



Los Angeles County
Department of Regional Planning

Planning for the Challenges Ahead



Richard J. Bruckner
Director

July 19, 2016

TO: Librarian
Malibu Library
23519 W. Civic Center Way
Malibu, CA 90265

FROM: Edward Rojas
Department of Regional Planning
320 West Temple Street
Los Angeles, California 90012

SUBJECT: PROJECT NO. R2015-03107-(3)/VESTING TENTATIVE PARCEL MAP NO. 073804/MINOR COASTAL PERMIT NO. 201500112/ENVIRONMENTAL ASSESSMENT NO. 201500224

The above mentioned permit is scheduled for a Public Hearing before the Regional Planning Commission of Los Angeles County on August 31, 2016.

Please have the materials listed below available to the public through September 14, 2016.

If you have any questions regarding this matter, please contact **Edward Rojas** of the Department of Regional Planning at (213) 974-6433.

Thank you.

Attachments:

1. Notice of Public Hearing
2. Vicinity Map
3. Factual
4. Environmental Document
5. Tentative Tract Map/Exhibit Map

**THE DEPARTMENT OF REGIONAL PLANNING
COUNTY OF LOS ANGELES**

**NOTICE OF PUBLIC HEARING
NOTICE OF INTENT TO ADOPT A NEGATIVE DECLARATION**

The Los Angeles County Regional Planning Commission will conduct a public hearing to consider the project described below. You will have an opportunity to testify, or you can submit written comments to the planner below or at the public hearing. If the final decision on this proposal is challenged in court, testimony may be limited to issues raised before or at the public hearing.

Date and Time: Wednesday, August 31, 2016 at 9:00 a.m.

Hearing Location: Room 150, 320 West Temple Street, Los Angeles, CA 90012

Permit(s): Project No. R2015-03107-(3)/ Vesting Tentative Parcel Map No. 073804/ Minor Coastal Development Permit No. 201500112/ Environmental Assessment No. 201500224

Project Location: 18225 Coastline Drive, Malibu within The Malibu Zoned District

CEQA Public Review Period: August 1, 2016 to August 30, 2016

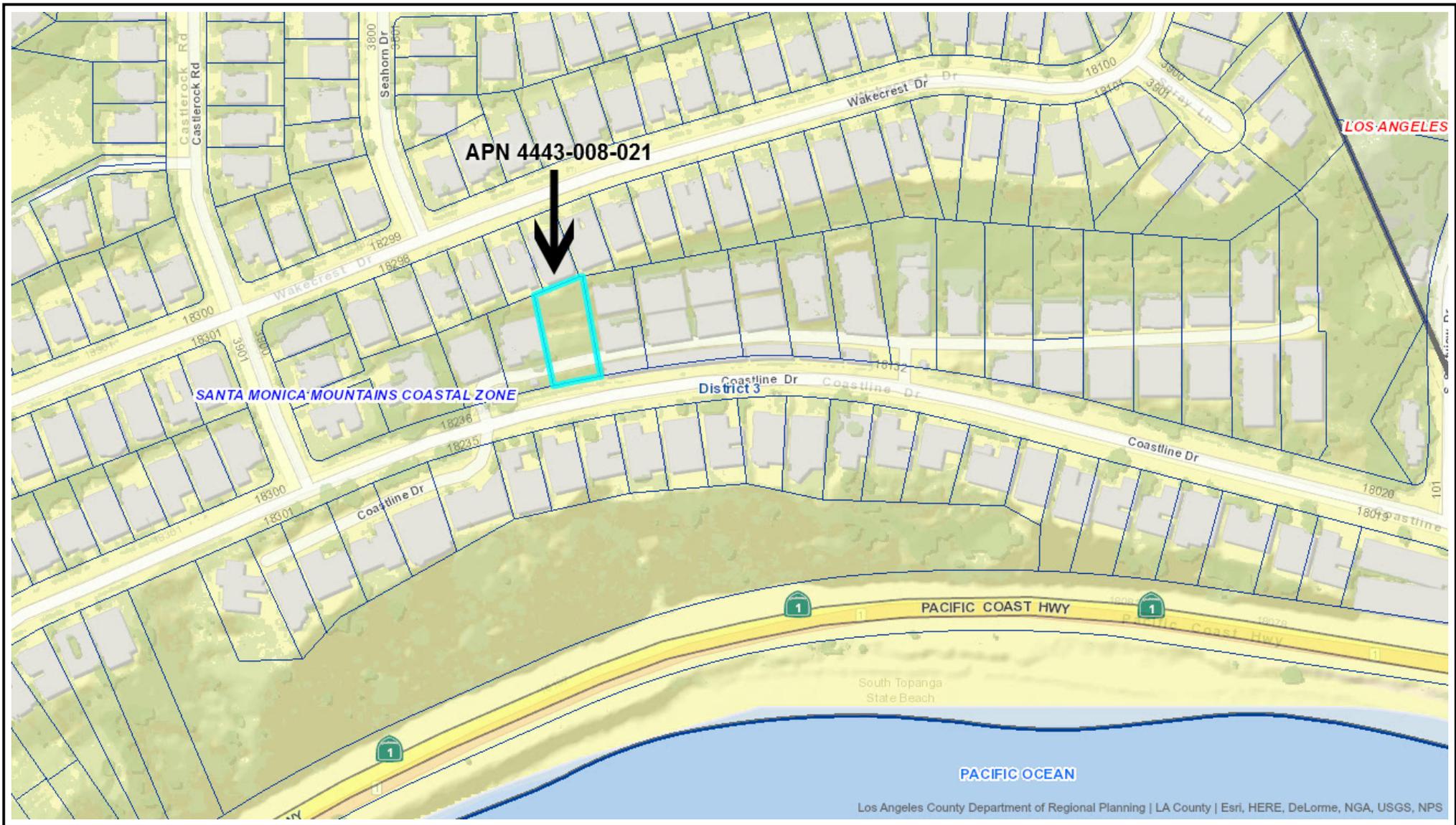
Description: Vesting tentative parcel map to develop three residential condominium units on 0.23 acres and a Minor Coastal Development Permit for a land division within the Santa Monica Coastal Zone.

Add'l Info: Review case materials online at <http://planning.lacounty.gov/case/view/pm73804/> or at Malibu Library
23519 W. Civic Center Way
Malibu, CA 90265

Contact: Edward Rojas
Dept. of Regional Planning, 320 W. Temple St., Los Angeles, CA 90012
Telephone: 213-974-6433 Fax: 213-626-0434
E-mail: erojas@planning.lacounty.gov

If you need reasonable accommodations or auxiliary aids, contact the Americans with Disabilities Act (ADA) Coordinator at 213-974-6488 (Voice) or 213-617-2292 (TDD) at least 3 business days notice.

Si necesita más información por favor llame al 213-974-6466.

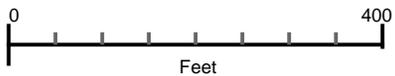


Created in GIS-NET3

PM073804 - Property Location Map

Printed: Jul 19, 2016

Copyright 2013 - Los Angeles County Department of Regional Planning, GIS Section. Note: This map represents a quick representation of spatial imagery or vector layers using GIS-NET3. The map should be interpreted in accordance with the GIS-NET3 Public disclaimer statement. Printed with permission from the Los Angeles County Dept. of Regional Planning. All rights reserved.





Department of Regional Planning
 320 West Temple Street
 Los Angeles, California 90012

PROJECT NUMBER

R2015-03107-(3)

HEARING DATE

August 31, 2016

REQUESTED ENTITLEMENTS

Vesting Tentative Parcel Map No. 073804
 Minor Coastal Development Permit No. 201500112
 Environmental Assessment No. 201500224

PROJECT SUMMARY

OWNER / APPLICANT

Vladimir and Luba Tomalevski

MAP/EXHIBIT DATE

March 22, 2016

PROJECT OVERVIEW

Vesting tentative parcel map to develop three residential condominium units on 0.23 acres and a Minor Coastal Development Permit for a land division within the Santa Monica Coastal Zone.

LOCATION

18225 Coastline Drive, Malibu

ACCESS

Coastline/Private Driveway

ASSESSORS PARCEL NUMBER(S)

4443-008-021

SITE AREA

0.23 acres (gross)/0.19 acres (net)

GENERAL PLAN / LOCAL PLAN

Santa Monica Mountains Coastal Zone

ZONED DISTRICT

The Malibu

LAND USE DESIGNATION

U20 – Residential (20 du/ac)

ZONE

R-3 – Limited Multiple Residence Zone

PROPOSED UNITS

3

MAX DENSITY/UNITS

3

COMMUNITY STANDARDS DISTRICT

N/A

ENVIRONMENTAL DETERMINATION (CEQA)

Negative Declaration

KEY ISSUES

- Consistency with the Santa Monica Mountains Local Coastal Program
- Conformance with the following Section(s) of Title 21 of the Los Angeles County Code:
 - 21.38.010 (Vesting Tentative Map)
 - 21.24.380 (Condominiums and Community Apartment Projects)

CASE PLANNER:

Edward Rojas

PHONE NUMBER:

(213) 974 - 6433

E-MAIL ADDRESS:

erojas@planning.lacounty.gov

Environmental Checklist Form (Initial Study)

County of Los Angeles, Department of Regional Planning



Project title: Project No. R2015-03107 / Vesting Tentative Parcel Map No. 073804/ Minor Coastal Development Permit No. 201500112/ Environmental Assessment No. 201500224

Lead agency name and address: Los Angeles County, 320 West Temple Street, Los Angeles, CA 90012

Contact Person and phone number: Edward A. Rojas

Project sponsor's name and address: Vladimir and Luba Tomalevski, 2332 Cotner Avenue, Suite 303, Los Angeles, CA 90064

Project location: 18225 Coastline Drive, Malibu, CA 90265
APN: 4443-008-021 USGS Quad: Topanga

Gross Acreage: 0.23

General plan designation: Subject to Community Plan

Community/Area wide Plan designation: U20 – Residential (20 du/ac) – Santa Monica Mountains Local Coastal Program

Zoning: R-3 (Limited Multiple Residence)

Description of project: The project consists of a vesting tentative parcel map to create 3 residential condominium dwelling units on 0.23 gross acres (0.19 net acres). The project also includes a Minor Coastal Development Permit for development within the Santa Monica Mountains Coastal Zone. The property is currently vacant, except for a paved private driveway used for access by the subject property and neighboring properties, and a concrete foundation and retaining walls from an abandoned apartment project. Permits for the construction of the apartment were obtained in 1962. No additional work was done beyond the foundation and retaining walls. The proposed development would consist of two buildings, one two story building with a condominium unit over three two car garages and a two story building with two condominium units.

Surrounding land uses and setting: The property is located in a developed area of the Santa Monica Mountains Coastal Zone, in a moderately dense tract of residential homes with public water and sewer utility connections. The property is surrounded by multi-unit residential buildings and single-family homes. It's approximately 1,200 feet to the west of the City of Los Angeles border within the un-incorporated community and approximately 450 feet to the north of the coastline and public beaches. The property has sloping terrain and fronts on Coastline Drive. A private driveway cuts through the property and several adjoining properties.

Other public agencies whose approval may be required (e.g., permits, financing approval, or participation agreement):

<i>Public Agency</i>	<i>Approval Required</i>
<u>Department of Public Works</u>	<u>Final Map</u>
<u>Department of Public Works</u>	<u>Building Permit</u>
<u>Los Angeles County Fire</u>	<u>Fuel Modification Plan</u>

Major projects in the area:

<i>Project/ Case No.</i>	<i>Description and Status</i>
<u>Project No. 99212/PM25785</u>	<u>Four residential condominium units. Approved and recorded.</u>
<u>Project No. 04-078/TR061127</u>	<u>Convert existing 4 unit apartment into 4 residential condominium units and 3 new condominium units. Approved, but not recorded.</u>

Reviewing Agencies:

Responsible Agencies

- None
- Regional Water Quality Control Board:
 - Los Angeles Region
 - Lahontan Region
- Coastal Commission
- Army Corps of Engineers

Trustee Agencies

- None
- State Dept. of Fish and Wildlife
- State Dept. of Parks and Recreation
- State Lands Commission
- University of California (Natural Land and Water Reserves System)

Special Reviewing Agencies

- None
- Santa Monica Mountains Conservancy
- National Parks
- National Forest
- Edwards Air Force Base
- Resource Conservation District of Santa Monica Mountains Area
-

County Reviewing Agencies

- DPW:
 - Land Development Division (Grading & Drainage)
 - Geotechnical & Materials Engineering Division
 - Watershed Management Division (NPDES)
 - Traffic and Lighting Division
 - Environmental Programs Division
 - Waterworks Division
 - Sewer Maintenance Division

Regional Significance

- None
- SCAG Criteria
- Air Quality
- Water Resources
- Santa Monica Mtns. Area
-

- Fire Department
 - Forestry, Environmental Division
 - Planning Division
 - Land Development Unit
 - Health Hazmat
- Sanitation District
- Public Health/Environmental Health Division: Land Use Program (OWTS), Drinking Water Program (Private Wells), Toxics Epidemiology Program (Noise)
- Sheriff Department
- Parks and Recreation
- Subdivision Committee
-

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project.

- Aesthetics
- Agriculture/Forest
- Air Quality
- Biological Resources
- Cultural Resources
- Energy
- Geology/Soils
- Greenhouse Gas Emissions
- Hazards/Hazardous Materials
- Hydrology/Water Quality
- Land Use/Planning
- Mineral Resources
- Noise
- Population/Housing
- Public Services
- Recreation
- Transportation/Traffic
- Utilities/Services
- Mandatory Findings of Significance

DETERMINATION: (To be completed by the Lead Department.)

On the basis of this initial evaluation:

- I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Signature (Prepared by)

Date 7/19/16

Signature (Approved by)

Date 7/19/16

EVALUATION OF ENVIRONMENTAL IMPACTS:

- 1) A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources the Lead Department cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the Lead Department has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
- 4) "Negative Declaration: Less Than Significant With Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level. (Mitigation measures from Section XVII, "Earlier Analyses," may be cross-referenced.)
- 5) Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA processes, an effect has been adequately analyzed in an earlier EIR or negative declaration. (State CEQA Guidelines § 15063(c)(3)(D).) In this case, a brief discussion should identify the following:
 - a) Earlier Analysis Used. Identify and state where they are available for review.
 - b) Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of, and adequately analyzed in, an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c) Mitigation Measures. For effects that are "Less than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 7) The explanation of each issue should identify: the significance threshold, if any, used to evaluate each question, and; mitigation measures identified, if any, to reduce the impact to less than significance. Sources of thresholds include the County General Plan, other County planning documents, and County ordinances. Some thresholds are unique to geographical locations.
- 8) Climate Change Impacts: When determining whether a project's impacts are significant, the analysis should consider, when relevant, the effects of future climate change on : 1) worsening hazardous conditions that pose risks to the project's inhabitants and structures (e.g., floods and wildfires), and 2) worsening the project's impacts on the environment (e.g., impacts on special status species and public health).

1. AESTHETICS

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
--	---	--	---	----------------------

Would the project:

a) Have a substantial adverse effect on a scenic vista?

The project consists of a subdivision to create three residential condominium units. There are no significant vistas or ridgelines on the subject property. The proposed structures are of comparable height to adjoining structures and will not obscure any existing views for neighboring properties. The project site is located approximately 400 feet from Pacific Coast Highway, a designated scenic route by the Santa Monica Mountains Local Costal Program (“LCP”). The project site is a vacant lot surrounded by multi-family and single-family residential development and outside the 200 foot buffer area for scenic highways that are considered Scenic Resource Areas by the LCP. Therefore the proposed project would not degrade any existing vistas from Pacific Coast Highway.

b) Be visible from or obstruct views from a regional riding or hiking trail?

The project site is located approximately 480 feet from the California Coastal Trail. The project site is situated within a developed area of the Santa Monica Mountains. Properties in the area are zoned R-3 and developed with multi-family residential uses and R-1 and developed with single-family homes. The proposed development is not visible from the existing trail and therefore would not degrade the scenic character in our around the trail.

c) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?

The project site does not contain any scenic resources such as trees, rock outcroppings or historical buildings and is located along or visible from a scenic highway.

d) Substantially degrade the existing visual character or quality of the site and its surroundings because of height, bulk, pattern, scale, character, or other features?

The proposed project is of comparable height and bulk as surrounding structures. The proposed structure will have a height of 30 to 35 feet, which is less than the abutting condominiums to the east and west, that were approved prior to the LCP. The project site is surrounded by residential development and the proposed project of 3 residential condominium units is in keeping with the character of the neighborhood.

e) Create a new source of substantial shadows, light, or glare which would adversely affect day or nighttime views in the area?

The proposed project of developing 3 residential condominium units on a vacant lot, within an area developed with residential development will not be a source of sustainable shadows or affect day or nighttime views. The proposed structure is comparable in bulk and height to surrounding properties. In addition the proposed development is subject to the Santa Monica Mountains Local Implementation Program (“LIP”), which limits exterior lighting to low intensity features, shielded and concealed to the greatest extent possible, with the use of dark skies technology (Section 22.44.1270). Construction will also be required to conform to Section 22.44.1320 of the LIP, which prohibits the use of reflective, glossy or polished metal siding and roofing and all other highly reflective materials.

2. AGRICULTURE / FOREST

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
--	---	--	---	----------------------

Would the project:

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	--------------------------	--------------------------	--------------------------	-------------------------------------

The project site is not comprised of any farmland. The property is vacant lot in an established residential area. The project will not result in the conversion of Prime Farmland, Unique Farmland, or any other types of farmland (Source: Farmland Mapping and Monitoring Program, California Department of Conservation.)

b) Conflict with existing zoning for agricultural use, with a designated Agricultural Opportunity Area, or with a Williamson Act contract?

	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	--------------------------	--------------------------	--------------------------	-------------------------------------

The property is zoned R-3 (Limited Multiple Residence). The project site is not designated as an Agricultural Opportunity Area. There are no Williamson Act contract lands in unincorporated Los Angeles County except for Catalina Island.

c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code § 12220 (g)), timberland (as defined in Public Resources Code § 4526), or timberland zoned Timberland Production (as defined in Government Code § 51104(g))?

	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	--------------------------	--------------------------	--------------------------	-------------------------------------

There is no forest land or timberland zoned Timberland Production within the project site or vicinity.

d) Result in the loss of forest land or conversion of forest land to non-forest use?

	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	--------------------------	--------------------------	--------------------------	-------------------------------------

There project site is not comprised of forest land and there is no forest land within the immediate vicinity of the project site.

e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?

	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	--------------------------	--------------------------	--------------------------	-------------------------------------

There is no forest land or farmland within the project site or immediate vicinity

3. AIR QUALITY

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
--	---	--	---	----------------------

Would the project:

- | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <p>a) Conflict with or obstruct implementation of applicable air quality plans of either the South Coast AQMD (SCAQMD) or the Antelope Valley AQMD (AVAQMD)?</p> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project consists of three residential condominium units on a vacant lot surrounded by existing residential development. The project site is located within the South Coast Air Quality Management District (SCAQMD). The proposed project complies with the density and land use requirements of the Santa Monica Mountains Local Coastal Program. Therefore the project will not conflict or obstruct the implementation of the applicable SCAQMD air quality plan.

Based on the 2012 Area Designations for ten criteria pollutants, which is the most current available information and represents air quality based on 2008 and 2010 monitoring date, the State Ambient Air Quality Standards for Los Angeles County are as follows: “Nonattainment” for Ozone, Suspended Particulate Matter, Fine Suspended Particulate Matter, Nitrogen Dioxide, Lead; “Attainment” for Carbon Monoxide, Sulfur Dioxide and Sulfates; “Unclassified” for Hydrogen Sulfide and Visibility Reducing Particles. The proposed project would not significantly contribute to this nonattainment status.

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <p>b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?</p> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

The proposed project of three residential condominium units. The project will not violate an applicable federal or state air quality standard or projected air quality violation.

- | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <p>c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?</p> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

The construction of the proposed three condominium units individually or cumulatively, will not exceed the SCAQMD Air Quality Significant Thresholds.

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <p>d) Expose sensitive receptors to substantial pollutant concentrations?</p> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project is not considered a sensitive land use and no sensitive land uses are located in close proximity to the project site. Therefore the proposed project would not expose sensitive receptors to substantial amounts

of pollutants. The proposed project is considered consistent with the existing land use in the neighborhood and is not contributor of substantial pollution concentration.

e) Create objectionable odors affecting a substantial number of people?

Due to the nature of the proposed land use, three residential condominium units, it can be expected that the proposed project would not create objectionable odors that would be perceptible to a substantial number of people. The proposed project would not violate AQMD Rule 402, which states “A person shall not discharge from any source whatsoever such quantities of air contaminants or other material which cause injury, detriment, nuisance, or annoyance to any considerable number of persons or to the public, or which endanger the comfort, repose, health or safety of any such persons or the public, or which cause, or have a natural tendency to cause, injury or damage to business or property. The provisions of this rule shall not apply to odors emanating from agricultural operations necessary for the growing of crops or the raising of fowl or animals.”

4. BIOLOGICAL RESOURCES

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
--	---	--	---	----------------------

Would the project:

a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife (CDFW) or U.S. Fish and Wildlife Service (USFWS)?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

The project site is located in the Santa Monica Mountains Coastal Zone, and subject to the Santa Monica Mountains Local Coastal Program “LCP” and the Local Implementation Program “LIP.” Habitat in the LCP is designated H1, H2, or H3. The project site consists entirely of H3 habitat. This designation is given to areas where native vegetation has significantly disturbed or removed, and not contiguous to large areas of undisturbed habitat. The project site is 200 feet from H1 designated habitat. While a small portion of the property is within 200 feet, the proposed development will be outside the 200 foot buffer from H1 category. Per the LIP a Biological Inventory Report “BIR” was produced by Envicom. The BIR dated February 12, 2016, determined that no protected or regulated biological resources were identified on the project site or will be impacted by the proposed project. The project site is surrounded by existing residential development. The site was previously graded and a concrete foundation was poured and retaining wall installed as part of an approved apartment house project, which was eventually abandoned. The foundation and retaining wall remain. The property has a private driveway cutting through it, which is used for access by the project site and surrounding properties. The project site is within a Very High Fire Hazard Area, and within the required fuel modification zone for surrounding residential structures. Furthermore the BIR found the project site not to be of importance for wildlife movement due to the isolation from undeveloped areas and the amount of residential development surrounding the project site.

b) Have a substantial adverse effect on any sensitive natural communities (e.g., riparian habitat, coastal sage scrub, oak woodlands, non-jurisdictional wetlands) identified in local or regional plans, policies, regulations or by CDFW or USFWS?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

A BIR was produced for the proposed project. The BIR dated February 12, 2016 did not identify any sensitive natural communities on the project site or within the immediate proximity of the project site. In addition the site was not found to be of importance for wildlife movement or habitat connectivity. The project site is a vacant lot with surrounded by existing residential development on all sides. While the site is vacant, there is a concrete pad and retaining wall from a previously abandoned apartment house project. The project site also has a private driveway that runs through it. The driveway is used for access by the project site and surrounding properties. Due to the disturbed nature of the site, the development of three residential condominium units on the site would not have an adverse effect on sensitive natural communities.

c) Have a substantial adverse effect on federally or state protected wetlands (including, but not limited to, marshes, vernal pools, coastal wetlands, and drainages) or waters of the United States, as defined by § 404 of the federal Clean Water Act or California Fish & Game code § 1600, et seq. through direct removal, filling, hydrological interruption, or other means?

The project site does not contain either federal or state-protected wetlands or waters.

d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

The project site is not within a mapped wildlife linkage designs (corridor) as identified by the South Coast Missing Linkages project. The project site is a vacant lot surrounded by residential development. A private driveway crosses across the southern part of the property, and is used by the neighboring properties for access. A concrete foundation and retaining walls from an abandoned project remain. The BIR determined that species such as reptiles, birds and small mammals may forage on the site but are not likely to reproduce on the project site due to the disturbed nature of the site and the lack of vegetation cover. Due to the isolation of the site from intact habitat, larger species are not expected to be found on the site The BIR determined that site “does not support suitable habitat for wildlife and is not of particular importance to wildlife movement” (pg. 17).

e) Convert oak woodlands (as defined by the state, oak woodlands are oak stands with greater than 10% canopy cover with oaks at least 5 inch in diameter measured at 4.5 feet above mean natural grade) or otherwise contain oak or other unique native trees (junipers, Joshuas, southern California black walnut, etc.)?

The project site does not contain any Oak woodlands, Joshua trees, Junipers, or other sensitive trees on the subject property.

f) Conflict with any local policies or ordinances protecting biological resources, including Wildflower Reserve Areas (L.A. County Code, Title 12, Ch. 12.36), the Los Angeles County Oak Tree Ordinance (L.A. County Code, Title 22, Ch. 22.56, Part 16), the Significant Ecological Areas (SEAs) (L.A. County Code, Title 22, § 22.56.215), and Sensitive Environmental Resource Areas (SERAs) (L.A. County Code, Title 22, Ch. 22.44, Part 6)?

The project site is not located within a Significant Ecological Area (SEA), SEA Buffer Area, Sensitive Environmental Resource Area (SERA), or Wildflower Reserve Area. Since there are no oak trees or oak woodlands located on the project site, there is no conflict with the Los Angeles County Oak Tree Ordinance.

g) Conflict with the provisions of an adopted state, regional, or local habitat conservation plan?

The proposed project is consistent with the adopted Local Coastal Program for the Santa Monica Mountains and does not conflict with any other adopted State, regional, or local Habitat Conservation Plan.

5. CULTURAL RESOURCES

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
--	---	--	---	----------------------

Would the project:

a) Cause a substantial adverse change in the significance of a historical resource as defined in CEQA Guidelines § 15064.5?

The project site does not contain historical resources as defined in CEQA Guidelines §15064.5 and there is no record of national or state-designated historical resources on the project site.

b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to CEQA Guidelines § 15064.5?

The project site does not contain known archaeological resources as defined in CEQA Guidelines §15064.5 and would not disturb any known archeological resources. The site is located in a largely built out pocket of residential development.

c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature, or contain rock formations indicating potential paleontological resources?

The project site does not contain known paleontological resources or sites, unique geological features or rock formations.

d) Disturb any human remains, including those interred outside of formal cemeteries?

There is no record of human remains on the project site. If the project is approved, the project will be conditioned to require the subdivider to halt construction in the vicinity of the discovered human remains, leaving the remains in place. From that point, the procedures described in Section 7050.5 of the California Health and Safety Code shall be followed. These procedures require notification of the County Coroner. If the County Coroner determines that the discovered remains are those of Native American ancestry, then the Native American Heritage Commission (NAHC) must be notified by telephone within 24 hours. Section 5097.98 of the Public Resources Code describes the procedures to be followed after the notification of the NAHC.

e) Would the project cause a substantial adverse change in the significance of a tribal cultural resource as defined in CEQA Public Resources Code § 21074?

Consultation with the Tataviam Band of Mission Indians noted the site is within a sensitivity zone of one Tataviam Village site. A records search was conducted by the South Central Coastal Information Center of the project site and a 1/2 mile radius of the project site. No resources listed in the California Register of

Historical Resources were identified on the project site or within a ½ mile radius of the project site. A review of cultural resource reports and archeological resources also did not identify any resources on the project site. The project site is vacant but has been graded for a private driveway shared with surrounding properties. The site was also graded for a previously approved apartment house. A foundation was laid and a retaining wall was built before the project was abandoned. Due to the lack of identified resources found by the SCCIC research and disturbed nature of the site, the proposed project should not cause a substantial adverse change in significance of a tribal resource.

6. ENERGY

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
--	---	--	---	----------------------

Would the project:

a) Conflict with Los Angeles County Green Building Standards Code (L.A. County Code Title 31)?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

The project is subject to and shall be in compliance with the Los Angeles County Green Building ordinance requirements. The project is subject to all components of the Green Building Program.

b) Involve the inefficient use of energy resources (see Appendix F of the CEQA Guidelines)?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

The project is required to comply with the LA County Green Building Standards Code related to construction. Appendix F, Section 1 of the CEQA Guidelines requires evaluation of energy efficiency only for Environmental Impact Reports.

7. GEOLOGY AND SOILS

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
--	---	--	---	----------------------

Would the project:

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:

i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known active fault trace? Refer to Division of Mines and Geology Special Publication 42.

There is no fault trace within the project site. Therefore, people or structures on the project site should not be exposed to potential substantial adverse effects (Source: California Geological Survey, Alquist-Priolo Earthquake Fault Zone Map).

ii) Strong seismic ground shaking?

There is no fault trace on the project site and not located within a seismic zone. The nearest recorded fault trace is located approximately 0.8 miles to the south of the project site according to the Geotechnical Report prepared for the proposed project, by Bay City Geology Inc., dated May 20. Therefore, people or structures on the project site should not be exposed to potential substantial adverse effects.

iii) Seismic-related ground failure, including liquefaction and lateral spreading?

The project site is not located in a designated liquefaction zone. A geotechnical report for the property found the threat of ground failure, including liquefaction and lateral spreading to be very low. This is due to the age, density and hardness of the soil that is found on the project site.

iv) Landslides?

The project site is not located within any identified landslide zone (Source: California Geological Survey).

b) Result in substantial soil erosion or the loss of topsoil?

The construction of the three proposed residential condominium units is subject to grading and site drainage reviews and has to comply with the County's Low Impact Development (LID) Ordinance. LID sets forth

requirements to manage storm water runoff and lessen the potential for erosion resulting from storm water runoff. Thus, the proposed project should not cause substantial soil erosion or the loss of topsoil.

c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?

The geotechnical report dated May 20, 2015 found the project site capable of supporting the proposed project. The underlying soils were found to be dense enough to support the foundation loads for the proposed three residential condominium units. The risk for lateral spreading or liquefaction is considered very low for the project site. The property is not located within a landslide zone

d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?

The geotechnical report dated May 20, 2015 found soils to have medium expansive potential. No soil with a high or very high expansion potential were found. Therefore the proposed project would not create a substantial risk to life or property due to expansive soil. The geotechnical report found the project site to be capable of supporting the three residential condominium units.

e) Have soils incapable of adequately supporting the use of onsite wastewater treatment systems where sewers are not available for the disposal of wastewater?

The proposed project will connect to the available public sewer for waste water disposal.

f) Conflict with the Hillside Management Area Ordinance (L.A. County Code, Title 22, § 22.56.215) or hillside design standards in the County General Plan Conservation and Open Space Element?

The proposed project is subject to the Hillside Management regulations of the Santa Monica Mountains Local Implementation Program "LIP." The proposed project conforms to the LIP. The project is proposing multi-level pads and conforms to the natural landform of the property and does not impact any existing scenic resources. The project does not conflict with any other design standards in the Conservation or Open Space Element of the General Plan.

8. GREENHOUSE GAS EMISSIONS

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
--	---	--	---	----------------------

Would the project:

a) **Generate greenhouse gas (GHGs) emissions, either directly or indirectly, that may have a significant impact on the environment?**

The project entails a subdivision to develop three residential condominium units on 0.19 net acres. Considering the project is required to comply with the County’s Green Building Ordinance related to construction and is relatively small in scale, GHG emissions resulting from water delivery, electricity generation, and construction activities will not have a significant impact on the environment.

b) **Conflict with any applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases?**

The project entails a subdivision to develop three residential condominium units on 0.19 net acres. Considering the relatively small scale of the project, the proposed use, and the required compliance with the County’s Green Building Ordinance, it is not expected that the project will generate GHGs that will have a significant impact on the environment. Therefore, the project should not conflict with any applicable plan, policy, or regulation adopted for the purpose of reducing GHGs emissions

9. HAZARDS AND HAZARDOUS MATERIALS

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
--	---	--	---	----------------------

Would the project:

a) Create a significant hazard to the public or the environment through the routine transport, storage, production, use, or disposal of hazardous materials?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

The project does not include the transportation, storage, production, use, or disposal of hazardous materials, or the use of pressurized tanks. During the construction phase of the project, the project may include minimal use of hazardous materials such as solvents, paints, lubricants, and oils. Current local, state and federal laws relating to the use, storage, and disposal of these materials make it unlikely that the project would have a significant effect on the environment.

b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials or waste into the environment?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

The three proposed residential condominium units do not include the release of hazardous materials or waste into the environment. The construction of the condominiums may include minimal use of hazardous materials, such as solvents, paints, lubricants, and oils, which would not create a significant hazard to the public or the environment, or result in any accidental condition that could affect the public or the environment.

c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of sensitive land uses?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

The development of three residential condominium units will not generate hazardous emissions or results in the handling of acutely hazardous materials, substances or waste. The construction phase of the project could include the minimal use of hazardous materials such as solvents, paints, lubricants, and oils. However, current local, state, and Federal laws relating to the use, storage, and disposal of these materials make it unlikely that the project would have a significant effect on the residences located within 500 feet of the project site.

d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code § 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

The project site is not included on the California Department of Toxic Substances Control EnviroStor database of clean-up sites and hazardous waste permitted facilities (<http://www.envirostor.dtsc.ca.gov/public/>).

e) For a project located within an airport land use plan, or where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

The project site is not located within an airport land use plan or within two miles of a public airport or public use airport.

f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?

The project site is not located within the vicinity of a private airstrip.

g) Impair implementation of, or physically interfere with, an adopted emergency response plan or emergency evacuation plan?

The development of three residential condominium units in a residentially developed area will not impair implementation of, or physically interfere, with an adopted emergency response plan or emergency evacuation plan.

h) Expose people or structures to a significant risk of loss, injury or death involving fires, because the project is located:

i) within a Very High Fire Hazard Severity Zones (Zone 4)?

The project site is located within a Very High Fire Hazard Severity Zone. The proposed project will be required to submit a Fuel Modification Plan, as are all projects, both discretionary and administrative in the Very High Fire Hazard Severity Zone, prior to building permit issuance. Los Angeles County Fire has reviewed and approved the proposed subdivision project.

ii) within a high fire hazard area with inadequate access?

The project site is fronted by Coastline Drive a 60 foot wide public street. The site has an existing private driveway that traverses the property. The private driveway will also serve as a fire lane. Los Angeles County Fire Department has reviewed and cleared the proposed project.

iii) within an area with inadequate water and pressure to meet fire flow standards?

Los Angeles County Waterworks District #29 conducted a fire flow test on July 6, 2015 and found the existing hydrant and water system to be adequate.

iv) within proximity to land uses that have the potential for dangerous fire hazard?

The project site is surrounded by residential development and not in close proximity to uses considered fire hazards. The proposed project would be required to comply with all of the requirements of the Los Angeles County Fire Code.

i) Does the proposed use constitute a potentially dangerous fire hazard?

The proposed residential use does not constitute a potentially dangerous fire hazard. The three condominium units do not entail the use of large amounts of hazardous or highly flammable materials or substances.

10. HYDROLOGY AND WATER QUALITY

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
--	---	--	---	----------------------

Would the project:

a) Violate any water quality standards or waste discharge requirements?

The project site is connected to an existing municipal wastewater system. A sewer area study was approved by the Department of Public Works for the proposed three residential condominium units. In unincorporated Los Angeles County, the proposed project would be required to comply with the requirements of the Low-Impact Development Ordinance, in order to control and minimize potentially polluted runoff. Compliance with these standards should prevent the violation of any water quality or waste discharge requirements.

b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?

The project site will be served by a public water system and will not make use of local groundwater.

c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?

The project site is currently vacant, except for an existing private driveway and the foundation of abandoned project. The proposed project of three residential condominium units will increase the amount of impervious area. However the project is required to submit an approved drainage plan and comply with LID requirements. Therefore the proposed three residential condominium units would not result in substantial on or off-site erosion or siltation. There are no streams or rivers on the subject property or within the immediate vicinity of the proposed development.

d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?

The project site is currently vacant, except for an existing private driveway and the foundation of abandoned project. The proposed project of three residential condominium units will increase the amount of impervious

area. However the project is required to submit an approved drainage plan and comply with LID requirements. Therefore the proposed three residential condominium units would not result in on or off-site flooding. There are no streams or rivers on the subject property or within the immediate vicinity of the proposed development.

e) Add water features or create conditions in which standing water can accumulate that could increase habitat for mosquitoes and other vectors that transmit diseases such as the West Nile virus and result in increased pesticide use?

The proposed project is not proposing water features or would create any conditions that would increase habitat for mosquitoes or other vectors. Any proposed water features in conjunction with single-family residences are reviewed as part of the routine permitting process. The review includes ensuring proposed water features have a water circulation component.

f) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?

Construction of the three residential condominium units is subject to site drainage review and the LID Ordinance. The County’s storm drainage conveyance system (MS4) collects residential stormwater discharge that is not absorbed onsite and is required to comply with its National Pollutant Discharge Elimination System (NPDES) permit.

g) Generate construction or post-construction runoff that would violate applicable stormwater NPDES permits or otherwise significantly affect surface water or groundwater quality?

The project will be required to comply with the National Pollution Discharge Elimination System (“NPDES”) requirements and any future construction of residences will be subject to the County’s Low Impact Development to minimize or reduce runoff. These collective measures should prevent violation of applicable storm water permits and negative impacts to surface waters or groundwater quality.

h) Conflict with the Los Angeles County Low Impact Development Ordinance (L.A. County Code, Title 12, Ch. 12.84)?

The project will be required to comply with the Los Angeles County Low-Impact Development Ordinance

i) Result in point or nonpoint source pollutant discharges into State Water Resources Control Board-designated Areas of Special Biological Significance?

Any run-off from the project site will discharged into a public storm drain system. The proposed project is subject to the County’s Low-Impact Development Ordinance, adherence to the requirements should prevent any substantial amount of nonpoint sources of pollutants. The project site is not located in the vicinity of a State Water Resources Control Board (“SWRCB”)-designated Area of Special Biological Significance

identified on the SCRCB website (Source: http://www.waterboards.ca.gov/water_issues/programs/ocean/docs/asbs/asbs_areas/asbs_swqpa_publication03.pdf).

j) Use onsite wastewater treatment systems in areas with known geological limitations (e.g. high groundwater) or in close proximity to surface water (including, but not limited to, streams, lakes, and drainage course)?

The proposed project does not entail the use of onsite wastewater treatment systems.

k) Otherwise substantially degrade water quality?

The proposed development of three residential condominium units will not substantially degrade water quality. The proposed project will be connected to the existing public water and sewer systems.

l) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map, or within a floodway or floodplain?

The project site is not located within a 100-year flood hazard area as mapped by a Federal Emergency Management Agency ("FEMA") Flood Insurance Rate Map ("FIRM").

m) Place structures, which would impede or redirect flood flows, within a 100-year flood hazard area, floodway, or floodplain?

The project site is not located within a 100-year flood hazard area as mapped by a Federal Emergency Management Agency ("FEMA") Flood Insurance Rate Map ("FIRM").

n) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?

The project site is not located within a 100-year flood hazard area as mapped by a Federal Emergency Management Agency ("FEMA") Flood Insurance Rate Map ("FIRM"). The project site is not located within a dam inundation area, as identified by the Los Angeles County CEO/ITS Emergency Management Systems.

o) Place structures in areas subject to inundation by seiche, tsunami, or mudflow?

The project site is not located within a flood zone, dam inundation area, landslide zone, or potential tsunami inundation zone.

11. LAND USE AND PLANNING

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
--	---	--	---	----------------------

Would the project:

a) Physically divide an established community?

The proposed project entails a subdivision to develop three residential condominium units. The project site is a vacant lot, surrounded by existing residential development. The proposed project would not physically divide an established community as it will conform to the existing street grid and development pattern for the area.

b) Be inconsistent with the applicable County plans for the subject property including, but not limited to, the General Plan, specific plans, local coastal plans, area plans, and community/neighborhood plans?

The project site is located in the Santa Monica Mountains Coastal Zone and subject to the Santa Monica Local Coastal Program “LCP.” The land use designation for the project site is U20 (20 du/ac). The land use designation is designed for the establishment of multi-family housing. The proposed project of three residential condominium units on 0.19 acres is consistent with the U20 land use category of the LCP.

c) Be inconsistent with the County zoning ordinance as applicable to the subject property?

The property is zoned R-3 (Limited Multiple Residence). The proposed property is located within the Santa Monica Mountains Coastal Zone and subject to the LCP and Local Implementation Program “LIP.” The proposed project is consistent with the permitted uses and required development standards for development in the R-3 zone. The applicants are requesting a height of 35 feet, instead of 30, for a portion of one of the proposed structures and to allow a retaining wall greater than 6’ in height (9’ 10” with the required 2’ free board), within the required rear setback. Both modifications are permitted by Sections 22.44.1250(B) (Building Height) and 22.44.1310(V) (Wall Height). Both requests have been found to meet the burden of proof. The increase in height will result in less grading and smaller footprint and the proposed retaining wall will not create safety hazard, impair the views of scenic resources or interfere with the movement of wildlife. Therefore staff supports the requested modifications.

d) Conflict with Hillside Management criteria, Significant Ecological Areas conformance criteria, or other applicable land use criteria?

The proposed development is not located within a Significant Ecological Area. The project site is within the Santa Monica Mountains LCP, which designates the area H3 habitat. H3 habitat designation is given to areas with significant disturbance or removal of native vegetation. Only H1 and H2 habitat is considered Significant Environmental Resource Areas. The proposed project is subject to the Hillside Management requirements of the LIP and the development of three residential condominium units does not conflict with the hillside management criteria. The proposed development is designed to conform to the natural land form and proposed multilevel pads reducing the need for extensive grading.

12. MINERAL RESOURCES

Would the project:	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The project will not result in the loss of availability of a known mineral resource, as the project site is not identified as a mineral resource area on the Los Angeles County Natural Resource Areas map.

b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	--------------------------	--------------------------	--------------------------	-------------------------------------

The project would not result in the loss of availability of a locally-important mineral resource recovery site, as the project site is not identified as a mineral resource area on the Los Angeles County Natural Resource Areas map.

13. NOISE

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
--	---	--	---	----------------------

Would the project result in:

a) Exposure of persons to, or generation of, noise levels in excess of standards established in the County General Plan or noise ordinance (Los Angeles County Code, Title 12, Chapter 12.08), or applicable standards of other agencies?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

The project would not result in exposure of persons to, or generation of, noise levels in excess of standards established in the County Noise Ordinance or the General Plan Noise Element (GPNE). The project site is not near a noise-generating site. The project will conform to Title 12 Chapter 12.08 (“Noise Control Ordinance”) of the Los Angeles County Code, which sets forth 45 decibels (db) as the exterior noise level for nighttime (between 10 p.m. and 7 a.m.) and 50dB for daytime (7 a.m. to 10 p.m.) in residential areas (Noise Zone II). The project site will not create noise in excess of these limits, nor will residents of the project be exposed to noise in excess of these limits. The Noise Control Ordinance regulates construction noise and the hours of operation of mobile construction equipment.

b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

Although the project is located within an established residential neighborhood, it would not expose sensitive receptors to excessive noise levels. The project proposes the same use as what currently exists. Further, the project will comply with Title 12 Chapter 12.08 (“Noise Control Ordinance”) of the Los Angeles County Code which sets ambient noise levels for various noise zones and limits construction noise to 75dB during the daytime in single-family residential areas.

c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project, including noise from parking areas?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

The project proposes a subdivision to develop three residential condominium units. The project should not generate significant vehicle noise from traffic and parking. The project would not result in a substantial permanent increase in ambient noise in the project vicinity above current levels, including noise from parking areas. Any noise generated by additional single-family residences would be similar to ambient noise levels in the area, which is developed with both single-family and multi-family residences at a similar density.

d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project, including noise from amplified sound systems?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

The project entails the subdivision of an existing residential lot into three residential condominium units. Although the subdivision project will include construction activity, all future activity will be required to comply with the limits set forth in the Los Angeles County Noise Control Ordinance. Associated vehicle noise from traffic and parking should not generate significant temporary or periodic increase in ambient noise levels. The project would not result in a substantial permanent increase in ambient noise in the project vicinity above current levels, including noise from parking areas. Any noise generated by additional residences would be in keeping with the current ambient noise levels in the area, which is developed with residences at a similar density. The subdivision should not create a substantial temporary or periodic new noise source, or result in any significant impacts related to a substantial increase in temporary noise.

e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?

The project site is not located within an airport land use plan or within two miles of a public airport or public use airport.

f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

The project site is not within the vicinity of a private airstrip

14. POPULATION AND HOUSING

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
--	---	--	---	----------------------

Would the project:

a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

The project proposes three residential condominium units which would not induce substantial growth in the area. The project site is zoned for limited multiple residences (R-3) and located in an area of established residential development. In addition, the LIP requires that a subdivision requesting the creation of three residential condominium units on one exiting lot provide two transfer development credits. The transfer of development credits program requires the development potential of a private parcel be retired to prevent the net increase of in the amount of development in the Santa Monica Mountains Coastal Zone. The applicant will be required to purchase two developable lots and retire the development potential of those two lots.

b) Displace substantial numbers of existing housing, especially affordable housing, necessitating the construction of replacement housing elsewhere?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

The proposed project site is a vacant lot, therefore will not displace existing housing, affordable or market rate.

c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

There is no existing housing on the project site.

d) Cumulatively exceed official regional or local population projections?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

The project would not exceed official regional or local population projections. The proposed three residential condominium units will not exceed this projection and is consistent with the density permitted by the Countywide General Plan. The creation of three residential condominium units should not alter the growth rate of the population beyond that projected in the County General Plan.

15. PUBLIC SERVICES

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
--	---	--	---	----------------------

a) **Would the project create capacity or service level problems, or result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:**

Fire protection?

The Fire Department has not indicated any significant effects on fire response time, service level, or facilities in regards to the proposed project. No additional fire facilities are required for this project. The nearest Los Angeles County Fire Station No. 69 is approximately 4.8 miles, shortest drive route, to the northwest of the project site. Los Angeles County Fire Station No. 70 is located 5 miles to the west of the project site. The nearest fire station to the project site is City of Los Angeles Fire station No. 23, which is 1.3 miles from the project site. No additional fire facilities are required for this project.

Sheriff protection?

The project would not create capacity or service level problems or result in substantial adverse physical impacts. The project site is approximately 17.5 miles, shortest drive route, from the Lost Hills Sheriff's Station. The proposed project will develop three new residential units but not enough to substantially reduce service ratios.

Schools?

The project site is located within the Santa Monica-Malibu Unified School District. Considering the scale of the project, the three residential condominium units are not expected to create a capacity problem for the School District. The project will be required to pay school impact fees to address the increase in population, at a rate to be determined by the school district.

Parks?

The project will be conditioned to pay Quimby Fees per Los Angeles County Code Section 21.28.140. No trails are required.

Libraries?

The project will be conditioned to pay the library fees per Los Angeles County Code Section 22.72. The proposed project will generate three condominium units. The population increase is not substantial and will not diminish Los Angeles County Public Library's capacity to serve the project site and the surrounding community.

Other public facilities?

The project is not perceived to create capacity or service level problems or result in substantial adverse physical impacts for any other public facility.

16. RECREATION

- | | <i>Potentially
Significant
Impact</i> | <i>Less Than
Significant
Impact with
Mitigation
Incorporated</i> | <i>Less Than
Significant
Impact</i> | <i>No
Impact</i> |
|---|---|--|---|--------------------------|
| a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Review of the project by the Los Angeles County Department of Parks and Recreation has not disclosed that the project would increase the use of existing neighborhood and regional parks or other recreational facilities contributing to substantial or accelerated physical deterioration of such facilities.

- | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| b) Does the project include neighborhood and regional parks or other recreational facilities or require the construction or expansion of such facilities which might have an adverse physical effect on the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project does not include recreational facilities. Since the project does not entail a dedication of park space, the subdivider will be required to pay in-lieu Quimby fees to satisfy the park obligation. No construction or expansion of recreational facilities is required.

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| c) Would the project interfere with regional open space connectivity? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

There are no expected impacts to regional open space connectivity. The project is proposed in an established urban neighborhood.

17. TRANSPORTATION/TRAFFIC

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
--	---	--	---	----------------------

Would the project:

a) Conflict with an applicable plan, ordinance, or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

The project would not conflict with an applicable plan, ordinance, or policy establishing a measure of effectiveness for the performance of the circulation system. The growth proposed by the project is accounted for in the Baseline Growth Forecast of the 2012-2035 Southern California Association of Governments' Regional Transportation Plan (RTP), which provided the basis for developing the land use assumptions at the regional and small-area levels that established the 2012 Regional Transportation Plan Alternative.

b) Conflict with an applicable congestion management program (CMP), including, but not limited to, level of service standards and travel demand measures, or other standards established by the CMP for designated roads or highways?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

The project entails a subdivision of one existing residential lot into three residential condominium units. The traffic impacts of the project have been reviewed and cleared by the Los Angeles County Department of Public Works (DPW).

c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that result in substantial safety risks?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

The project site is not located near a public or private airstrip and will not encroach into air traffic patterns.

d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

The project entails the subdivision of one existing residential lot into three residential condominium units. The project does not entail creating sharp curves or dangerous intersections or incompatible uses. Therefore, there will be no increased hazards due to design features.

e) Result in inadequate emergency access?

The proposed project of three residential condominium units would not block or provide inadequate emergency access for the project itself or make existing emergency access to off-site properties inadequate. Emergency access has been reviewed and cleared by the Los Angeles County Fire Department.

f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?

The project site would not conflict with adopted plans, policies, or programs for public transit, bicycle, or pedestrian facilities. The 2012 Bikeways Master Plan does not proposed a bike lane along Coastline Drive. No public transit or pedestrian facilities exist within the immediate vicinity of the project site.

18. UTILITIES AND SERVICE SYSTEMS

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impa ct</i>
--	---	--	---	---------------------------

Would the project:

- a) Exceed wastewater treatment requirements of either the Los Angeles or Lahontan Regional Water Quality Control Boards?

The development of three residential condominium units is not expected to exceed treatment requirements of the Los Angeles Regional Water Quality Control Boards. All public wastewater disposal (sewer) systems are required to obtain and operate under the terms of an NPDES (National Pollution Discharge Elimination System) permit, which is issued by the local Regional Water Quality Control Board (RWQCB). All municipal wastewater treatment facilities are required to obtain NPDES permits from the RWQCB and any project which would connect to such a system would be required to comply with the same standards imposed by the NPDES permit. Thus, project conformity with NPDES permit standards is achieved by the time residential units connect to the publicly owned treatment works.

- b) Create water or wastewater system capacity problems, or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?

The creation of three residential condominium units should not create a water or wastewater system capacity problem nor result in the construction of new water or wastewater treatment facilities. The project site will be served by a public water system, which has issued a “will serve” letter for the proposed subdivision.

- c) Create drainage system capacity problems, or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?

The Department of Public Works’ review of the project indicates that the project would not create drainage system capacity problems, and no construction of new storm water drainage facilities or expansion of existing facilities is required. The County’s Low Impact Development (LID) Ordinance was created to deal with stormwater runoff from new projects. Construction will be required to comply with the LID Ordinance.

- d) Have sufficient reliable water supplies available to serve the project demands from existing entitlements and resources, considering existing and projected water demands from other land uses?

The project will have sufficient reliable water supplies available to serve the project demands from existing entitlements and resources. The project site will be served by a public water system, which has issued a “will serve” letter for the proposed subdivision.

e) Create energy utility (electricity, natural gas, propane) system capacity problems, or result in the construction of new energy facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?

The creation of three residential condominium units will not significantly impact the availability of adequate energy supplies and should not create energy utility capacity problems or result in the construction of new energy facilities or expansion of existing facilities. In addition, any future construction will be subject to the Green Building Ordinance, which is required to provide energy saving measures to further reduce the amount of energy consumed by the proposed project.

f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?

Development at the proposed density at this location is planned for under the existing Los Angeles County Regional Waste Management Plan. The subdivision proposal of three residential condominium units, should not significantly impact solid waste disposal capacity due to its small scale.

g) Comply with federal, state, and local statutes and regulations related to solid waste?

The project would be required to comply with federal, state, and local statutes and regulations related to solid waste. The California Integrated Waste Management Act of 1989 requires the County of Los Angeles to attain specific waste diversion goals. Additionally, when households retain waste hauler services contracted with the County, residences receive one container for recyclable materials and one for green waste in addition to the trash container. Households can also receive one additional green waste container and one recyclable container at no extra cost upon request in an effort to achieve the waste diversion goals through increased recycling access (California Solid Waste Reuse and Recycling Access Act of 1991). The project will include sustainable elements to ensure compliance with all federal, state, and local statutes and regulations related to solid waste. It is anticipated that these project elements will comply with federal, state, and local statutes and regulations to reduce the amount of solid waste. The project will not displace an existing or proposed waste disposal, recycling, or diversion site.

19. MANDATORY FINDINGS OF SIGNIFICANCE

	<i>Potentially Significant Impact</i>	<i>Less Than Significant Impact with Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

The project does not have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory. As analyzed in the Initial Study sections above, the proposed project will have no impact or less than significant impact in all these areas. The proposed project is consist of residential development in a residentially developed area.

b) Does the project have the potential to achieve short-term environmental goals to the disadvantage of long-term environmental goals?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--	--------------------------	--------------------------	-------------------------------------	--------------------------

The proposed project is consistent with the Santa Monica Mountains Local Coastal Program and Local Implementation Program which ensure development in the area is consistent with both the short-term and long-term environmental goals of the plan. The project site is a vacant lot surrounding by multi-family and single-family development. This infill type development is consistent with the long-term and short-term goals of the plan by allowing focusing development in previously disturbed areas and avoiding development in the more environmentally sensitive areas of the Santa Monica Mountains.

c) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--	--------------------------	--------------------------	-------------------------------------	--------------------------

The proposed project does not have cumulative impacts. The proposed project will not induce growth, as the project does not require additional infrastructure beyond that necessary to serve the project. Since, there aren't any impacts that could be deemed cumulatively considerable, the proposed project would have a less than significant impact.

d) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?

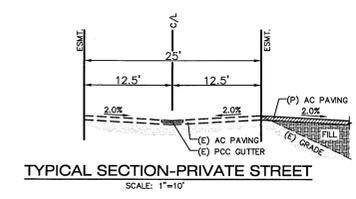
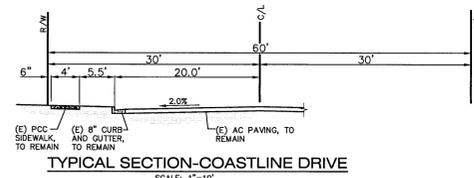
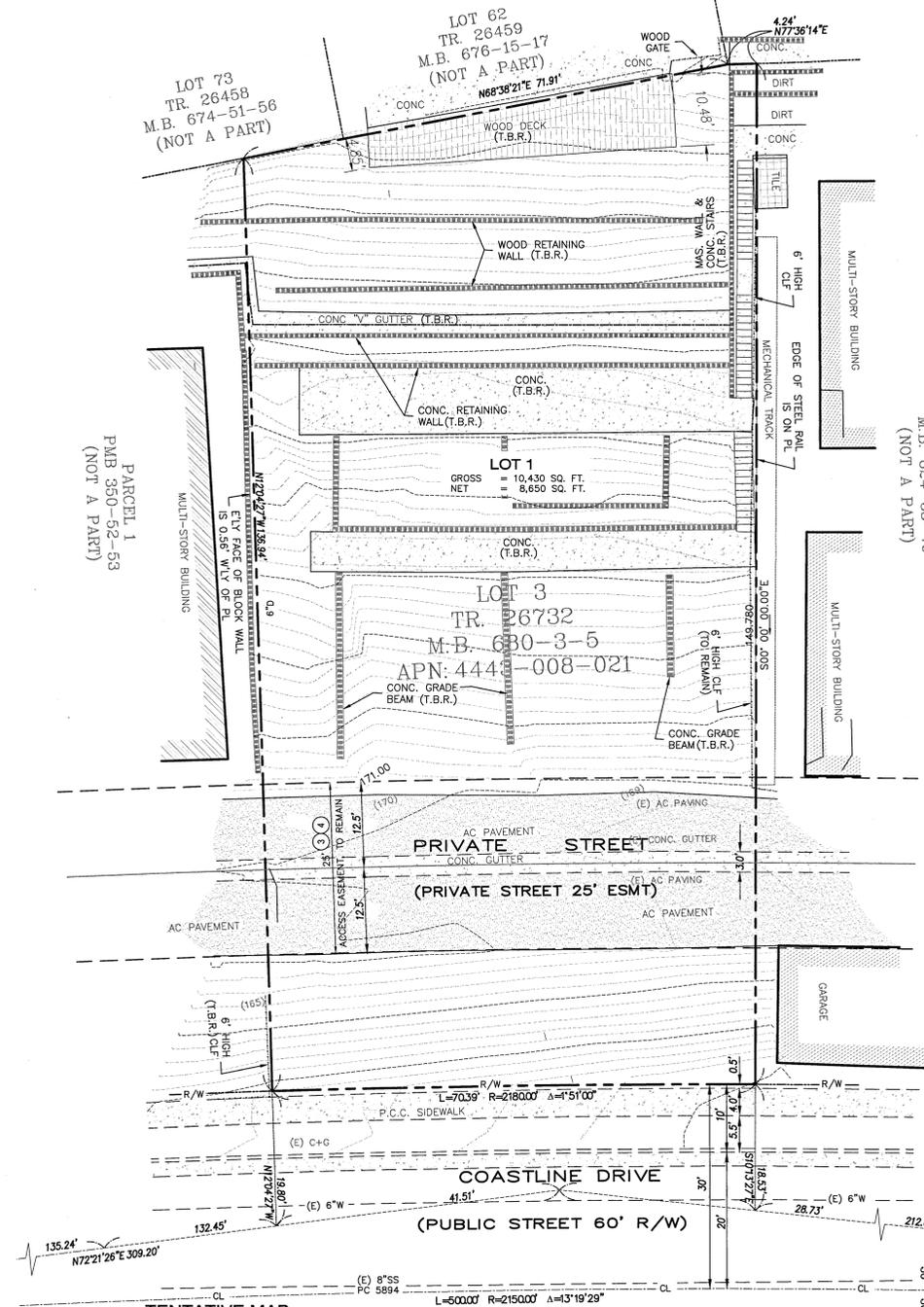
The project entails subdividing an existing residential lot into three residential condominium units in an R-3 (Limited Multiple Residence) zone. The proposed project would not threaten the health, safety or welfare of human beings. Therefore, the proposed project would have a less than significant impact on human beings

MINOR LAND DIVISION
Vesting Tentative Parcel Map #073804
For Condominium Purposes

Located in the Unincorporated Territory of the County of Los Angeles, State of California

March 16, 2016

THIS SUBDIVISION IS FOR CONDOMINIUM PURPOSES AS DEFINED IN SECTION 1350 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED PURSUANT TO THE SUBDIVISION MAP ACT.



APPLICANT/DEVELOPER:
L+V ARCHITECTS
2332 COTNER AVENUE #303
WEST LOS ANGELES, CA 90064
PHONE: (310) 325-5577
CONTACT: LUBA TOMALEVSKA

ENGINEER / MAP PREPARED BY:
BOLTON ENGINEERING CORP.
25834 NARBONNE AVE 210
LOMITA, CA 90717
PHONE: (310) 429-8681
ATTN: DANIEL J BOLTON, P.E.
RCE 63290 EXP. 6/30/12
BEC JOB NO. 14347

ARCHITECT:
L+V ARCHITECTS
2332 COTNER AVENUE #303
WEST LOS ANGELES, CA 90064
PHONE: (310) 325-5577
CONTACT: LUBA TOMALEVSKA

SOILS ENGINEER:
Bay City Geology
2800 NELSON WAY
SANTA MONICA, CA 90405
PHONE: (310) 429-8681
CONTACT: JONATHAN MILLER

PROPERTY ADDRESS:
18225 COASTLINE DRIVE
MALIBU, CALIFORNIA 90265

EXISTING USE:
THE TOTAL AREA OF LAND CONSISTS OF:
GROSS = 10,430 SQ. FT.
NET = 8,650 SQ. FT.

LEGAL DESCRIPTION:
THE LAND REFERRED TO IN THIS SURVEY IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF LOS ANGELES, AND IS DESCRIBED AS FOLLOWS:
LOT 3 OF TRACT NO. 26732 AS PER MAP RECORDED IN BOOK 680 PAGES 3 THROUGH 5 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ZONING: R-3 (LIMITED MULTIPLE RESIDENCE), CURRENT AND PROPOSED.
LAND USE: U20 (RESIDENTIAL 20du/ac)

FLOOD ZONE:
THE SUBJECT PROPERTY IS MAPPED AS ZONE "X" NOTES:
1. ALL EXISTING IMPROVEMENTS ON SITE TO BE REMOVED, UNLESS SPECIFICALLY NOTED OTHERWISE. EXISTING UTILITIES IN THE PRIVATE STREET EASEMENT CROSSING THE LOT AND ADJACENT PUBLIC RIGHT OF WAY TO BE PROTECTED IN PLACE, UNLESS OTHERWISE NOTED.

SUBDIVISION SUMMARY:
THE SUBDIVISION PROPOSES CREATION OF ONE (1) LOT FOR CONDOMINIUM PURPOSES, WITH THREE (3) CONDOMINIUM AIRSPACES:
1-3 - TOWNHOUSE UNITS

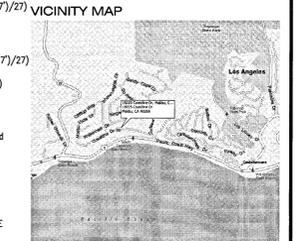
THE PORTION OF LOT 1 OUTSIDE THE CONDOMINIUM AIRSPACES IS FOR COMMON AREA INCLUDING PRIVATE DRIVEWAY, LANDSCAPE AREA AND GUEST PARKING, AND TO PROVIDE REQUIRED UTILITY EASEMENTS. IT IS PART OF COMMON AREA WHICH WILL BE HELD IN FEE BY AN ASSOCIATION MADE UP OF THE OWNERS OF INDIVIDUAL LOTS.

EARTHWORK QUANTITIES:
BY METHOD OF TYPICAL SECTION:
CUT: 1066 CY (N=429.6sf X 67')/27'
OVEREX: 80 CY
TOTAL CUT: 1146 CY
RECOMPACT: 80
FILL: 164 CY (N=66.26sf X 67')/27'
TOTAL FILL: 244 CY (RAW)
FILL: 305 CY (20% SHRINKAGE)

EASEMENTS:
FROM A TITLE REPORT BY LAWYERS TITLE COMPANY DATED APRIL 6, 2015:
④ AN EASEMENT FOR A PRIVATE DRIVE AS SHOWN ON TRACT MAP 26732, BOOK 680, PAGES 3 THROUGH 5, AND AN EASEMENT TO GENERAL TELEPHONE FOR UNDERGROUND CONDUITS OVER SAME, TO REMAIN.

BENCHMARK:
BM NUMBER: 11313 (NAD 1983)
FOUND CAL-TRANS BRASS DISC IN CONCRETE CURB RETURN 2.5M(8.2') WEST OF BCR @ NORTH WEST CORNER TOPANGA CANYON BLVD. AND PACIFIC COAST HIGHWAY.
ELEV. = 44.664 FT.

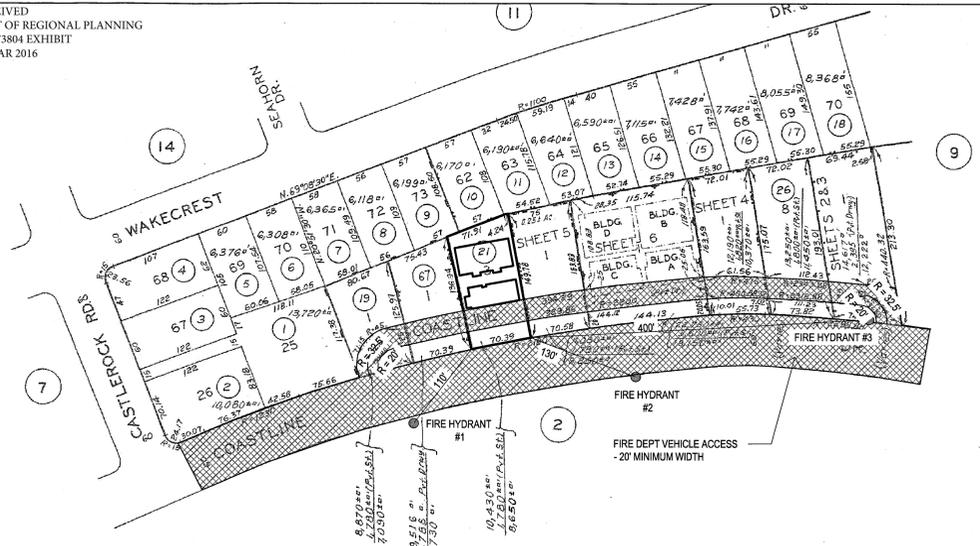
WATER PURVEYOR:
LA COUNTY WATERWORKS DISTRICT 29



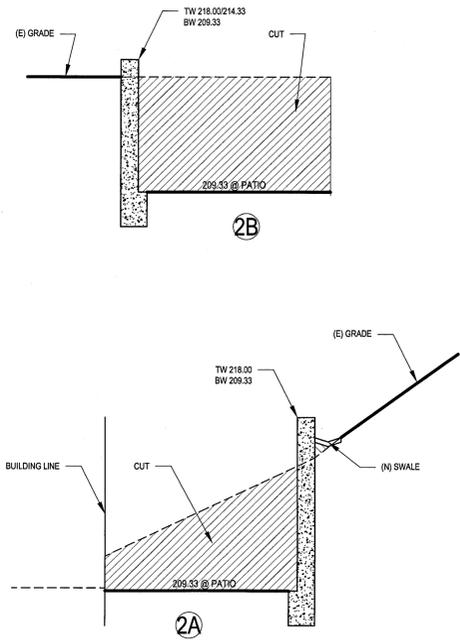
TENTATIVE MAP
Scale: 1" = 10'-0"



Bolton Engineering Corp.
Civil Engineering & Surveying
25834 Narbonne Avenue Ste. 210
Lomita, CA 90717



CONNECTION OF PRIVATE ROAD TO COASTLINE DRIVE 7



RETAINING WALLS @ REAR YARD PATIOS SCALE 1/4" = 1'-0" 4

SCOPE OF WORK 6

BUILDING INFORMATION

SETBACKS	REQUIRED	PROVIDED
FRONT YARD (SOUTH) SETBACK	50% of 15'-0" = 7'-6"	48'-4"
SIDE YARD (EAST) SETBACK	5'-0"	5'-0"
SIDE YARD (WEST) SETBACK	5'-0"	5'-0"
REAR YARD (NORTH) SETBACK	15'-0"	15'-0" / 28'-6"

BUILDING A INFORMATION

FLOOR AREA	R-3	U
BASEMENT / GARAGE	139.0 Sq. Ft.	1,260.0 Sq. Ft.
UNIT 1 - FLOOR AREA		
FIRST FLOOR	1,384 Sq. Ft.	-
SECOND FLOOR	1,096 Sq. Ft.	-
TOTAL A UNIT FLOOR AREA	2,480 Sq. Ft.	-

BUILDING B INFORMATION

UNIT 2 - FLOOR AREA	UNIT 3 - FLOOR AREA
FIRST FLOOR	665.2 Sq. Ft.
SECOND FLOOR	1,155.5 Sq. Ft.
THIRD FLOOR	834.3 Sq. Ft.
TOTAL UNIT B FLOOR AREA	2,655 Sq. Ft.
FIRST FLOOR	665.2 Sq. Ft.
SECOND FLOOR	1,155.5 Sq. Ft.
THIRD FLOOR	834.3 Sq. Ft.
TOTAL UNIT C FLOOR AREA	2,655 Sq. Ft.
TOTAL BUILDING B SQUARE FOOTAGE	5,310 Sq. Ft.

HEIGHT

PERMITTED HEIGHT (35'-0" W/ EXCEPTION PER 22.44.1250 (PG 185 SMM LIP))	30'-0"
PROPOSED HEIGHT	30'-0"

CONSTRUCTION TYPE TYPE V - B

EARTHWORK QUANTITIES:
BY METHOD OF TYPICAL SECTION:

CUT: 1066 CY (V=(429.6sf X 67')/27)
OVEREX: 80 CY
TOTAL CUT: 1146 CY

RECOMPACT: 80
FILL: 164 CY (V=(66.2.6sf X 67')/27)
TOTAL FILL: 244 CY (RAW)
FILL: 305 CY (20% SHRINKAGE)

NET: 841 CY EXPORT
EXPORT SITE: Calabaso Landfill
5300 Lost Hills Road
Agoura, CA 91301

PARKING

REQUIRED	2 ENCLOSED SPACES/UNIT = TOTAL 6 SPACES
PROVIDED	6 ENCLOSED SPACES AND 2 GUEST SPACES = TOTAL 8

LEGAL DESCRIPTION

ADDRESS: 18225 Coastline Drive

APN	4443-008-021
LOT	3
LOT SIZE - GROSS	10,430.61 SQ.F.T
LOT SIZE - NET	8,650 SQ.F.T
TRACT	TR 26732
BLOCK	NONE
ARB	NONE

ZONING INFORMATION

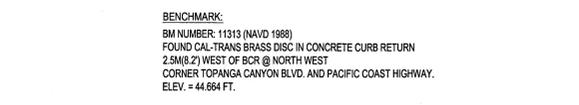
ZONE	CURRENT	PROPOSED
ZONE	R-3	R-3
USE	RESIDENTIAL	RESIDENTIAL
OCCUPANCY	-	R-3, U
LAND USE (20 UNITS / ACRE)	U20	U20

CONNECTION OF PRIVATE ROAD TO COASTLINE DRIVE

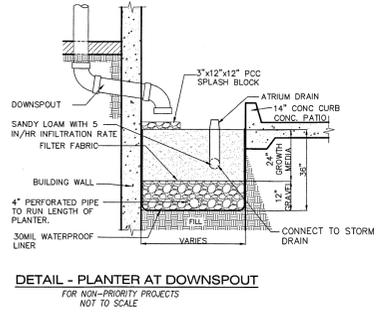
3 NEW CONDOMINIUM UNITS IN 2 NEW BUILDINGS
3 PRIVATE GARAGES HOUSING 2 STANDARD PARKING STALLS EACH
2 UNCOVERED GUEST PARKING SPACES ALLOCATED AT GRADE

PROJECT INFORMATION 5

RETAINING WALLS @ PARKING AREA CROSS SECTIONS SCALE 1/4" = 1'-0" 3

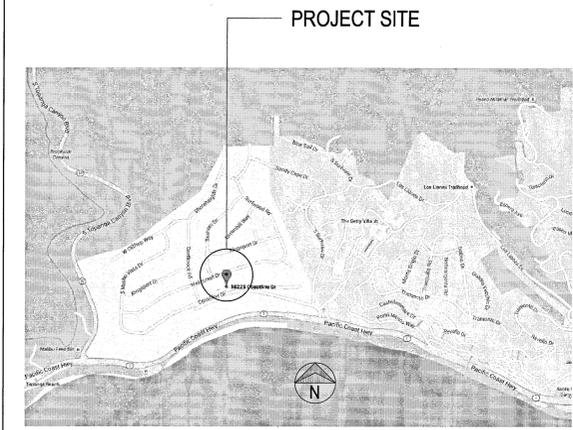


BENCHMARK 2



DETAIL - PLANTER AT DOWNSPOUT
FOR NON-PRIORITY PROJECTS
NOT TO SCALE

PLANTER BOX DETAIL NTS 12



VICINITY MAP 10

PROJECT SITE

FROM A TITLE REPORT BY LAWYERS TITLE COMPANY DATED APRIL 6, 2015:
AN EASEMENT FOR A PRIVATE DRIVE AS SHOWN ON TRACT MAP 26732, BOOK 680, PAGES 3-5,
AND AN EASEMENT TO GENERAL TELEPHONE FOR UNDERGROUND CONDUITS, OVER SAME

TO REMAIN

EASEMENTS 11 GRADING QUANTITIES 9

APPLICANT
LUBA TOMALEVSKA
2332 Cotner Avenue Suite 303
West Los Angeles, CA 90064
t: (310) 914-5577

OWNER
VLADIMIR AND LUBA TOMALEVSKI TRUST
2332 Cotner Avenue Suite 303
West Los Angeles, CA 90064
t: (310) 914-5577

ARCHITECT
L&V ARCHITECTS INC.
2332 Cotner Avenue Suite 303
West Los Angeles, CA 90064
t: (310) 914-5577
f: (310) 914-5578
www.LVARCH.com

TENTATIVE MAP
BOLTON ENGINEERING CORP.
25834 Narbonne Ave #210
Lomita, CA 90717
(310)325-5580 (p)

CIVIL ENGINEER
BOLTON ENGINEERING CORP.
25834 Narbonne Ave #210
Lomita, CA 90717
(310)325-5580 (p)

SURVEY
M&G LAND SURVEYING
347 S. Robertson,
Beverly Hills, CA 90211
tel. (310) 659-0871

PROJECT TEAM 8

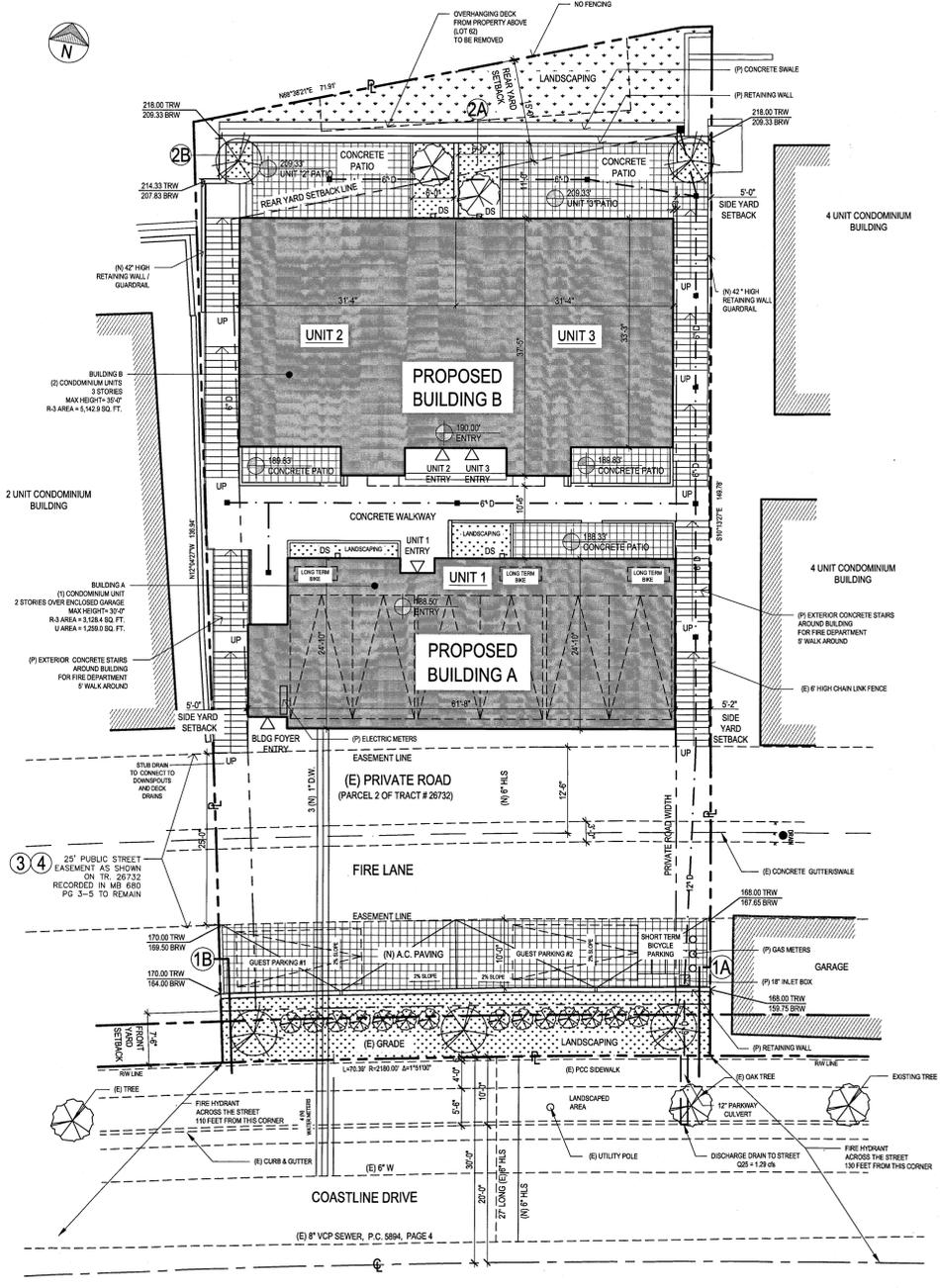


EXHIBIT MAP SCALE 1" = 10'-0" 1

NEW CONDOMINIUMS
18225 COASTLINE DRIVE, MALIBU, CA 90265
TENTATIVE PARCEL MAP # 073804



L&V Architects Inc.
2332 Cotner Ave., Suite 303
West Los Angeles, CA 90064
t: 310. 914. 5577; f: 310. 914. 5578

EXHIBIT MAP title

03.16.2016 date

1" = 10'-0" scale

E-1.10 page

project # 15.12