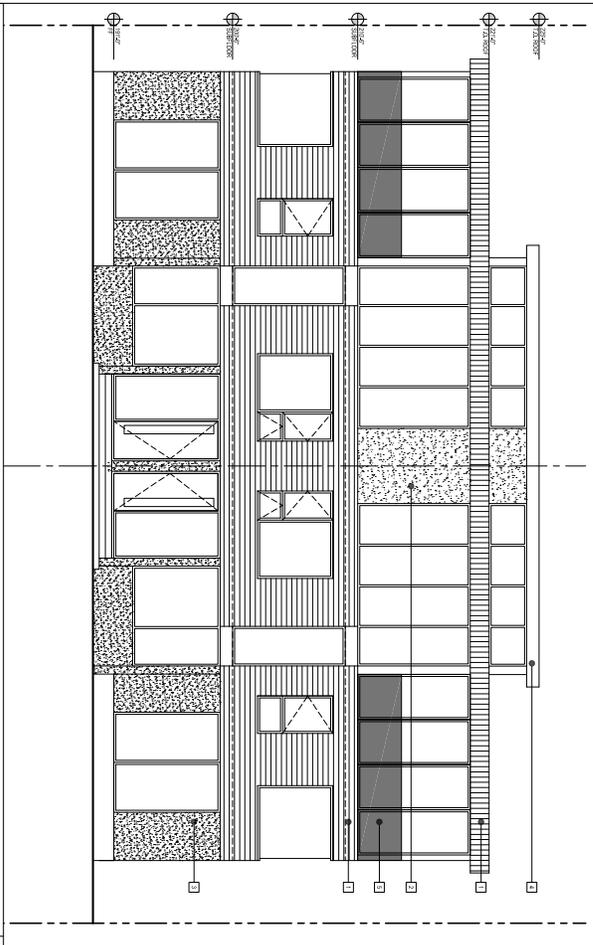
NEW CONDOMINIUMS
18225 COASTLINE DRIVE, MALIBU, CA 90265
 TENTATIVE PARCEL MAP # 073804



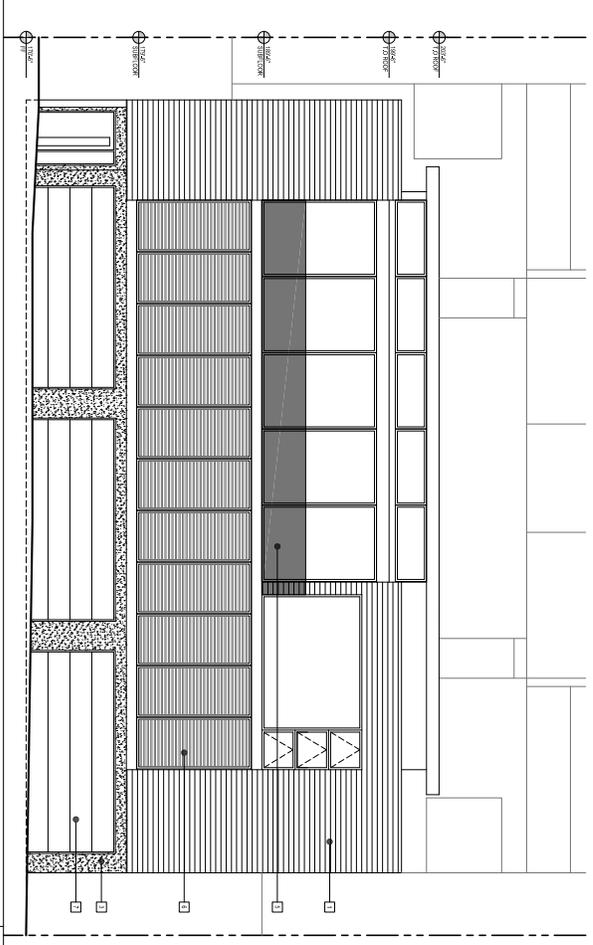
BUILDING B - NORTH ELEVATION SCALE: 1/4" = 1'-0"



BUILDING A - NORTH ELEVATION SCALE: 1/4" = 1'-0"

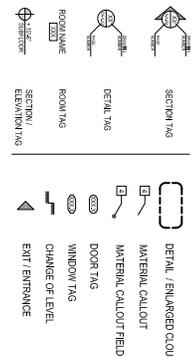


BUILDING B - SOUTH ELEVATION SCALE: 1/4" = 1'-0"



BUILDING A - SOUTH ELEVATION SCALE: 1/4" = 1'-0"

FINISH REFERENCE	FINISH
1	WOOD SHIMS INSTALLED OVER GENSSESS GLASS
2	METALLIC GRAY SMOOTH PLASTER, 1/2" THICKNESS
3	DARK GRAY SMOOTH PLASTER, 1/2" THICKNESS
4	METAL FLASH
5	GLASS CURBURAL
6	WOOD SCREEN
7	WOOD DOOR
8	LUGGER FOR FIRE DEPT. USE



PROJECT ADDRESS: 18225 Coastline Drive, Malibu, CA 90265 APN: 444-000-001		
OWNER: VANDERBILT, INC. 2202 Corner Ave. Suite 300 Malibu, CA 90265 Tel: 310 914-5877 E: 310 914-5877	ARCHITECT: L.V. ANDERSON INC. 35554 Wilshire Blvd. Suite 300 Malibu, CA 90272 (310) 914-5877 www.lvaarch.com	ADJUNCT: LISA TOWAL-ERMA 18225 Coastline Drive Suite 300 Malibu, CA 90265 E: 310 914-5877
SUBSET: WEST DIBO SURVEYING PO Box 1000, Ojai, CA 91321 Tel: 310 699-8971	CONTRACTOR: TERRAVIVA MAP SERVICES/INTERESTERS, INC. 18225 Coastline Drive Suite 300 Malibu, CA 90265 (310) 914-5877	

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